



Planning Commission Meeting Agenda

Monday, July 7, 2025 at 5:30 pm

City of Carpinteria, Council Chamber

5775 Carpinteria Avenue

Carpinteria, CA 93013

*Teleconference Location: 752 Kippen, Mayne Island, BC Canada, V0N 2J1

In-Person and Virtual Participation Options

Attendance/Viewing Options:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave.)
- View the meeting live through the City's website (<https://carpinteriaca.gov/city-hall/agendas-meetings>) on your computer, tablet or smartphone.
- View the meeting on Government Access Television Channel 21 (broadcast live and rebroadcast on the Wednesday and the Saturday following the meeting at 8:00 p.m. and 5:00 p.m., respectively).
- Call 669-900-9128 (and enter Webinar ID 886 2938 3844) to listen to the meeting on your phone.
- Join the City's Zoom webinar from your computer, tablet, or smartphone by [CLICKING HERE](#). Alternatively, you can join the Zoom webinar by logging on to zoom.us, downloading the application, selecting "Join Meeting", and entering Webinar ID 886 2938 3844.

Public Comments:

- Chambers at City Hall (5775 Carpinteria Ave.). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item.
- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to Planning Commissioners by **12:00 P.M. on the day of the meeting** by either submitting your comment via (1) email to PublicComment@carpinteriaca.gov, (PLEASE NOTE NEW PUBLIC COMMENT

EMAIL ADDRESS) or (2) the **eComment** link on the City's agenda website (<https://carpinteriaca.gov/city-hall/agendas-meetings>). Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

- Provide a live comment through the City's Zoom webinar platform (through the link provided above). To make public comments through this platform please use the "raise your hand" feature to notify staff that you would like to make a public comment during designated public comment times. Once it is your turn to provide a public comment, staff will unmute your microphone and you will be given a designated amount of time to provide your comment (typically, the practice has been up to 3 minutes per speaker on each item). At the end of your comment, staff will once again mute your microphone.

Please note that the City will make every effort to make the meeting accessible; however, if one of the above attendance/viewing or public comment options is unavailable due to technological issues, you are invited to take advantage of one of the other participation options outlined above (including attending and providing public comment in-person in the City Council Chambers). Additional options may be made available at the meeting.

THE PLANNING COMMISSION RESERVES THE RIGHT TO CHANGE THE ORDER IN WHICH ITEMS ARE HEARD. APPLICANTS NOT IN ATTENDANCE WHEN THEIR ITEM IS CALLED MAY HAVE THEIR ITEM CONTINUED TO THE NEXT REGULAR MEETING.

Any information presented to the Planning Commission by the public on any agenda item and during Public Comment using electronic materials must be arranged with staff. Electronic materials must be provided to staff a minimum of two business days prior to the meeting.

Any written, printed or electronic material and/or exhibit presented at this meeting becomes the property of the City, and a copy must be provided to City staff.

Planning Commissioners

David Allen, Chair
John Moyer, Vice-Chair
Jane L. Benefield
Glenn La Fevers
Alexandra Van Antwerp

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS

PUBLIC COMMENT

This time on the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Commission and not listed on other sections of the agenda. Please limit comments to no more than five minutes.

Depending on the number of speakers wishing to make comments, the Chair may further limit the time available to each speaker to control the amount of time spent on this part of the agenda. If you wish to speak on a CONSENT CALENDAR item, please do so during this part of the meeting.

Please be advised that California law does not allow the Planning Commission to discuss or take action on any issue presented by the public during this portion of the meeting. The Commission may ask a question for clarification, provide a brief response to public comment, refer the matter to staff for review and a later report or direct staff to place an item on a future agenda.

The City is not responsible for the content of statements made during the public comment period or the factual accuracy of any such statements.

CONSENT CALENDAR

NEW PUBLIC HEARING

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of Ex Parte Communications
- Staff Presentation
- Public Hearing
- Planning Commission Action

1) Franklin Creek Trail Improvement Project

Planner: Syndi Souter

Project: 24-2281-DP/CDP/ARB

Address: Franklin Creek between Carpinteria Avenue and Seventh Street

Hearing on the request of Josefina Arechiga, Assistant Engineer, City of Carpinteria Public Works Department, to consider Project 24-2281-DP/CDP/ARB (application filed February 26, 2024) for approval of a Development Plan and a

Coastal Development Permit to construct a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street under the provisions of Carpinteria Municipal Code (CMC) §14.14 – Planned Residential Development District, §14.20 – Commercial Planned Development District, and §14.68 – Development Plan; and to approve an Exemption pursuant to §15301, §15303, and §15304 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APNs 003-242-036, 003-243-032, 003-251-020, 003-252-018, 003-301-021, and 003-301-025.

OTHER BUSINESS

MATTERS PRESENTED BY COMMISSIONERS

DIRECTOR'S REPORT

- 2) City calendar for the month of July 2025
- 3) Planning Activity Report as of June 30, 2025
- 4) Building Permit Report as of June 30, 2025

ATTENDANCE OF PLANNING COMMISSIONERS FOR THE NEXT MEETING OF MONDAY, AUGUST 4, 2025

ADJOURNMENT

NOTES

All actions of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within 10 calendar days of the Commission's action.

If you challenge any of the Planning Commission's decisions related to the agenda items above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence to the Planning Commission prior to the public hearing.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community Development Department at (805) 755-4410 (Lorenae@carpinteriaca.gov) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Thursday, July 3, 2025 in the Community Development Department, on the City Hall Public Notices Board, and on the City website.

PLANNING COMMISSION STAFF REPORT

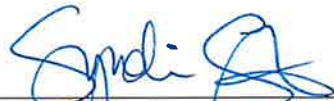
MEETING DATE: July 7, 2025

ITEM FOR CONSIDERATION

Franklin Creek Trail Improvement Project **24-2281-DP/CDP/ARB**

Request for a Development Plan and a Coastal Development Permit to construct a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street; and to accept a categorical exemption pursuant to §15301, §15303, and §15304 of the California Environmental Quality Act (CEQA).

Report prepared by: Syndi Souter, Senior Planner
Community Development Department


SIGNATURE

Reviewed by: Nick Bobroff, Director
Community Development Department


SIGNATURE

Owner: Santa Barbara County Flood Control & Water Conservation District

Applicant: Josefina Arechiga, Assistant Engineer, City of Carpinteria Public Works Department

Project Location: Franklin Creek between Carpinteria Avenue and Seventh Street

APNs: 003-242-036, 003-243-032, 003-251-020, 003-252-018, 003-301-021, & 003-301-025

Zoning: Planned Residential Development (PRD-15) & Commercial Planned Development (CPD)

General Plan Designation: Medium Density Residential (MDR), General Commercial (GC), and Visitor-Serving Commercial (VC)



I. RECOMMENDATION

Adopt the attached Resolution No. PC-25-003, thereby approving Project 24-2281-DP/CDP/ARB to allow construction of a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street; and to accept a categorical exemption pursuant to §15301, §15303, and §15304 of the California Environmental Quality Act (CEQA).

II. PROPOSED PROJECT DESCRIPTION

Development Plan: The proposed project involves a request to construct a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street. The two-lane pervious concrete pavement multi-use trail would vary from 12-feet to 13-feet in width and would be approximately 900-feet in length. In order to comply with ADA slope standards, the trail would be elevated with low retaining walls up to three feet above grade in some sections. The elevated sections would have Corten steel handrails along the tops of the retaining walls. Three rest areas with benches and trash receptacles would be located on concrete pads adjacent to the pathway. The seating area near Ninth Street would have a concrete split rail fence to define the bounds of the area. A new 42-inch-tall black powder-coated chain-link fence would be located along the top of the existing drainage box channel wall, with five sets of double gates for flood control maintenance access to the creek, to replace the existing damaged fencing placed at the top of the channel wall. Ten new 10-foot-tall pole lights, with cut-off shields to prevent light spillover into the creek, would be installed to provide night lighting along the trail. The proposal would require grading and earthwork totaling 50 cubic yards of cut and 300 cubic yards of fill.

The trail corridor presently contains 14 trees, including 12 mature trees: nine eucalyptus trees and three native sycamore trees. An arborist report was prepared for the project to analyze the health and structural condition of the trees along the trail corridor. The plans indicate that four of the eucalyptus trees, a myoporum tree, and a dead tree would need to be removed in order to construct the trail. The project has been designed to retain the three native sycamore trees with a modified trail design that would minimize root impacts and provide more permeable surfaces in the area near the sycamore trees. The project also includes a landscaping plan for the trail corridor. The landscaping improvements would include new native trees, shrubs, grasses, perennials, and mulched areas. Four new Western Redbud trees are proposed along the trail with two Island Oaks proposed near the Seventh Street access. Planter areas with a mixed palette of native shrubs, grasses, and perennials are proposed near Seventh Street, around the proposed seating areas, and near the Ninth Street access. The balance of the trail corridor would be covered with mulch.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Project plans are included in Attachment A, Exhibit 2. A copy of the arborist report for the project can be found in Attachment B.

III. BACKGROUND

Site Characteristics and Background

The project site is located along the southeast bank of a channelized section of Franklin Creek that runs from Carpinteria Avenue on the north to Seventh Street on the south, for a distance of approximately 900 feet. The property is owned by the County of Santa Barbara Flood

Control/Water Conservation District, and the proposed trail would be located adjacent to the creek within the existing maintenance access area. An informal use trail is currently located on the property in the same general location as the proposed new paved multi-use trail. There are nine eucalyptus trees and three sycamore trees located within the project area.

The project site is located in the Downtown/Old Town district (Community Design Subarea 2), which is the historic, and current center and heart of the City. The main commercial core is situated along Linden and Carpinteria Avenues, and is bookended by residential neighborhoods to the east and west of Linden Avenue. The subject property is surrounded by a mix of housing types and sizes, including the Arbor Trailer Park, multi-family developments, single-family residences, and the 4745 Carpinteria Avenue Mixed-Use Development project (currently under construction). The existing informal use trail is regularly used by residents of the surrounding neighborhoods to travel between Carpinteria Avenue and Seventh Street, including by students to reach Aliso Elementary School.

The project site is primarily zoned Planned Residential Development (PRD-15) with a small portion near Carpinteria Avenue that is zoned Commercial Planned Development (CPD). Similarly, most of the property has a land use designation of Medium Density Residential (MDR), and the small portion near Carpinteria Avenue has split land use designations of General Commercial (GC) and Visitor-Serving Commercial (VC). The project site is located in the Coastal Appeals (CA) Overlay District, the Flood Hazard (FH) Overlay District, and is located in an area identified in the City's Sea Level Rise Vulnerability Assessment and Adaptation Plan (SLRVAAP) as presently vulnerable to sea level rise impacts.

Architectural Review Board (ARB)

The project received preliminary review by the ARB on April 17, 2025. At that meeting, five members of the public provided comments on the proposal. The common theme of the public comments related to the maintenance of the proposed trail improvements, including graffiti abatement and trash removal. Some members of the public were concerned about the removal of four eucalyptus trees, while others were supportive of the proposed tree removals. The ARB was generally supportive of the project and voted 4-0 (Woelf absent) to recommend preliminary approval to the Planning Commission with the following comments:

1. Consider alternative surface materials, including granite-crete;
2. Confirm that the drainage plan is coordinated with the adjacent project (4745 Carpinteria Avenue mixed-use development);
3. Remove fabric covering from fencing; and
4. Adjust plant palette to include more native plants.

Following the ARB meeting, the plans have been updated with the following changes to address the ARB comments:

- The proposed trail surface has been changed from asphaltic concrete (AC) pavement to pervious concrete pavement;

- The plans have been updated to include the proposed final grades on the adjacent parcel at 4745 Carpinteria Avenue (the Klentner mixed-use project) and the on-site drainage patterns have been verified;
- The applicant has confirmed that the proposed fencing will not have fabric covering; and
- The plant palette has been updated to include native trees and shrubs.

A copy of the Draft Minutes from the April 17, 2025 ARB Meeting can be found in [Attachment C](#).

IV. ENVIRONMENTAL

This project can be found to be categorically exempt from environmental review pursuant to Sections 15301(c) (Existing Facilities); 15303(e) (New Construction or Conversion of Small Structures); and 15304 (a) and (b) (Minor Alterations to Land) of the Guidelines for the implementation of the California Environmental Quality Act (CEQA). Class 1 Exemptions include, but are not limited to, minor alterations of existing public structures, including bicycle and pedestrian trails, which involve negligible or no expansion of use beyond those existing at the time of the lead agency's determination. Class 3 Exemptions allow for the construction of new small facilities and structures, including appurtenant structures such as fences. Class 4 Exemptions allow for minor alterations to land that include, but are not limited to, grading on land with a slope of less than 10% and new landscaping.

The proposed project involves the construction of a new ADA compliant multi-use trail that would replace an existing informal use trail that runs along the southeast bank of Franklin Creek between Carpinteria Avenue and Seventh Street. The project would include new pervious concrete paving, fencing, retaining walls, grading on slopes of up to 8%, landscaping, and public amenities. As the project is consistent with these standards, the exemption is appropriate.

The proposed CEQA Notice of Exemption is included as [Attachment D](#).

V. ANALYSIS

Carpinteria Municipal Code (CMC), Title 14, Zoning

The proposed project is a permitted use (e.g., public park/recreational facility) in both the Planned Residential Development (PRD-15) and the Commercial Planned Development (CPD) districts, subject to the review and approval of a Development Plan and Coastal Development Permit. The CMC does not include any specific development standards applicable to multi-use trails in these zone districts, however the City's Creeks Preservation Program (discussed later in this report) contains development standards pertinent to creekside development, including trails.

The project's creekside adjacency also places the project within the FH and CA overlay districts. The City's floodplain administrator has reviewed the proposed multi-use trail improvements and concluded they would comply with applicable requirements for new construction within a 100-year floodplain hazard area, and would not pose any risks of increased flood hazards for adjacent

properties. Projects located within the CA overlay district are subject to appeal to the California Coastal Commission following a final action on the project by the City.

General Plan/Coastal Land Use Plan

The project site has multiple General Plan/Coastal Land Use Plan designations. The bulk of the site has a land use designation of Medium Density Residential (MDR), and the small portion near Carpinteria Avenue has split land use designations of General Commercial (GC) and Visitor-Serving Commercial (VC). An analysis of the project's consistency with applicable objectives and policies of the General Plan/Coastal Land Use Plan is provided below.

Land Use Element

Objective LU-1: *Establish the basis for orderly, well planned urban development while protecting coastal resources and providing for greater access and recreational opportunities for the public.*

Policy LU-3h: *Develop land uses that encourage the thoughtful layout of transportation networks, minimize the impacts of vehicles in the community, and encourage alternative means of transportation.*

The proposed project involves the construction of a new multi-use trail that would replace an existing heavily-traveled informal use trail and improve pedestrian and bicycle access between Carpinteria Avenue and Seventh Street. The proposed two-lane design of the multi-use trail would allow for safer pedestrian and bicycle traffic through the downtown neighborhood and provide access to Aliso School. The inclusion of new seating areas and lighting would also contribute to a safer and more usable public space. Additionally, the proposed landscaping with native species would enhance the creek corridor.

Citywide Community Design Element Objectives and Policies

Objective CD-8: *To encourage and facilitate pedestrian and bicycle pathways.*

Policy CD-8a: *All streets should be designed with safe and pleasant pedestrian ways at their edge. Pedestrian ways shall be spatially separated from vehicular traffic by elements such as trees, other plantings, streetlights, and/or parked cars.*

Policy CD-8b: *To provide convenient pedestrian routes, the existing network of automobile lanes, trails and pedestrian ways in the Downtown District and adjacent neighborhoods should be preserved, reinforced and extended into other neighborhoods. This pedestrian network should be in addition to, not in lieu of, pedestrian ways on the streets.*

The proposed multi-use trail would replace the informal use trail that presently connects Carpinteria Avenue to Seventh Street. The improvements would include an ADA-compliant surface with two directional lanes of traffic, and night lighting, which would improve safety along the trail. The trail is one of the primary routes for children traveling to and from Aliso Elementary School, and the

proposed project would enhance pedestrian safety and access in the area. New landscaping and seating areas along the trail alignment would contribute to an enhanced public space.

Objective CD-11: *Existing public spaces should be maintained, and new public spaces should be incorporated into neighborhoods and districts as an important aspect of their design.*

Policy CD-11a: *Open space, in the form of parks and greens should be an integral part of each neighborhood plan, not configured as residual space unusable by the residents.*

Policy CD-11b: *Public spaces should be located and designed to encourage their use during the day and in the evening. The time and type of use for each space should be planned to be compatible with adjacent land uses, and with any existing flora and fauna that are to be preserved.*

Policy CD-11c: *All public spaces and facilities should reflect quality design.*

Policy CD-11d: *Small neighborhood parks and greens (or micro-parks) suitable for unstructured play and relaxation should be provided in each neighborhood. Larger parks should be sited on larger streets along neighborhood edges.*

Policy CD-11e: *Large parks and greenways should be designed to incorporate existing natural terrain and habitats. Smaller parks should incorporate specimen trees or other natural features to enhance the quality and utility of the park.*

The proposed multi-use trail project provides a rare opportunity to enhance and activate a small residual public space within the existing developed downtown neighborhood. In addition to providing a safe and convenient pedestrian and cyclist route between Carpinteria Avenue and Seventh Street, the proposed trail also provides opportunities for passive recreational use through the provision of seating areas and enhanced landscaping. The trail has been designed with lighting to provide safety for its use outside of daylight hours.

Policy CD-11f: *Landscape design guidelines should emphasize the use of native drought tolerant plant materials, and the importance of trees as the primary elements of the town landscape. All landscaping shall utilize only non-invasive type plants.*

Objective CD-12: *Development should fit quietly into the area's natural and introduced landscape, deferring to open spaces, existing natural features and native and sensitive habitats.*

Policy CD-12a: *Landscape planning shall be respectful of the natural character of the City and enhance existing native plant communities and environmentally sensitive habitat areas.*

CD-12-Implementation Policy 1: *Use of native, locally adapted species shall be encouraged and shall be required within and adjacent to ESHA.*

Due to the trail location adjacent to the creek, all proposed plantings for this project are specified to be native to the area and appropriate to the creekside setting. The proposed landscape plantings have also been coordinated with the approved landscape plan for the adjacent 4745 Carpinteria

Avenue mixed-use development which calls for planting of several larger native tree species in proximity to the shared property line with the creek channel alignment.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13a: *Lighting for development adjacent to an ESHA shall be designed to further minimize potential impacts to habitat.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

CD-13-Implementation Policy 4: *Lighting along roads and in developed areas within or adjacent to ESHA shall not exceed 0.01 foot-candles five feet inside of any City-identified ESHA area.*

CD-13-Implementation Policy 5: *Spotlights or floodlights in or adjacent to ESHA shall not be permitted.*

New night lighting is proposed along the trail corridor. Ten new 10-foot-tall light poles would be installed along the trail, primarily along the south side of the corridor. The proposed light fixtures would be similar in style to the typical Carpinteria street lights, and would be hooded and shielded to direct the light down onto the trail while avoiding spillover into the creek channel. While Franklin Creek is not mapped as Environmentally Sensitive Habitat Area (ESHA), it is a protected creek resource under the City's Local Coastal Plan, and provides connectivity to sensitive habitat areas up- and downstream for wildlife.

Subarea 2 (The Downtown and Old Town) Objectives and Policies

Objective CDS2-1: *Preserve and strengthen the visual and physical connections between the downtown, beach, the salt marsh, mountains, and the other neighborhoods and districts in the city.*

Policy CDS2-b: *To enhance the pedestrian character of the downtown's streets, plazas, paseos, parks and lanes.*

CDS2 Implementation Policy 17: *Existing major trees along streets should be preserved even if they do not fall into a regular pattern with new street tree plantings. Sidewalks, curbs and frontage fences should be designed around these trees to make special and interesting places.*

CDS2 Implementation Policy 19: *Pedestrian pathways within and through the blocks are encouraged, to provide alternate and shorter routes for walking. These pathways should generally be designed as courts or paseos, not simply "slots" between buildings or sideyard fences. The passage from Linden Avenue to the alley behind the Coffee Grinder, and the pedestrian bridge over the creek, are good pathway examples.*

As discussed above, the proposed trail would replace an existing heavily-traveled informal use trail that connects Carpinteria Avenue to Seventh Street. The proposed two-lane design of the multi-use

trail would allow for safer pedestrian and bicycle traffic through the downtown neighborhood and connect to Aliso School. The proposed seating areas would provide rest areas for trail users to enjoy during transit. Although four of the nine eucalyptus trees would be removed for the project, the three sycamore trees would be retained and an additional four native trees would be planted, so the character of the area with a canopy over the trail corridor would remain unchanged once new trees mature and become established.

Circulation Element

Policy C-7b: *Develop safe and direct pedestrian accessibility between residential areas, schools, parks, and shopping areas in both new and existing urban areas.*

Policy C-7c: *Provide safe mobility for the physically handicapped through the design of street improvements and public facilities.*

Objective C-8: *Support and develop safe, direct and well-maintained bicycle and pedestrian systems and recreational boating facilities that serve all segments of the public.*

Policy C-8a: *Integrate the development of bicycle routes and pedestrian pathways in additional areas of the city, and encourage the utilization of such routes for commuting as well as recreational purposes.*

Policy C-8f: *Encourage pedestrian movement by providing pedestrian facilities that are direct and convenient, particularly in the beach and downtown areas.*

Policy C-8i: *Inspect, provide, and maintain contiguous bike lanes for a one-half mile radius around each school site.*

The proposed multi-use trail improvements would provide a safer pathway between Carpinteria Avenue and Seventh Street, including access to Aliso Elementary School. The trail has been designed to be ADA compliant, and would include two directional lanes for pedestrian and bicycle traffic. As such, the proposed trail would be consistent with the above objectives and policies.

Open Space, Recreation & Conservation Element

Objective OSC-6: *Preserve the natural environmental qualities of creekways and protect riparian habitat.*

Policy OSC-6a: *Support the preservation of creeks and their corridors as open space, and maintain and restore riparian habitat to protect the community's water quality, wildlife diversity, aesthetic values, and recreation opportunities.*

OSC-6-Implementation Policy 25: *A setback of 50 feet from top of the upper bank of creeks or existing edge of riparian vegetation (dripline), whichever is further, shall be established and maintained for all development. This setback may be increased to account for site-specific*

conditions. The following factors shall be used to determine the extent of an increase in setback requirements:

- a. Soil type and stability of the stream corridor*
- b. How surface water filters into the ground*
- c. Types and amount of riparian vegetation and how such vegetation contributes to soil stability and habitat value*
- d. Slopes of the land on either side of the stream*
- e. Location of the 100 year floodplain boundary, and*
- f. Consistency with other applicable adopted plans, conditions, regulations and/or policies concerning protection of resources.*

Where existing buildings and improvements, conforming as to use but nonconforming as to the minimum creek setback established herein, are damaged or destroyed by fire, flood, earthquake or other natural disaster, such buildings and improvements may be reconstructed to the same or lesser size and in the same general footprint location, provided that reconstruction shall be inaugurated by the submittal of a complete construction application within 24 months of the time of damage and be diligently carried to completion.

OSC-6-Implementation Policy 28: *Prohibit all development within stream corridors except for the improvement of fish and wildlife habitat, development necessary for flood control purposes, (where no other method to protect existing structures in the floodplain is feasible and where protection is necessary for public safety), and bridges and trails (where no alternative route/location is feasible and, when supports are located within stream corridor setbacks, such locations minimize impacts on critical habitat). All development shall incorporate the best mitigation measures feasible to minimize impact to the greatest extent.*

OSC-6-Implementation Policy 29: *Limit all development within stream corridors, including dredging, filling and grading, to activities necessary for the construction specified in policy # 28 (see above) and to public hiking/biking and equestrian trails. When such activities require removal of riparian plant species, revegetation with local native riparian plants shall be required. Minor clearing of vegetation may be permitted for hiking/biking and equestrian trails.*

Objective OSC-7: *Conserve native plant communities.*

Policy OSC-7a: *Oak trees and oak woodlands, because they are particularly sensitive to environmental conditions, as well as walnut, sycamore, and other native trees, shall be protected through appropriate development standards.*

The project site is adjacent to Franklin Creek, and while channelized and not designated as ESHA on the City's General/Coastal Plan maps, the creek channel and adjacent buffer are considered important coastal resources that shall be protected. The proposed project lies within the required 50-foot setback from the Franklin Creek channel. The proposed multi-use trail is a permissible use within the creek setback area, provided that appropriate measures are included to protect the creek corridor and avoid or minimize impacts to adjacent creek resources. The proposal includes new landscaping with native species, protection of the existing native sycamore trees, appropriate low

intensity trail lighting, and consideration of post-construction stormwater measures. Accordingly, the project can be found consistent with the above objectives and policies.

Safety Element

Objective S-4: *Minimize the potential risks and reduce the loss of life, property and the economic and social dislocations resulting from flooding.*

The project site is located in the mapped Special Flood Hazard Area 100-year floodplain and is an area currently vulnerable to flooding impacts. The City's Designated Floodplain Administrator has reviewed the proposed multi-use trail improvements and has determined that the project would not constitute a substantial improvement within the floodplain. As such, the proposed design is acceptable and does not need to incorporate any additional flood mitigation measures at this time.

Additionally, the City's Sea Level Rise Vulnerability Assessment and Adaptation Project (SLRVAAP) shows the subject property as presently vulnerable to sea level rise impacts. The City's Interim Sea Level Rise Guidance document defines redevelopment as projects that result in improvements costing more than 50% of the existing structure's market value; or projects resulting in the replacement of more than 50% of the existing structure. If a proposed project exceeded these thresholds, it would qualify as "redevelopment" and be expected to further analyze vulnerability to impacts from sea level rise and identify and implement adaptation strategies to mitigate those potential impacts. The proposed trail improvements have been reviewed by staff and are not considered "redevelopment" because there are no existing or proposed structures in the project scope that would be at risk from sea level rise impacts.

Noise Element

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

To ensure consistency with these Policies, the City's standard conditions relating to construction timing and noise attenuation have been included in the attached recommended project Conditions of Approval included in Attachment A, Exhibit C.

Creeks Preservation Program

Objective 2: *Preserve and restore aquatic, riparian and upland habitats occurring within and adjacent to local creeks, including sensitive communities and species. Sensitive communities and species are defined as those designated as endemic, rare, threatened, endangered, or of concern by the federal, state, and/or local governments.*

Implementation Measure 2.4.5: *Development Permit applicants for parcels adjacent to creeks and/or within a creek ESHA overlay area shall provide the City with a Post-Construction*

Mitigation Plan. The Post-Construction Mitigation Plan shall describe protective measures that will be implemented to minimize impacts to biological resources due to effects including but not limited to noise, lighting, vehicular and pedestrian traffic, domestic pets, water pollution, erosion, and landscape plantings. At a minimum, measures that will be required (as applicable) to minimize post-construction impacts include the following:

- *Mechanisms to provide for the permanent protection of areas identified and approved on the Development Permit (or other project approvals) as natural areas will be included in property exchange documents, deeds, lease agreements, CC&Rs, etc.*
- *Permanent landscaping will be provided to developed area (e.g., parking lots, buildings, backyards, etc.). Landscaping will be planted with appropriate native plant species selected by a qualified landscape architect and/or biologist.*
- *Project permittees and any and all successors will provide informational materials (e.g., in lease agreements, CC&Rs, deed restrictions) to future occupants that ensure protective standards/conditions of approval are recognized and complied with throughout the life of the project. Educational materials including interpretive signs will be installed near creeks and natural habitat areas. These educational materials and signs will discuss the importance and sensitivity of creek habitats, regulations that have been established to protect them, those standards/conditions of approval that affect the project, and penalties that may be imposed on violators of such regulations.*
- *The planting of any landscape plants that are on the California Exotic Pest Plant Council's Lists of Exotic Pest Plants of Greatest Ecological Concern in California is prohibited in any ESHA or creek setback area. These lists are provided in Appendix C.*
- *Loud, stationary equipment (e.g., air conditioners, etc.) shall be located away from or provided with enclosures to minimize potential impacts to wildlife.*
- *Post-Construction Requirements from the City's Water Quality Protection Regulations will be implemented to minimize impacts related to runoff, erosion, and water quality (see Appendix E).*
- *All fencing shall be wildlife permeable.*
- *Exterior lighting (except traffic lights, navigational lights, and other similar safety lighting) shall be minimized, restricted to low intensity features, shielded, and directed away from creek ESHA to minimize impacts to wildlife. Permitted lighting shall conform to the following standards:*
 - *The minimum necessary to light walkways used for entry and exit to the structure, including parking areas on the site. This lighting shall be limited to fixtures that do not exceed 60 watts, or the equivalent, unless a higher wattage is authorized by the Community Development Director.*
 - *Security lighting attached to the residence that is controlled by motion detectors and is limited to 60 watts, or the equivalent.*
 - *The minimum lighting necessary for safe vehicular use of the driveway. The lighting shall be limited to 60 watts, or the equivalent.*
 - *A light, not to exceed 60 watts or the equivalent, at the entrance to any non-residential accessory structures.*
 - *No lighting around the perimeter of the site, no lighting for sports courts or other private recreational facilities and no lighting for aesthetic purposes is allowed.*

The Post-Construction Mitigation Plan shall be prepared by a professional biologist whom the City agrees is qualified to complete the work. The Mitigation Plan shall be reviewed and approved by the City prior to issuance of the Development Permit.

Policy 2.7: *The City will ensure that sensitive creek habitats are not substantially impacted by recreational uses such as hiking, biking, and fishing, or due to habitation by transients.*

Implementation Measure 2.7.1: *The City will provide educational (interpretive) signs along creeks corridors at key viewpoints from streets, trails, and bike paths. The signs will briefly describe the importance and sensitivity of creek habitats, and the plant and wildlife species they support. Applicable Federal, State, and local regulations that prohibit the destruction of native vegetation, illegal dumping, and harassment or taking of wildlife (including protected species such as steelhead trout) will be discussed. Penalties for violations of such regulations will be summarized. In addition, a City phone number will be provided for public questions and concerns, including the reporting of unlawful activities.*

Implementation Measure 2.7.2: *Where new or expanded recreational trails are provided in stream corridors, they will be constructed of alternative surface materials (i.e., not paved), and shall be a maximum of five feet wide. New or expanded public trails and/or park improvements shall be designed and sited to minimize disturbance of sensitive creek resources including native vegetation, creek beds and banks. When such activities require removal of riparian plant species outside of trail limits, revegetation with local native riparian plants shall be required. Creek crossings will be minimized.*

The project site is located along the channelized Franklin Creek corridor, and is not mapped as ESHA in the City's General Plan/Coastal Plan. However, the project site is within the 50-foot creek buffer from Franklin Creek, and is subject to the requirements of the City's Creeks Preservation Program. As discussed above, the project entails the construction of a new multi-use trail that would also function as the County Flood Control's maintenance access to the channelized creek channel. As such, the new chain-link fencing and gates that are proposed along the top off the creek wall would replace the existing deteriorated chain link fencing to secure the creek channel. Additionally, the proposed pervious concrete pavement trail would vary from 12- to 13-feet in width to accommodate maintenance equipment. The proposed night lighting would include single LED modules that would range from 171 to 235 lumens (the equivalent of 12 to 16 incandescent watts), and the fixtures would be hooded and shielded to prevent spillover into the creek channel. Due to the project site's proximity to the Carpinteria Salt Marsh, any new landscaping plants proposed as part of the trail improvements are required to be native and suitable for both riparian and wetland habitats. Importantly, the project design has been revised to protect the three existing sycamores in place during construction. Post-construction stormwater measures have been incorporated into the project to minimize the contribution of urban runoff into the adjacent stream corridor resulting from increased impervious surfaces along the trail alignment.

Interpretative signage has been incorporated into the project pursuant to Implementation Measure 2.7.1, listed above. Given that the proposed trail would be heavily used by students and families traveling to-and-from Aliso School, signage is proposed adjacent to two of the rest area benches along the trail. The signs would address the watershed connections from the mountains through

town to the salt marsh, species of interest, and other educational ecological information that would be relevant to trail users.

VI. DEVELOPMENT IMPACT FEES

As the project involves the construction of a new multi-use trail and associated improvements, the project is exempt from payment of the City's Development Impact Fees.

VII. ACTION OPTIONS

1. Adopt Resolution PC-25-003, thereby approving Project 24-2281-DP/CDP/ARB to allow construction of a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street; adopt the Notice of Exemption for the project pursuant to the Guidelines for the Implementation of CEQA; and adopt the findings in Attachment A, Exhibit 1 and recommended project Conditions of Approval in Attachment A, Exhibit 3. (Staff's recommendation)
2. Direct the applicant to prepare project revisions and return to a future Commission meeting.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Attachment A- Resolution PC-25-003
Exhibit 1 – Findings for Approval
Exhibit 2 – Plan Set
Exhibit 3 – Recommended Conditions of Approval

Attachment B- Arborist Report dated April 6, 2023 and amended September 13, 2023

Attachment C- Draft ARB Meeting Minutes from April 17, 2025

Attachment D- CEQA Notice of Exemption

Attachment A
Resolution PC-25-003

Franklin Creek Trail Improvement Project
24-2281-DP/CDP/ARB

July 7, 2025

RESOLUTION NO. PC-25-003

**A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION
APPROVING DEVELOPMENT PLAN AND COASTAL DEVELOPMENT
PERMIT 24-2281-DP/CDP/ARB TO ALLOW THE CONSTRUCTION OF A NEW
MULTI-USE TRAIL ADJACENT TO FRANKLIN CREEK BETWEEN
CARPINTERIA AVENUE AND SEVENTH STREET (APNs 003-242-036, 003-243-
032, 003-251-020, 003-252-018, 003-301-021, & 003-301-025).**

**REQUESTED BY JOSEFINA ARECHIGA, ASSISTANT ENGINEER, CITY OF
CARPINTERIA PUBLIC WORKS DEPARTMENT**

WHEREAS, the City of Carpinteria Planning Commission has considered an application for a Development Plan and Coastal Development Permit filed by Josefina Arechiga, Assistant Engineer, City of Carpinteria Public Works Department, on February 26, 2024 to construct a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on October 10, 2024; and

WHEREAS, the City of Carpinteria Architectural Review Board considered the proposed project at their April 17, 2025 meeting wherein the project was recommended for preliminary approval; and

WHEREAS, the Planning Commission has conducted a public hearing and received evidence regarding the application for the Development Plan and Coastal Development Permit; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15301(c) (Existing Facilities); 15303(e) (New Construction or Conversion of Small Structures); and 15304 (a) and (b) (Minor Alterations to Land) of the CEQA Guidelines as the project includes only new pervious concrete paving, fencing, retaining walls, grading on slopes of up to 8%, landscaping, and public amenities; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Land Use Plan, Creeks Preservation Program, and the Zoning Code standards that are relevant to the project.

NOW THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan and Coastal Development Permit are approved, making the Findings outlined in Exhibit 1.
2. The Development Plan and Coastal Development Permit for the project as shown in Exhibit 2 are approved subject to the project conditions of approval set forth in Exhibit 3.

PASSED, APPROVED, AND ADOPTED this 7th day of July 2025, by the following called vote:

AYES: Commissioners:

NOES: Commissioner(s):

ABSENT: Commissioner(s):

ABSTAIN: Commissioner(s):

Glenn La Fevers, Chair

ATTEST:

Nick Bobroff, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 7th day of July 2025.

Attachment A
Exhibit 1:
Findings for Approval

Franklin Creek Trail Improvement Project
24-2281-DP/CDP/ARB

July 7, 2025

**ATTACHMENT A
EXHIBIT 1: FINDINGS FOR APPROVAL**

**PLANNING COMMISSION HEARING
PROJECT 24-2281-DP/CDP/ARB
JULY 7, 2025**

**FRANKLIN CREEK TRAIL IMPROVEMENT PROJECT
REQUESTED BY JOSEFINA ARECHIGA, ASSISTANT ENGINEER, CITY OF
CARPINTERIA PUBLIC WORKS DEPARTMENT**

**FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN,
GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE**

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Development Plan and Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Development Plan and Coastal Development Permit was submitted on February 26, 2024, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on October 10, 2024. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the California Coastal Commission, and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within

300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemption Sections 15301(c) (Existing Facilities); 15303(e) (New Construction or Conversion of Small Structures); and 15304 (a) and (b) (Minor Alterations to Land) of the Guidelines for the implementation of the California Environmental Quality Act (CEQA). Class 1 Exemptions include, but are not limited to, minor alterations of existing public structures, including bicycle and pedestrian trails, which involve negligible or no expansion of use beyond those existing at the time of the lead agency's determination. Class 3 Exemptions allow for the construction of new small facilities and structures, including appurtenant structures such as fences. Class 4 Exemptions allow for minor alterations to land that include, but are not limited to, grading on land with a slope of less than 10% and new landscaping. The project meets the requirements for the listed Categorical Exemptions as the project includes only the construction of a new ADA compliant multi-use trail with pervious concrete paving, fencing, retaining walls, grading on slopes of up to 8%, landscaping, and public amenities.

1.3 Development Plan Findings

Pursuant to Carpinteria Municipal Code §14.68.030(9), prior to approving or approving with conditions a Development Plan, the Planning Commission or City Council shall determine that all of the following criteria have been met:

1. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

As discussed in the Planning Commission staff report dated July 7, 2025, and hereby incorporated into these Findings by reference, the project is consistent with the General Plan/Coastal Plan's applicable Land Use, Community Design, Circulation, Open Space, Recreation and Conservation, Safety, and Noise Elements' Objectives and Policies in that the project involves the construction of a new trail that would replace an existing heavily-traveled informal use trail between Carpinteria Avenue and Seventh Street. The proposed two-lane design of the multi-use trail would allow for safer pedestrian and bicycle traffic through the downtown neighborhood and provide access to Aliso School. Public trails are consistent with the allowable uses in the Medium Density Residential (MDR), General Commercial (GC), and Visitor-Serving Commercial (VC) land use categories and the corresponding applicable zone districts, and such trails are explicitly encouraged in the Circulation and Open Space/Recreation/Conservation Elements as helping to encourage safe alternative forms of transportation and expanded public recreational opportunities.

2. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

Although the project site is located within the mapped Special Flood Hazard Area 100-year floodplain and is an area currently vulnerable to flooding impacts, the City's Designated Floodplain Administrator has determined that the proposed multi-use trail improvements would not constitute a substantial improvement within the floodplain nor would the project impact the floodway. As such, the proposed design is acceptable and does not need to incorporate any additional flood mitigation measures at this time. The project would not pose any new fire hazard risks to life or property. The proposal does not contain any residential units, and therefore would have no impact on density within the surrounding area.

3. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The proposed multi-use trail and associated improvements and landscaping would be located adjacent to a protected creek resource. However, the trail location along the top of the channelized creek has been designed in a manner that would not injure fish, wildlife, or their habitat. The proposed landscaping would include only native plants, and the trail light fixtures would be hooded and shielded to direct the light down onto the trail while avoiding spillover into the creek channel. The proposed trail surface would be constructed of permeable pavement and the project has been designed to incorporate and capture project-related stormwater runoff. Standard construction-phase project conditions have been included to address dust, erosion/sedimentation, noise, nesting birds, tree protection and water quality concerns.

4. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

The proposed trail improvements would be located on County Flood Control and Water Conservation District property and would not conflict with any public access easements. Public use of the access road/proposed trail within the flood control corridor is permitted. No other easements have been identified on the property or are required by a public agency as a condition of approval.

5. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

The proposed multi-use trail improvements would provide a safer pathway between Carpinteria Avenue and Seventh Street, including access to Aliso Elementary School. The trail has been designed to be ADA compliant, and would include two directional lanes for pedestrian and bicycle traffic, thereby providing an attractive alternative transportation/pedestrian corridor to vehicular travel within the neighborhood. The trail improvements would not adversely affect necessary community services and values. The improvements include night lighting, which would discourage criminal activity and provide visibility for law enforcement to monitor trail activity.

6. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

The proposed trail improvements will offer a public benefit by establishing a safer route of access for pedestrian and bicycle traffic through the downtown neighborhood and connection to Aliso School. The proposed seating areas would provide rest areas for trail users to enjoy during transit. Project improvements, including but not limited to lighting and a paved trail surface will enhance the public's safe use of the area. Temporary impacts associated with construction of the trail, including but not limited to, noise, dust and water quality, would be addressed through standard conditions of approval. Overall, the trail improvements are considered to be an enhancement to the area and would not cause a detriment to the neighborhood.

1.4 Coastal Development Permit Findings

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the permit requested may be issued based on the following findings:

1. *The proposed development is in conformity with the City's certified Local Coastal Program.*

As discussed in the Planning Commission staff report dated July 7, 2025, and hereby incorporated into these Findings by reference, the project is consistent with the General Plan/Coastal Plan's applicable Land Use, Community Design, Circulation, Open Space, Recreation and Conservation, Safety, and Noise Elements' Objectives and Policies in that the project involves the construction of a new trail that would replace an existing heavily-traveled informal use trail between Carpinteria Avenue and Seventh Street. The proposed two-lane design of the multi-use trail would allow for safer pedestrian and bicycle traffic through the downtown neighborhood and provide access to Aliso School. Public trails are consistent with the allowable uses in the Medium Density Residential (MDR), General Commercial (GC), and Visitor-Serving Commercial (VC) land use categories and their corresponding zone districts, and such trails are explicitly encouraged in the Circulation and Open Space/Recreation/Conservation Elements as helping to encourage safe alternative forms of transportation and expand public recreational opportunities. The project has also been designed to be consistent with the applicable development standards of the City's Creeks Preservation Program. As such, the proposed trail improvement project is consistent with the City's certified Local Coastal Program.

**Attachment A
Exhibit 2:
Reduced Plan Set**

**Franklin Creek Trail Improvement Project
24-2281-DP/CDP/ARB**

July 7, 2025



SITE FURNISHINGS

TENTATIVE TREES AND GROUNDCOVER SPECIES

TENTATIVE TREE SPECIES SUBJECT TO REVIEW BY THE ADVISORY BOARD



PUBLIC WORKS DEPARTMENT

FRANKLIN CREEK TRAIL IMPROVEMENTS

DRAFT CONSTRUCTION DOCUMENTS

Carpinteria Avenue to Seventh Street

PROJECT DESCRIPTION

CONSTRUCTION OF A MULTIPURPOSE TRAIL LOCATED ALONG FRANKLIN CREEK BETWEEN CARPINTERIA AVENUE AND SEVENTH STREET

VICINITY MAP



PROJECT DIRECTORY

LEAD AGENCY
CITY OF CARPINTERIA
PUBLIC WORKS DEPARTMENT
5775 CARPINTERIA AVE
CARPINTERIA, CA 93013
CONTACT: JOHN ILLASIN

PROPERTY OWNER
SANTA BARBARA COUNTY FLOOD CONTROL DISTRICT
105 E ANAPAMU ST
SANTA BARBARA, CA 93101
CONTACT:

LANDSCAPE ARCHITECT
RRM DESIGN GROUP
33357 CAMINO CARPINTERIA, SUITE 205
CARPINTERIA, CA 93013
CONTACT: KAYLA DUBIELSKI

CIVIL ENGINEER
RRM DESIGN GROUP
105 E ANAPAMU ST, SUITE 200
SANTA BARBARA, CA 93101
CONTACT: MIKE HAMILTON

GEOTECHNICAL ENGINEER
EARTH SYSTEMS
2049 PRESSLER LN, SUITE E
SANTA MARIA, CA 93454
CONTACT: LUCY JOHNSON

STRUCTURAL ENGINEER
RRM DESIGN GROUP
105 E ANAPAMU ST, SUITE 102
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CONTACT: MICHAEL DOREMUS

ELECTRICAL ENGINEER
3251 CORTE MAJASO #311
CAMARILLO, CA 93012
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PHONE: (949) 361-7950

PHONE: (805) 963-8383

PHONE: (805) 978-2991

PHONE: (805) 543-1794

PHONE: (805) 389-6520

SHEET INDEX

TS001	TITLE SHEET
EC101	EROSION CONTROL PLAN
DM101	DEMOLITION DETAILS
DM102	DEMOLITION PLAN
CP101	CONSTRUCTION PLAN
CP102	CONSTRUCTION PLAN
CP301	CONSTRUCTION PLAN
CP302	CONSTRUCTION PLAN
CD301	CONSTRUCTION DETAILS
CD302	CONSTRUCTION DETAILS
S-101	STRUCTURAL GENERAL NOTES
S-102	STRUCTURAL SPECIAL INSPECTION & TESTS
S-201	STRUCTURAL TYPICAL CONCRETE & RETAINING WALL DETAILS
S-202	STRUCTURAL TYPICAL CONCRETE & RETAINING WALL DETAILS
PH101	PLAN AND PROFILE
PH102	PLAN AND PROFILE
E100	ELECTRICAL GENERAL NOTES, ABBREVIATIONS & SYMBOLS
E101	ELECTRICAL OUTDOOR TITLE 24
E300	ELECTRICAL SITE LIGHTING PLAN
E601	ELECTRICAL WIRING PHOTO METRICS
E602	ELECTRICAL DETAILS
P101	PLANTING PLAN
P102	PLANTING PLAN
PS001	PLANTING DETAILS
SP101	SIGNAGE AND STIPING PLAN
SP102	SIGNAGE AND STIPING PLAN
S0501	SIGNAGE AND STIPING DETAILS

BASIS OF BEARING & BENCH MARK

THE BASIS OF BEARINGS FOR THIS PROJECT IS BASED ON FOUND MONUMENTS FROM 110 RS 59-60.

THE BENCHMARK FOR THIS PROJECT IS BASED ON AN OPUS SOLUTION AT POINT 1000. ELEVATION = 11.79' (NAVD83)

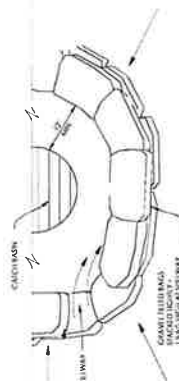
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FRANKLIN CREEK TRAIL IMPROVEMENTS CARPINTERIA AVENUE TO SEVENTH STREET		TITLE SHEET TS001	
CITY OF CARPINTERIA DEPARTMENT OF PUBLIC WORKS REVIEWED BY:		DATE	
CITY OF CARPINTERIA 5775 CARPINTERIA AVENUE CARPINTERIA, CA 93013			
NO. DATE		REVISIONS	
APRIL			
DESIGNED BY: RRM DESIGN GROUP		CHECKED BY: RRM DESIGN GROUP	
DRAWN BY: RRM DESIGN GROUP		SCALE: AS SHOWN	
PROJECT LOCATION: CARPINTERIA, CA		PROJECT NO.: 18037	
SHEET NO.: 18037		SHEET OF 29	
DATE: 01/12/2025		TITLE: TS001	



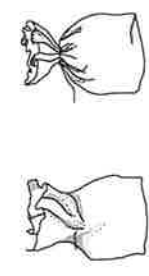
SILT FENCE

- [illegible]

SILT FENCE CONSTRUCTION DETAIL



CATCH BASIN INLET SEDIMENT BARRIER

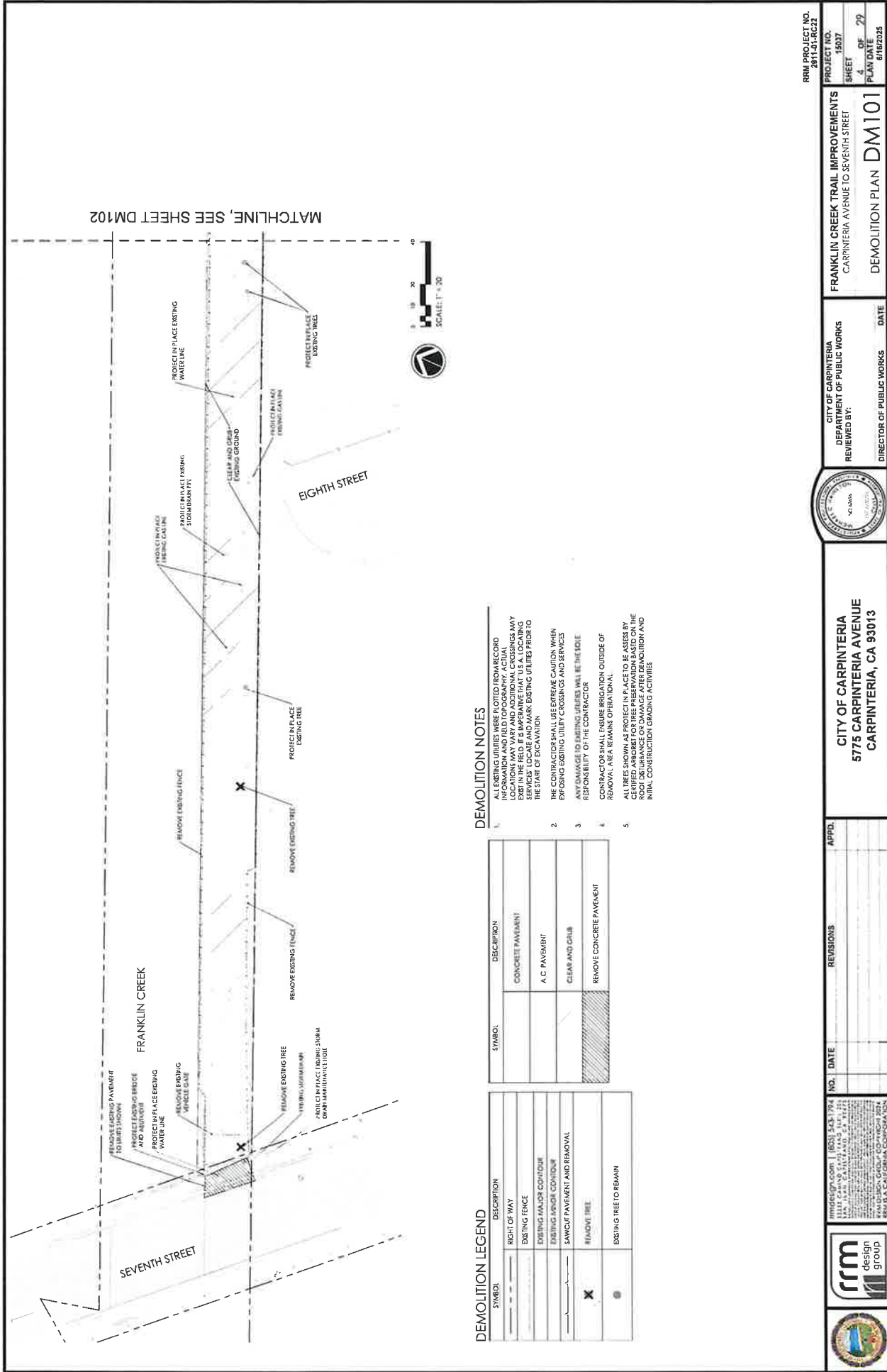


GRAVEL BAG INSTALLATION



TYPICAL CONCRETE WASH-OFF AREA SECTION

[illegible]



MATCHLINE, SEE SHEET DM102

DEMOLITION NOTES

1. ALL EXISTING UTILITIES WERE PLOTTED FROM RECORD INFORMATION AND FIELD TOPOGRAPHY. ACTUAL LOCATIONS MAY VARY AND ADDITIONAL CROSSINGS MAY BE DISCOVERED DURING EXCAVATION. THE CONTRACTOR SHALL LOCATE AND MARK EXISTING UTILITIES PRIOR TO THE START OF EXCAVATION.
2. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXPOSING EXISTING UTILITY CROSSINGS AND SERVICES.
3. ANY DAMAGES TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
4. CONTRACTORS SHALL ENSURE BRIGADION OUTSIDE OF REMOVAL AREA REMAINS OPERATIONAL.
5. ALL TREES SHOWN AS PROJECT IN PLACE TO BE ASSESSED BY A QUALIFIED ARBORIST PRIOR TO REMOVAL. THE ROOT DEPTH OF DAMAGE AFTER DEMOLITION AND INITIAL CONSTRUCTION GRADING ACTIVITIES.

DEMOLITION LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	RIGHT OF WAY	CONCRETE PAVEMENT	
---	EXISTING FENCE	A.C. PAVEMENT	
---	EXISTING MAJOR CONDUIT	CLEAR AND GRUB	
---	EXISTING MINOR CONDUIT	REMOVE CONCRETE PAVEMENT	
---	SAWCUT PAVEMENT AND REMOVAL		
---	REMOVE TREE		
---	EXISTING TREE TO REMAIN		



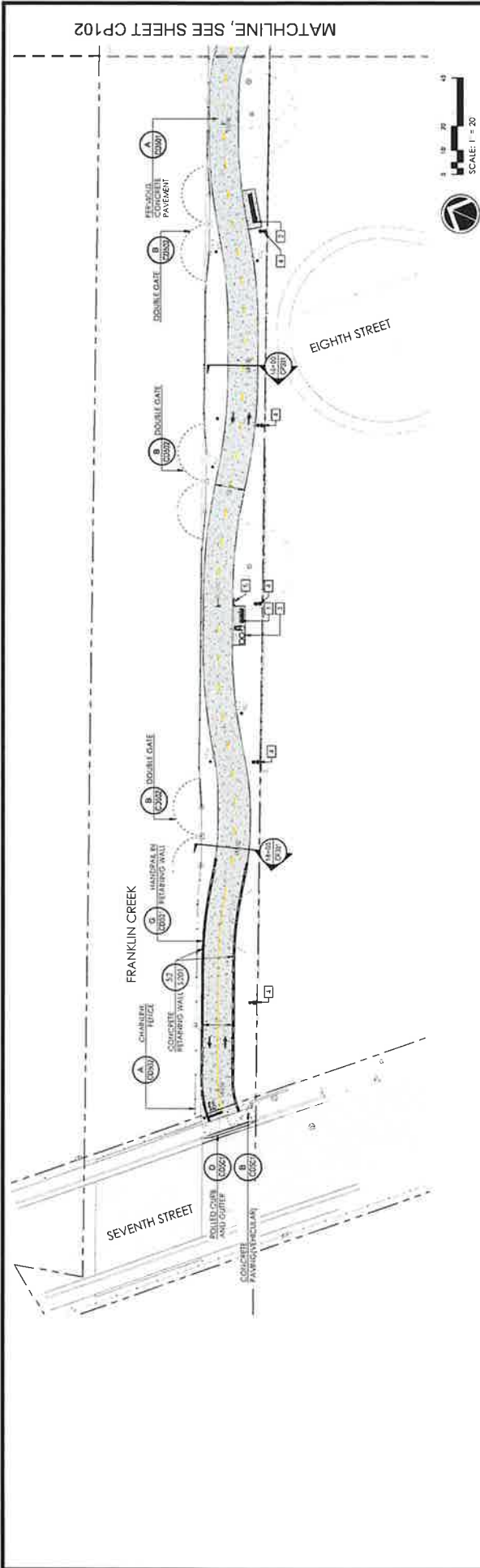
FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY: _____
DIRECTOR OF PUBLIC WORKS _____ DATE _____

DEMOLITION PLAN DM101

RRM PROJECT NO. 2018-00022

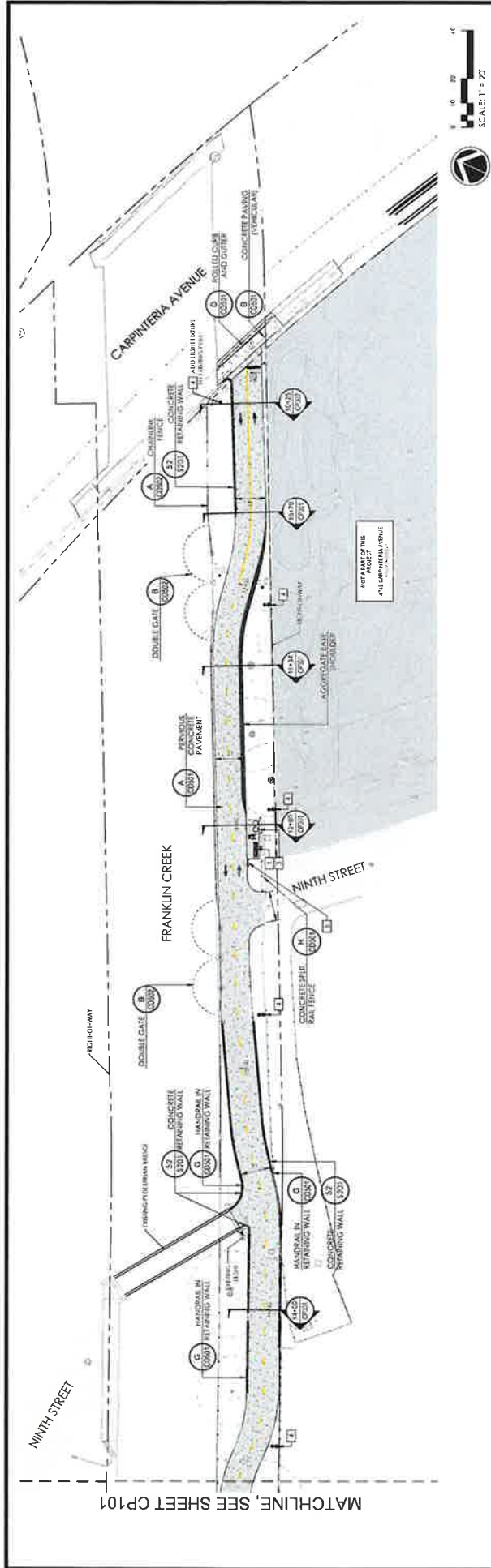
PROJECT NO. 10017
SHEET 4 OF 29
PLAN DATE 6/18/2023



MATCHLINE, SEE SHEET CP102

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
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2	BENCHTOP 2\"
3	ANCHOR BOLT 1\"
4	ANCHOR BOLT 2\"
5	ANCHOR BOLT 3\"
6	ANCHOR BOLT 4\"
7	ANCHOR BOLT 5\"
8	ANCHOR BOLT 6\"
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115	ANCHOR BOLT 606\"
116	ANCHOR BOLT 612\"
117	ANCHOR BOLT 618\"
118	ANCHOR BOLT 624\"
119	ANCHOR BOLT 630\"
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124	ANCHOR BOLT 660\"
125	ANCHOR BOLT 666\"
126	ANCHOR BOLT 672\"
127	ANCHOR BOLT 678\"
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129	ANCHOR BOLT 690\"
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131	ANCHOR BOLT 702\"
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133	ANCHOR BOLT 714\"
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366	ANCHOR BOLT 2112\"
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459	ANCHOR BOLT 2670\"
460	ANCHOR BOLT 2676\"
461	ANCHOR BOLT 2682\"
462	ANCHOR BOLT 2688\"



MATCHLINE, SEE SHEET CP101



LEGEND

SYMBOL	DESCRIPTION
[Symbol]	RIGHT OF WAY
[Symbol]	EXISTING FENCE
[Symbol]	RETAINING WALL
[Symbol]	RETAINING WALL WITH HANDRAIL
[Symbol]	CHAIN LINK FENCE
[Symbol]	SPRUE RAIL FENCE
[Symbol]	SIGNS
[Symbol]	EXISTING TREE
[Symbol]	TRAIL LIGHT
[Symbol]	INTERPRETIVE PANEL
[Symbol]	EXISTING CONCRETE PAVEMENT
[Symbol]	EXISTING A.C. PAVEMENT
[Symbol]	PROPOSED CONCRETE PAVEMENT (TRUCKLAN)
[Symbol]	PROPOSED PERVIOUS CONCRETE PAVEMENT

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	BENCH TYPE 1 ANDOWA TRMCS MADEON 871 THUNDERY CONTOUR BENCH
2	BENCH TYPE 2 ANDOWA TRMCS FPM 11 X 24 IN. W X 72 IN. L THERMORY
3	TRASH RECYCLAGE ANDOWA TRMCS MADEON 33 GALLON RECYCLED PLASTIC RECYCLAGE BENCH TOP
4	LIGHT FIXTURES SEE ELECTRICAL PLAN
5	INTERPRETIVE PANEL

ARM PROJECT NO.
2811-131-RC22
PROJECT NO.
18037
SHEET
7 OF 29
PLAN DATE
6/16/2025

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET
CONSTRUCTION CP102
PLAN

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:
DIRECTOR OF PUBLIC WORKS



CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

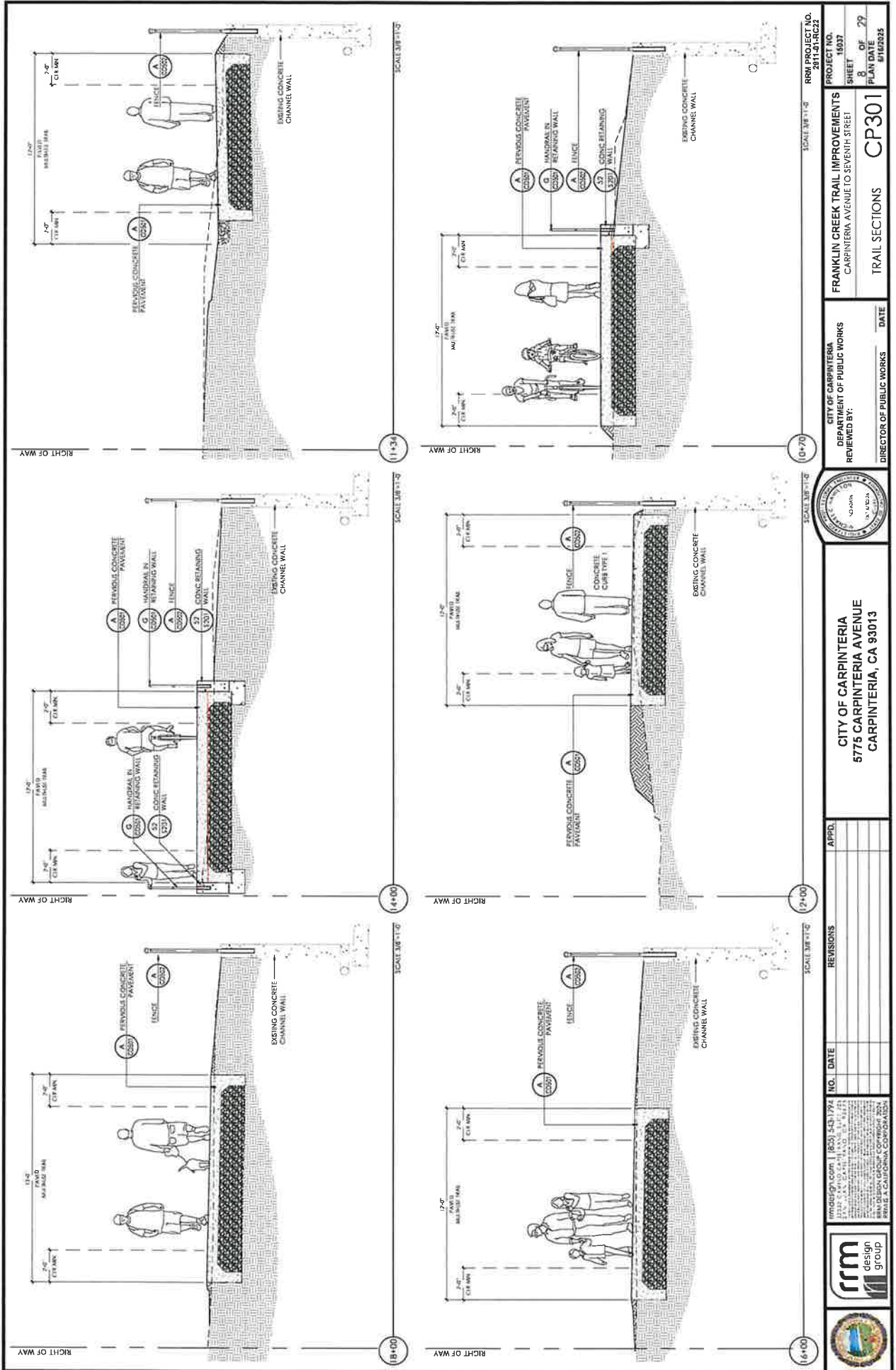
APPRO.

NO.	DATE	REVISIONS

NO.	DATE	REVISIONS

ARM design group
11111 CARPINTERIA AVENUE, SUITE 100
CARPINTERIA, CA 93013
TEL: 805.485.1111
WWW.ARMDESIGNGROUP.COM
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CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET

CP301

PROJECT NO. 2017-15R22

SHEET 8 OF 29

PLAN DATE 01/16/2025

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:

DIRECTOR OF PUBLIC WORKS

DATE

NO. DATE

REVISIONS

APPRO.



rrm design group

imagination.com | 805.543.1792
1725 CARPINTERIA AVENUE, SUITE 200
CARPINTERIA, CA 93013
BRANDON GROUP CONTRACT NO. 2017-15R22
DESIGNED BY: BRANDON GROUP
DRAWN BY: BRANDON GROUP
CHECKED BY: BRANDON GROUP
APPROVED BY: BRANDON GROUP



RRM PROJECT NO. 08-1-01-000

PROJECT NO.	15037
SHEET	

PLAN DATE
8/18/2025

DEAR

DIRECTOR



DETAIL
C NTS

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0-100

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17.10


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CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:

DIRECTOR OF PUBLIC WORKS

FRANKLIN CREEK TRAIL IMPROVEMENTS

CARPINTERIA AVENUE TO SEVENTH STREET

CONSTRUCTION DETAILS

CD501

RRM PROJECT NO.
2911-01-RC22

PROJECT NO.
15037

SHEET
10 OF 29

PLAN DATE
6/16/2025

RMU PROJECT NO.
24114-10022

PROJECT NO.
15017

SHEET
11 OF 27

PLAN DATE
8/16/2025

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET

CONSTRUCTION
DETAILS

CD502

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:

DIRECTOR OF PUBLIC WORKS

DATE



CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

NO. DATE

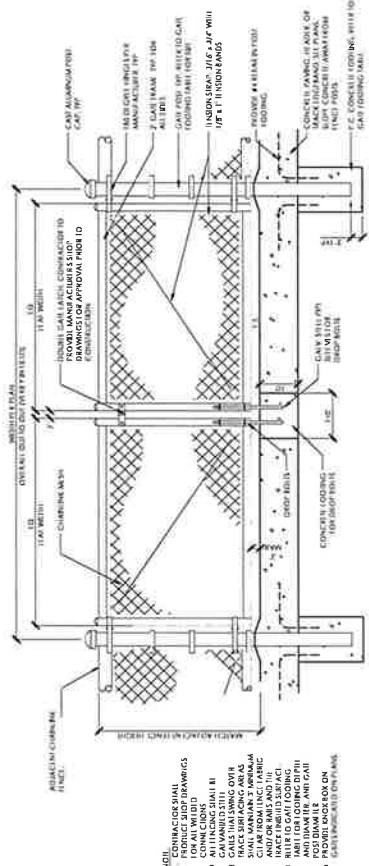
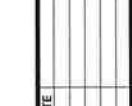
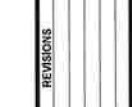
REVISIONS

APPRO.

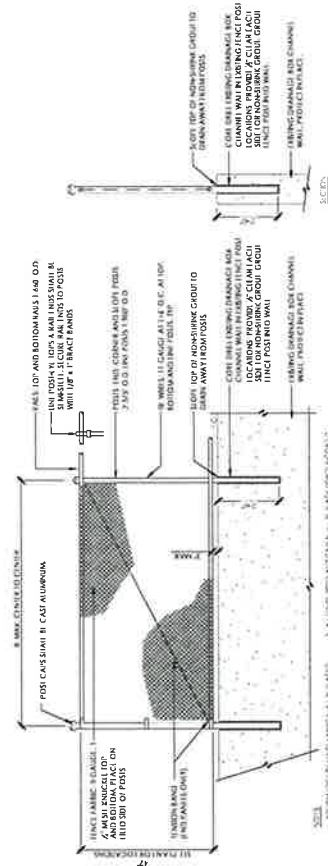
introduction.com | (805) 543-1794

11207 CARPINTERIA AVENUE, SUITE 100
CARPINTERIA, CA 93013

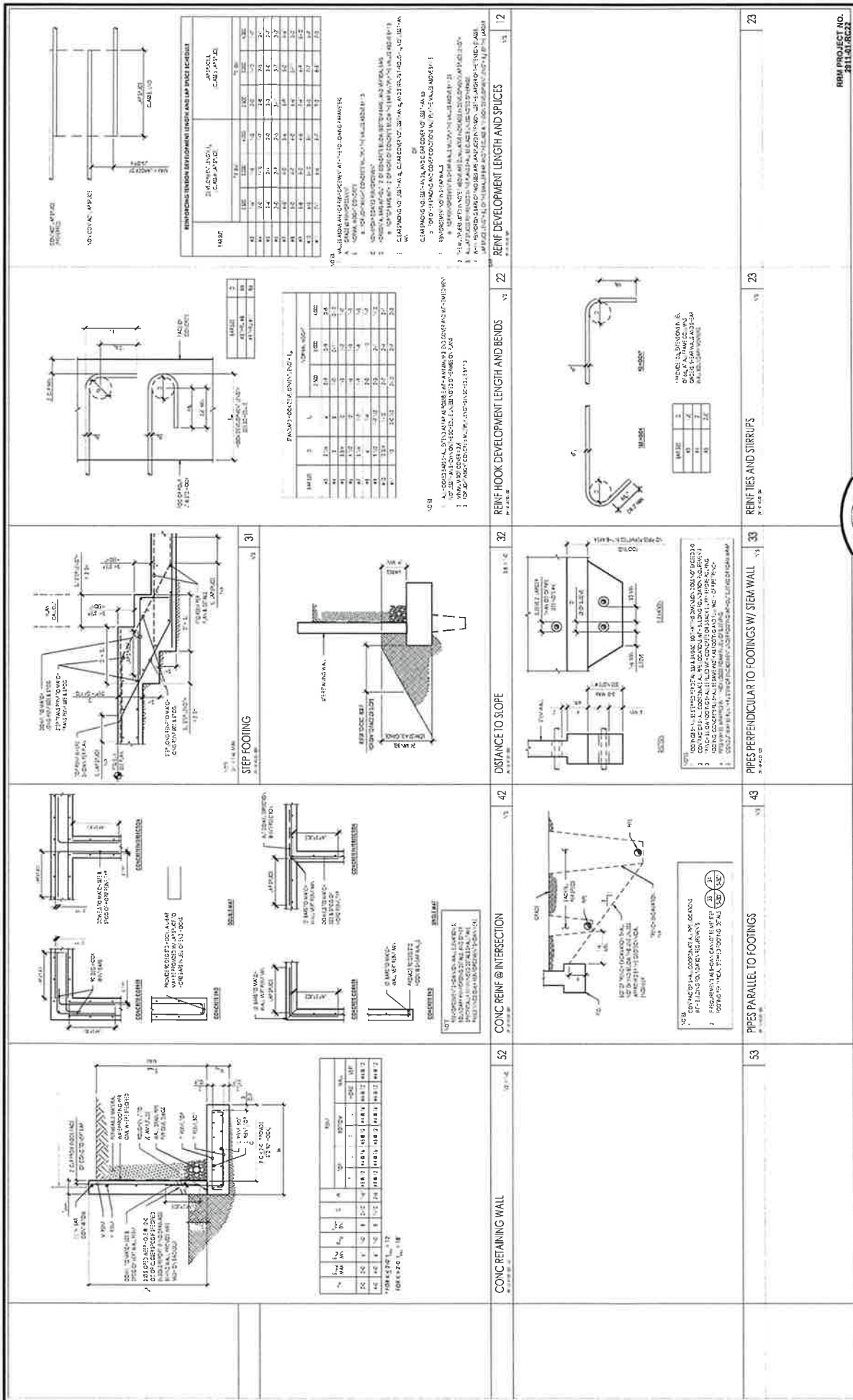
PRM DESIGN GROUP, COPYRIGHT 2024
PRM IS A CALIFORNIA CORPORATION



B DOUBLE GATE
34' x 12'



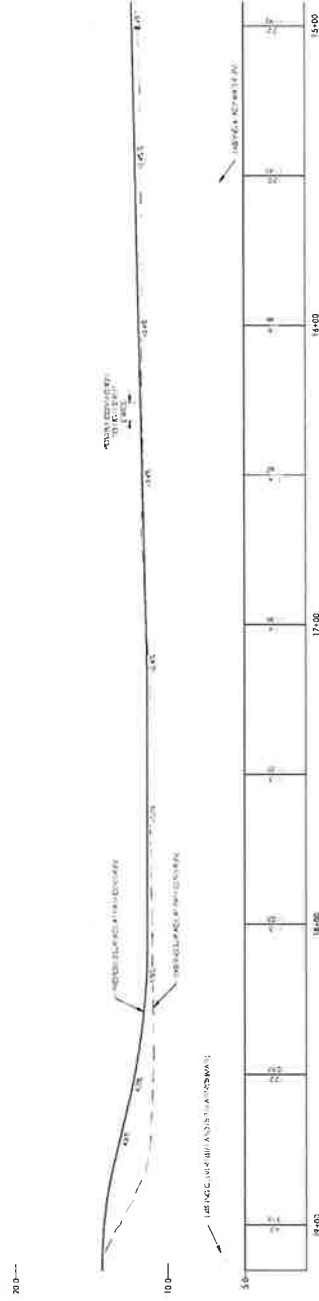
A CHAINLINK FENCE
10' x 12'





SCALE: 1" = 20'

SYMBOL	DESCRIPTION
	RIGHT OF WAY
	PAINTING FENCE
	RETAINING WALL
	RETAINING WALL WITH HANDRAIL
	SIGNS
	EXISTING TREE
	TRAIL LIGHT
	INTERPRETIVE PANEL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING CONCRETE PAVEMENT
	EXISTING A.C. PAVEMENT
	PROPOSED CONCRETE PAVEMENT (VEHICULAR)
	PROPOSED PERFOROUS CONCRETE PAVEMENT



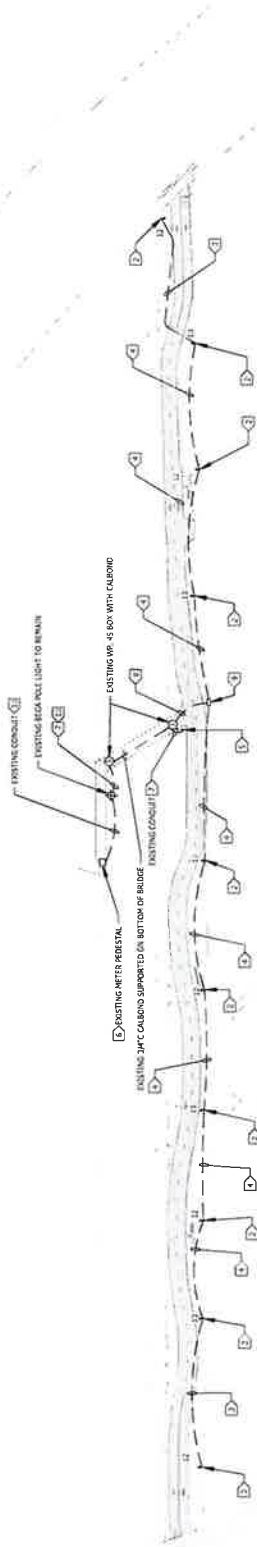
										RRM PROJECT NO. 2814016023
										CITY OF CARPINTERIA DEPARTMENT OF PUBLIC WORKS REVIEWED BY:
CITY OF CARPINTERIA 5775 CARPINTERIA AVENUE CARPINTERIA, CA 93013										FRANKLIN CREEK TRAIL IMPROVEMENTS CARPINTERIA AVENUE TO SEVENTH STREET
REVISIONS										SHEET 16 OF 29
NO. DATE										PLAN DATE 9/16/2025
APPD.										DIRECTOR OF PUBLIC WORKS DATE

KEY NOTES:

- EXISTING POLE LIGHT, REMOVE AND REPLACE
- NEW POLE LIGHT (SEE PLAN) 8'x8'x10' POLE BASE DESIGN & ANCHORING FOR EXIST LOCATION, USE ARCHITECTURAL LIGHTING MODEL # 8 POLE DESCRIPTION PER EXIST. POLE LIGHT SHALL BE 8'x8'x10' POLE LIGHT
- TC 1410 & 1410 CHD, CIRCUITS AS NOTED
- TC 1410 & 1410 CHD, CIRCUITS AS NOTED
- EXISTING POLE TO REMAIN
- EXISTING RECESSED, PROVIDE NEW #10 & 1410 GROUND FROM (2) NEW SINGLE POLE 20A LIGHTS (2) 107A
- EXISTING CONDUIT AS NOTED TO REMAIN
- NEW TC 1410 & 1410 CHD TO NEW POLE BOX (3)
- NEW POLE BOX - 12" X 12" X 18" TYPICAL WATER PULLERS WITH BOLT DOWN COVER WITH TYPICAL POLE BOX
- ADD #10 & 1410 GROUND TO EXISTING CONDUIT

SHEET NOTES:

- CONTRACTOR SHALL FIELD VERIFY LOCATION & REQUIREMENTS OF ALL DEVICES REQUIRING ELECTRICAL CONNECTION PRIOR TO BEING PROPOSED, ROUNDED AND FINISH
- CONTRACTOR SHALL, IN ADDITION TO ALL OTHERS, PROVIDE CONDUITS & CONDUIT SET TO ALLOW FOR VOLTAGE DROP SHOULD THE CONTRACTOR DECIDE ROUTING INDICATED ON DRAWING. ENGINEER OF RECORD MUST BE NOTIFIED PRIOR TO ANY DEVIATIONS FROM APPROVED PLAN (SEE PLAN) SET TO DRAWING
- CONTRACTOR SHALL PROVIDE ALL NECESSARY FIELD VERIFICATION, FIELD MEASUREMENTS, AND FIELD CORRECTIONS TO ALL ELECTRICAL CONNECTIONS, DEVICES, AND WIRING REQUIRED WHETHER SHOWN ON ELECTRICAL DRAWINGS OR NOT
- CONTRACTOR SHALL FURNISH AND INSTALL ALL DEVICES AS REQUIRED TO INSTALL AND MAINTAIN ALL ELECTRICAL CONNECTIONS, DEVICES, AND WIRING IN ACCORDANCE WITH ALL APPLICABLE NATIONAL ELECTRICAL CODE AND ALL LOCAL AUTHORITIES HAVING JURISDICTION
- 1" CONDUIT MINIMUM SIZE
- PROVIDE CODE SIZE EQUIPMENT GROUNDING CONDUCTORS IN ALL OCCURRED CONDUITS
- VERIFY THE EXACT ROUTING OF ALL EXPOSED CONDUIT WITH OWNER PRIOR TO INSTALLATION



VERIFY EXACT POLE BASE LOCATION ON
ARCHITECTURAL / LANDSCAPE PLANS

SITE LIGHTING PLAN
SCALE: 1"=40'-0"



ARM PROJECT NO.
21114-00022

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET
SHEET 20 OF 29
DATE 3/17/2025

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:
DIRECTOR OF PUBLIC WORKS
DATE



CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

NO.	DATE	REVISIONS	APPRO.

LEAH A. JASPERLITZ, INC.
LEAH A. JASPERLITZ, INC.
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LEAH A. JASPERLITZ, INC.
LEAH A. JASPERLITZ, INC.



FIXTURE SCHEDULE

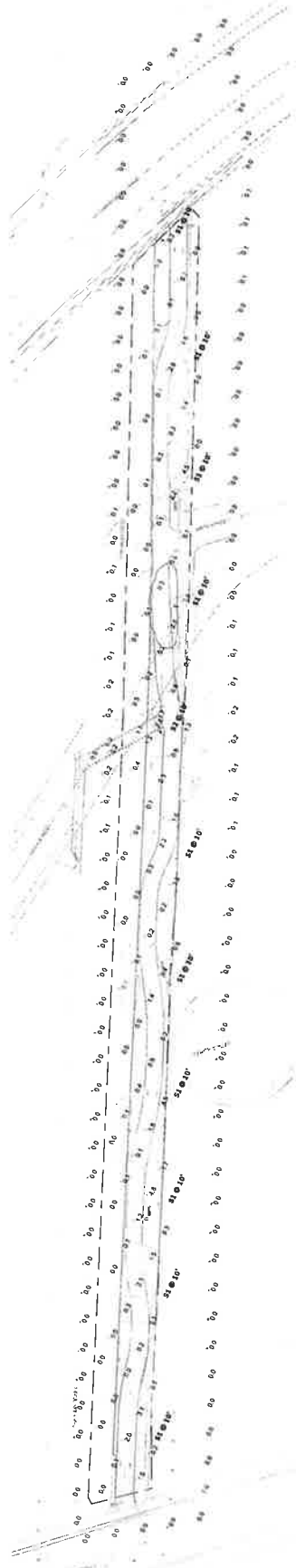
Symbol	Label	Quantity	Manufacturer	Description	Source	Lumen Per LED	LF	Input Power	Catalog Number	Notes
Ⓢ1	S1	18	U.S. ARCHITECTURAL LIGHTING	FABRICATED METAL HOUSING, 1 LED MODULE CONSISTING OF 1	LED 3000K -80CRI	171	0.92	30.5	5500A-LED-VQ-W- TYPKMY1030T-1PFT TALL W/ BASEPLATE WITH HOUSE SIDE SHIELD	10 FT MOUNTING HEIGHT WITH HOUSE SIDE SHIELD
Ⓢ2	S2	1	U.S. ARCHITECTURAL LIGHTING	FABRICATED METAL HOUSING, 1 LED MODULE CONSISTING OF 1	LED 3000K -80CRI	235	0.92	35.5	5500A-LED-VQ-W- TYPKMY1030T-1PFT TALL W/ BASEPLATE WITH HOUSE SIDE SHIELD	10 FT MOUNTING HEIGHT WITH HOUSE SIDE SHIELD

STATISTICS

Description	Symbol	Area	Perim	Area	Perim	Area	Perim	Area	Perim
1	S1	18	18	18	18	18	18	18	18
2	S2	1	1	1	1	1	1	1	1

LUMINAIRE LOCATIONS

No	Label	X	Y	Alt
2	S2	600.78	115.47	10.00
14	S1	155.98	-91.67	10.00
28	S1	247.14	-53.35	10.00
29	S1	374.77	1.25	10.00
30	S1	307.35	-27.56	10.00
31	S1	447.35	34.44	10.00
32	S1	527.64	67.41	10.00
33	S1	687.26	139.90	10.00
34	S1	765.11	177.02	10.00
35	S1	840.62	214.13	10.00
36	S1	918.24	266.34	10.00



SITE LIGHTING PHOTOMETRICS

SCALE: NTS



CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET

ARM PROJECT NO.
2017-14-1622

PROJECT NO.
2017-14-1622

SHEET
21 OF 29

PLAN DATE
3/17/2025

DATE
3/17/2025

REVISIONS

NO.
1

DATE
3/17/2025

APPRO.
[Signature]

DESIGNER
[Signature]

ARM PROJECT NO.
2017-14-1622

PROJECT NO.
2017-14-1622

SHEET
21 OF 29

PLAN DATE
3/17/2025

DATE
3/17/2025

REVISIONS

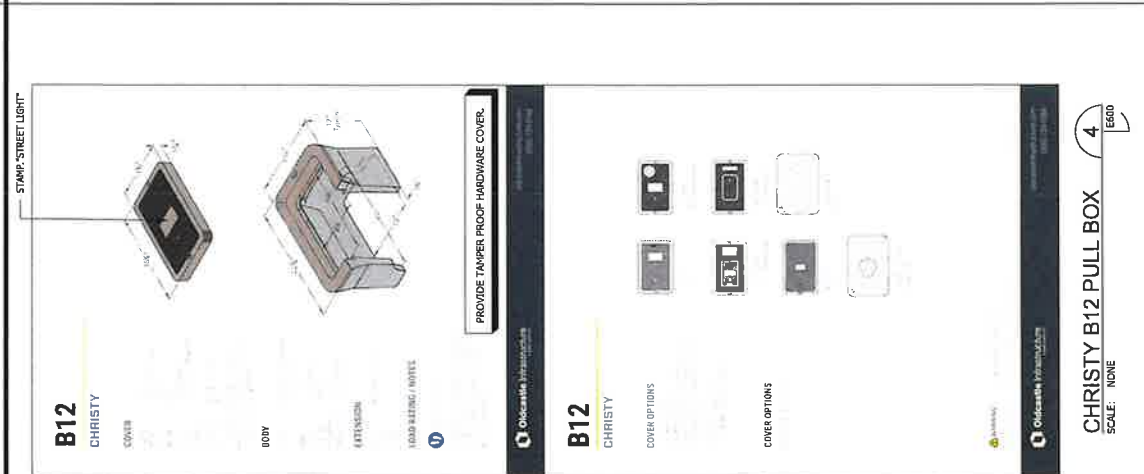
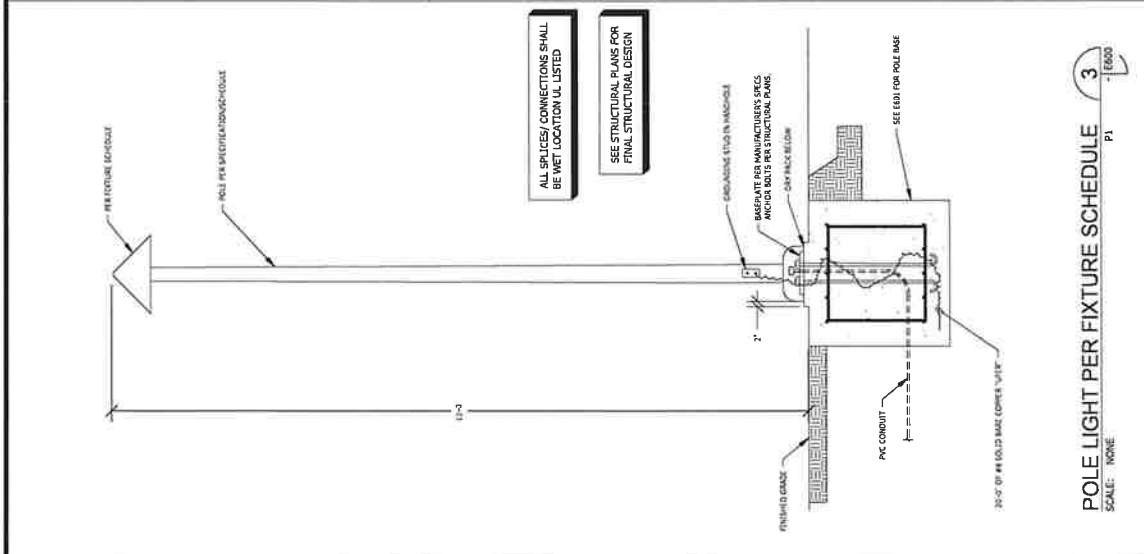
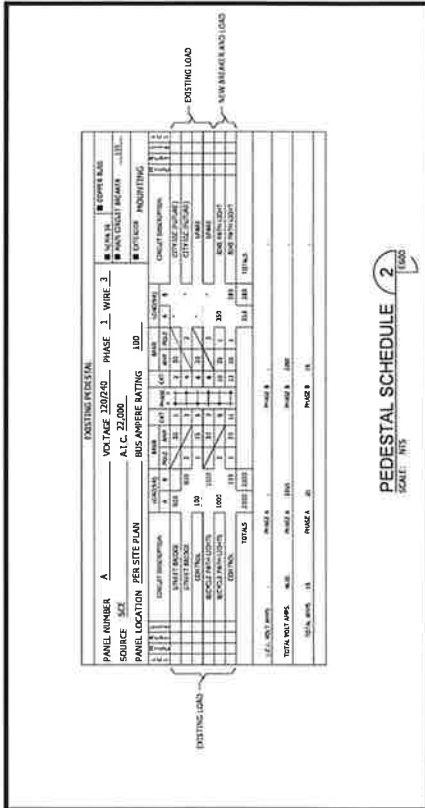
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DATE
3/17/2025

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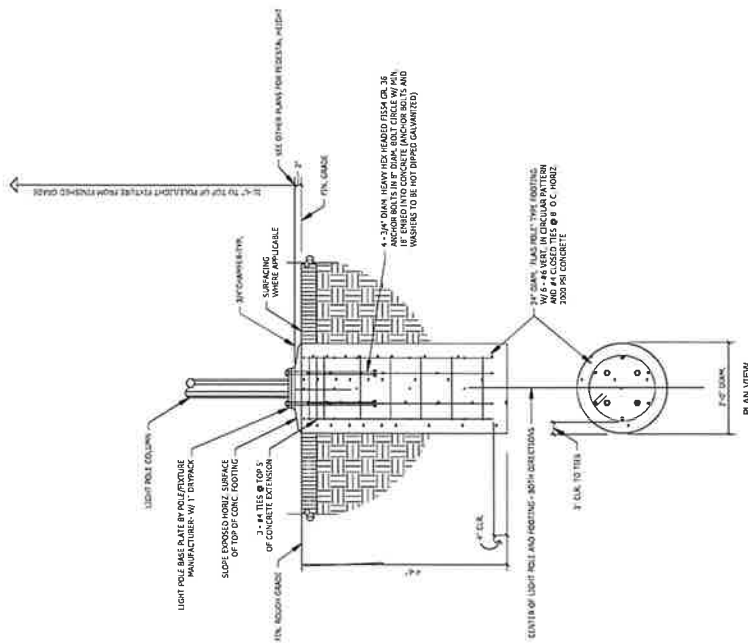
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 CITY OF CARPINTERIA 5775 CARPINTERIA AVENUE CARPINTERIA, CA 93013	FRANKLIN CREEK TRAIL IMPROVEMENTS CARPINTERIA AVENUE TO SEVENTH STREET		PROJECT NO. 23-753	RRM PROJECT NO. 2013-01-0022
	REVIEWED BY:		SHEET 22 OF 29	PLAN DATE 3/17/2026
CITY OF CARPINTERIA DEPARTMENT OF PUBLIC WORKS		ELECTRICAL DETAILS		E600
DIRECTOR OF PUBLIC WORKS		DATE		

10' HIGH LIGHT POLE - FOOTING DETAIL 1
SCALE: NONE
- E500

SCALE: NONE



GENERAL NOTES

GENERAL

1. THE WORK SHALL CONFORM WITH THE 2023 CALIFORNIA BUILDING CODE, CIRC.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION AND BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR INADEQUACIES.
3. NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE WEAKENED EXCEPT AS ALLOWED BY THE CALIFORNIA BUILDING CODE.
4. THE ENGINEER SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFAMILIAR CONDITION WHICH EXISTS IN THE STRUCTURAL STABILITY OF THE EXISTING STRUCTURE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORK. THEREAFTER, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR INADEQUACIES PRIOR TO CONTINUING WITH THE WORK.
5. PART OF THE WORK IS A MODIFICATION OF THE MOST RESTRICTIVE SMALL AREA OF THE CLAIMED OR OTHERWISE APPROVED BY THE ENGINEER.
6. REVIEW OF SHOP DRAWINGS MEANS REVIEW OF GENERAL METHOD OF FABRICATION AND NOT THE SHOP DRAWINGS DOES NOT BELIEVE THE CONTRACTOR'S CLAIM OF CONFORMANCE WITH THE REVIEW DOCUMENT.
7. THE ENGINEER HAS NOT BEEN RETAINED FOR SUPERVISION OR INSPECTION DURING CONSTRUCTION, BUT WILL RESERVE STRUCTURAL INSPECTION DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONNEL AND ADJACENT PROPERTY ELEMENTS OF THE STRUCTURE DURING CONSTRUCTION TO PREVENT THE COLLAPSE OF THE STRUCTURE.

FOUNDATION

1. THERE IS NO SOILS REPORT FOR THIS PROJECT AND AN ASSUMED BEARING VALUE OF 20 PSF (96 K) AND PASSIVE VALUE OF 150 PSF/FOOT WITH A 2% INCREASE PER CFT TAKEN TO 3 AND 5 INCHES. ALSO A 1% INCREASE FOR WIND SEISMIC HAS BEEN USED IN THE DESIGN OF THE 4" X 20" PILE-TYPE FOOTINGS.
2. ALL FOOTINGS SHALL BE PLACED IN FIRM UNDISTURBED SOILS.

CONCRETE

1. ALL CONCRETE UNLESS OTHERWISE SHOWN ON THE PLANS SHALL BE AIR-ENCLOSED CONFORMING TO ASTM C 318, TYPE I, WITH A MINIMUM OF 5% AIR ENTRAINMENT. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AIR-ENCLOSED CONCRETE TEST METHOD, ASTM C 261.
2. AGGREGATE FOR THE CONCRETE SHALL CONFORM TO ASTM C 33, INCLUDING APPENDIX "X".
3. THE CONTRACTOR SHALL TAKE ADEQUATE PRECAUTIONS FOR CONCRETE DURING UNFAVORABLE WEATHER CONDITIONS.
4. ALL REINFORCING STEEL SHALL BE NEW STOCK DEFORMED BARS WITH A MINIMUM YIELD STRENGTH OF 60,000 PSI. ALL REINFORCING STEEL SHALL BE GRADE 40. ALL WELDED REINFORCING STEEL SHALL BE ASTM A 706.
5. ALL REINFORCING STEEL SHALL BE PROTECTED BY AN INERT, NON-OXIDIZING, NON-FLAMMABLE, NON-CORROSIVE, NON-TOXIC, OTHER MATERIALS WHICH MAY BE ADDED TO THE CONCRETE. ALL BARS BENDS SHALL BE MADE COLD.
6. PROVIDE 3/4" CHAIRS ON ALL EXPOSED CORNERS.
7. PROVIDE 1/2" CHAIRS ON ALL EXPOSED EDGES.
8. ALL REINFORCING STEEL SHALL BE LAP JOINTED. LAP JOINTS SHALL BE PLACED AT LEAST 40" FROM ANY CORNER OR JOINT. LAP JOINTS SHALL BE OVERLAPPED BY THE FOLLOWING COVER:

CONCRETE POURED AGAINST EARTH	3 INCHES
CONCRETE BEAMS AND COLUMNS	2 INCHES
CONCRETE SLABS	1 INCH
9. REINFORCING STEEL SHALL BE WELDED IN THE FOLLOWING COVER:

CONCRETE POURED AGAINST EARTH	3 INCHES
CONCRETE BEAMS AND COLUMNS	2 INCHES
CONCRETE SLABS	1 INCH
10. DRIP EDGES SHALL BE MOVED 2" FROM THE FACE OF THE CURB TO PROVIDE A STIFF AIR DRAPEK SHALL BE THOROUGHLY TAPPED INTO PLACE TO ENSURE Airtight SEAL. THE FACE OF JOINTS SHALL BE FINISHED TO MATCH THE ADJACENT SURFACES.
11. UNIFORM PLATES SHALL BE USED TO CONSOLIDATE THE CONCRETE. ALL JOINTS SHALL BE PROTECTED BY AN INERT, NON-OXIDIZING, NON-FLAMMABLE, NON-CORROSIVE, NON-TOXIC, OTHER MATERIALS WHICH MAY BE ADDED TO THE CONCRETE. ALL BARS BENDS SHALL BE MADE COLD.
12. ALL CONCRETE SHALL BE ADEQUATELY CONSOLIDATED DURING PLACEMENT AND ALL REINFORCING STEEL AND EMBEDDED ITEMS SHALL BE PROTECTED TO PREVENT DISJUNCT CURING.
13. EXCEPT WHERE INDICATED OTHERWISE, ALL REINFORCING STEEL SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE STANDARD PRACTICE AND THE SPECIFICATIONS FOR PLACING AND FINISHING CONCRETE, AND THE SPECIFICATIONS FOR REINFORCING STEEL OF THE CONCRETE REINFORCING STEEL INSTITUTE.

ABBREVIATIONS

[illegible]

SPECIAL INSPECTIONS

PROVIDE SPECIAL INSPECTION BY A LICENSED DEPUTY INSPECTOR APPROVED BY THE LOCAL BUILDING OFFICIAL FOR THE FOLLOWING WORK IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 17 OF THE CALIFORNIA BUILDING CODE

- 1 FOR ALL CONCRETE WITH AN F_c OVER 2 500 psi
- 2 FOR ALL REINFORCING STEEL WHICH IS PLACED IN CONCRETE WITH AN F_c
OVER 2 500 psi
- 3 AS NOTED ELSEWHERE IN THE PLANS OR ON DETAILS



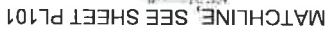
DID YOU KNOW THAT TWO MONTHS AGO, BEFORE YOU DID



LEGEND

SYMBOL	DESCRIPTION
	RIGHT OF WAY
	EXISTING FENCE
	RETAINING WALL
	CHAIN LINK FENCE
	SPLIT RAIL FENCE
	SONS
	EXISTING TREE
	TRAIL LIGHT
	INTERPRETIVE PANEL
	EXISTING CONCRETE PAVEMENT
	EXISTING A.C. PAVEMENT
	PROPOSED CONCRETE PAVEMENT: (WETLANDS)
	PROPOSED PERVIOUS CONCRETE PAVEMENT
	PROPOSED MULCH

[illegible]



FRANKLIN CREEK

NINTH STREET

NOT A PART OF THIS PROJECT
4145 CALIFORNIA AVENUE



SCALE: 1" = 20'

LEGEND

SYMBOL	DESCRIPTION
	RIGHT OF WAY
	EXISTING FENCE
	RETAINING WALL
	RETAINING WALL WITH HANDRAIL
	CHAIN LINK FENCE
	SPLIT RAIL FENCE
	SIGNS
	EXISTING TREE
	TRAIL LIGHT
	INTERPRETIVE PANEL
	EXISTING CONCRETE PAVEMENT
	EXISTING A.C. PAVEMENT
	PROPOSED CONCRETE PAVEMENT (VEHICULAR)
	PROPOSED PREVIOUS CONCRETE PAVEMENT
	PROPOSED MULCH

RRM PROJECT NO.

PROJECT NO. 2911-01-RC22

15037

SHEET
25 OF 29

PLAN DATE
4/16/2025

1

CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET
PLANTING PLAN
PL102

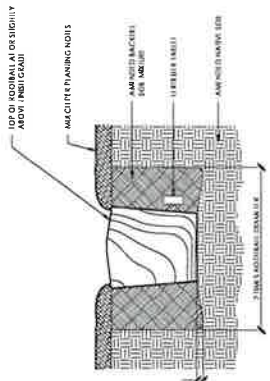
PROJECT NO. 15037	SHEET 25 OF 29	PLAN DATE 5/16/2025
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FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET
PLANTING PLAN
PL102

DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:

CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

[illegible][illegible]



B SHRUB PLANTING
10' x 10'

RM-200-30110127



A TREE PLANTING WITH WOOD STAKES
10' x 10'

RM-200-30110137

RRM PROJECT NO.
251101R22

PROJECT NO.
15077

SHEET
26 OF 29

PLAN NO.
0102023

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET

PLANTING DETAILS PD501

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:

DIRECTOR OF PUBLIC WORKS

DATE

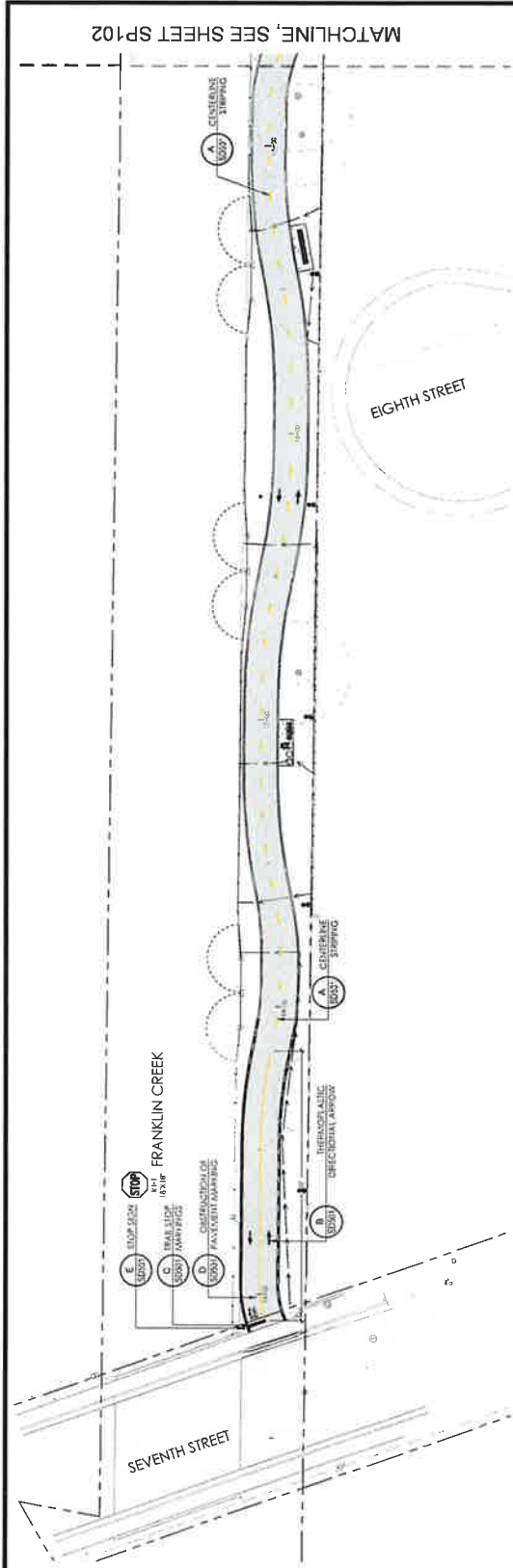


CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

NO.	DATE	REVISIONS	APPRO.

rmrdesign.com | (805) 343-1794
11111 CANAVAS AVENUE, SUITE 100
CARPINTERIA, CA 93013
WWW.RMRDESIGN.COM
REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
STATE OF CALIFORNIA LICENSE NO. 224
KRISTIN A. CALIFORNIA CORPORATION





MATCHLINE, SEE SHEET SP102



LEGEND

SYMBOL	DESCRIPTION
	RIGHT OF WAY
	EXISTING FENCE
	RETAINING WALL
	RETAINING WALL WITH HANDRAIL
	CHAIN LINK FENCE
	SPUR RAIL FENCE
	SIGN
	EXISTING TREE
	TRAIL LIGHT
	EXISTING CONCRETE PAVEMENT
	EXISTING A.C. PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED IMA PAVEMENT

CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

FRANKLIN CREEK TRAIL IMPROVEMENTS
CARPINTERIA AVENUE TO SEVENTH STREET

SIGNING AND STRIPING PLAN

SP101

RM PROJECT NO. 21141-HC22

PROJECT NO. 1537

SHEET 27 OF 29

PLAN DATE 3/14/2025

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
REVIEWED BY:

CITY OF CARPINTERIA
DEPARTMENT OF PUBLIC WORKS
DATE

NO. DATE

REVISIONS

APPRO.

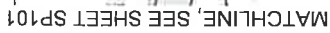
inroadgroup.com | (805) 343-1794

125 JUAN CANTERO, CA 93013

WWW.INROADGROUP.COM

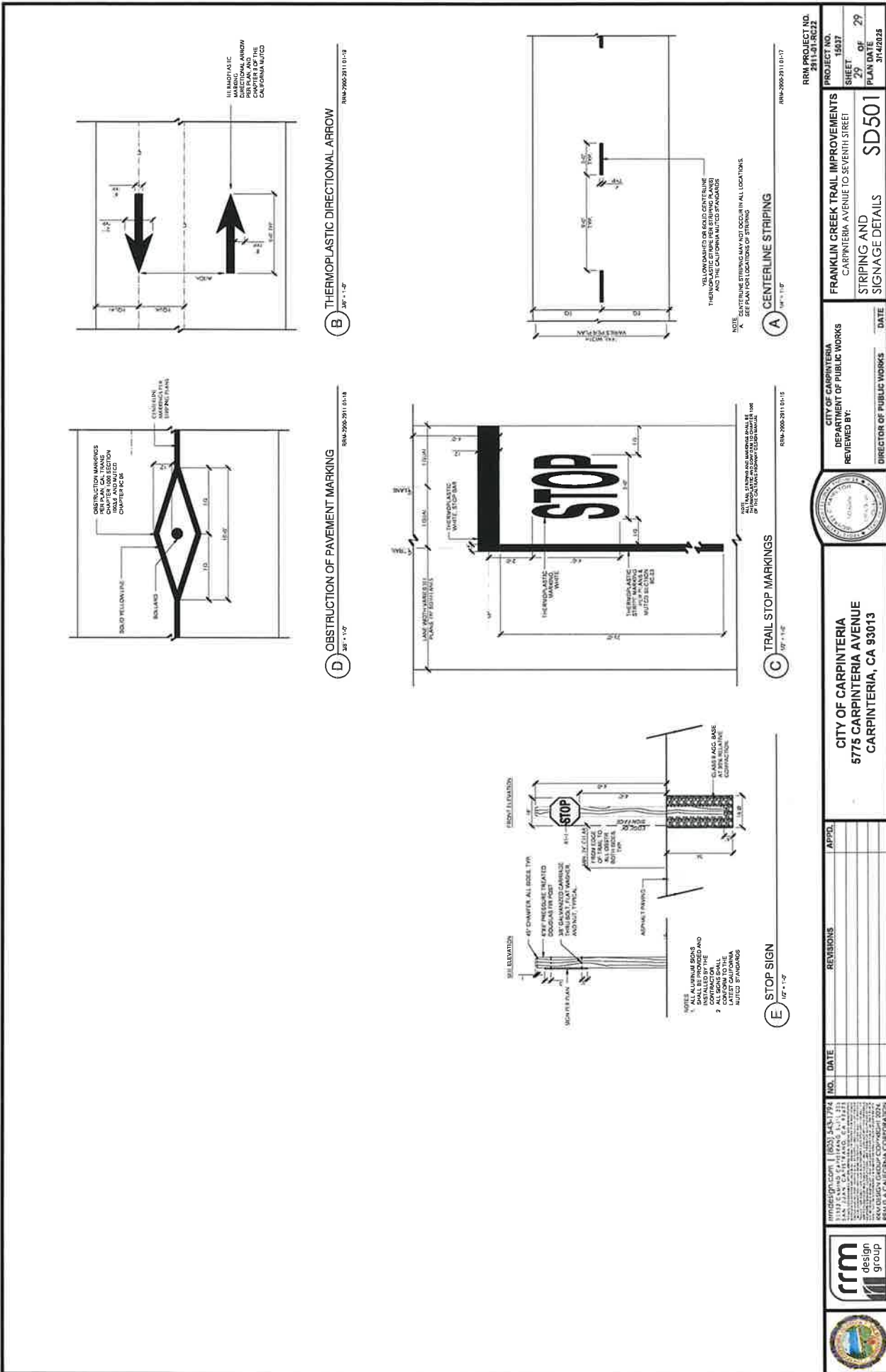
INROAD GROUP, A COMPANY OF

STATE OF CALIFORNIA CORPORATION



LEGEND

[illegible]



		CITY OF CARPINTERIA 5775 CARPINTERIA AVENUE CARPINTERIA, CA 93013		CITY OF CARPINTERIA DEPARTMENT OF PUBLIC WORKS REVIEWED BY: DIRECTOR OF PUBLIC WORKS		FRANKLIN CREEK TRAIL IMPROVEMENTS CARPINTERIA AVENUE TO SEVENTH STREET STRIPING AND SIGNAGE DETAILS		PROJECT NO. 16037	PROJECT NO. 311-01-RC22
NO. DATE		NO. DATE		NO. DATE		NO. DATE		SHEET 29 OF 29	
REVISIONS		REVISIONS		REVISIONS		REVISIONS		PLAN DATE 3/14/2025	
APPROVED		APPROVED		APPROVED		APPROVED			



Attachment A
Exhibit 3:
Recommended Conditions of Approval

Franklin Creek Trail Improvement Project
24-2281-DP/CDP/ARB

July 7, 2025



**PLANNING COMMISSION HEARING
PROJECT 24-2281-DP/CDP/ARB
FRANKLIN CREEK TRAIL IMPROVEMENT PROJECT
(APNs 003-242-036, 003-243-032, 003-251-020, 003-252-018, 003-301-021, & 003-301-025)
JULY 7, 2025**

ATTACHMENT C: CONDITIONS OF APPROVAL

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit are based upon and limited to compliance with the project description, the hearing exhibits (Attachment A, Exhibit 2 to the staff report dated July 7, 2025) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

The project description is as follows:

Request for a Development Plan and Coastal Development Permit to allow the construction of a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street. The two-lane pervious concrete pavement multi-use trail would vary from 12-feet to 13-feet in width and would be approximately 900-feet in length. In order to comply with ADA slope standards, the trail would be elevated with low retaining walls up to three feet above grade in some sections. The elevated sections would have Corten steel handrails along the tops of the retaining walls. Three rest areas with benches and trash receptacles would be located on concrete pads adjacent to the pathway. The northern and southern rest areas would have interpretative signs adjacent to the pathway. The seating area near Ninth Street would have a concrete split rail fence to define the bounds of the area. A new 42-inch-tall black powder-coated chain-link fence would be located along the top of the existing drainage box channel wall, with five sets of double gates for flood control maintenance access to the creek, to replace the existing damaged fencing placed at the top of the channel wall. Ten new 10-foot-tall pole lights, with cut-off shields to prevent light spillover into the creek,

would be installed to provide night lighting along the trail. The proposal would require grading and earthwork totaling 50 cubic yards of cut and 300 cubic yards of fill.

The trail corridor presently contains 14 trees, including 12 mature trees: nine eucalyptus trees and three native sycamore trees. An arborist report was prepared for the project to analyze the health and structural condition of the trees along the trail corridor. The plans indicate that four of the eucalyptus trees, a myoporum tree, and a dead tree would need to be removed in order to construct the trail. The project has been designed to retain the three native sycamore trees with a modified trail design that would minimize root impacts and provide more permeable surfaces in the area near the sycamore trees. The project also includes a landscaping plan for the trail corridor. The landscaping improvements would include new native trees, shrubs, grasses, perennials, and mulched areas. Four new Western Redbud trees are proposed along the trail with two Island Oaks proposed near the Seventh Street access. Planter areas with a mixed palette of native shrubs, grasses, and perennials are proposed near Seventh Street, around the proposed seating areas, and near the Ninth Street access. The balance of the trail corridor would be covered with mulch.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. Following Planning Commission approval, the final plans for the trail project shall be referred to the Architectural Review Board for final review and approval. **Plan Requirements:** Final plans shall include appropriate details and specifications for all constituent elements of the trail project, including any proposed or required landscaping and trail lighting. **Timing and Monitoring:** Final review and approval by the Architectural Review Board shall occur prior to issuance of any permits for construction. Staff shall ensure ARB review and approval has been obtained prior to issuance of any construction permits.
3. All materials and colors used in construction and all landscape materials shall be as represented to the City and any deviation will require the express review of the Community Development Department.
4. The design and content of the interpretive signs shall be reviewed/approved by the City Biologist and included in the plans for the Architectural Review Board for final review and approval. **Plan Requirements:** Final plans shall include the graphics and bilingual language for the interpretative signage and appropriate details and specifications for

construction. **Timing and Monitoring:** Final review and approval by the Architectural Review Board shall occur prior to issuance of any permits for construction. Staff shall ensure final ARB review and City Biologist approval has been obtained prior to issuance of any construction permits.

5. In order to protect existing native trees and minimize adverse effects of grading and construction onsite, the applicant shall implement a tree protection and replacement plan. No ground disturbance, including grading, shall occur within the critical root zone of any native tree unless specifically authorized by the approved tree protection and replacement plan. The tree protection and replacement plan shall be developed in accordance with the recommendations in the Franklin Creek Trail Construction Impact Report prepared by WCA, dated April 6, 2023 and amended September 13, 2023, and shall include the following:
 - a. An exhibit showing the location, diameter and critical root zone of all native trees located onsite.
 - b. Fencing of all trees to be protected at or outside of the critical root zone. Fencing shall be at least three feet in height of chain link or other material acceptable to CDD and shall be staked every six feet. The applicant shall place signs stating "tree protection area" at 15-foot intervals on the fence. Said fencing and signs shall be shown on the tree protection exhibit, shall be installed prior to commencement of grading and/or construction and shall remain in place throughout all grading and construction activities.
 - c. The tree protection plan shall clearly identify any areas where landscaping, grading, trenching or construction activities would encroach within the critical root zone of any native or specimen tree. All encroachment is subject to review and approval by CDD.
 - d. Construction equipment staging and storage areas shall be located outside of the protected area and shall be depicted on project plans submitted for issuance of a Grading or Building Permit. No construction equipment shall be parked, stored or operated within the protected area. No fill soil, rocks or construction materials shall be stored or placed within the protected area.
 - e. All proposed utility corridors and irrigation lines shall be shown on the tree protection exhibit. New utilities shall be located within roadways, driveways or a designated utility corridor such that impacts to trees are minimized.
 - f. Any proposed tree wells or retaining walls shall be shown on the tree protection plan exhibit as well as grading and construction plans and shall be located outside of the critical root zone of all protected trees unless specifically authorized.
 - g. Any encroachment within the critical root zone of native trees shall adhere to the following standards:

- i. Any paving shall be of pervious material (gravel, brick without mortar or turf block).
 - ii. Any trenching required within the critical root zone of a protected tree shall be done by hand under direct supervision by the arborist.
 - iii. Any roots one inch in diameter or greater encountered during grading or trenching shall be cleanly cut and sealed.
- h. All trees located within 25 feet of buildings shall be protected from stucco and/or paint during construction.
- i. No permanent irrigation shall occur within the critical root zone of any native tree. Drainage plans shall be designed so that tree trunk areas are properly drained.
- j. Only trees designated for removal on the approved tree protection plan shall be removed.
- k. Any protected trees which are removed, relocated and/or damaged (more than 20% encroachment into the critical root zone) shall be replaced on a 10:1 basis with one gallon size saplings grown from seed obtained from the same watershed as the project site. Where necessary to remove a tree and feasible to replant, trees shall be boxed and replanted. A drip irrigation system with a timer shall be installed. Trees shall be planted prior to issuance of occupancy clearance and irrigated and maintained until established (three years). The plantings shall be protected from predation by wild and domestic animals and from human interference by the use of staked, chain link fencing and gopher fencing during the maintenance period.
- l. Any unanticipated damage that occurs to trees or sensitive habitats resulting from construction activities shall be mitigated in a manner approved by CDD. This mitigation may include but is not limited to posting of a performance security, tree replacement on a 10:1 ratio and hiring of an outside consultant biologist to assess the damage and recommend mitigation. The required mitigation shall be done immediately under the direction of CDD prior to any further work occurring on site. Any performance securities required for installation and maintenance of replacement trees will be released by CDD after its inspection and approval of such installation.

Plan Requirements: Prior to issuance of a Grading or Building Permit, the applicant shall submit grading plans, building plans and the tree protection and replacement plan to CDD for review and approval. All aspects of the plan shall be implemented as approved. Prior to issuance of a Grading or Building Permit, the applicant shall successfully file and receipt evidence of posting a performance security which is acceptable to CDD to guarantee tree replacement. **Timing:** Timing on each measure shall be stated where applicable; where not otherwise stated, all measures shall be in place throughout all grading and construction activities. **Monitoring:** CDD shall conduct site inspections throughout all phases of development to ensure compliance with and evaluate all tree protection and replacement measures. Release of performance security requires CDD staff signature.

6. To minimize construction impacts, the applicant shall prepare and submit a Construction Mitigation Plan to Community Development for review and approval. Such plans, which must be prepared by a City-approved professional biologist, arborist or landscape architect, shall include the following required measures:

Pre-Construction:

- a. The limits of the construction area shall be clearly shown on the plans and fenced or flagged on the construction site. All construction activities shall stay within these limits;
- b. Prior to commencement of construction activities, protective fencing shall be erected around the outermost limits of the protected zones of native trees and adjacent to the construction area. Such fencing shall remain in place until all construction is complete.
- c. No construction, grading, staging or materials storage shall be allowed within the fenced exclusion areas or within the protected zones of any onsite native trees;
- d. Important resources (e.g., native vegetation) located within the construction area that are to be preserved will be clearly marked on plans and on site to avoid the accidental removal of such resources;
- e. Construction Phase Requirements from the City's Water Quality Protection Regulations shall be implemented to minimize impacts related to runoff, erosion and water quality;
- f. The use of herbicides shall be minimized by using manual removal methods to eliminate undesired vegetation whenever possible.

Post-Construction:

- g. Permanent native landscaping shall be provided to developed areas;
- h. The planting of any landscape plants listed on the California Exotic Pest Plant Council's Lists of Exotic Pest Plants of Greatest Ecological Concern in California is prohibited in any ESHA or creek setback area;
- i. Project applicant and any and all successors shall provide informational materials to future occupants that ensure protective standards/conditions of approval are recognized and complied with throughout the life of the project;
- j. Loud, stationary equipment shall be located away from or provided with enclosures to minimize potential impacts to wildlife;
- k. Post-Construction Requirements from the City's Water Quality Protection Regulations will be implemented to minimize impacts to runoff, erosion, and water quality;

Plan Requirements and Timing: Prior to issuance of a Grading or Building Permit, the applicant shall submit a Construction Mitigation Plan, prepared by a CDD approved biologist, arborist or landscape architect to CDD for review and approval. All requirements shall be specified on grading and building plans and graphically depicted if feasible. Fencing shall be installed prior to start of grading or construction. **Monitoring:** CDD shall site inspect throughout grading and construction activities.

7. An Engineering Permit for grading shall be obtained from the Public Works Department. **Plan Requirements and Timing:** Prior to building permit issuance, the applicant shall submit an Engineering Permit application and grading plan Public Works for review and approval. **Monitoring:** Public Works representatives shall site inspect during construction to ensure all earthwork complies with the approved plans.
8. In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a CDD-qualified archaeologist and Native American representative are retained by the applicant to evaluate the significance of the find pursuant to Phase 2 investigations of the City Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with City Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and shall spot check in the field.
9. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site by following the dust control measures listed below. During clearing, grading, earth moving, excavation or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this shall include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency shall be required whenever the winds speed exceeds 15 miles per hour. Reclaimed water should be used whenever possible.
 - b. Minimize amount of disturbed area.
 - c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
 - d. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.

Plan Requirements: All requirements shall be shown on the building plans. **Timing:** Condition shall be adhered to throughout all construction activities. **Monitoring:** CDD shall ensure measures are on plans. Building Inspector shall spot check and ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

10. The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering as necessary to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. **Plan Requirements:** The name and telephone number of such persons shall be provided to the APCD. **Timing:** The dust monitor shall be designated prior to issuance of a Grading or Building Permit. **Monitoring:** CDD shall contact the designated monitor as necessary to ensure compliance with dust control measures.
11. If vegetation clearing, including but not limited to tree removals, or other project construction is to be initiated during the bird breeding season (March 1 through September 15 and December 1 through July 1 for raptors), a pre-construction survey shall be conducted by a qualified ornithologist or biological monitor approved by or working directly for the City. The survey shall include an area of 500 feet from the proposed construction. If raptors are observed nesting within 500 feet of construction/grading areas, or if other bird species are observed nesting within 300 feet of construction/grading areas, the breeding habitat/nest site shall be buffered from construction activities by a fence and the buffer area shall not be disturbed until the nest becomes inactive. **Plan Requirements:** The above measure shall be noted on all grading and construction plans. **Timing:** The survey shall occur no earlier than 14 days and no later than three days prior to initial construction or grading activity. **Monitoring:** Survey report to be provided to CDD prior to the initiation of construction.
12. The applicant shall limit excavation and grading to the dry season of the year (April 15 to November 1) unless an approved erosion and sediment control plan is in place and all measures therein are in effect. All exposed graded surfaces shall be reseeded with ground cover vegetation to minimize erosion. **Plan Requirements:** This requirement shall be noted on all grading and building plans. **Timing:** Graded surfaces shall be reseeded within three weeks of grading completion, with the exception of surfaces graded for the placement of structures. These surfaces shall be reseeded if construction of structures does not commence within three weeks of grading completion. **Monitoring:** CDD shall site inspect during grading and three weeks after grading to verify reseeded and to verify the construction has commenced in areas graded for placement of structures.
13. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays (e.g., Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all

construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.

14. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
15. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.
16. The applicant shall follow the County of Santa Barbara Stormwater Technical Guide to implement Post-Construction Runoff Control Measures (PCRs) to effectively prevent the entry of pollutants from the project site into the storm drain system during and after development. **Plan Requirements:** The applicant shall implement a Storm Water Control Plan (SWCP) that includes the following elements: identification of potential pollutant sources that may affect the quality of the storm water discharges; the proposed design and placement of structural and non-structural PCRs to address identified pollutants; a proposed Operation and Maintenance Plan; a method for ensuring maintenance of all PCRs over the life of the project; and certification by a licensed civil engineer, architect, or landscape architect. The approved measures shall be shown on all building plans. **Timing:** Prior to issuance of a Grading or Building Permit, the SWCP shall be submitted to Public Works. All measures specified in the plan shall be constructed and operational prior to occupancy clearance. The terms of the Operation and Maintenance Plan shall be followed to maintain facilities. **Monitoring:** Public Works shall site inspect prior to occupancy clearance to ensure measures are constructed in accordance with the approved plan and periodically thereafter to ensure proper maintenance.
17. Best available erosion and sediment control measures shall be implemented before demolition or construction activities occur. Best available erosion and sediment control measures may include but are not limited to use of sediment basins, gravel bags, silt fences, geo-bags or gravel and geotextile fabric berms, erosion control blankets, coir rolls, jute net and straw bales. Storm drain inlets shall be protected from sediment-laden waters by use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters, and excavated inlet sediment traps. Sediment control measures shall be maintained for the duration of the demolition, grading, and construction period and until graded areas have been stabilized by structures, long-term erosion control measures or landscaping. Construction wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. Construction entrances and exits shall be stabilized using gravel beds, rumble plates, or other measures to prevent sediment from

being tracked onto adjacent roadways. Any sediment or other materials tracked offsite shall be removed the same day as they are tracked using dry cleaning methods. **Plan Requirements:** An erosion and sediment control plan shall be submitted to and approved by CDD and Public Works prior to issuance of a Demolition Permit. **Timing:** The plan shall be implemented prior to the commencement of construction activities. **Monitoring:** City Inspectors shall perform site inspections throughout construction.

18. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
19. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on demolition plans. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates. **Timing:** Materials shall be recycled as necessary throughout demolition and grading activities. **Monitoring:** Public Works shall review and approve a completed WMP prior to issuance of a Building Permit.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

20. This Development Plan and Coastal Development Permit are not valid until a permit for construction for the development has been obtained. Failure to obtain said permit for construction shall render this Development Plan and Coastal Development Permit null and void. Prior to the approval of the permit for construction, all of the conditions listed in this Development Plan and Coastal Development Permit that are required to be satisfied prior to approval of a permit for construction must be satisfied. Upon issuance of the permit for construction, the Development Plan and Coastal Development Permit shall be valid. The effective date of this Permit shall be the date of expiration of the appeal period, or if appealed, the date of action by the City Council.

21. If the Planning Commission determines at a noticed public hearing that the permittee is not in compliance with any permit condition(s), pursuant to the provisions of Section 14.62.060 of the Carpinteria Municipal Code, the Planning Commission is empowered, in addition to revoking the permit pursuant to said section, to amend, alter, delete or add conditions to this permit.
22. Any use authorized by this Development Plan and Coastal Development Permit shall immediately cease upon expiration or revocation of this Development Plan and Coastal Development Permit. Any permit for construction issued pursuant to this Development Plan and Coastal Development Permit shall expire upon expiration or revocation of the Development Plan and Coastal Development Permit. Development Plan and Coastal Development Permit renewals must be applied for prior to expiration of the Development Plan and Coastal Development Permit.
23. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
24. Within three years after the effective date of this permit, construction shall commence. Construction cannot commence until a permit for construction has been issued. Failure to commence the construction pursuant to a valid permit for construction shall render the Development Plan and Coastal Development Permit null and void.
25. All time limits may be extended by the Planning Commission for good cause shown, provided a written request, including a statement of reasons for the time limit extension request is filed with Community Development prior to the expiration date.
26. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts.
27. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of grading/construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
28. Prior to issuance of a permit for construction, the applicant shall provide a signed copy of the Conditions of Approval.
29. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.

30. No permit for construction shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a permit for construction or prior to final permit sign-off when allowed by the Community Development Director.
31. All requirements of the City of Carpinteria (including but not limited to public improvements as defined in the City of Carpinteria Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.
32. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at 1-800-227-2600 a minimum of 48 hours prior to the start of construction. For best response, provide as much notice as possible, up to 10 working days.
33. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.

Approved by the Planning Commission on July 7, 2025

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant/Property Owner

Date

Attachment B
Arborist Report dated April 6, 2023 and
amended September 13, 2023

Franklin Creek Trail Improvement Project
24-2281-DP/CDP/ARB

July 7, 2025

City of Carpenteria

Franklin Creek Trail

Construction Impact Report (14)

SUBMITTED TO:

JOHN ILASIN
Public Works Director
City Engineer
City of Carpenteria

PREPARED BY:

REBECCA MEJIA
ISA Board Certified Master Arborist
WE-2355B
ISA Qualified Tree Risk Assessor
Consulting Arborist, WCA Inc.



APRIL 6, 2023

AMENDED: SEPTEMBER 13, 2023





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West Coast Arborists, Inc.

2200 E. Via Burton Street, Anaheim, CA 92806 714.991.1900 800.521.3714 Fax 714.956.3745

BACKGROUND AND ASSIGNMENT

West Coast Arborists, Inc., (WCA) was contacted by Mr. John Ilasin, Public Works Director for the City of Carpinteria, to provide arborist services for 14 trees along the Franklin Creek Trail. Following the approval of the proforma for arborist services, I visited the site on March 25, 2023, to collect relevant information per the scope of work. The scope of work for the requested arborist services, as detailed in Proposal #80493, is as follows:

- Conduct a Basic Tree Evaluation and prepare one Construction Impact Report for the Franklin Creek Improvement Project. The level of assessment used for this project involved a visual assessment only of the individual trees from a ground-based, walk-by perspective. This process was used to identify any obvious defects or special conditions.
- The contents of the tree evaluation report should include the following elements at a minimum: 1) Visual/Observer impression, 2) Site location, 3) Structural integrity, 4) Wounds, 5) Insect/Disease problems, 6) Branching structure/pattern, 7) Root system, 8) Tree needs, and 9) Tree species identification. *Several of these items will be reviewed in the Discussion section under "Species Profile."*

SUMMARY: Site usage prior to any planned construction includes a low to moderately-used natural trail adjacent to the creek. The site detail that was provided indicates moderate to significant encroachment into the **Critical Root Zone (CRZ)** of 9 of the trees: (1, 2, 5, and 8-13). If impacts that affect the CRZ can be reduced, six of the fourteen inspected trees are worthy of retention.



Map 1. Showing the location of the assessed trees. All are located along the south side of Franklin Creek, from 7th Street east to Carpinteria Ave.



METHODOLOGY

Beginning on the western portion of the trail adjacent to 7th Street, I examined each of the trees as they were identified on the design rendering provided. The spreadsheet located on the following page provides a summary of the health and condition of each of the trees.

The assignment, being a visual assessment of the subject trees, was limited to that which could be observed from the ground and in compliance with **Best Management Practices (BMPs)**. Only exposed or easily exposed parts above ground level were inspected. Subsurface soil conditions and tree parts below ground were not disturbed or observed.

The purpose of this report is to provide as complete and unbiased an opinion as possible with regard to the health and condition of the inspected trees on the day of the evaluation. Removal or preservation recommendations and tree protection zones were not initially requested but added as part of additional requests made by RRM Desing Group. The content of this report is intended to be used by the City of Carpinteria staff, its contractors, and RRM Design Group for the purposes of the Franklin Creek Trail Improvement Project only.

Decisions for tree retention shall be based on the American National Standards Institute (ANSI) *Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction) A300 (Part 5)-2012*. Per this standard:

54.1 Planning phase

- 54.1.1 During the planning phase, trees and other resources within the construction area should be evaluated.
- 54.1.2 Trees adjacent to the site that will be impacted by the construction or may affect the construction activity should be included in the evaluation.

54.2 Design Phase

- 54.2.4 Tree protection report should include: Objectives, Tree inventory data, Suitability for preservation, Estimation of the construction impacts on the tree(s), Recommended action for each tree (retained, transplanted, or removed), and Required mitigation for trees to be removed (if appropriate)

Table 1: Spreadsheet-Summary-Tree Assessment Data

Tree #	Species	dbh	Hgt	Health condition*	Structural condition*	Comments
Tree-1	<i>Eucalyptus lehmanni</i>	24	40	Good	Fair	Slight lean toward the private yard area to the south. Old injury at the main branch union with possible decay within the wounded area. Slight damage to the buttress roots. Full, dense, healthy canopy with no indication of any major disease or pest presence.
Tree-2	<i>Eucalyptus polyanthemos</i>	23	45	Fair	Poor	Thinning canopy with dead branches and numerous old topping cuts with weak attachments.
Tree-3	<i>Eucalyptus polyanthemos</i>	26	45	Fair	Fair	Thinning canopy, twig & small branch dieback; bending of the lower trunk
Tree-4	<i>Eucalyptus polyanthemos</i>	23	50	Fair	Fair	Thinning & twig dieback in the upper canopy, uneven/onesided canopy growth.
Tree-5	<i>Eucalyptus polyanthemos</i>	30	55	Good	Good	Healthy, full canopy, form is consistent with species norms.
Tree-6	<i>Eucalyptus polyanthemos</i>	16	30	Good	Fair	Several past, large limb breaks on the south side; slight lean to the south. Dense canopy growth.
Tree-7	<i>Eucalyptus polyanthemos</i>	24 20	55	Fair	Fair	Double stemmed (dbh's of 24" & 20"). Thinning canopy, a large scaffold extends over the trail.
Tree-8	<i>Eucalyptus polyanthemos</i>	26	50	Fair	Poor	Thinning canopy, poor branching habit. It was double-stemmed but lost one stem many years ago, there is likely decay in the branch union. This tree appears to be in the middle of the new proposed trail path.
Tree-9	<i>Myoporum laetum</i>	13	15	Good	Poor	Plant health is good, but the structure is poor. The tree is leaning and is overgrown by adjacent plant material.
Tree-10	Dead, species unknown	10 8	10	Dead	Dead	This tree is broken at its base, and there is no live foliage anywhere on the tree. Unable to identify the species. There appear to be two dead trees arising from the same stump; both are dead.
Tree-11	<i>Platanus racemosa</i>	35	60	Fair	Fair	Slightly thinning canopy, numerous old broken branches, large scaffold over the trail. Western Sycamore borer.
Tree-12	<i>Platanus racemosa</i>	29	60	Good	Good	Upper canopy with few interior branches. Western sycamore borer.
Tree-13	<i>Platanus racemosa</i>	38	60	Good	Fair	Multi-stemmed, small amount of dead twigs. The level of dieback appears within normal ranges for species & age.
Tree-14	<i>Eucalyptus polyanthemos</i>	34	40	Good	Fair	Double stemmed with a full, dense & healthy looking canopy. Large scaffold over the creek and a slight lean to the west.

*Refer to Appendix C, Health & Condition Components, for classification definitions.

DISCUSSION:

Species profiles:

California Sycamore (*Platanus racemosa*) is a native riparian tree that tolerates wet to dry soils, extreme heat, and high winds. This tree has a moderate growth rate, reaching 30-80 feet tall and 20-50 feet wide. Considered a moderately deep-rooted tree, it does produce surface roots, sometimes resulting in heaved, cracked, or similar hardscape damage. Variable in shape, it can



develop upright or spreading forms with an oval, rounded, or umbrella-shaped crown. Susceptible to Invasive Shot Hole Borer, Scales, Spider Mites, Leaf Miner, Anthracnose, Mistletoe, Armillaria, Phytophthora, and Root rot

Silver Dollar Gum (*Eucalyptus polyanthemus*) is an evergreen plant native to eastern Australia. It is considered drought-tolerant and fast-growing, reaching heights of up to 70 feet tall and 15-45 feet wide. This tree thrives in hot, dry climates where it can be considered a fire hazard due to its highly volatile eucalyptol vapors emitted from its foliage and the accumulation of shedding bark on the ground. Silver dollar Gum gets its name from its unique foliage, which varies in shape from lance-shaped, egg-shaped, oval, and round. There are two subspecies in cultivation in California, one tends to have rougher bark with rounder, bluer leaves, while the other tends to have smoother bark with spearhead-shaped, greener leaves. Medium branch strength rating and moderate root damage potential. Susceptible to Armillaria, Root Rot, and Beetle borers.

Bushy Yate (*Eucalyptus lehmanni*) (aka *E. conferruminata*) is native to southwestern Australia, it is a small to medium-sized shade, screen, or patio tree with heights of 25-30 feet and up to 30 feet wide. It is usually multi-trunked with an oval, spreading form and dense foliage, sometimes reaching the ground. Develops smooth bark which is whitish grey to grey-brown and orange-brown and sheds in strips. It is widely cultivated in Australia and the United States because of its ornamental shape and decorative flowers, buds, and fruit. It prefers temperate coastal conditions, where it tolerates dryness and salt spray. There has been some confusion about its classification because of its ability to hybridize. The tree is deer resistant and attracts bees and birds. Medium branch strength rating, low root damage potential. Susceptible to Armillaria, Phytophthora, Root Rot, and Beetle borers.

A Tree Protection Zone (TPZ) is intended to protect roots and soil within the **Critical Root Zone (CRZ)**. The CRZ is that area immediately adjacent to the trunk where roots essential for tree health and stability are located. A variety of guidelines have been developed for determining the minimum distance away from the trunk base at which roots may be safely cut. The most recommended minimum distance is 6-18 inches for every 1 inch of trunk diameter. However, this is only a guideline and needs to be adjusted on a per-tree basis depending on the species, overall tree health, structure, and site conditions. Often, a **calculated TPZ** and/or a **specified TPZ** are used.

The decision process for determining the recommended TPZ for the subject trees shall be based on the American National Standards Institute (ANSI) *Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction) A300 (Part 5)-2012*. Per this standard:

55 Practices

55.1 Tree protection zone

55.1.1 A tree protection zone (TPZ) shall be specified around all trees, shrubs, and other



plants and soil areas designated for retention and protection.

55.1.2 The TPZ should be defined based on:

- Species tolerance; the expected impact of construction activities; Tree size (e.g., trunk diameter), age, and health; and Soil conditions (e.g., moisture, texture, density).

55.1.3 The TPZ radius should be between 6-18 times the trunk diameter (DBH). *(dependent on variable factors including plant species, age, size, health, and structural condition).*

55.1.4 When the minimum TPZ radius cannot be achieved, appropriate mitigation shall be recommended.

CONCLUSIONS:

Based on the site plans/exhibit provided to me, it is expected that most of the trees will be significantly impacted by this project, either directly due to the loss of critical roots within the planned excavation areas or due to construction-related impacts such as equipment impacts and compaction. Eight of the trees are being recommended for removal prior to the start of the project. Of the eight removal recommendations, one is dead, three have poor health or condition, and four are expected to be adversely impacted due to construction-related activity or design layout. For the other six, apply the protection measures detailed in Appendices C and D to try and retain as many suitable trees as possible.

Ten of the assessed trees have health and condition ratings that indicate they would be possible candidates for retention (these trees are noted as “Good” or “Fair” in the table above). However, based on the plans provided, consideration for retention is highly dependent on the level of construction near each tree. Four of the trees display health or structural conditions that are poor or dead, and these trees should not be considered for retention due to their overall health and condition rating, level of dieback, and/or noted structural defects.

- Trees that are healthy and can be considered for retention: Tree #'s 3-7 and 12. All of these trees currently have good or fair health and condition. Although construction activities are expected to encroach into the **CRZ** of the trees, if the minimum distance from the trunk can be obtained, retention of these trees may be possible. The retention of individual trees may vary from this assessment and will depend on the actual impacts on the specific tree.
- Retention of any of the inspected trees will be highly conditional on the degree of encroachment into the critical root zone for each tree. If design plans allow, a **Tree Protection Zone (TPZ)** shall be established for each tree desired for retention according to the guidelines provided in Appendices C and D. If the needed TPZ cannot be established, the tree should be reassessed for retention suitability and likely removal.

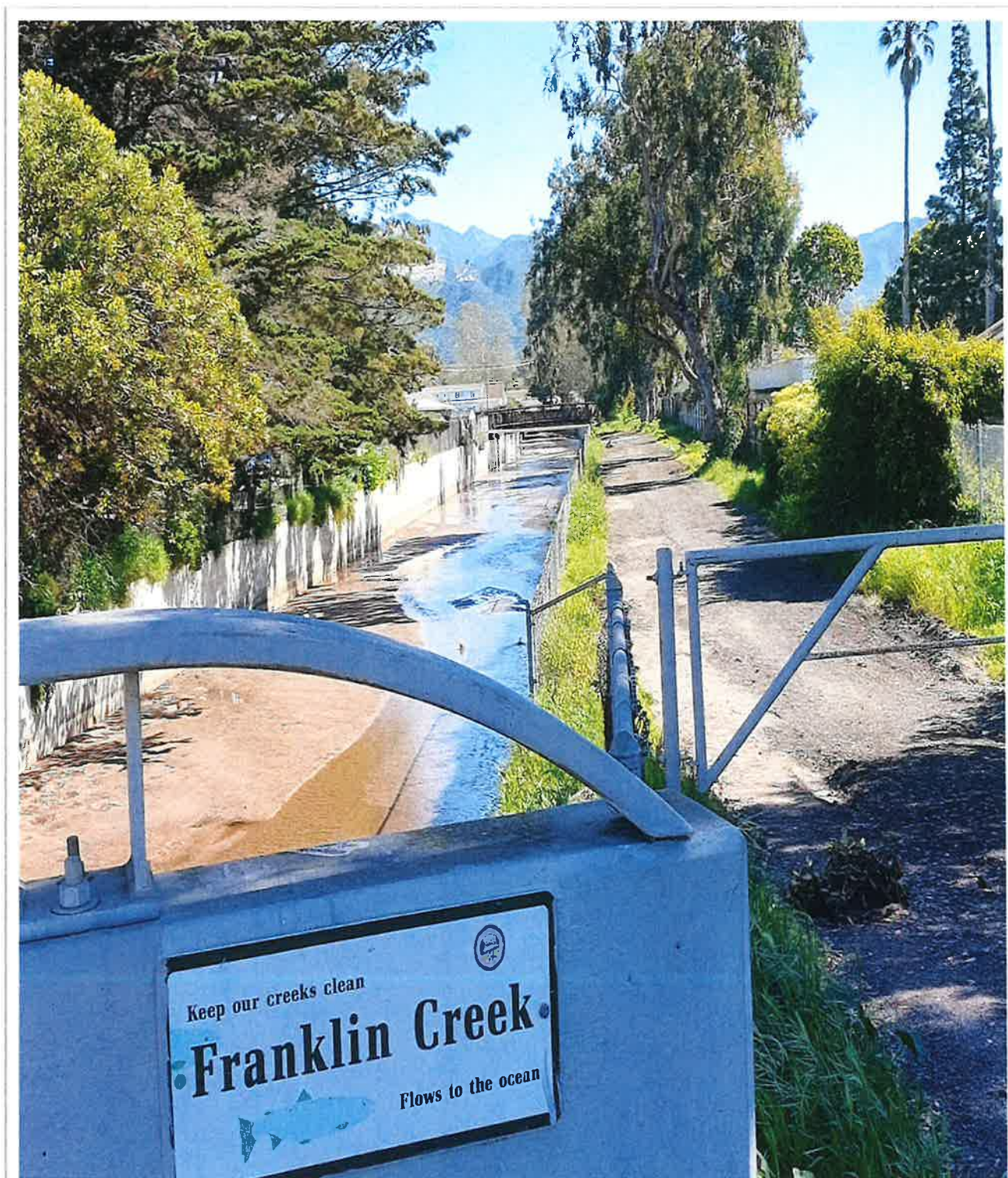
- Boxing and moving any of the trees is not recommended as the probability of survival is low. These are mature, well-established trees, and many of them have canopy-wide dieback, thinning, and poor new bud formation. Chronic water stress is often a long-term implication of construction and development projects due to root loss and will further strain plant health.
- Any trees that will be preserved should be pruned as necessary to accommodate any construction equipment or other activity impacting the trees' canopy or critical root zone. Trees shall be pruned using a natural system, which focuses on retaining and promoting the natural, characteristic form of the species as much as possible.
 - Cleaning is the selective removal of dead, diseased, detached, and broken branches. This type of pruning is done to reduce the risk of branches falling from the tree and to reduce the movement of decay, insects, and diseases from dead or dying branches into the rest of the tree.
 - Structural pruning improves tree structure by establishing a strong central leader, establishing a larger trunk taper, and influencing branch orientation, spacing, growth rate, the strength of attachment, and the ultimate size of remaining and new branches and stems. Although this procedure is generally undertaken on young and medium-aged trees, it is frequently used with aging trees to reduce certain defects and encourage better spacing of main branches along the one dominant trunk.
- Any trees marked for preservation should be monitored during and after construction to watch for stress or construction-related decline.
- Provide supplemental irrigation as needed throughout the course of the project. Construction-impacted trees have a smaller soil water reservoir due to root loss, changes to coverage area, runoff/stormwater diversion, soil compaction, and the addition of impervious layers (i.e., concrete or asphalt walkways and road surfaces). Avoid frequent irrigation that maintains soil in a wet condition and allow enough time between irrigations for the soil to become slightly to moderately dry.
- Coarse organic mulch shall be applied to the soil surface of all retained trees. This will help conserve soil moisture, moderate soil temperatures, promote soil organisms, and protect the soil from additional compaction.

All pruning should be done in a manner consistent with *ISA Best Management Practices, ANSI A300 Part 1: Tree, Shrub, and Other Woody Plant Maintenance, Standard Practices, Pruning, 3rd Edition*.

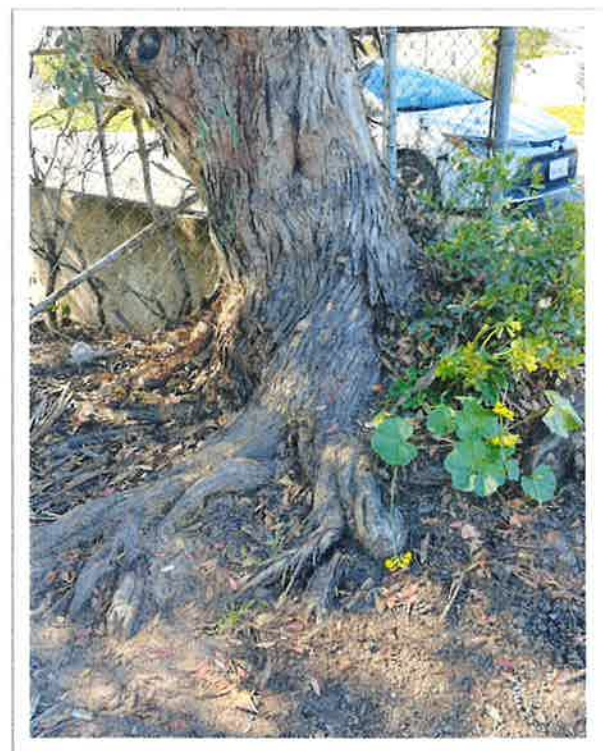
Refer to Appendix C for general guidelines regarding root protection, establishing root protection zones, and safe root-cutting practices; these guidelines are provided for reference by those responsible for design planning and implementation. Refer to Appendix D for a tree-by-tree recommended minimum TPZ and minimum distance from the trunk necessary for the greatest retention potential.



APPENDIX A -SAMPLE PHOTOS



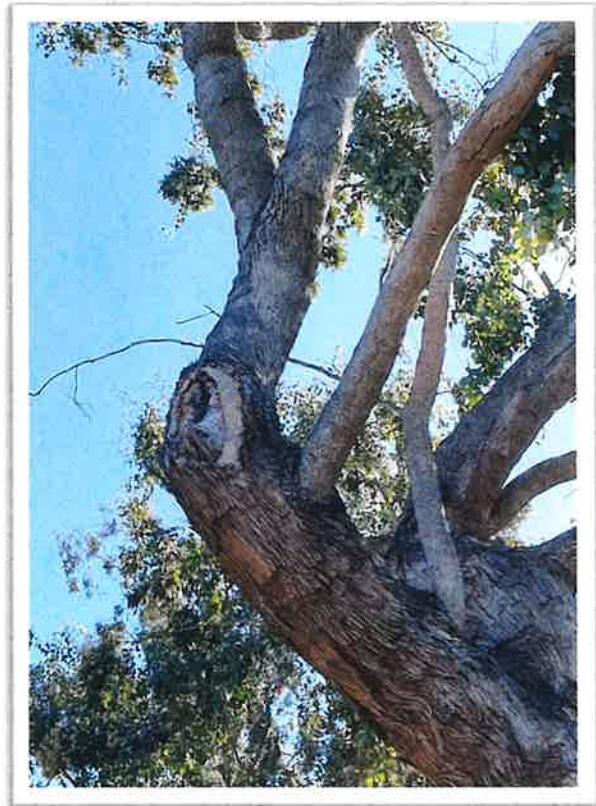
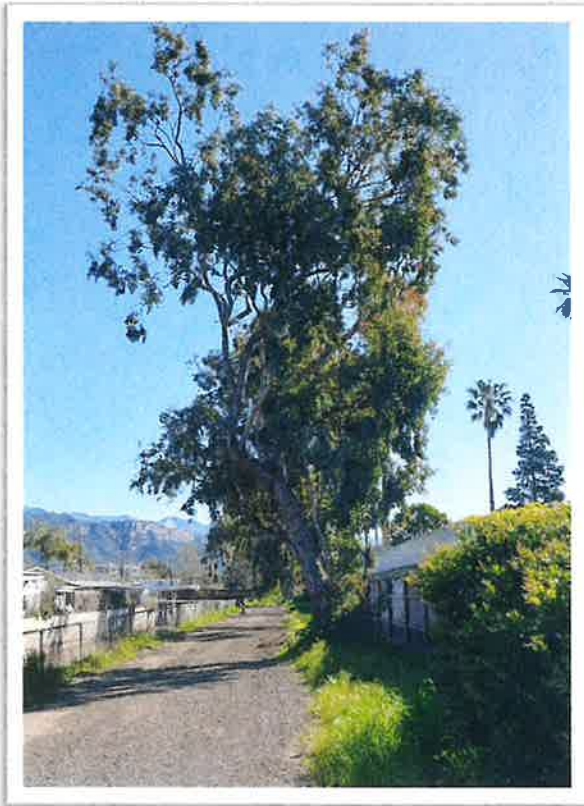
Images 1. Trees were assessed starting on the west side of the creek, adjacent to 7th Street, and progressing along the dirt path toward Carpinteria Avenue.



*Images 2-4 show Tree 1, a Bushy Yate (*Eucalyptus lehmanni*). This tree is in good health but displays fair structure due to its lean, and several weak branch unions. Image 3, above left, shows the main union, where there is possible decay within the old wound. This could weaken the branch attachment of the western stem.*

Image 5, bottom left, shows slight damage to the buttress roots. This appears to be due to people walking or riding bicycles across the roots as they enter and move along the trail.

This tree would be worthy of site retention efforts, however, it is not believed that an appropriate TPZ can be established based on the design plans provided. If retained, prune for cleaning and structure, and reduce the western scaffold over the sidewalk, and monitor for any decrease in health or stability.



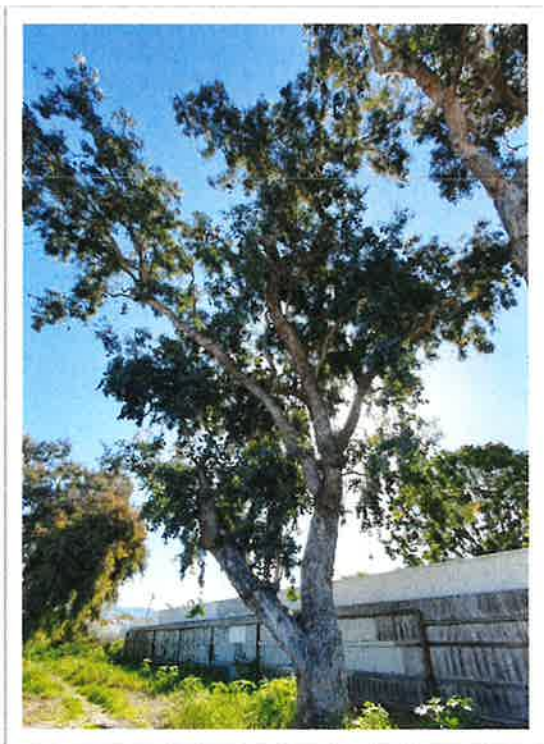
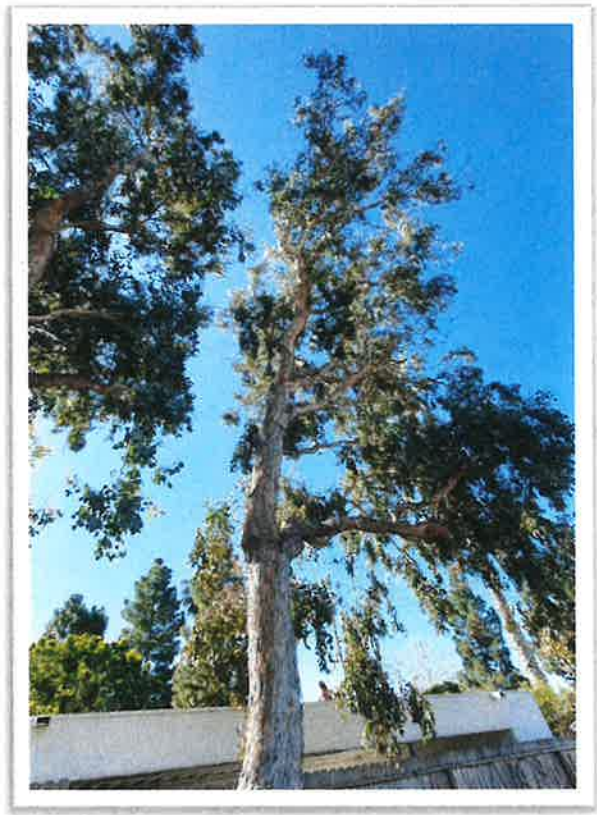
*Images 5-7 show Tree 2, a Silver Dollar Gum (*Eucalyptus polyanthemos*). This tree is in fair health with poor structure due to a thinning canopy and numerous old topping cuts with weakly attached secondary branches. Note the base of the tree is very close to the fence line, & all of the supptive roots will be within the planned construction area.*

This tree is not considered a good candidate for retention due to its poor overall health and structure.



*Images 8-10 show Tree 3, a Silver Dollar Gum (*E. polyanthemos*). This tree is in fair health with some canopy thinning in the upper mid portions of the crown. The structure is fair and is comprised of a bending trunk but a fairly well-balanced crown.*

This tree is worthy of site retention efforts if the recommended TPZ can be established to protect as much of the CRZ as possible. However, the base of the tree is very close to the fence line & all of the supportive roots will be within the planned construction area. If retained, prune for cleaning and structure, and monitor for any decrease in health or stability.



Images 11 & 12 (top) show Tree 4, a Silver Dollar Gum with fair health due to canopy thinning in the upper & mid portions of the crown. The structure is considered fair due to its one-sided growth pattern, as seen in Image 12 above (top right).

Image 13 (at left) shows Tree 5, this tree displays good health and structural condition.

Both of these trees are worthy of site retention efforts if the recommended TPZ can be established to protect as much of the CRZ as possible. However, the base of the trees is very close to the fence line & all of the supptive roots will be within the planned construction area. If retained, prune for cleaning and structure, and monitor for any decrease in health or stability.

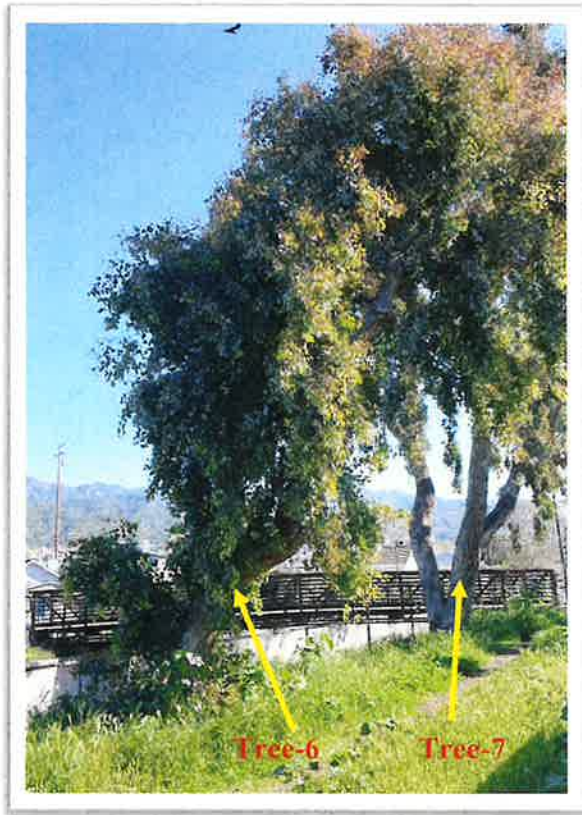
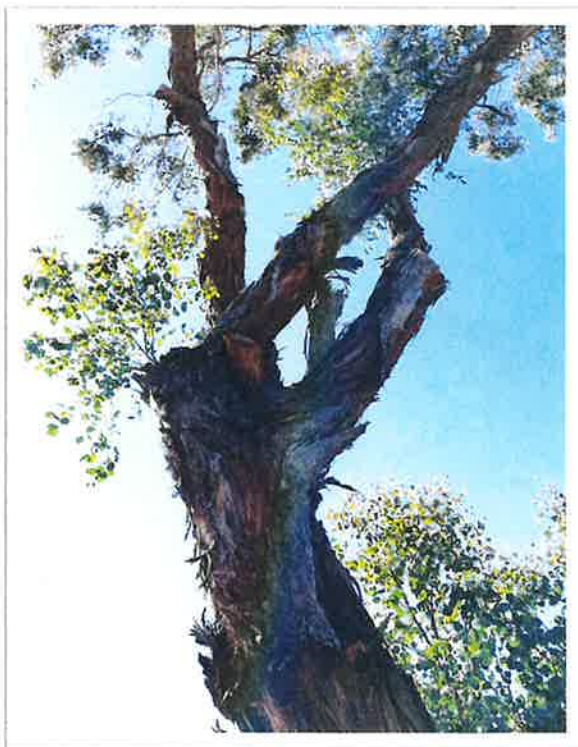


Image 14 (top, left) shows Tree 6 and Tree 7. Both are Silver Dollar Gums. Tree 6 is stunted due to a past partial trunk failure and is leaning toward the trail. Good health, but fair to poor structure.

Images 15 & 16 (top right & bottom left) show Tree 7. This tree displays fair health and structural condition. This tree is double-stemmed with a thinning canopy and visible twig/small branch dieback.

These trees would be worthy of site retention efforts if the recommended TPZ can be established to protect as much of the CRZ as possible. However, the base of the trees is very close to the channel wall & all of the supportive roots will be within the planned construction area. If retained, prune for cleaning and structure, and monitor for any decrease in health or stability.



Images 17-19 show Tree 8. This Silver Dollar Gum was assessed to have fair health but poor structure due to the loss of a codominant stem and the weakly attached branches throughout the crown. According to the plans provided to me, this tree is in the middle of the proposed trail.

This tree is not considered a good candidate for retention due to its poor overall health and structure.

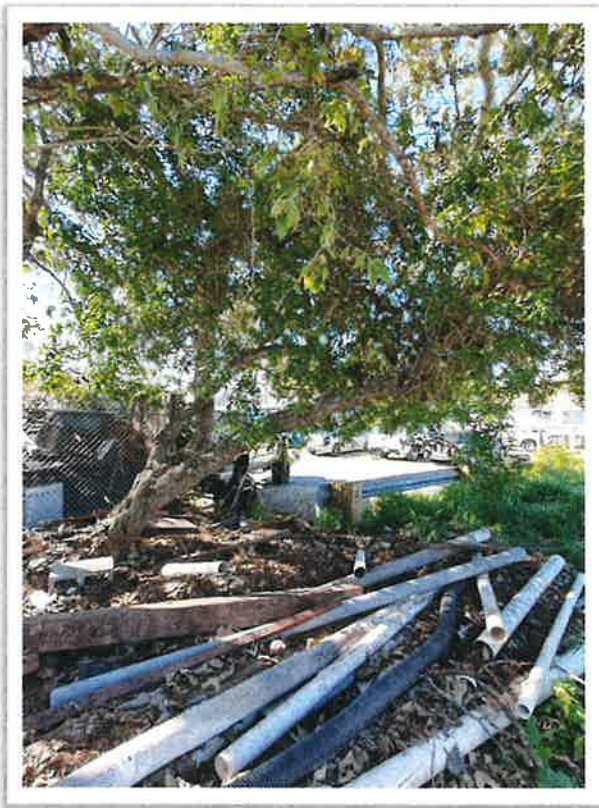
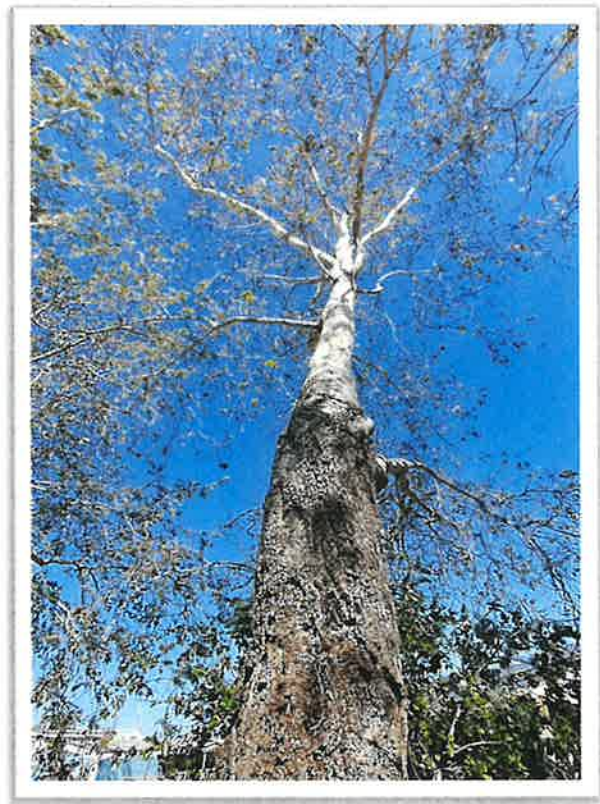
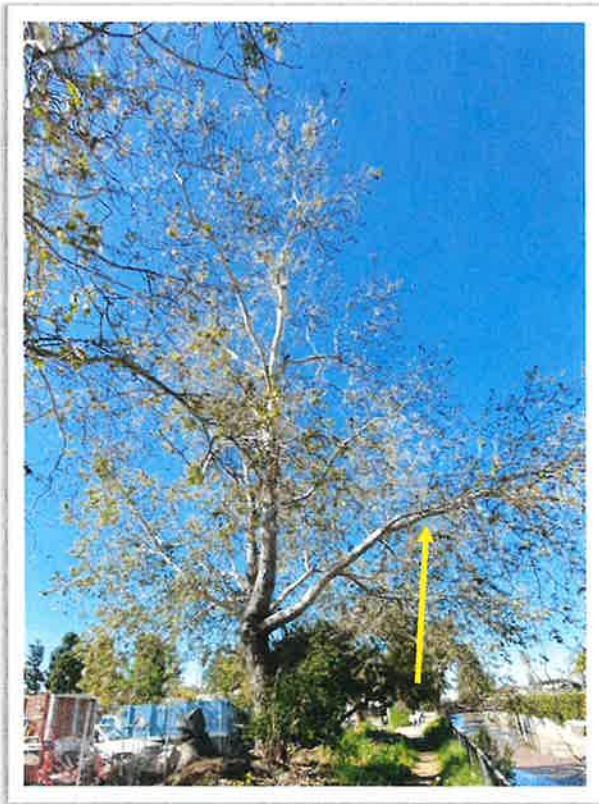


Image 20 (top, right) show Tree 9, a stunted and leaning Myaporum with good health but poor structure. This tree is not considered a good candidate for retention due to its poor overall structure.

Image 21 & 22 (top right & bottom, left) shows Tree 10, which is comprised of two stems. One of the stems has broken near the base (see image at left). Both stems are dead.

Neither of these trees are considered good candidates for site retention.



*Image 23 (top left) shows Tree 11, a California Sycamore (*Platanus racemosa*) assessed to have fair health and structure with a large scaffold spanning the trail. Construction impacts are expected to encroach into the CRZ; therefore, preservation efforts may not be attainable. Pruning to reduce the length of the overextended branch should be considered if the tree is retained.*

*Image 24 (top, right) shows Tree 12, a California Sycamore (*P. racemosa*) with good health and structure.*

*Image 25 shows Tree-13, a California Sycamore (*P. racemosa*) with good health but fair structure due to its multi-stemmed nature. Construction impacts are expected to encroach into the CRZ, therefore, preservation efforts may not be attainable.*



Images 26-28 show Tree 14. This Silver-dollar Gum was assessed to have good health but fair structure due to the slight lean toward the creek and the uneven crown. This tree is worthy of site retention efforts if the recommended TPZ can be established. Prune to correct the uneven canopy weight.





APPENDIX B

Health & Condition Components



Health & Condition components				
Rating category	Health	Structure	Form	Percent rating
Excellent	High vigor and nearly perfect health with little or no twig dieback, discoloration, or defoliation.	Nearly ideal and free of defects.	Nearly ideal for the species. Generally symmetric. Consistent with the intended use.	81% to 100%
Good	Vigor is normal for the species. No significant damage due to diseases or pests. Any twig dieback, defoliation, or discoloration is minor.	Well-developed structure. Defects are minor and can be corrected.	Minor asymmetries and/or deviations from species norm. Mostly consistent with the intended use. Function and aesthetics are not compromised.	61% to 80%
Fair	Reduced vigor. Damage due to insects or diseases may be significant and associated with defoliation but is not likely to be fatal. Twig dieback, defoliation, discoloration, and/or dead branches may comprise up to 50% of the crown.	A single defect of a significant nature or multiple moderate defects. Defects are not practical to correct or would require multiple treatments over several years.	Major asymmetries and/or deviations from species norm or intended use. Function or aesthetics are compromised.	41% to 60%
Poor	Unhealthy and declining in appearance. Poor vigor. Low foliage density and poor foliage color are present. Potentially fatal pest infestation. Extensive twig and/or branch dieback.	A single serious defect or multiple significant defects. Recent change in tree orientation. Observed structural problems cannot be corrected. Failure may occur at any time.	Largely asymmetric and/or abnormal. Detracts from intended use and/or aesthetics to a significant degree.	21% to 40%
Very Poor	Poor vigor. Appears to be dying and in the last stages of life. Little live foliage.	Single or multiple severe defects. Failure is probable or imminent.	Visually unappealing. Provides little or no function in the landscape.	6% to 20%
Dead				0% to 5%

This table is taken from the Guide For Plant Appraisal, 10th Edition



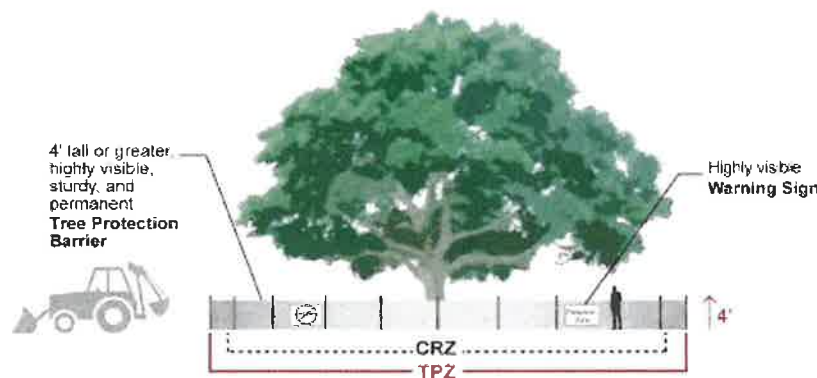
APPENDIX C

General Construction Protection Guidelines

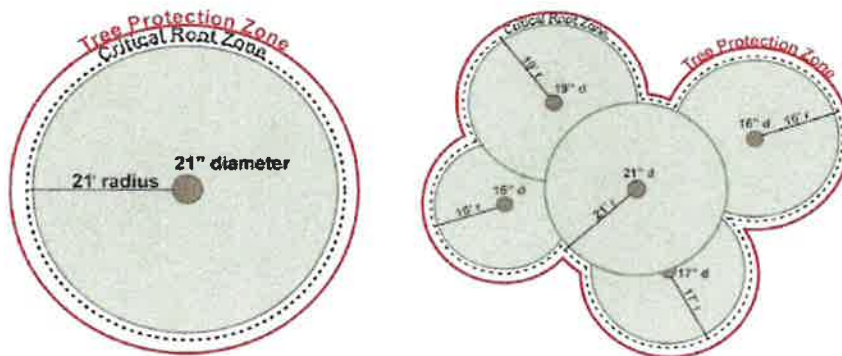
To ensure the best survival rate of any tree(s) being retained on the project site, it is recommended that the following guidelines be implemented:

- Identify a **Tree Protection Zone (TPZ)** for each tree to be retained; provide adequate space around protected trees from the beginning of the project. This generally involves outlining the dripline of a given tree and installing fencing around that tree. No construction activity should be allowed within this area, including storage, dumping of excess material, etc. See the example below:

Tree protection barrier encloses the Tree Protection Zone and is at least 4' tall, highly visible, sturdy, and permanent and has warning signs on or near it for the duration of any construction activities.



Tree Protection Zone (TPZ) is an area where construction activities are prohibited or restricted to prevent injury to preserved trees, especially during pre- construction and construction, and includes the Critical Root Zone and/or beyond.



- Before any grading, appropriately root prune tree(s) at the edge of any excavation.
- Always maintain the natural grade around the tree(s).
- Avoid open trenching in the root area. If necessary, this activity should be restricted to only one side of the tree and at an appropriate distance, as discussed below in the root pruning guidelines provided below.

- Consider minimum height requirements of construction equipment and prune any branches accordingly.
- Provide supplemental irrigation in similar volumes and seasonal distribution as would normally occur.
- Wood chips generated during the clearing of onsite vegetation should be used as mulch under retained trees. This will reduce soil moisture loss, protect against compaction, and moderate soil temperatures.
- Trees should be monitored during and after construction on a regular basis. Watch for signs of stress, such as small twig and branch dieback, leaf discoloration and loss, and a general decline in tree health and/or vigor.

The following sections of *ANSI A300 (Part 8)-2020 Root Management* should be used with regard to the level of acceptable root loss and/or cutting that may be necessary for each individual tree:

83.1 Root pruning and root cutting

83.1.1 When mitigating or avoiding infrastructure damage, only roots causing or likely to cause damage should be pruned.

83.1.2 When root removal is unavoidable, selective pruning shall be the preferred method.

83.2 Root pruning (selective)

83.2.1 Roots should be exposed using minimally damaging excavation method prior to pruning.

83.2.2 A pruning cut that removes a root at its point of origin should not cut into the trunk or parent root.

83.2.3 The pruning cut should be the smallest diameter that meets the objective.

83.2.4 The final cut should result in a flat surface with adjacent bark firmly attached.

83.3 Root cutting (non-selective)

83.3.1 When non-selective root cutting is necessary, roots shall be cut as far from the trunk as practical.

83.3.2 Minimum distance from the trunk for root cutting should be adjusted according to trunk diameter, species tolerance to root loss, tree age, health, and site condition (see ANSI A300 Part 5, Management).

83.3.3 Root cutting distances from the trunk shall be adjusted for disease management, root location, tree species and condition, and, site and soil conditions.

83.3.4 Roots should be cut with equipment that minimizes cracking the wood and tearing the bark.

83.3.5 Heavy equipment should be located outside the root cut line or remain on existing



pavement or on a soil-protecting surface.

- 83.3.6 Temporary staging areas for excavated soil should be located at a safe distance on the side of the trench furthest from the trunk.
- 83.3.7 Upon completion of non-selective root cutting, damaged roots should be pruned in accordance with **subclause 83.3** where practical.



APPENDIX D

Calculated Tree Protection Zone & Retention Recommendations

Table 2: Determining the calculated Tree Protection Zone (TPZ) radius using trunk diameter (for healthy, structural sound trees)

Species Tolerance to Construction Damage	Relative Tree Age	Multiplication Factor (distance from trunk per inch trunk diameter)
High	Young	6
	(<20% life expectancy)	
	Mature	8
	(20-80% life expectancy)	
	Overmature	12
	(>80% life expectancy)	
Medium	Young	8
	Mature	12
	Overmature	15
Low	Young	12
	Mature	15
	Overmature	18

Tree #1. E. lehmanni, medium tolerance, mature tree: dbh (24in) x 12 = 288 in = 24.0 ft radius

Tree #2. E. polyanthemos, medium tolerance, mature tree: dbh (32in) x 12 = 384 in = 32.0 ft radius

Tree #3. E. polyanthemos, medium tolerance, mature tree: dbh (26in) x 12 = 312 in = 26.0 ft radius

Tree #4. E. polyanthemos, medium tolerance, mature tree: dbh (23in) x 12 = 276 in = 23.0 ft radius

Tree #5. E. polyanthemos, medium tolerance, mature tree: dbh (30in) x 12 = 360 in = 30.0 ft radius

Tree #6. E. polyanthemos, medium tolerance, mature tree: dbh (16in) x 12 = 192 in = 16.0 ft radius

Tree #7. E. polyanthemos, medium tolerance, mature tree: dbh (44in) x 12 = 528 in = 44.0 ft radius

Tree #8. E. polyanthemos, medium tolerance, mature tree: dbh (26in) x 12 = 312 in = 26.0 ft radius

Tree #9. Myoprum, high tolerance, mature tree: dbh (13in) x 8 = 104 in = 8.7 ft radius

Tree #10. Dead Tree, not applicable. No protection is needed

Tree #11. P. racemosa, medium tolerance, mature tree: dbh (35in) x 12 = 420 in = 35 ft radius

Tree #12. P. racemosa, medium tolerance, mature tree: dbh (29in) x 12 = 348 in = 29 ft radius

Tree #13. P. racemosa, medium tolerance, mature tree: dbh (38in) x 12 = 456 in = 38 ft radius

Tree #14. E. polyanthemos, medium tolerance, mature tree: dbh (34in) x 12 = 408 in = 34 ft radius

Table 3: Tree Disposition Table

TREE DISPOSITION TABLE

Tree #	Species	Trunk Diameter	Heath	Condition	Calculated TPZ	Minimum distance from trunk	Preserve*/ Remove**
1	<i>E. lehmanni</i>	24	Good	Fair	24 ft radius	12.0 ft	Remove
2	<i>E. polyanthemos</i>	32	Fair	Poor	32 ft radius	16.0 ft	Remove
3	<i>E. polyanthemos</i>	26	Fair	Fair	26 ft radius	13.0 ft	Preserve
4	<i>E. polyanthemos</i>	23	Fair	Fair	23 ft radius	11.5 ft	Preserve
5	<i>E. polyanthemos</i>	30	Good	Good	30 ft radius	15.0 ft	Preserve
6	<i>E. polyanthemos</i>	16	Good	Fair	16 ft radius	8.0 ft	Preserve
7	<i>E. polyanthemos</i>	44	Fair	Fair	44 ft radius	12.0 feet	Preserve
8	<i>E. polyanthemos</i>	26	Fair	Poor	26 ft radius	13.0 ft	Remove
9	<i>Myoprum laetum</i>	13	Good	Poor	13 ft radius	8.7 ft	Remove
10	Dead tree	18	Dead	Dead	N/A	N/A	Remove
11	<i>P. racemosa</i>	35	Fair	Fair	35 ft radius	17.5 ft	Remove
12	<i>P. racemosa</i>	29	Good	Good	38 ft radius	19.0	Preserve
13	<i>P. racemosa</i>	38	Good	Fair	35 ft radius	17.5 ft	Remove
14	<i>E. polyanthemos</i>	34	Good	Fair	34 ft radius	17.0 ft	Remove

**Preserve, if the minimum distance from the trunk base can be obtained. Preservation may be possible for those trees, as indicated. This will be highly dependent on the actual amount of root disturbance or damage that occurs during demolition and construction activities. This can be better assessed once work begins.*

***Remove, if the protection distance cannot be obtained, or the tree's health, condition, or the design layout will not allow for successful preservation.*

As discussed in Appendix C, the calculated Tree Protection Zone generally encompasses the dripline of the tree and as much of the Critical Root Zone as possible. However, because trees have varying structures and forms, oftentimes, this zone is not in a circular design and will vary with regard to its distance from the trunk of an individual tree. For this reason, a “minimum distance from the trunk” is provided in order to accommodate leaning trees or those along fence lines where a protective barrier cannot be installed. The goal of a protection zone is to allow for the least amount of disturbance possible. Mature trees are far less tolerant of root loss and are more susceptible to damage and stress related to construction activities.

Due to the width of the corridor, all of the trees will have roots throughout the entire project area that are considered critical to health and stability. One major problem with this location is that many of the trees are either directly adjacent to the channel wall or the neighboring fence line and, therefore, will have no anchorage roots along those areas. Unfortunately, it is not possible to guarantee the long-term survivability of the trees due to the level of expected impacts.



GLOSSARY

Best Management Practices (BMPs) – The International Society of Arboriculture has developed a series of Best Management Practices (BMPs) to interpret tree care standards and provide guidelines of practice for arborists, tree workers, and the people who employ their services.

Calculated Tree Protection Zone – A TPZ that is calculated using the trunk diameter and a multiplication factor based on the species tolerance to construction and age of the tree. It is often plotted on a plan as a circle or other simple geometric shape. It can be used as a guide for establishing the specified TPZ.

Controlling Authority - An agency, organization, or corporate entity with the legal authority and/or obligation to manage individual trees or tree populations.

Critical Root Zone (CRZ) – The area of soil around a tree where the minimum amount of roots considered essential to the tree's health or structural stability are located. The CRZ is subjective; there are no universally accepted methods to calculate the CRZ.

Crown cleaning – An Arboriculture term used to describe selective pruning to remove one or more of the following: dead, diseased, infested, rubbing, declining, detached, and/or broken branches.

Crown reduction – An arboricultural term referring to decreasing branch length or plant height and/or spread.

Decline – The gradual reduction of the growth and vitality in a plant.

Dieback – The progressive death of twigs and branches, generally starting at the tips or outer edges of the canopy.

Specified Tree Protection Zone – A TPZ that is adjusted in size or shape to accommodate the existing infrastructure, planned construction, and specific aspects of the site, as well as the tree canopy configuration, visible root orientation, size, condition, maturity, and species response to construction impacts.

Tree Protection Zone (TPZ) – An area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development. The TPZ should encompass the critical root zone, based on the judgment of the arborist.

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ASSUMPTIONS AND LIMITING CONDITIONS

1. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the Consultant can neither guarantee nor be responsible for the accuracy of the information supplied by others. Standard of Care has been met with regard to this project within reasonable and normal conditions.
2. The Consultant will not be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
3. Loss or alteration of any part of this report invalidates the entire report.
4. Possession of this report or a copy thereof does not imply a right of publication or use for any purpose by any other than the person to whom it is addressed without the prior written consent of the Consultant.
5. This report and any values expressed herein represent the opinion of the Consultant, and the Consultant's fee is in no way contingent upon the reporting of a stipulated result, a specified value, the occurrence of a subsequent event, nor any finding to be reported.
6. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without dissection, excavation, or coring unless otherwise stated. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the tree(s) or property in question may not arise in the future.
7. Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. It is highly recommended that you follow the arborist's recommendations; however, you may choose to accept or disregard the recommendations and/or seek additional advice.
8. Arborists cannot detect every condition that could lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances or for a specific period of time.
9. Any recommendations and/or performed treatments (including, but not limited to, pruning or removal) of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, site lines, disputes between neighbors, and any other related issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist can then be expected to consider and reasonably rely on the completeness and accuracy of the information provided.
10. The author has no personal interest or bias with respect to the subject matter of this report or the parties involved. He/she has inspected the subject tree(s), and to the best of their knowledge and belief, all statements and information presented in the report are true and correct.



Certificate of Performance

Premises: Franklin Creek Trail, Carpinteria, CA.

I, Rebecca Mejia, certify that to the best of my knowledge and belief:

1. To the best of my knowledge, the statements of fact contained in this report are true and correct.
2. I have personally inspected the trees and property referenced in this report and have stated my findings accurately.
3. I have no current or prospective interest in the trees or the property that is/are the subject of this report, and I have no personal interest or bias with respect to the parties involved.
4. The analysis, opinions, and conclusions were developed, and this report has been prepared according to commonly accepted arboricultural practices and standards.
5. My compensation is not contingent upon the reporting of conclusions that favor the cause of my client or any other party nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am a member of good standing with the International Society of Arboriculture, an ISA Certified Arborist, and an ISA Qualified Tree Risk Assessor. I hold a Bachelor of Science in Forestry and Natural Resources Management, with a minor in Urban Forestry. I have been a Certified Arborist since 1996 and have practiced municipal arboriculture for over 27 years.

Signed:

Rebecca Mejia

Rebecca Mejia
ISA Board Certified Master Arborist # WE-2355B
ISA Qualified Tree Risk Assessor
Consulting Arborist, West Coast Arborists, Inc.

Date: September 13, 2023

Attachment C
Draft ARB Meeting Minutes
from April 17, 2025

Franklin Creek Trail Improvement Project
24-2281-DP/CDP/ARB

July 7, 2025

ACTION MINUTES

The meeting was called to order at 5:30 p.m. by Chair Blakemore

ROLL CALL

Boardmembers present: Amy Blakemore, Chair
Patrick O'Connor, Vice Chair
Richard Johnson
Richard Little

Boardmembers absent: Lisa Woolf

OTHERS PRESENT: 7 members of the public were in attendance

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Project: Franklin Creek Trail Improvement Project, Project 24-2281-DP/CDP/ARB
Address: Franklin Creek between Carpinteria Avenue and Seventh Street
Applicant: Josefina Arechiga, Assistant Engineer, City of Carpinteria Public Works Department
Planner: Syndi Souter

Request of Josefina Arechiga, Assistant Engineer, City of Carpinteria Public Works Department, to consider Project 24-2281-DP/CDP/ARB for preliminary review of a proposal to construct a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street. The two-lane multi-use trail would vary from 12-feet to 13-feet in width and would be approximately 900-feet in length. New landscaping, seating benches, night lighting, and trash receptacles are proposed along the trail. The proposal would require 50 cubic yards of cut, 300 cubic yards of fill, and the removal of six non-native trees. The project site is approximately 0.50 acres in size, zoned Planned Residential Development (PRD-15) and Commercial Planned Development (CPD), is within the Coastal Appeals (CA) and Flood Hazard (FH) Overlay Districts, and is shown as APNs 003-242-036, 003-243-032, 003-251-020, 003-252-018, 003-301-021, & 003-301-025.

Ex Parte Communications Disclosure: None

Staff Comments:

Syndi Souter provided a presentation outlining the project details. The City received a Safe Routes to School grant from the Santa Barbara County Association of Governments funded by Measure A. The trail improvements will provide a formal connection to Alisal School. Syndi presented photos of the exiting Carpinteria Avenue and Seventh Street entrances to the existing informal trail. Syndi presented plans showing the alignment of the new trail along Franklin Creek. The trail improvements will provide dual access along the creek that includes pedestrian and bicycle access as well as County Flood Control District access for maintenance of facilities along the creek. Syndi reviewed the project's aerial showing the location of existing residences near the new trail route and highlighting the project's role in facilitating a safe and efficient route for school children living near the trail. She reviewed the landscaping plan for the project and described trees to be removed and explained that the

sycamore trees would be retained. She described the plantings along the trail and the street intersections, and reviewed an aerial showing the locations. She asked for the ARB to provide input on the planting palette to identify species they would think would be better for the trail. She reviewed the City of Carpinteria policies applicable to the project as detailed in the staff report.

Syndi asked that the ARB provide feedback to staff on the following items:

- the proposed Multiuse Trail design,
- the proposed tree removals,
- the proposed landscaping species, and
- the proposed products for the benching, fences, lighting, waste receptacles, and light fixtures, including night sky compliance (she noted that the light fixtures and waste receptacles were chosen because they are consistent with those already used downtown).

Applicant Comments:

The project team on hand to present the project and respond to questions from the ARB included:

- John Ilasin, Public Works Director,
- Project Manager Josefina Arechiga, Assistant Engineer from Public Works, and
- Landscape architect Kayla Szubielski from RRM Design.

Josefina described the grant funding for the project that includes a Community Development Block Grant, the Measure A Safe Routes to School, and the South Coast Bicycle and Pedestrian programs from the 5th grant cycle. The City has also applied for two additional grants from the same program under the new 6th grant cycle. The goal of the program is to provide a trail for pedestrians of all types, and most specifically a safe route for students attending Aliso School. As of now the trail is not compliant with safety standards and the purpose is to improve upon these conditions and create a positive contribution to the community.

John described how the creekside right of way was situated on County parcels. The City has entered a secondary use agreement to provide for the use of the parcels for the trail project. He explained that the City will now have control of the trail, amenities, and trees to provide maintenance. Prior to the project, it was difficult to obtain maintenance of the trees by the County. Now with the secondary use agreement, the City will have full control of the maintenance of the trees. The County is on board, as they only see the trail for access. This is also a capital improvement project that is of great interest and will be regularly reviewed as a priority and critical infrastructure by the City Council.

Kayla discussed the details of the trail surfacing and the multi-use trail alignment. It is defined as a multi-use trail under the Measure A grant. The types of materials must also support maintenance along the route and is the reason for the surface materials presented in the plan. She described the figure showing the retaining wall as the grade approaches to Carpinteria Avenue and Seventh Street and explained that the design at these locations is not the same along the rest of the route's design and the rest of the alignment to Ninth Street. She discussed how the sycamore area is being treated. She described how the width of the trail and setback areas provide for enough space for all the uses. She noted that the light pole will be at 10-feet high and the fixture at 12-feet. The RRM lighting team worked closely with the Planning Department to ensure the lighting design is compliant with the Coastal Commission and creekside review rules. We worked to ensure our photometrics would not intrude into the creek. The County rules limit lighting to the trail side and not the creekside and that is the reason for their location.

Public Comments:**Beth Anderson:**

- Path should be left as natural as possible
- Meandering design around trees is nice; it should meander more instead of a freeway of cyclists.
- The County has been accessing already for maintenance and is not sure why City needs to improve maintenance.
- She asked if E-Bikes would be allowed.
- She expressed concerns with asphalt safety and maintenance.

Greg Miles

- Expressed that it is a great project and his house fronts the project.
- He expressed concerns with the maintenance of the corridor next to the channel.
- The fence is in bad shape. He asked if the 6-foot wood fence would remain as there is lots of graffiti.
- He is concerned about homeless and criminal activity.

Kaern Anigrati

- Her main concern is asphalt as the trucks already use the dirt roads.
- She has concerns about: on-going asphalt maintenance, graffiti, homeless persons, and how often the garbage cans would be emptied.
- She is also concerned about the availability of funding for ongoing maintenance; if the project cannot be maintained.
- All the Eucalyptus trees should be removed.

Patrick Cooks

- He is an arborist on the Tree Advisory Board and COSMAB and he was first introduced to the project 1.5 years ago.
- The project is in an ESHA and native mature trees should remain.
- He noted that all plants should be as native as possible.
- He expressed concern with asphalt maintenance.

Catherine Decker

- Expressed concern with graffiti on the wood fence.
- She also wanted to know when construction will start.

Boardmember Discussion:**Richard Johnson**

- Noted that the ADA seems to be driving the project and that maintenance is a part of it.
- He objects to fabric sheeting on chain link fencing as it encourages graffiti.
- Removable bollards should be installed instead of a Knox box at each street access point.

Richard Little

- Expressed concerns similar to the public speakers, such as the potential for a bicycle racetrack arising on the trail path.
- He asked if another [trail] surface could be proposed.
- He is concerned about maintenance of project and hopes the City has staff and resources to maintain the trail.
- He is concerned with the potential for criminal activity.
- The trash cans are good, but need to be maintained.

Patrick O'Connor

- Expressed that it is a nice project.
- He stated that the City should explore alternative trail surfaces.
- He does not like fence fabric.
- He noted that another bench style similar to those on Linden would be a better choice.
- He is uncomfortable with the lack of coordination between the adjacent Klentner project and this project- the drainage needs to be addressed.

Amy Blakemore

- Asked that other materials be looked into and include granite-crete.
- Expressed that there is no need for fabric on fence. Black chain link is appropriate.

In regards to plantings,

- She wants the planting plan to lean more to native trees.
- She expressed that Jacaranda is messy, leymus looks bad, and Berkley sedge does not do well; suggested ironwoods and coast live oaks (instead of island oaks).
- The pine is not great choice.
- This is a great project that has come a long way and will be a great community asset.

ACTION: Motion by Boardmember O'Connor, seconded by Boardmember Little to recommend preliminary approval with the following comments:

1. Consider alternative surface materials, including granite-crete;
2. Confirm that the drainage plan is coordinated with the adjacent project;
3. Remove fabric covering from fencing; and
4. Adjust plant palette to include more native plants.

VOTE: 4-0

OTHER BUSINESS: None

CONSENT CALENDAR:

2) The Action Minutes of the Architectural Review Board Meeting of March 17, 2025.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember O'Connor to approve the minutes as drafted.

VOTE: 3-0, Amy Blackmore, abstained

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL:

None.

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

Matters by Staff:

Attachment D
CEQA Notice of Exemption

Franklin Creek Trail Improvement Project
24-2281-DP/CDP/ARB

July 7, 2025

Notice of Exemption**Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara

105 East Anapamu Street

Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria

5775 Carpinteria Avenue

Carpinteria, CA 93013

(Address)

Project Title: Franklin Creek Trail Improvement Project

Project Applicant: Josefina Arechiga, Assistant Engineer, City of Carpinteria Public Works Department

Project Location - Specific:

Franklin Creek between Carpinteria Avenue and Seventh Street (APNs 003-242-036, 003-243-032, 003-251-020, 003-252-018, 003-301-021, & 003-301-025)

Project Location - City: Carpinteria

Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

The proposed project would allow construction of a new multi-use trail that would be located adjacent to Franklin Creek and extend from Carpinteria Avenue to Seventh Street.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Josefina Arechiga, Asst. Engineer, City of Carpinteria

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: §15301(c), §15303(e), §15304(a) & (b)
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

The project includes only the construction of a new ADA compliant multi-use trail that would replace an existing informal use trail that runs along the southeast bank of Franklin Creek between Carpinteria Avenue and Seventh Street. The project would include new pervious concrete paving, fencing, retaining walls, grading on slopes of up to 8%, landscaping, and public amenities.

Lead Agency

Contact Person: Syndi Souter, Senior Planner

Area Code/Telephone/Extension: (805) 755-4405

If filed by applicant:

1. Attach certified document of exemption finding.

2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: Syndi Souter

Date: 7/5/2025

Title: Senior Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.

Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

July 2025

July 2025							August 2025						
Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa	Su
7	1	2	3	4	5	6	4	5	6	7	1	2	3
14	8	9	10	11	12	13	11	12	13	14	8	9	10
21	15	16	17	18	19	20	18	19	20	21	15	16	17
28	22	23	24	25	26	27	25	26	27	28	22	23	24

MONDAY	TUESDAY	WEDNESDAY	THURSDAY	FRIDAY	SATURDAY	SUNDAY
Jun 30	Jul 1 4:00pm 9:00pm CERT Final Drill (Juliza) (Council Chambers) - Council Chamber	2 5:00pm 7:00pm Fire District Board Meeting	3 8:30am 10:00am DTBAB Meeting (Council Chambers) 2:00pm 3:00pm PW Dept Staff Meeting	4 City Hall Closed - Independence Day	5	6
7 5:30pm 9:00pm Planning Commission Meeting - TELEVISED	8 5:30pm 7:30pm School District Board Regular Mtg (TV)	9 5:30pm 8:30pm Water District Board Mtg - Televised (Council Chamber)	10 2:00pm 3:00pm PW Dept Staff Meeting (Council Chamber) - 5:30pm 8:00pm GP Workshop (Tentative)	11	12 9:00am 11:00am Carpinteria Beautiful Meeting	13
14 3:00pm 8:00pm City Council Meeting - Televised	15 5:30pm 7:00pm Special Council Meeting (Council Chambers) - Council Chamber	16 5:30pm 7:00pm Traffic Safety Committee (Council Chambers)	17 8:30am 10:00am All Staff Quarterly 2:00pm 3:00pm PW 3:00pm 4:30pm 5:30pm 8:00pm ARB	18 8:00am 12:00pm BEACON	19	20
21 5:30pm 7:00pm General Plan Update Committee Meeting 5:30 Start Time	22 8:00am 5:00pm HR as a Business Partner Hosted by CIPIA (Carpinteria City Hall - Council Chambers)	23 5:30pm 8:30pm Water District Board Meeting - Televised	24 2:00pm 3:00pm PW Dept Staff Meeting (Council Chamber) - John Ilasin	25	26	27
28 3:00pm 8:00pm City Council Meeting - Televised	29 5:30pm 7:00pm Special Council Meeting HOLD	30	31 2:00pm 3:00pm PW Dept Staff Meeting (Council Chamber) - 5:30pm 8:00pm ARB (Tentative)	Aug 1	2	3

City of Carpinteria
Planning Activity Summary

June 2025

- | | | | |
|-----------------------------|--------------------|---------------------------|------------------------|
| 1. In 30-day review process | 5. Schedule for PC | 9. Schedule for final ARB | 13. BP issued |
| 2. Incomplete | 6. PC approved | 10. Final ARB Approval | 14. Under construction |
| 3. Schedule for ARB | 7. Schedule for CC | 11. Schedule for CCC | 15. C of O issued |
| 4. Director's Decision | 8. CC Approved | 12. In plan check | |

Last Edited 06/30/2025

Project #	Owner / Applicant	Address	Street	Project Description	Activity	Planner	Status	Code Violation
25-2358-DP/CDP/TPM/ARB	Carpinteria Group LLC	5110	Ogan Road	Multifamily Residential SB 330 Submittal	Submitted 6/26/2025	Bret	1	
25-2357-CDP/ADU	Linda Hernandez	1471	Trenora Street	Demo (e) trellis and construct a new 600sf detached ADU	Submitted 6/17/2025. Under review.	Syndi	1	
25-2356-DP/CDP/TTM	Spencer Kallick	5885	Carpinteria Ave.	191 housing units	Submitted 6/17/2025. Under review.	Mindy	1	
25-2355-FENCE/ARB	Karl & Diana Dempwolf	954	Concha Loma	New 6' tall front fence & gate	Submitted 6/12/2025. Under review.	Syndi	1	Yes
25-2335-DP/CDP/ARB	4956 Fifth, LLC	4956	Fifth Street	Convert 7-unit apt bldg to 9-units with int/ext renovations	Submitted 3/6/2025. Incomplete 4/3/2025. Resubmittal 4/24/2025. 2nd Incomplete 5/23/2025. Resubmittal 6/23/2025. Under review.	Syndi	1	
24-2315-DPR/CDP/ARB	The Towbes Group	1001-1025	Casitas Pass Road	Site access improvements, modify trellis and central landscape area	Submitted 10/28/24. Under Review. Incomplete 11/15/24.	Brian	1	
24-2304-SIGN	Santa Barbara Signs for OneLegacy	4180	Via Real	Wall mounted sign, 3 dimensional letters, non-illuminated.	Submitted 7/19/2024. Under review. Incomplete. Pending resubmittal.	Marysol	1	
25-2352-DP/TTM/CDP/ARB	Nick Patterson for City Ventures	6380	Via Real	97 new townhomes & associated tract map improvements	Submitted 5/29/2025. Incomplete 6/25/2025.	Syndi	2	
25-2349-CDP/ADU	Mark Gonzales	1159	Church Lane	New 554sf attached ADU	Submitted 5/22/2025. Incomplete 6/18/2025.	Syndi	2	
25-2336-CUP/CDP/ARB	Verizon Wireless	912	Linden Ave	New Telecom Facility on roof	Submitted 3/06/25, under review. Incomplete 4/01/25.	Bret	2	
25-2331-DP/CDP	Surf Cottages, LLC	4716	Seventh St	Remodel (E) SFD, construct carport, construct 2 (N) 2-story residential units.	Submitted 2/24/25. Incomplete 3/12/25.	Megan	2	
24-2317-TPM/CDP	Frontier California Inc.	5115	Ogan Road	Two Way Lot Split	Submitted 11/14/2024. Incomplete 12/12/2024.	Syndi	2	
24-2287-CDP/ARB	Samatha Anderson	5444	Cameo Road	Extensive int/ext remodel and 747sf of additions to existing SFD	Submitted 3/26/2024. Incomplete 4/18/2024.	Syndi	2	
23-2215-SIGN	Neon Plus Signs / Fancy Floors	1015	Casitas Pass Road	1 wall electric channel letter sign and 1 hanging sign	Submitted 3/23/2023. Incomplete. Resubmittal 4/26/2022. Incomplete. 7/31/2023. Incomplete 8/2/2023.	Marysol	2	
21-2099-CUP	Family Baptist Church	5026	Foothill Road	New portable classrooms for elementary school	Submitted 3/15/2021. Incomplete 4/13/2021. Resubmitted 5/26/2021. Incomplete 6/24/2021. Prelim ARB 6/17/2021, continued to 7/1/2021 with comments. Project on hold per applicants.	Marysol	2	
20-2073-SIGN	Ramiro Vega	830	Maple Avenue	New illuminated sign (as-built)	Submitted 11/6/2020. Incomplete 12/3/2020. Pending resubmittal.	Marysol	2	Yes
20-2033-SIGN	Yummy Yogurt	1005	Casitas Pass Road	New sign	Submitted 2/7/2020. Incomplete 3/6/2020. Resubmitted 4/10/2020. Under review. Pending resubmittal.	Marysol	2	Yes

19-2018-FENCE	Ernesto Verburgt	4516	El Carro Lane	7 foot side yard fence (resulting from grade difference)	Submitted 10/25/2019. Incomplete. Partial resubmittal 12/10/2019. Building Permit in plan check. Awaiting solution for last incompleteness item.	Marysol	2	
15-1783-SIGN/FENCE	Arbor Trailer Park	4677	Carpinteria Avenue (Ninth Street)	New frontage fences and signage	Submitted 08/05/15. Need survey from PW. Incomplete 08/17/15. See Matt M for PW status.	Marysol	2	Yes
25-2339-CDP/ARB	Alan Smith	5560	Calle Ocho	Addition and remodel of an existing SFD	Submitted 3/17/2025. Under review. Incomplete 4/16/2025. Complete 6-5-2025. Schedule for ARB	Marysol	3	
25-2334-DPR	Shepard Place Apartments Improvements	1069	Casitas Pass Road	Exterior improvements	Submitted 2/24/25. Incomplete 3/25/2025. Complete on 6/23/25.	Mindy	3	Yes
25-2329-DP/CDP/ARB	CUSD	4545	Carpinteria Ave	New Kindergarten building at Aliso School	Submitted 1/17/25. Incomplete 2/12/25. Complete 4/30/25. Scheduled for ARB 7/31/25.	Megan	3	
25-2328-CUP/CDP/ARB	Gordon Burgess	748	Maple Avenue	Remodel, 726sf 1st floor addition, & 1190sf new 2nd story to a 997sf SFD	Submitted 1/28/2025. Incomplete 2/25/2025. Resubmittal 3/20/2025. Complete 4/11/2025. Tentatively scheduled for ARB on 7/31/2025.	Syndi	3	
24-2301-SIGN	CB & G Sign Solutions, Inc. for property owner	1145	Eugenia Place	New sign program for the property	Submitted 6/27/2024. Schedule for ARB 8/15/2024	Marysol	3	
23-2232-DP/CDP/ARB	Peter Coeler	333	Linden Avenue	New 2-story SFD on a vacant lot	Submitted 7/13/2023. Incomplete 8/10/2023. Resubmitted 3/15/24. 2nd Incomplete 4/15/24. Resubmitted 12/06/24. 3rd Incomplete 1/02/25. Resubmittal 1/16/2025. Complete 2/13/2025. Prelim ARB on 5/1/2025	Syndi	3	
23-2207-DP/LCPA/TPM/CDP	Carp Bluff, LLC	5669 & 5885	Carpinteria Avenue	New 99-room resort and 41-unit apartment building.	Submitted 2/3/2023. Incomplete 3/3/2023. Resubmitted 7/19/2023. 2nd Incomplete 8/18/2023. Resubmittal 10/12/2023. 3rd Incomplete 11/8/2023. Resubmittal 11/16/2023. Complete 11/21/2023. To ARB on 1/25/2024 for prelim review-continued with comments. RFP for EIR out for bids on 5/20/2024. Three bids received. Project on hold per agent.	Syndi	3	
25-2351-CDP	Santa Barbara County Flood Control District		5800 Via Real, 893 Concha Loma Drive, 615 Concha Loma Drive, 5400 6th Street, 447 Concha Loma Drive, and 5446 Eighth Street	Annual Routine Maintenance of Carpinteria Creek, Annual Routine Maintenance Plan Update 2025-2026, Sites 12-19	Submitted 6/2/2025. Director Review	Bret	4	
25-2350-TUP	Reality Church/Adam Smith	5315	Foothill	Request for 1 year TUP extension for church use at existing Girls Inc. campus	Submitted 5/29/2025. Director review.	Bret	4	
25-2345-CDP/ADU	Jerry & Christi Anderson	5664	Calle Pacific	Convert (e) 443 garage to an ADU	Submitted 4/30/2025. Director approval 5/23/2025.	Syndi	4	

25-2341-CDP/ADU	Bernardo Cruz	1028	Cramer Road	New detached 573sf ADU	Submitted 3/25/2025. Director approval 4/29/2025.	Syndi	4	
24-2326-CDP/ADU	Sara Brito	1232	Vallecito Road	Convert 320sf garage and add 220sf for a new 540sf ADU	Submitted 12/18/2024. Director Approval 1/16/2025.	Syndi	4	
24-2321-CDP/ADU	Tim Finnigan	4213	Carpinteria Avenue	New 996sf ADU, 240sf deck, & 430sf garage	Submitted 11/21/2024. Director Approval 12/19/2024.	Syndi	4	
24-2306-DP/CDP/ARB	Jeffrey Becker, Seaside Apartment Investors, LLC	141-155	Holly Avenue	New landscaping & exterior paint colors for 4 apartment buildings (Driftwood Apts.)	Submitted 7/24/2024. Incomplete 8/15/2024. Partial resubmittal 8/28/2024. To ARB for Prelim/Final review with conditions 9/26/2024. Director Approval 3/5/2025. BP #14755 submitted 5/14/2025 & is ready to issue.	Syndi	4	
24-2305-DPR/CDP	Noormand and Sons, Inc.	5205	Carpinteria Ave	Private parklet	Submitted 7/23/24. Under review. Complete 8/14/24. Director approval 10/08/24. Awaiting BP submittal.	Brian	4	
24-2302-DPR/CDP	Ebbink/Little Dom's	686	Linden Ave	Private parklet	Submitted 7/03/24. Under review. Incomplete 7/23/24. Sent intent to close letter 1/02/25. Phone call with agent 1/09/25, intend to resubmit, keep open. Resubmitted 2/25/25, under review. Complete 3/06/25. ARB Prelim/Final 3/27/25. Director Review Approved 3/24/2025, no appeal. FLAN issued 5/20/2025. Awaiting BP submittal.	Bret	4	
24-2278-CDP/ADU	Saticoy Development, LLC	4253	Carpinteria Avenue	New 609sf detached ADU	Submitted 2/7/2024. Director approval 3/6/2024.	Syndi	4	
23-2269-CDP/ARB	George & Marijo De Mattos	413	Calle Dia	290sf bedroom & kitchen addition and 900sf remodel, & new driveway	Submitted 12/7/2023. Incomplete 1/5/2024. Resubmitted 5/2/2024. Complete 5/14/2024. Revised project submitted 1/28/2025. To ARB for prelim review 3/27/2025. Awaiting revied plans w/ ARB comments.	Syndi	4	
21-2116-ARB	Motel 6	5550	Carpinteria Avenue	Lighting and landscaping	Submitted 7/14/2021. Incomplete 8/12/2021. Resubmitted 11/10/2021. Incomplete 12/9/2021. Resubmittal 12/20/2021. Incomplete 1/19/2022. Pending Resubmittal. ARB 4/28/2022. Director approved 7/5/22. Coastal Commission Appeal period ends 8/4/2022. Property ownership has changed. New property owner has been informed on next steps to clear violation 04/25/2023. New project team preparing resubmittal starting 5/2023. In progress.	Marysol	4	
21-2112-LCPA	City of Carpinteria		Citywide	Downtown Design Overlay Program	RRM Drafting DDO amendments. Edits and comments to Ch 14 resubmitted to RRM.	Nick/RRM	4	Yes
19-1986-LCPA	City of Carpinteria		Citywide	Development Design and Housing Regulation Changes	See 21-2112 for Downtown Overlay.	Nick/Mindy	4	

24-2313-CUP/CDP	Carpinteria Valley Water District	Various		Carpinteria Advanced Purification Project (CAPP)	Submitted 9/09/24. Under review. Incomplete 10/08/24. Resubmitted 2/07/25. 2nd Incomplete 3/6/2025. Complete 4/29/2025. ARB Final 5/15/2025. Tentatively scheduled for PC on 7/4/2025.	Bret	5	
24-2281-DP/CDP/ARB	City of Carpinteria	Franklin	Creek Trail	Landscaping & hardscape improvements to trail b/t Carpinteria Avenue & Seventh Street	Submitted 2/26/2024. Incomplete 3/27/2024. Resubmittal 7/31/2024. 2nd Incomplete 8/30/2024. Resubmittal 9/9/2024. Complete 10/10/2024. Prelim review at ARB 4/17/2025. Tentatively scheduled for PC on 7/7/2025.	Syndi	5	
23-2254-DP/CUP/CDP/ARB	499 Linden Managers LLC	499 & 399	Linden Avenue	New 36-room two-story hotel with roof deck and new 83-space parking lot	Submitted 9/13/2023. Incomplete 10/13/2023. Resubmittal 5/9/24, under review. Incomplete 6/7/24. Resubmitted 7/18/24. Under review. Complete 8/15/24, ARB preliminary review 12/12/24. Preliminary ARB complete 12/12/24. EIR RFP distributed 1/22/25. EIR consultant selected and agreement approved 4/14/25. EIR Kickoff by 5/1/25. NOP 5/29/25 to 6/27/25.	Mindy	5	
23-2248-CUPR	St. Joseph Catholic Church	1532	Linden Avenue	CUP revision to allow for an elementary school	Submitted 8/30/2022. Incomplete 9/28/2023. Resubmitted 11/2/2023. Complete 12/28/2023. Review in progress.	Marysol	5	
23-2234-DP/CDP/ARB	Peter Coeler	4934	Dorrance Way	New 2-story SFD, demo existing SFD	Submitted 7/13/2023. Incomplete 8/11/2023. Resubmitted 12/1/23. 2nd Incomplete 12/27/23. Resubmitted 6/10/24. 3rd Incomplete 7/10/24. Resubmitted 12/18/24. 4th Incomplete 1/14/2025. Resubmittal 1/16/2025. 5th Incomplete 2/14/2025. Resubmittal 2/24/2025. Complete 3/24/2025. Prelim ARB on 5/1/2025. Tentatively scheduled for PC on 8/4/2025.	Syndi	5	
23-2233-DP/CDP/ARB	Peter Coeler	4949	Dorrance Way	New 2-story SFD, demo existing SFD	Submitted 7/13/2023. Incomplete 8/11/2023. Resubmitted 12/1/23. 2nd Incomplete 12/27/23. Resubmitted 6/10/24. 3rd Incomplete 7/10/24. Resubmitted 2/26/2025. 4th Incomplete 3/28/2025. Complete 4/11/2025. Prelim ARB on 5/1/2025. Tentatively scheduled for PC on 8/4/2025.	Syndi	5	
23-2231-ORD/LCPA	City of Carpinteria		Citywide	ADU Ordinance amendments to address changes to state law.	Initiated by CC 08/28/23. PC rec'd approval 3/4/24. CC approved first reading 7/8/24. Submitted to Coastal Commission 8/13/24. Postponed from September '24 CCC agenda. To be scheduled for PC in Summer 2025 to review new changes.	Megan	5	

23-2221-DPR/CDP	Justin Klentner	4745	Carpinteria Ave	Revision to 4,304 sq.ft.commercial space to keep 3,404 sq. ft. commercial and change 2,807 sq.ft. to 6 hotel rooms.	Submitted 5/5/2025. Complete 5/20/2025. Director Decision Approved 6/6/2025. Appeal filed 6/16/2025. PC tentatively scheduled 8/4/2025	Bret/Nick	5	
21-2128-DP/CDP	Chevron	5675	Carpinteria Avenue	Decommissioning and Remediation of the Carpinteria Oil and Gas Processing Facilities	Submitted 10/25/2021. Labels Submitted 11/10/21. Complete 3/8/22. NOP Issued 8/1/2022. IS comment period extended to 9/30/2022. Draft EIR comment period underway until 1/31/24. ERC meeting held 12/18/23. Proposed Final EIR underway.	Nick/Luis	5	
16-1810-LCPA	City of Carpinteria		Citywide	General Plan/Coastal Land Use Plan Update	kick off meeting April 27, 2016. Ongoing through 2025. GPUC reconvened 3.18.24. All draft elements reviewed by GPUC. Complete public draft to be published Spring 2025.	Nick/WSP	5	
05-1210-ZTA/LCPA	City of Carpinteria		Citywide	Zoning Code Update	Kick-off meeting 4/20/05. Joint Study Session 5/16/05. All administrative draft chapters delivered 5/12/06. Ongoing through 2024.	Nick	5	
23-2251-CUP	Jeffrey and Lori Runnfeldt / Ray Ames	1025	Cindy Lane	Automobile storage.	Submitted 9/08/2023. Incomplete 10/05/2023. Resubmitted 3/14/24. Incomplete 4/15/24. Complete 5/1/24. Scheduled for PC 7/01/24. PC approved. Awaiting BP submittal.	Bret	6	Yes
22-2194-DP/CDP	City of Carpinteria	5775	Carpinteria Avenue	New 1,500sf storage building	Submitted 10/12/2022. Incomplete 11/9/2022. Resubmittal 11/29/2022. Complete 12/28/2022. To ARB for prelim/final on 1/26/2023. Approved by PC on 5/1/2023.	Syndi	6	
20-2072-CUP/CDP	Ben Paul	4652	Fourth Street	Exterior and interior remodel of two existing detached dwelling (as-built).	Submitted 10/20/2020. Incomplete 11/19/2020. Resubmittal 01/08/2021. Prelim/Final ARB 01/14/2021. Incomplete 2/4/2021. Resubmittal 3/8/2021. Complete 3/25/2021. Planning Commission 6/7/2021. Approved. Pending Building Permit submittal.	Marysol	6	yes

16-1822-DP/CDP	Via Real Hotel	4110	Via Real	New 110-room hotel	Submitted 4-19-16. Incomplete 5-18-16. Resubmittal 7/14/16. Incomplete 8/11/16. Resubmittal 9-12-16. Incomplete 10/11/16. Resubmitted 10/31/16. Complete 11/30/16. Prelim ARB 12/15/16, cont'd to future meeting. In-progress ARB review 2/16/17. Prelim ARB approval 3/30/17. Env. review underway. Reviewed updated biological/wetland reports; CCC determined creek regulations apply. Site visit w/ CCC 6/8. Revised project submitted 7/24/19; under review. Revised preliminary ARB review 8/29/19; continued to 11/21/19 ARB meeting. Revised prelim ARB approval 11/21/19. Draft MND released for 30-day public comment period 10/15/22. ERC recommended approval of MND 11/1/22 to PC. Proposed Final MND underway. PC approved 4/3/23. CCC appeal period ends 5/2/23. Awaiting Building Permit submittal. BP, submitted Time Extension request 10/28/24. Scheduled for PC 12/02/24. PC Approved 12/02/24. Flan send 12/17/24. BP submitted, plan corrections required prior to routing for plan check.	Bret	6	
14-1722-TPM/CDP	Godfrey	1056	Eugenia Place	Subdivide (e) mixed use building into three condominiums	Submitted 6/19/14. Incomplete 7/17/14. Resubmitted 10/20/14. Complete 10/29/14. PC approved 11/3/14. FLAN sent 11/18/14.	Nick	6	
24-2279-LCPA/ORD	City of Carpinteria		Citywide	Housing Element rezones and associated Title 14 amendments	Planning Commission 11/04/24, City Council first reading 11/25/24. City Council second reading 12/9/24. Coastal Commission Hearing with modification 3/14/25. Scheduled to accept mods at City Council 4/14/25.	Mindy/Megan	7	
23-2243-DP/CUP/TPM/CDP/ARB	RPG Carpinteria, LLC	6380	Via Real	New mixed-use with 159 apartments, 6,718sf of office space, and a 2,224sf café/deli	Submitted 8/2/2023. Incomplete 9/1/2023. Resubmittal 11/22/2023. 2nd Incomplete 12/22/2023. Resubmittal 1/11/2024. Complete 2/8/2024. To ARB for prelim review on 4/11/2024. CC/PC/ARB Concept Review on 6/18/2024. On hold.	Syndi	7	
21-2111-LCPA	City of Carpinteria		Citywide	Density Bonus Program	PC rec'd approval 6/3/24. On hold pending legislative info and Coastal Commission collaboration.	Nick/Mindy/Megan	7	

19-2015-CUP/CDP	City of Carpinteria		Carpinteria Ave	Construct Carpinteria Rincon Trail	Submitted 10/17/19. AB52 Notification 10/29/19. Release of public draft MND 11/1/19. To ERC 11/14/19. PC acceptance & certification of MND 1/6/20. Appeal of PC filed 1/15/20. Appeal set aside. NOP Released for EIR 10/30/20. NOP Scoping Hearing 11/17/20. NOP Scoping Period closed 11/30/20. Draft EIR released for 45-day review period 3/12/21. To ERC 4/13/21. DEIR commented period ended 4/26/21. ARB Prelim Approval 10/28/21. Proposed Final EIR published 1/3/22. PC approved 1/18/22. Appeals filed 1/28/22. City Council conceptually upheld appeals 3/28/22. Stakeholder outreach underway. CC selected Alt 3 to proceed 5/15/23. Back to CC Summer 2024.	Nick	7	
19-1982-MCA	City of Carpinteria		Citywide	Seismic Retrofitting of Soft-Story Buildings	Initiated by the City Council on 5/13/19. To City Council for first read on 1/13/2020. Public Workshop held 2/22/2020. Revised first read to CC 1/8/24. Staff to hold public workshop & then return to CC.	Dan / Nick	7	
23-2271-ORD	City of Carpinteria	Citywide		Multifamily Housing Smoking No-Smoking regulations	CC feedback 3/11/24 CC 1st read 6/24/24 CC 2nd read 7/8/24. Outreach underway Spring 2025. Ordinance in effect 7/1/2025	Megan/Mindy/ David	8	
23-2261-TUP	City of Carpinteria		Monte Vista Park	Off Leash dog park pilot program	6 month TUP review at PC November 4 2024-- PC voted to allow continued operation.	Megan	8	
22-2157-GPA	City of Carpinteria		Citywide	Housing Element Update	Kick off Meeting June 6, 2022. Discussion of strategies at PC 8/1/2022. Adopted by City Council on 4/10/23. Sent to HCD for Certification on 4/12/23. HCD deadline to respond is 6/11/2023. 6/30/2023 working on first revision since Adopted Element was submitted to HCD. Revised draft submitted to HCD 11/14/22; under review. CC re-adoption 1/22/24. Resubmitted to HCD for final certification 1/23/24.	Nick/Mindy	8	
24-2303-DP/CDP/ARB	701 Linden LLC	701	Linden	Palms Restaurant Renovation	Submitted 7/15/24. Under review. Incomplete 8/14/24. Complete 9/24/24. Preliminary ARB approval 9/26/24. Scheduled for PC 12/02/24. PC Approved 12/02/24. Flan sent 12/17/24. Awaiting Final ARB plans. Scheduled for Final ARB 2/13/25. Final ARB approved 2/13/25. Awaiting BP submittal.	Bret	10	

23-2209-CDP/ARB	Mark & Megan Pfaff	5559	Calle Arena	New 2,631 sf 2-story SFD with a 401sf attached 2-car garage.	Submitted 2/8/2023. Incomplete 3/10/2023. Resubmittal 4/13/2023. Incomplete #2 5/12/2023. Resubmittal 5/24/2023. Complete 6/22/2023. To ARB on 8/17/2023 for prelim review-continued with comments. Resubmittal 4/18/2024. Cont'd prelim review at ARB on 7/11/2024. Director approval 9/17/2024. CCC appeal period ended 10/21/2024. Final ARB on 2/13/2025. Awaiting revised plans with ARB comments for BP submittal.	Syndi	10	
14-1719-CUP/CDP	City of Carpinteria		Carpinteria Ave Bridge	Replace Carpinteria Ave Bridge over Carpinteria Creek	NOP & Scoping Document released 7/3/14. Scoping Hearing 7/22/14. Project overview to PC 9/2/14. Project update to CC 11/10/14. ARB CON 2/12/15. EIR released for public comment 3/25/16. ERC 4-26-16. Public Comment Period closed 5-9-16. Prelim ARB approval 9/15/16. PC approved 11/7/16. Sent to CCC 11/18/16. PW completing 65% drawings 3/17. Utility relocation coordination underway 3/17. Construction easement acquisition underway Spring 2018. Entitlements expired, need CEQA Addendum to address CSD Siphon relocation. Final ARB 11/21/19. PC approval for reauthorization of CUP/CDP and acceptance of CEQA Addendum 6/01/20.	Nick	10	
17-1896-LCPA/ORD	City of Carpinteria			Citywide commercial cannabis regulations	12/11/17 briefing to CC. 1/22/18 briefing to CC. 4/23/18 CC initiates Ord development. PC 10/1/18 cont'd. 11/5/18 PC recommended approval to CC. CC approved 1st reading 11/26/18. CCC Approved LCPA 2/7/19. Ordinance 2nd reading approved by CC 3/25/19. Consultant contract for licensing program awarded by CC 4/08/19. CCC acceptance of LCPA 5/9/19. Drafting of Licensing program underway.	Nick	11	
25-2342-CDP/ADU	Robert Burlison	5035	Seventh Street	New 480sf detached ADU (City Prototype Plan #2)	Submitted 4/1/2025. Resubmittal 4/30/2025. Director approval 5/9/2025. BP #14751 submitted 5/8/2025.	Syndi	12	
25-2337-SIGN	Goleta Signs for 700 Linden	700	Linden	New signage for Linden Square and individual signs for each tenants	Submitted 3/7/2025. Under Review. Incomplete. Resubmitted 3/25/2025. Approved 3/27/2025. In Building Permit Plan Check.	Marysol	12	

24-2325-CDP/ARB	Tom Brown	600	Arbol Verde Street	New 127sf addition & exterior alterations	Submitted 12/11/2024. Incomplete 1/9/2025. Resubmittal 2/11/2025. 2nd Incomplete 3/13/2025. Resubmittal 3/17/2025. Complete 4/10/2025. Prelim ARB on 5/15/2025. Director approval 5/23/2025. BP #14791 submitted 6/10/2025.	Syndi	12	
24-2323	Carp-Summerland Fire	911	Walnut	Addition and interior remodel.	Submitted 11/27/24. Under Review. Incomplete 12/18/24. Complete 1/16/25. Director approval 3/04/25. Flan send 3/18/25. In plan check.	Brian	12	
24-2318-CUP/CDP	Mark Llamas	1082	Elm Avenue	Interior remodel to legal nonconforming SFD	Submitted 11/20/2024. Incomplete 12/20/2024. Resubmittal 1/21/2025. Complete 2/19/2025. PC approved on 4/7/2025. BP #14745 submitted 5/1/2025.	Syndi	12	
24-2300-CDP/VAR	City of Carpinteria Pubic Works	5775	Carpinteria Ave	Equipment Carport	Submitted 6/20/24. Complete 07/17/24. Scheduled for PC 10/7/24. PC approved, CCC appeal period expires 11/07/24. Awaiting BP submittal. BP 14624 submitted 1/15/24, in plan check.	Brian	12	
24-2297-DPR/CDP	Smigel/Sunburst Parklet	5080	Carpinteria Ave	Private parklet	Submitted 6/07/24. Under review. ARB Matters by Staff 7/11/24. Director approval 7/30/24. Waiting for Bldg permit submittal. BP 14520 submitted 9/20/24, ready to issue.	Brian	12	
24-2292-CUP	Dish Wireless	6267	Carpinteria Avenue	(N) Wireless Facility	Submitted 4/11/24. Incomplete 5/2/24. Resubmitted 7/05/24. Complete 7/10/24, preliminary ARB 8/15/24. Scheduled for PC 12/02/24. PC Approved 12/02/24. Flan send 12/17/24. Scheduled for Final ARB 1/16/25. Final ARB approval 1/16/25, awaiting BP submittal. BP 14660 submitted, in plan check.	Brian	12	
23-2241-SIGN	Mollie's Italian Deli	1039	Casitas Pass Road	Acrylic wall mounted sign and a hanging blade sign	Submitted 8/1/2023. Corrections. Resubmittal under review. Approved 9/14/2023. Building Permit for one sign issued. Deferred building permit for second sign in plan check 01/22/2024. Building Permit ready for issuance, pending pickup 3/18/2024. Permit still pending pickup 09/30/2024.	Marysol	12	
23-2236-ARB/CDP	Schlobohm	5030	Carpinteria Avenue	Facade improvements to the building	Submitted 7/18/2023. Incomplete 8/17/2023. Prelim/Final ARB 8/31/2023. Resubmittal 11/28/2023. Director Approved 03/29/2024. Building Permit in Plan Check. Building Permit in Final Processing 10/2024.	Marysol	12	

23-2218-ARB/CDP	Joseph Cardenas	5401	Cameo Road	New 587 sf 2nd story addition, 460 sf garage conversion, new 587 sf garage.	Submitted 4/4/2023. Incomplete 5/3/2023. Complete 6/21/2023. ARB P/F 7/27/2023. Director approved 10/24/2023. Building Permit application submitted to plan check 10/26/2023. On hold at applicant's request 05/2024.	Marysol	12	
22-2164-DPR/CDP	Parga Construction for The Spot	389	Linden Avenue	Patio Cover over steel structure and canvas shades	Submitted 6/23/2022. Incomplete 7/21/22. Resubmittal 12/22/2022. Incomplete 1/19/2023. ARB 3/16/2023. Pending resubmittal in response to comments. Resubmittal 7/17/2023. Director Approval 01/16/2024. Final ARB 02/29/2024. Building Permit submitted 11/7/2024, in plan check. Corrections back to applicant, pending response.	Marysol	12	
22-2145-ARB/CDP	Heather & Sean Findley	864	Arbol Verde Street	Garage conversion to living space and 567sf addition with new garage and foyer.	Submitted 3/15/2022. Incomplete 4/14/2022. Resubmittal 5/24/2024. 2nd Incomplete 6/24/2024. Resubmittal 8/1/2024. Complete 8/2/2024. Director approval 8/19/2024. BP#14687 submitted 3/18/2025.	Syndi	12	
21-2129-DPR/CDP	The Storage Place	6250	Via Real	New storage units (modular)	Submitted 10/27/2021. Incomplete 11/24/2021. Resubmitted 12/10/2021. Complete 1/4/2022. PC 3/7/2022. Building Permit in plan check. Plan check on hold at applicant's request.	Marysol	12	
21-2083-DP/TPM/CDP/ARB	Jerry & Lisa Zins	4905	Eighth Street	New condominium triplex	Submitted 1/13/2021. Incomplete 2/12/2021. Owners have decided to do condos instead of apts. Resubmitted 9/17/2021. 2nd Incomplete 10/11/2021. Revised duplex apt. project submitted 2/4/2022. Complete 3/7/2022. To ARB for prelim 4/28/2022. Revised plans for 3 condos submitted 6/27/2022. Revised plans submitted 8/30/2022. To ARB for cont'd prelim review on 9/15/2022. Revised plans submitted 11/15/2022. Approved by PC on 2/6/2023. PM to City Surveyor for review 10/12/2023. BP#14159 submitted 10/19/2023. Final ARB on 12/14/2023. CC accepted map 12/9/2024. Map recorded 12/26/2024. BP ready to issue pending PW review.	Syndi	12	

20-2057-DP/CUP/CDP	Martha Marquez	4684	Seventh Street	Construct a 258 SF addition and new entry porch to Unit A on the existing duplex.	Submitted 7/22/2020. Incomplete 8/21/2020. Resubmittal 3/23/2021. Incomplete 4/21/2021. Resubmittal 3/16/2022. Complete 4/15/2022. To ARB for preliminary review on 5/26/2022. Approved by PC on 12/5/2022. Final ARB on 4/27/2023. BP#14153 submitted 10/16/2023. TEX for Planning & BP submitted 6/20/2024. TEX to PC on 10/7/2024.	Syndi	12	
18-1903-DP/CDP	Procore	6303	Carpinteria Ave	Renovation of exterior building facade, landscape and driveway/parking lot	Submitted 1/16/18. Incomplete 02/14/2018. Resubmitted 08/15/2018. Incomplete 9/14/2018. Concept ARB review 10/11/18. Continued Conceptual ARB review 11/15/2018. Complete 01/11/2018. Prelim ARB 02/13/2019. PC 07/01/2019. Final ARB 9/12/2019. In plan check, pending resubmittal. Proposal to proceed with partial relandscaping only under review. Project on hold at applicant's request.	Marysol	12	
15-1788-CDP	Gobbell	5398	Star Pine Road	Convert (E) accessory building into a second dwelling unit	Submitted 8/19/15. Incomplete 9/4/15. Resubmittal 9/11/15. Complete 9/28/15. Prelim/Final ARB 10/15/15. CDD Director approved 10/29/15. 1-year time extension approved 10/11/16. Submitted for Building Permits 10/4/17. In Plan Check.	Nick	12	
15-1781-DP/CDP	Bernardo Cruz	4675	Carpinteria Ave	Construct (N) 2-story mixed use building	Submitted 07/09/2015. Incomplete 8/06/15. Concept ARB review 03/29/20. Resubmittal 07/22/20. Incomplete 8/21/20. Resubmitted 2/8/21. Incomplete 3/8/21. Resubmitted 5/17/21. Prelim ARB Approved 9/16/21. PC approved 2/6/23. In-Progress ARB 6/29/23. Scheduled for Final ARB 11/14/24. Final ARB approved 11/14/24. Awaiting BP submittal. In Plan check 4/1/25.	Brian	12	
25-2327-SIGN	Conejo Valley Signs	901-B	Linden	New signage for Haru Massage & Spa	Submitted 1/6/2025. Under review. Incomplete. Approved 3/10/2025. Building Permit Plan Check. Issued 3/19/2025, pending payment and pickup	Marysol	13	
24-2320-CDP/ADU	Barbara McNally	5511	Calle Ocho	Garage conversion and addition to create attached ADU.	Submitted 11/21/24. Under Review. Complete 12/19/24. Approved 1/07/25. BP 14590 submitted 12/05/24, in plan check. BP Issued 2/27/25.	Syndi	13	
24-2319-CDP	Barbara McNally	5521	Calle Ocho	Addition to SFD	Submitted 11/21/24. Under Review. Complete 12/17/24. Approved 1/07/25. BP 14591 submitted 12/05/24, in plan check. BP Issued 2/27/25.	Syndi	13	

23-2253-SIGN/ARB	Extra Space Storage	6250	Via Real	New illuminated monument sign	Submitted 9/5/2023. Incomplete. Resubmittal 3/6/2024. Incomplete. Resubmittal 5/22/2024. Complete. Schedule for P/F ARB 5/30/2024. Director Approval 6/27/2024. Building Permit issued.	Marysol	13	
23-2228-CDP/ARB	Emma Davis	5459	Shemara Street	New covered porch, new trellis over garage, garden wall, fence	Submitted 6/20/2023. Incomplete 7/20/2023. Resubmitted 8/31/2023. Complete 9/28/2023. P/F ARB 10/26/2023. Pending resubmittal. Director Approved 3/8/2024. Building Permit in final processing 10/2024. Building Permit ready for pick up 11/21/2024	Marysol	13	
22-2150-SIGN	US Bank	5420	Carpinteria Avenue	New signs	Submitted 4/27/2022. Incomplete. Resubmittal 09/30/2022. Complete 1/24/2023. Director Approved 1/26/2023. Building Permit in plan check. BP issued 2/1/2023.	Marysol	13	
22-2142-SIGN	John Crispis for Albertsons	1018	Casitas Pass Road	New illuminated wall sign and parking lot signs	Submitted 1/20/2022. Incomplete. Resubmittal 12/1/2022. Complete. Director approved 1/2023. Building Permit issued 1/23/2023.	Marysol	13	
21-2094-DPR/CDP	Carpinteria Valley Historical Society	956	Maple Avenue	Construct new storage shed	Submitted 3/2/2021. Incomplete 4/1/21. Resubmitted 6/4/21. Complete 7/26/21. Director approved 7/29/21. FLAN sent 8/31/21. BP submitted 9/17/21. BP issued 12/16/21.	Nick	13	
19-1985-ARB	Brian Pera, HLW for Procore	6303	Carpinteria Ave	Renovation of exterior facade of an existing 1,315 accessory structure	Submitted 5/15/2019. Complete 6/12/2019. Substantial Conformity Determination 8/1/2019. Building Permit Application submitted 9/4/2019. BP issued.	Marysol	13	
25-2343-SIGN	Saurabh Bajaj, Fastsigns for Aloha Dental	1145	Eugenia	1 non-illuminated 47" x 6" tenant sign on existing directory ground monument. Aloha Dental Care	Submitted 4/7/2025. Director approved 4/21/2025.	Marysol	14	
25-2340-CDP/ADU	Robert & Sandra Duncan	1413	Sterling Avenue	Convert a detached 305sf storage bldg to a 305sf ADU	Submitted 3/24/2025. Director approval 4/28/2025. BP #14739 issued 6/23/2025.	Syndi	14	
24-2324-CDP/ADU	Chris & Renee Jaimes	588	Elm Avenue	New 527sf attached ADU & 219sf covered deck	Submitted 12/11/2024. Incomplete 1/8/2025. Director Approval 1/16/2025. BP #14676 issued 5/19/2025.	Syndi	14	
24-2322-SIGN	Fastsigns Ventura for Edward Jones	1145	Eugenia	Non-illuminated sign plate on an existing directory ground sign	Under review 11/25/2024. Approved 12/18/2024.	Marysol	14	
24-2316-SIGN	Sutter-Sansum Clinic	4806	Carpinteria Avenue	Replace existing signs with new signs, updated business name	Under review 11/7/2024. Incomplete. Approved 12/24/2024. Building Permit Plan Check. Building Permit Issued 2/18/2025.	Marysol	14	
24-2311-CDP/ADU	Carrie Kirchner	1505	Casitas Pass Road	New detached 899sf ADU.	Submitted 9/4/2024. Director approved 10/3/2024. BP#14543 issued 2/14/2025.	Syndi	14	

24-2309-SIGN	Santa Barbara Hives	516	Palm Avenue # C	2 non-illuminated wall signs	Submitted 7/31/2024. Approved 8/15/2024. Building Permit issued 8/19/2024. Under construction.	Marysol	14	
24-2307-FENCE/ARB	Holly Minear & Hans Almgren	1455	Camellia Circle	New 3.75'-8' tall fence & gates	Submitted 7/26/2024. Complete 8/13/2024. Prelim/final review at ARB on 10/17/2024. Director approval 10/22/2024. BP#14589 issued 2/5/2025.	Syndi	14	Yes
24-2296-CDP/ADU	Maggie Camacho	1476	Haida	Convert 353sf and add 378sf to create an attached 731sf ADU	Submitted 5/22/2024. Incomplete 6/21/2024. Resubmittal 7/8/2024. Director approval 7/10/2024. BP#14479 issued 1/28/2025.	Syndi	14	
24-2286-CDP/ADU	Aaron Johnson	4975	Sawyer Ave	New 747 sf detached ADU	Submitted 3/26/24. Under review. Incomplete 4/23/24. Resubmittal 5/22/24, under review. Complete 6/18/24. Director approved 7/23/24, waiting for Bldg. permit submittal. Bldg. permit submitted 9/30/24, in plan check. BP issued 2/13/25. Under construction.	Syndi	14	
24-2285-CDP/ARB	Aaron Johnson	4975	Sawyer Ave	Demo unpermitted acc. Structures, new attached garage, new spa	Submitted 3/15/24. Under review. Incomplete 4/15/24. Resubmittal 5/28/24, under review. Complete 6/18/24, preliminary/final ARB 7/11/24. Director approved 7/23/24, waiting for Bldg. permit submittal. Bldg. permit submitted 9/30/24, in plan check. BP issued 2/13/25. Under construction.	Syndi	14	Yes
24-2284-CDP/ADU	Carolyn Friedman	5291	Cambridge Lane	New 400sf detached ADU	Submitted 2/28/2024. Director approved 3/28/2024. BP#14267 issued 7/17/2024. Under construction.	Syndi	14	
24-2283-ARB	Eric Nystrom	1477	Manzanita	Exterior Remodel	Submitted 2/26/24, under review. Complete 3/26/24. Scheduled for 4/11 ARB. ARB Approved 4/11/24. In plan check. BP issued 7/24/24, under construction.	Brian	14	
24-2282-CDP/ADU	Mark Rolph	4715	Aragon Drive	New 749sf ADU attached above (e) garage.	Submitted 2/26/2024. Incomplete 3/27/2024. Resubmitted 3/28/2024. Director approved 4/26/2024. TEX requested 4/24/2025 and approved 5/9/2025. BP #14533 issued 4/28/2025.	Syndi	14	
24-2276-FENCE	Amber & Jenny Scouras	1493	Trenora Street	New 6' wooden fence on top of 2.5' retaining wall	Submitted 2/6/2024. Director approval 2/13/2024. BP#14172 issued 6/18/2024. Under construction.	Syndi	14	
24-2275-CDP/ADU	Mauricio & Angelina Rosales	4585	El Carro Lane	Convert (e) 634sf attached garage/workshop to an ADU	Submitted 2/6/2024. Incomplete 3/5/2024. Resubmitted 3/27/2024. Director approved 4/26/2024. BP#14301 issued 10/8/2024.	Syndi	14	
24-2273-CDP/ADU	Rafael Hernandez	4954	Fifth Street	Convert (e) 496sf detached garage with a 110sf add'n to a 606sf ADU.	Submitted 1/9/2024. Incomplete 2/5/2024. Resubmittal 2/20/2024. Director approved 3/21/2024. BP#14270 issued 2/19/2025.	Syndi	14	

23-2264-TPM/CDP	Eberling-VanDerKar TPM/CDP	435	Concha Loma Drive	Two Way Lot Split	Submitted 11/30/23. Incomplete 12/27/23. Resubmitted 4/19/24, under review. Complete 5/13/24, scheduled for PC 9/03/24. PC approved 9/03/24. CCC appeal period expired 10/05/24. Final map submitted 11/26/24, under review. BP #14592 issued 5/6/2025.	Syndi	14	
23-2263-CUP	Sanchez Rebuild CUP	5091	Foothill Road	Rebuild Residence	Submitted 11/20/2023, under review. Incomplete 12/18/23. Complete 1/25/24. Scheduled for PC on 3/4/24. PC approved, waiting for Bldg. permit submittal. Bldg. permit submitted 9/26/24, in plan check. BP issued 2/01/25, under construction.	Syndi	14	
23-2262-CDP/ADU	Jonathan Paola	730	Olive Avenue	Convert (e) 957sf acc. bldg. to a 744sf ADU and 213sf craft room.	Submitted 11/6/2023. Incomplete 12/6/2023. Resubmittal 12/18/2023. Director approval 1/24/2024. BP#14364 issued 2/24/2025.	Syndi	14	
23-2257-DPR	Carp Business Park	4185 & 4195	Carpinteria Avenue	Landscape Improvements	Submitted 10/09/2023. Incomplete 11/3/2023. Resubmittal 11/13/2023. Complete 11/21/2023. Prelim ARB complete. Director approved 1/9/24. Final ARB 02/29/24. In plan check. BP Issued 1/30/25, under construction.	Brian	14	
23-2247-CDP	Laurie Stout	5556	Calle Arena	288 sf accessory building	Submitted 8/30/2022. Incomplete 9/25/2023. Resubmitted. Complete. Director approved 3/22/2024. Building Permit in plan check. Building Permit issued 7/25/2024. Under construction.	Marysol	14	
23-2238-SIGN	Super Springs International	5251	6th Street	New signage	Submitted 7/21/2023. Incomplete. Resubmitted 8/22/2023. Under review. Approved 9/21/2023. Building Permit issued 12/04/2023.	Marysol	14	
23-2237-CUP/CDP/ARB	Brandon Bono & Lorraine Pulido	4788 & 4792	Dorrance Way	New 371sf 2nd-story addition to duplex & remodel	Submitted 7/21/2023. Incomplete 8/17/2023. Resubmittal 9/22/2023. Complete 10/17/2023. To ARB for prelim on 12/14/2023. Approved by PC on 4/1/2024. Final ARB on 7/11/2024. BP#14347 issued 3/13/2025.	Syndi	14	
23-2230-CUP/CDP	Randy Pura & Aly Morita	761	Olive Avenue	Reconstruction of (e) legal non-conforming SFD.	Submitted 6/29/2023. Incomplete 7/27/2023. Resubmittal 8/23/2023. 2nd Incomplete 9/19/2023. Resubmittal 9/28/2023. Complete 9/29/2023. Approved by the PC on 11/6/2023. BP#13790-R1 issued 4/11/2024. Under construction.	Syndi	14	

23-2221-DPR/CDP	Justin Klentner	4745	Carpinteria Ave	Mixed Use development: 24 apartments & 4,304 sq. ft. commercial space. Applying State Density Bonus provisions.	Submitted 4/14/23. Incomplete 5/12/23. Conceptual ARB Review 5/25/23. Resubmittal 6/22/23. Incomplete 7/21/23. To Prelim ARB 8/31/23. Cont'd to Prelim ARB 10/26/23. Prelim ARB Approval 10/26/23. Awaiting submittal of final incomplete item. Complete 11/28/23. PC approved 2/5/24. CC appealed, schedule for CC. CC approved 3/26/24. Demo permit issued. Grading permit under review. Final ARB 8/15/24. Building permit in Plan Check review. Grading permit issued. Pre-Con meeting 9/26/24. Demo/Grading in progress. BP Issued 12/12/24, under construction.	Bret	14	
22-2187-SIGN	West Coast Signs for Channel Islands Center	4994	Carpinteria Ave	(2) non-illuminated wall signs, individual letters	Submitted 10/06/2022. Approved 10/13/2022. Building Permit 10/27/2022. Pending inspection.	Marysol	14	
22-2185-CDP	City of Carpinteria		Poplar Street & 5800 block Via Real	Via Real Stormwater Project	Submitted 9/16/22. Incomplete 10/7/22. Complete 12/1/22. Director Approved 3/03/23. Under construction 9/09/24.	Brian	14	
22-2184-DP/CDP/ARB	Gregg & Beth Scerni	4610	Fourth Street	New 2,257sf 2-story SFD with 504sf detached 2-car garage	Submitted 9/13/2022. Incomplete 10/13/2022. Resubmittal 3/6/2023. Complete 3/21/2023. To ARB on 4/27/2023. Approved by PC on 9/5/2023. VM recorded 9/15/2023. Final ARB on 12/14/2023. BP#14198 issued 8/26/2024. Under construction.	Syndi	14	
22-2183-ARB/CDP	Tyler Mayer	5557	Calle Arena	Addition to SFD	Submitted 9/12/2022. On hold pending project redesign. Resubmittal 12/14/2022. Incomplete 1/11/2023. Resubmittal 5/26/2023. 2nd Incomplete 6/23/2023. Resubmittal 7/27/2023. 3rd Incomplete 8/15/2023. Resubmittal 8/25/2023. Complete 8/28/2023. To ARB on 9/14/2023 for prelim review-continued with comments. Resubmittal 2/26/2024. To ARB for cont'd prelim review on 5/16/2024. Approved by PC on 8/5/2024. Final ARB 3/27/2025. BP #14682 issued 5/14/2025.	Syndi	14	
22-2182-ARB/CDP	Mark Rolph	4715	Aragon Drive	1,375sf two-story addition to (e) SFD	Submitted 9/6/2022. Incomplete 10/6/2022. Resubmittal 11/6/2022. 2nd Incomplete 12/7/2022. Resubmittal 12/12/2022. Complete 1/3/2023. Prelim review at ARB on 2/16/2023. Continued prelim review at ARB on 5/25/2023. Director approval 6/20/2023. TEX requested 4/9/2024 and approved on 5/7/2024; new expiration date is 6/20/2025. BP #14532 issued 4/28/2025.	Syndi	14	

22-2180-SIGN	Goleta Signs for Lao Thai Restaurant	1017	Casitas Pass Road	Wall sign and hanging sign	Submitted 8/30/2022. Approved 9/13/2022. Building Permit submitted and approved 9/26/2022. Under construction, pending inspection.	Marysol	14	
22-2172-ARB/CDP	Flourish Trust	5637	Calle Pacific	New swimming pool & shade trellis.	Submitted 7/20/2022. Incomplete 8/19/2022. Resubmitted 8/24/2022. Complete 9/8/2022. To ARB for Preliminary review 9/29/2022. Resubmittal 11/9/2022. Final ARB review on 12/15/2022. Resubmittal 2/8/2023. Director approval 3/21/2023. BP#13895 issued 6/2/2023. Under construction.	Syndi	14	
22-2169-SIGN	Carp Moon Café	4991	Carpinteria Avenue	New signs	Under review. Incomplete. Approved 8/25/2022. Building Permit issued 9/13/2022. Under construction, pending inspections,	Marysol	14	
22-2163-SIGN	City of Carpinteria	5141	Carpinteria Ave	New ground sign for the Carpinteria Community Library	Submitted 6/10/2022. Approved. Building Permit issued	Marysol	14	
22-2162-DP/CDP/ARB	John Howard	4818	Dorrance Way	New 1,895sf 2-story SFD and a detached 471sf garage with a 408sf workshop above.	Submitted 6/9/2022. Incomplete 7/8/2022. Resubmitted 9/8/2022. 2nd Incomplete 10/3/2022. Resubmittal 12/7/2022. Complete 12/28/2022. To ARB on 3/16/2023. Resubmittal 6/8/2023. To PC on 8/7/2023-continued due to lack of a quorum. Approved by PC on 9/5/2023. Final ARB on 5/16/2024. BP#14261 submitted 3/19/2024. TEX submitted on 8/27/2024, to PC on 10/7/2024. BP#14261 issued 12/19/2024.	Syndi	14	
22-2161-SIGN	Ben Mascari / Carpinteria	873	Linden Avenue	Redesign and reinstall previous hanging sign	Submitted 6/1/2022. Approved. Pending inspection.	Marysol	14	
22-2152-SIGN	Reese Corp Signs / Carp Physio	5432-34	Carpinteria Avenue	New signage	Under review. Complete. Director approved 6/28/2022. Building permit issued, pending inspections. Building Permit expired.	Marysol	14	
22-2143-DPR	Bega	1000	Bega Way	Energy storage system & sound wall	Submitted 2/7/2022. Complete 3/8/2022. Approved 4/5/2022. Building Permits issued 7/2022 (Phase 1 and 2). Phase 1 signed off. Pending Phase 2.	Marysol	14	
21-2119-SIGN	Jaime Leaf, Signature Signs	957	Maple #2	Monument sign reface	Submitted 7/19/2021. Approved 8/17/2021. Pending inspection.	Marysol	14	
21-2107-CUP/CDP/ARB	City of Carpinteria/S&S Seeds	6155	Carpinteria Avenue	Coastal Vista Trail Segment	Submitted 4/28/2021. Incomplete 5/27/2021. Resubmitted 12/28/2021. Complete 1/13/2022. Prelim/Final review at ARB on 3/31/2022. Approved by PC 5/2/2022. CCC appeal period ended 5/31/2022. Demo permit BP#13860 issued 1/9/2023.	Syndi	14	

21-2092-SDU/CDP	J. Bradley Stein	1315	Casitas Pass Road	Validate (E) guest house as SDU & permit remodel of SDU & attached accessory structures	Submitted 2/26/2021. Complete 3/19/21. Prelim ARB approved 3/25/21. Director approved 6/1/21. BP issued 6/23/21. Under construction. BP extension granted. Revision approved 10/10/24, under construction.	Brian	14	
21-2087-ARB	Paul & Michelle Sanchez	1481	Sterling Avenue	SFD remodel, 391sf of add'ns, new front porch, & full re-roof	Submitted 2/9/2021. Incomplete 3/5/2021. Resubmitted 3/26/2021. Complete 4/1/2021. Prelim & final at ARB 4/15/2021. Director approval 5/4/2021. BP#13369 issued 9/21/2021. Under construction.	Syndi	14	
21-2082-SIGN	Procore Technologies	6303	Carpinteria Ave	Reface existing monument sign and new illuminated wall sign	Submitted 01/13/2021. Approved 1/26/2021. BP issued 2/24/2021. Pending inspection.	Marysol	14	
20-2066-SIGN	Singing Springs	5455	Eighth Street	New monument sign	Submitted 8/17/2020. Director approval 9/15/2020. Building Permit issued 1/2021. Under construction, pending landscaping re-installation.	Marysol	14	
20-2061-ARB/CDP	Brandon and Julia Wheatley	1150	Vallecito Road	Master bedroom addition	Submitted 7/31/2020. Under review. Incomplete 8/25/2020. Incomplete 10/9/2020. Prelim/Final 10/29/2020 ARB. Incomplete 11/16/2020. Complete 01/14/2021. Director Approval 2/2/2021. BP issued. Under construction. Revision 1 issued.	Marysol	14	
20-2056-ARB	Rod Herman	1423	Camino Trillado	Exterior updates, new porch overhang, new curbs and 3' garden wall, new hardscape and landscaping.	Submitted 7/2/2020. Complete 7/30/2020. To ARB for prelim/final 9/17/2020. Director approved 9/23/2020. BP#13204 issued 4/26/2021. Under construction.	Syndi	14	
19-2029-DPR/CDP	Carpinteria Arts Center	855	Linden Avenue	Courtyard improvements: new hardscape, landscaping, a living wall, storage, utility sink, fencing, and trash enclosures	Submitted 12/20/2019. Complete 01/16/2020. Prelim ARB 2/27/2020. Approvals pending. BP submitted 10/23/2020. BP issued.	Marysol	14	
19-2012-DPR	Mac Partners / Jeremy Rogers	6384	Via real	Building facade renovation, addition of new patio areas, new permeable area for future parking area.	Submitted 10/7/2109. Incomplete 11/6/19. Partial resubmittal 12/4/19; under review. Incomplete 12/16/2019. Resubmitted 01/14/2020. Incomplete 02/13/2020. Complete 06/03/2020. Prelim ARB 06/25/2020. In Progress ARB 10/29/2020. PC 12/7/2020. Final ARB 5/13/2021. Building Issued. Under construction. Exterior light demonstration under review ARB matters by staff 3/3/2022. Minor revision pending.	Marysol	14	

19-1965-DPR/CDP	Carpinteria Business Park	4185-4195	Carpinteria Ave	Exterior architectural façade improvements to five of the buildings within the Flood Hazard and Coastal Appeals Overlay.	Submitted 2/5/2018. Incomplete 3/19/2019. Resubmitted 3/28/2019. Incomplete 4/25/2019. Prelim ARB 06/13/2019. Complete 6/21/2019. Resubmittal 8/23/2019. Director Approval 9/26/2019. Final ARB 10/31/2019. Building Permit application submitted 12/17/2019. Building Permit issued. Under construction. Revision to lights approved by ARB 1/14/2021. Minor awning revision 8/2021. Monument sign revision 11/2021. Final Building Permit revisions submitted for review 04/2023.	Marysol	14	
18-1938-CDP	CA State Parks	205	Palm Avenue	Sewer replacement, Santa Rosa Campground	Submitted 9/25/2018. Complete 10/23/2018. NOE submitted. Approved 3/1/2019. Conditions of Approval and final plans received. Under construction.	Marysol	14	
17-1850-CDP	CA Dept. of Parks and Recreation	205	Palm Avenue	State Beach Phase II ADA Improvements	Submitted 1/3/2017. Incomplete 1/31/2017. Resubmittal 5/22/2017. Complete 6/15/2107. Director Approval 9/13/2017. Pending resubmittal of minor modifications and signed Conditions of Approval. Received 9/6/2018. Time Extension approved 7/31/2019. Under construction.	Marysol	14	
16-1839-CDP	Thom Vernon	500	Maple Avenue	Install new windows & replacement roll-up doors	Submitted 8/12/16. Incomplete 9/8/16. Complete 9/14/16. To ARB 9/15/16, continued to 10/13/16. ARB approved 10/13/16. Director Approved 10/21/16. FLAN sent to CCC 11/1/16. BP application submitted 10/20/16. BP issued 2/2/17, under construction.	Nick	14	

15-1804-CDP	Hawkins	5567	Calle Arena	Construct (N) SFD w/ attached two-car garage	Submitted 12/29/15. Incomplete 1/28/16. Meeting w/ new agent 6/26/17. Concept ARB 8/17/17. Revised submittal 12/13/17. Incomplete 1/12/18. Concept ARB 2/15/18. Resubmitted 4/13/18. Incomplete 5/3/18. Resubmitted 5/9/18. Scheduled for Prelim ARB Review 5/31/18. Cont'd to Prelim 7/12/18. Cont'd to Prelim 7/26/18. ARB Prelim Approval 7/26/18. Complete 9/27/18. Revised ARB Prelim Approval 11/15/18. Director approval issued 12/18/18. Appeal filed 12/28/18. PC denied appeals 3/4/19. Appeal of PC decision filed 3/14/19. CC denied acceptance of appeal 4/22/19. FLAN sent to CCC 4/24/19. Appeal filed with CCC 5/9/19. CCC Appeal hearing 7/10/19, CCC found no substantial issue. City approvals stand. Final ARB approval 8/29/19. BP submitted 4/2/19. BP issued 12/19/19, under construction.	Brian	14	
08-1483-CDP	Salzgeber	447	Concha Loma Drive	Install water well and storage tank for agricultural purposes	Submitted 12/18/08. Incomplete 1/16/09. Resubmitted 3/20/09. Incomplete. Resubmitted 9/1/09. Director approved 5/7/10. Permit issued 10/19/10. Well constructed and sealed 11/10. Awaiting installation of pump and storage tank.	Nick	14	
04-1172-DP/CDP	Franssen	750	Palm Avenue	Construct one new SFD and create two condominiums	Revised plans submitted 9/15/06. Incomplete 10/9/06. Resubmitted 10/30/06. Prelim ARB 11/30/06. Complete 12/21/06. To PC 1/2/07. Revised Prelim ARB 1/25/07. PC approved 2/5/07. CC approved map clearance 12/10/07. PC approved one year TEX 2/4/08. Grading Permit issued 2/4/09. Final ARB for Unit 2 10/1/09. BP issued, under construction. CofO issued on rear unit.	Nick	14	
24-2294-CDP/ADU	Jeffrey Krumm	126	Ash Avenue	As-built conversion of 297sf storage room to an ADU	Submitted 5/8/2024. Director approval 6/7/2024. Coastal Commission appeal period ended 7/9/2024. BP#14600 finalized & CofO issued 6/23/2025.	Syndi	15	Yes
24-2293-CDP/ADU	Jeffrey Krumm	126	Ash Avenue	As-built conversion of 297sf storage room to an ADU	Submitted 5/8/2024. Director approval 6/7/2024. Coastal Commission appeal period ended 7/9/2024. BP#14599 finalized & CofO issued 6/23/2025.	Syndi	15	Yes

23-2249-CDP/ADU	Duana Dickman	1397	Vallecito Place	Convert (e) 554sf detached garage/studio to an ADU	Submitted 8/30/2023. Incomplete 9/29/2023. Resubmitted 10/11/2023. Director approval 10/19/2023. BP#14267 submitted 3/29/2024. TEX for CDP requested 10/14/2024. TEX approved by Director 10/17/2024. BP#14267 finalized & CofO issued 5/25/2025.	Syndi	15	Yes
21-2134-SIGN	Carpinteria Business Park	4185, -88, -93	Carpinteria Avenue	Update existing signage of 4 tenants to meet the new sign program	Submitted 11/16/2021. Resubmittal under review for approval and building permit. Resubmittal pending. Resubmitted. Approved 4/19/2022. Building permit in plan check. Incomplete. Building Permit issued 6/23/2022. Extension request. Planning signed off. Pending Building & Safety sign off.	Marysol	15	
15-1767-CDP	Wood	650	Concha Loma Drive	New Single Family Residence	Submitted 4/28/15. Incomplete 5/27/15. Resubmitted 7/13/15. Complete 8/10/15. CEQA Initial Study underway. ARB concept review 10/15/15. Draft MND public review period 7/15- 8/15/16. To ERC 8/4/16. Prelim ARB 8/11/16, continued with revisions. Revised plans submitted; Prelim ARB approved 9/14/17. PC Approved 8/5/19. FLAN sent to CCC 8/23/19. BP application submitted 12/24/19. Final ARB approved 5/28/20. In BP review. BP issued; under construction. Temp (6 month) C of O issued 11/19/24.	Brian	15	
25-2338-TUP	City of Carpinteria		Monte Vista Park	2nd year of Pilot Program Off-Leash Dog Park	Submitted 3/13/25. Director approval issued 3/31/25.	Megan	x	
23-2224-SIGN	Seek Health/ Mckenzie Cervini	1110	Eugenia Place, Suite 200	new sign for chiropractic office	Submitted 5/30/2023. Incomplete. Approved 9/27/2023.	Marysol	x	
25-2353-SIGN	Dylan Chappell for the Nugget	892	Linden Avenue	1 hanging sign, 1 painted sign	Submitted 6/9/2025. Corrections sent to applicant.	Marysol	2	
23-2347-SIGN	Kasey Clark for T Mobile	1006	Casitas Pass Road	illuminated wall sign and non illuminated hanging sign	Submitted 5/13/2025.	Marysol	13	
25-2348-SIGN/ARB	Front Signs for Seaside Apartments	4573	Carpintiera Avenue	1 non-illuminated wall sign, new design, new location	Submitted 5/22/2025. Schedule for ARB.	Marysol	3	

Last updated

7/2/2025 14:48

BUILDING PERMIT REPORT

06/01/2025 - 06/30/2025



Permit #	Application Submittal Date	Parcel #	Site Address	Owner Name	Project Description	Valuation	Status	Permit Issued Date	Code Compliance Violation	Fire Permit Required
14812	6/24/2025	003-262-019	4915 Ninth Street	Nicole Lisa Powell	Tear off existing roof and install Certainteed Landmark 30 year composition, 12 squares on flat roof, install 3 squares of 60 mil PVC membrane, color like for like. Total 15 squares	10,000	Issued	6/25/2025		
14811	6/24/2025	003-440-022	4891 Dorrance Way	LANGE WILLIAM LOUIS & BARBARA JANE TTEES	Tear off existing roof and install 1/16" OSB Plywood, install Certainteed Landmark 30 year composition. 17 squares, color like for like.	23,456	Issued	6/25/2025		
14810	6/24/2025	003-440-032	4936 3rd Street	LANGE, DAVID M & CAROLINE L FAMILY TRUST	Tear off existing roof and install 1/16" OSB Plywood, install Certainteed Landmark 30 year composition. 11 squares, color like for like.	13,963	Issued	6/25/2025		
14808	6/24/2025	003-780-001	4411 Catlin A-B	VILLA PINOS OWNERS ASSN	Remove (e) composite shakes, install 1/2" plywood over (e) spaced sheathing. Install synthetic felt, install new drip metal, install new Landmark shingles and ridge cap. 25 squares total.	22,000	Issued	6/26/2025		
14807	6/24/2025	003-780-001	4417 Catlin A-B	VILLA PINOS OWNERS ASSN	Remove (e) composite shakes, install 1/2" plywood over (e) spaced sheathing. Install synthetic felt, install new drip metal, install new Landmark shingles and ridge cap. 25 squares total.	22,000	Issued	6/26/2025		

14806	6/24/2025	003-352-012	5610 Calle Pacific	Darrell J. Cross & Kara J. Petreccia, Trustees	Upgrade (e) 100-amp meter to 200-amp meter in the same location. Location subject to SCE approvals.	5,000	Issued	6/24/2025		
14803	6/24/2025	003-590-018	435 Camellia Ci	TAKAHASHI, FRANK & NAUS-TAKAHASHI, VICKIE J FAMILY REVOCABLE TRUST 4/30/10	Solar App: SA20250620-7273-27-7-A: • SYSTEM SIZE: 8.1KW DC, 11.5KW AC• MODULES: (20) JA SOLAR: JAM54S31-405/MRRAPID SHUTDOWN: (8) TESLA MID CIRCUIT INTERRUPTER (MCI-2) ROOFTOP MODULE LEVEL RAPID SHUTDOWN DEVICEENERGY STORAGE SYSTEM W/ INTEGRATED PV INVERTER:(1) TESLA: POWERWALL 3 1707000-XX-Y, 13.5KWH, 11.5KW INVERTER OUTPUT, LITHIUM-ION BATTERY (WEIGHT: 272.5 LB EACH) (1) TESLA: POWERWALL 3 EXPANSION 1807000-XX-YTOTAL ENERGY CAPACITY (IN kWh): 27kWh• RACKING:ULTRAFOOT RAIL TO FRAMING SNR-DC-01507NEW 125 AMP SUB PANEL TO BE INSTALLED• POWER CONTROLLED SYSTEM (PCS) ENABLED EQUIPMENT INSTALLED, SEE PV-4.0 FOR INTERCONNECTION DETAILS	0	Issued	6/20/2025		
14801	6/13/2025	001-261-002	5338 El Carro Lane	VILLEGAS FELIPE/CONSUELO	Interior remodel of (e) second story bathroom like for like due to water damage. Subject to Field Inspector's verification and approvals.	35,000	Issued	6/26/2025		
14798	6/17/2025	003-600-012	4646 Aragon Dr	GILLEN, AARON	Solar App SA20250613-7273-26-7-A: • SYSTEM SIZE: 7.79KW DC, 9.6KW AC• MODULES: (19) HANWHA Q-CELLS: Q.PEAK DUO BLK ML-G10+ 410 DCA (MD06G100A-017)• INVERTERS: (1) LUNAR ENERGY: 10-005025	0	Issued	6/13/2025		

14797	6/12/2025	003-552-008	1310 Chaney Ave	LORETTO OSCAR A	Solar App: SA20250610-7273-25-7-A: • SYSTEM SIZE: 3.28KW DC, 11.5KW AC• MODULES: (8) HANWHA Q-CELLS: Q.PEAK DUO BLK ML-G10+ 410• INVERTERS: (1) TESLA: POWERWALL 3 1707000-XX-Y• RAPID SHUTDOWN: (3) TESLA MIDCIRCUIT INTERRUPTER(MCI-2) ROOFTOP MODULE LEVEL RAPID SHUTDOWN DEVICEENERGY STORAGE SYSTEM W/ INTEGRATED PV INVERTER:(1) TESLA: POWERWALL 3 1707000-XX-Y, 13.5KWH, 11.5KWINVERTER OUTPUT, LITHIUM-ION BATTERY (WEIGHT: 272.5 LBEACH)TOTAL ENERGY CAPACITY (IN kWh): 13.5kWH• RACKING: ULTRAFOOT RAIL TO FRAMING SNR-DC-01507	0	Issued	6/10/2025		
14796	6/12/2025	003-770-001	4709 Sandyland Rd #3	ROUGHAN, FRANCIS T	Retrofit Windows: Replace 6 windows and 1 patio door with no change in size or location.	6,600	Issued	6/30/2025		
14795	6/11/2025	003-600-004	1436 Carnation Place	PHILLIPS, CHRISTOPHER	Remove existing roof and install Certainteed Landmark. Color change from black to Sunrise Cedar (brown). 34 squares. (Minor color change approved by Planning Department 6/12/2025)	26,780	Issued	6/12/2025		
14789	6/10/2025	005-430-064	3972 Via Real	PATTERSON, JOEL BENJAMIN	Upgrade (e) meter to 200-amps. Subject to SCE approval for location.	1,000	Final	6/10/2025		
14787	6/9/2025	004-047-025	858 Walnut Avenue	Carpinteria Warehouse	Exploratory permit only: This permit is to determine the complete scope of work and submittal requirements for the as-built repairs. No other work permitted.	450	Issued	6/10/2025		
14784	6/6/2025	001-380-022	6008 Jacaranda Way, Unit B	BAIZAN, DAVID GUERRERO	Replace existing 100 amp panel with a new 100 amp panel. No new loads to be added.	3,000	Issued	6/6/2025		

14783	6/6/2025	001-370-017	6087 Jacaranda Way, Unit E	VEGA, YULISA	Replace existing 100 amp panel with a new 100 amp panel. No new loads to be added.	3,000	Issued	6/6/2025		
14782	6/6/2025	001-380-017	6048 Jacaranda Way, Unit C	Jeff Kerns	Replace existing 100 amp panel with a new 100 amp panel. No new loads to be added.	3,000	Issued	6/6/2025		
14781	6/6/2025	001-370-003	6063 Jacaranda Way, Unit C	Johnathin Iverson	Replace existing 100 amp panel with a new 100 amp panel. No new loads to be added.	3,000	Issued	6/6/2025		
14780	6/6/2025	001-380-034	1075 Palmetto Way, Unit F	CASTELLANOS, SUE E TRUST 12/13/07	Replace existing 100 amp panel with a new 100 amp panel, no new loads added.	3,000	Issued	6/6/2025		
14778	6/3/2025	004-091-001	4885 Sandyland Rd #1	PAICH DAVID/LORRAINE A TRUSTEES (for) PAICH FAM TR 6-19-90	Install 1-50-amp 240-volt receptacle outlet for new EV charger station	500	Issued	6/12/2025		
14777	6/3/2025	004-009-032	1489 Chapparal DR	LANCET SCOTT/ROSALEE N	Solar App: SA20250602-7273-24-7184-A: 10.92 kw of roof mounted solar PV with 3 5p batteries.3-24-7184-A:	0	Issued	6/2/2025		
14776	6/2/2025	004-008-005	4455 El Carro Lane	Erik Edwards	Upgrade existing 100 amp electrical panel to a 200 amps in the same location.	4,500	Issued	6/3/2025		
14773	5/27/2025	003-690-008	231 Linden Ave Unit 8	The James and Joanna Hammond Family Trust	Replace (e) window with new. New header and opening increase by 2". Verify (n) header size and connection in the field.	1,200	Issued	6/10/2025		
14772	5/22/2025	003-292-018	954 Concha Loma Drive	DI RUFFANO, CARLA FERRANTE	Replace slider like for like and new window. . Replace electrical 100 amp with a 200 amp panel in same location.	5,000	Issued	6/10/2025	Yes	
14764	5/22/2025	003-171-006	5304 Star Pine Dr	SADIQ FAMILY TRUST 12/21/04	Remove (e) layer of comp shingle and replace with new comp shingle. Like for like. 28 squares total.	18,680	Issued	6/16/2025		
14739	4/22/2025	003-543-014	1413 Sterling Ave	Robert C. Duncan and Sandra M. Duncan	Conversion of (e) 305 SF Storage Building into an ADU	20,000	Issued	6/23/2025		Yes

14737	4/22/2025	003-313-001	5015 8th Street	CHT, LLC	Interior alteration and tenant improvement to an existing 559 SF commercial space. Minor framing, painting & addition of furnishings required for tenant use. Modifications to mech, elec. & plumb. (700 Linden Ave)	97,250	Issued	6/12/2025		
14690	3/19/2025	003-331-005	5387 8th Street	Mark H. Leaf and Jami L. Leaf	Installation of universal foundation retrofit plates on (e) foundation for improved seismic stability	8,400	Issued	6/12/2025		
14685	3/13/2025	003-153-012	4904 - 4930 Carpinteria Avenue	CARPINTERIA BUILDING LLC c/o William J Wood Jr	Repairing loose terracotta tiles with like for like size and color replacement tiles. Repairing to avoid loose tiles from falling. 18.75 squares. A Public Works Permit is required PRIOR to commencement of work to allow for scaffolding over the public sidewalk. [Dow Building / Alcazar Theatre Building] Deferred to separate permit: gutters, painting, window shutters. All work subject to Field Inspector's verification and approval.	9,000	Issued	6/3/2025		
14650	2/6/2025	004-005-007	1532 Linden Ave	ARCHDIOCESE LA ED/WELF CORP	Saint Joseph's Church: Interior improvements at the Church building - reconfigure altar platform floor/ minor lighting updates/ exterior ADA improvements at adjacent disabled accessible parking spaces	300,000	Issued	6/12/2025		

Total Records: 30

7/2/2025