



Planning Commission Meeting Agenda

Monday, March 7, 2022 at 5:30 pm
City of Carpinteria, Council Chamber
5775 Carpinteria Avenue

In-Person Meeting

IN RESPONSE TO THE GOVERNOR'S ISSUANCE OF EXECUTIVE ORDER N-07-21, WHICH FORMALLY RESCINDED CALIFORNIA'S STAY-AT-HOME ORDER ISSUED LAST IN MARCH 2020, EXECUTIVE ORDER N-08-21, AND SANTA BARBARA COUNTY HEALTH OFFICER ORDER 2021-10.3, THE CITY OF CARPINTERIA HAS MADE THE DECISION TO PROVIDE IN-PERSON ATTENDANCE AND PARTICIPATION OPTIONS FOR THIS MEETING.

To minimize the potential spread of the COVID-19 virus, the County of Santa Barbara is requiring all individuals to wear face coverings while inside the City Council Chambers, regardless of vaccination status.

Attendance/Viewing Options:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave.) Please note that, per Health Officer Order 2021-10.3, the County of Santa Barbara requires all individuals to wear face coverings while indoors, regardless of vaccination status.
- View the meeting live through the City's website (<https://carpinteria.ca.us/city-hall/agendas-meetings>) on your computer, tablet or smartphone.
- View the meeting on Government Access Television Channel 21 (broadcast live and rebroadcast on the Wednesday and the Saturday following the meeting at 8:00 p.m. and 5:00 p.m., respectively).

Public Comments:

- Provide a live public comment during the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave.). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item. Regardless of vaccination status, individuals providing in-person public comment are required to

wear face coverings while inside the City Council Chambers, including while providing public comment. If you fall under the exemption criteria for wearing a face covering indoors per Health Officer Order 2021-10.3, the City strongly recommends you provide public comment through one of the alternative means provided below.

- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to Planning Commissioners by **12:00 P.M. on the day of the meeting** by either submitting your comment via (1) email to PublicComment@ci.carpinteria.ca.us, or (2) the **eComment** link on the City's agenda website (<https://carpinteria.ca.us/city-hall/agendas-meetings>). Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

Please note that the City will make every effort to make the meeting accessible; however, if one of the above attendance/viewing or public comment options is unavailable due to technological issues, you are invited to take advantage of one of the other participation options outlined above (including attending and providing public comment in-person in the City Council Chambers). Additional options may be made available at the meeting.

As the situation with COVID-19 continues to evolve, the City will provide updates on any changes to this policy as soon as possible. The public is referred to the City's website at www.carpinteria.ca.us for the latest COVID-19 policies and information. The City of Carpinteria thanks you in advance for taking all precautions to prevent spreading the COVID-19 virus.

THE PLANNING COMMISSION RESERVES THE RIGHT TO CHANGE THE ORDER IN WHICH ITEMS ARE HEARD. APPLICANTS NOT IN ATTENDANCE WHEN THEIR ITEM IS CALLED MAY HAVE THEIR ITEM CONTINUED TO THE NEXT REGULAR MEETING.

Any information presented to the Planning Commission by the public on any agenda item and during Public Comment using electronic materials must be arranged with staff. Electronic materials must be provided to staff a minimum of two business days prior to the meeting.

Any written, printed or electronic material and/or exhibit presented at this meeting becomes the property of the City, and a copy must be provided to City staff.

Planning Commissioners

Jane L. Benefield, Chair
Glenn La Fevers, Vice-Chair
John Callender
John Moyer
David Allen

CALL TO ORDER

ROLL CALL

PLEDGE OF ALLEGIANCE

INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS

PUBLIC COMMENT

This time on the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Commission and not listed on other sections of the agenda. Please limit comments to no more than five minutes.

Depending on the number of speakers wishing to make comments, the Chair may further limit the time available to each speaker to control the amount of time spent on this part of the agenda. If you wish to speak on a CONSENT CALENDAR item, please do so during this part of the meeting.

Please be advised that California law does not allow the Planning Commission to discuss or take action on any issue presented by the public during this portion of the meeting. The Commission may ask a question for clarification, provide a brief response to public comment, refer the matter to staff for review and a later report or direct staff to place an item on a future agenda.

The City is not responsible for the content of statements made during the public comment period or the factual accuracy of any such statements.

CONSENT CALENDAR

Items on the Consent Calendar are considered to be routine and are normally enacted by one unanimous vote of the Commission. Individual items may be removed and considered separately at the request of a Commissioner. Any item removed from the Consent Calendar will be added to another section of the agenda.

- 1) Minutes of the special Planning Commission meeting held January 18, 2022

NEW PUBLIC HEARING

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of Ex Parte Communications
- Staff Presentation
- Public Hearing
- Planning Commission Action

- 2) Project: Siegel Residence Addition, Project # 21-2106-DP/CDP/ARB
Address: 4755 Fourth Street
Applicant: Russell Werth on behalf of Timothy and Anissa Siegel
Planner: Syndi Souter

Hearing on the request of Russell Werth on behalf of Timothy and Anissa Siegel to consider Project 21-2106-DP/CDP/ARB (application filed April 28, 2021) for approval of a Development Plan and Coastal Development Permit to construct a 535 square-foot two-story addition to the rear of the existing residence for a resultant size of 1,404 square feet under the provisions of the Carpinteria Municipal Code (CMC) §14.14 – Planned Residential Development District and §14.68 – Development Plan; and to approve an Exemption pursuant to §15301, §15303, and §15332 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 003-435-007, addressed as 4755 Fourth Street.

- 3) The Storage Place Modular Buildings Addition, Project # 21-2129-CUP/CDP
Address: 6250 Via Real
Applicant: Zachary Ulrick, on behalf of David Eldred
Planner: Marysol Smith

Hearing on the request of Zachary Ulrick, on behalf of David Eldred, Carpinteria Storage Place, LP, to consider Project 21-2129-CUP/CDP (application filed October 27, 2021) for approval of a Conditional Use Permit and a Coastal Development Permit to allow for the siting and use of fifteen 20'x10' modular storage buildings in an area previously designated for leasable parking spaces under the provisions of the Carpinteria Municipal Code (CMC) §14.26 Industrial/Research Park (M-RP) Zone District; and to approve an Exemption pursuant to §15301 and §15303 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APNs 001-180-064, -065, -066, -067, addressed as 6250 Via Real.

OTHER BUSINESS

MATTERS PRESENTED BY COMMISSIONERS

DIRECTOR'S REPORT

- 4) Action Minutes of the Architectural Review Board meeting of December 16, 2021
5) City calendar for the month of March
6) Planning Activity Report as of February 28, 2022
7) Building Permit Report as of February 28, 2022

**ATTENDANCE OF PLANNING COMMISSIONERS FOR THE NEXT MEETING of
April 4, 2022**

ADJOURNMENT

NOTES

All actions of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within 10 calendar days of the Commission's action.

If you challenge any of the Planning Commission's decisions related to the agenda items above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence to the Planning Commission prior to the public hearing.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community Development Department at (805) 755-4410 (LorenaE@ci.carpinteria.ca.us) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Thursday, March 3, 2022 in the Community Development Department, on the City Hall Public Notices Board, and on the Internet.

CALL TO ORDER and ROLL CALL The meeting was called to order at 5:30 p.m. by Chair Benefield. Commissioners Present: Jane L. Benefield, Chair John Callender John Moyer David Allen Commissioners Absent: Glenn La Fevers, Vice-Chair Others Present: Steve Goggia, Community Development Director Nick Bobroff, Principal Planner Mack Carlson, City Attorney, Brownstein Hyatt Farber Schreck John Ilasin, Director of Public Works Matt Roberts, Director of Parks and Recreation David Emerson, Caltrans Project Manager Jonathan Leech, Dudek Jeff Lindgren, Director of County Parks Division Fred Luna, SBCAG	CALL TO ORDER & ROLL CALL
PLEDGE OF ALLEGIANCE – Chair Benefield led the flag salute.	PLEDGE
INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS - None	ANNOUNCEMENTS
PUBLIC COMMENT - None	PUBLIC COMMENT
CONSENT CALENDAR 1) Minutes of the regular Planning Commission meeting held December 6, 2021 MOTION Upon a motion by Commissioner Allen, seconded by Commissioner Moyer, the Planning Commission voted 5-0 to approve the minutes of the regular Planning Commission meeting held December 6, 2021, as presented (Moyer, La Fevers, Allen, Benefield and Callender voted yes).	CONSENT CALENDAR
NEW PUBLIC HEARING 2) Project: Rincon Trail, Project #19-2015-CUP/CDP Location: Connection of the east end of Carpinteria Avenue to Rincon Beach County Park	NEW PUBLIC HEARING

Applicant: Matt Roberts, Parks, Recreation and Public Facilities Director

Planner: Nick Bobroff

Hearing on the request of Matt Roberts, Parks, Recreation and Public Facilities Director for the City of Carpinteria to consider Project 19-2015-CUP/CDP (application filed October 17, 2019) for a Conditional Use Permit and a Coastal Development Permit to allow the construction of the 850-linear foot segment of the proposed Rincon Trail project located in the City of Carpinteria (the remaining 1,900 proposed trail is located within the jurisdiction of the County of Santa Barbara); and to certify the Environmental Impact Report (EIR) prepared for the entirety of the project pursuant to the California Environmental Quality Act (CEQA) Guidelines. The EIR and all documents referenced therein may be reviewed at the Community Development Department, 5775 Carpinteria Avenue, Carpinteria. The EIR is also available for review on the City website at: <https://carpinteriaca.gov/public-works/engineering-division/rincon-multi-use-trail/>. The application involves City and Caltrans rights-of-way located at the eastern end of the City of Carpinteria, and parcels owned by Union Pacific Railroad and County of Santa Barbara, located outside of the City of Carpinteria in unincorporated Santa Barbara County (APNs 001-220-032, 001-220-092, 001-220-100, and 001-220-101).

DISCLOSURE EX-PARTE COMMUNICATIONS

Commissioner Allen disclosed that during daylight savings he and his wife walk daily from Viola Fields to the Bluffs, and to the King property. Most of the time there are not hang gliders, often there are, and the landings are sometimes necessary on Union Pacific Railroad property.

Nick Bobroff presented the staff report and said staff was recommending approval of the project as presented in the report.

Upon request from Commissioner Callender, Mr. Bobroff provided information on the Environmental Review Committee's deliberations and how they voted. Members were as follows: Steve Goggia, Community Development Director; John Ilasin, Public Works Director; Natasha Lohmus, member of the public; Vince Semonsen, contract City biologist; and Erin Maker, Public Works environmental coordinator. Mr. Ilasin recused himself from either vote, and Vince and Natasha were the most vocal proponents of Alternative 4, with a resulting 4-0 vote in its favor.

Commissioner Callender asked how the change to support Alternative 3 came about. Mr. Bobroff said it was found to be the environmentally

superior alternative and was identified as best meeting all project objectives, while Alternative 4 didn't meet all of the project objectives. Commissioner Callender asked if a hybrid of Alternatives 3 and 4 had been considered, and Mr. Bobroff explained there has been talk between County Parks and SBCAG about ideas for a protected bike path through the area.

A lengthy discussion about airflow took place. Commissioner Callender asked for details about the soaring community's desires regarding airflow, the logic in determining impacts weren't significant, and how Alternative 3 reduced them. Mr. Bobroff clarified that the benefit to Alternative 3 was that it didn't only reduce impacts to the soaring community but slightly reduced environmental impacts across the board by further minimizing disruptive earthwork. He explained soaring impacts were found in the EIR to be Class 3, which doesn't require mitigation, but that Alternative 3 would nevertheless further slightly reduce the severity of the impacts to airflow.

Environmental consultant, Jonathan Leech of Dudek, spoke about the methodology for evaluating airflow impacts and the threshold at which impacts to the soaring community would be considered significant.

City Attorney Mack Carlson explained the airflow analysis was performed under CEQA Guidelines, and CEQA's focus is on significant physical changes to the environment and doesn't apply to social, recreational, economic activities. It's why the City did additional airflow study analysis.

Commissioner Callender expressed concern about the logic in the EIR and asked if it was the City's position that airflow changes are not changes to the physical environment.

City Attorney Mack Carlson explained recreation activities are consideration for project approval, but they just aren't the focus of a document under CEQA. He explained that you can determine based on substantial evidence a finding that some threshold exists for substantial change based on airflow, but the City doesn't have an obligation to establish those thresholds as part of its compliance with CEQA.

Commissioner Allen asked when it does rise to a level of significance, such as wind destroying a pelican nesting site, if it would be significant under CEQA. City Attorney Mack Carlson agreed it would and noted cumulative effects rising to significant changes are part of the analysis.

Commissioner Allen pointed out they can deny the project due to the soaring, but it would be under the CUP and not the EIR.

Commissioner Callender indicated he would not be supportive of the City's recommendation. He said his reading is that the City demonstrated a change to the physical environment that has an impact on the soaring community. He provided details on how his logic would be guided.

John Ilasin, Carpinteria Public Works Director, introduced the development team consisting of members from the City of Carpinteria, Caltrans, the County of SB, and SBCAG.

Matt Roberts, City of Carpinteria Parks and Recreation Director, spoke about the vision for the trail connection and its challenges. The railroad likes the project for public safety purposes and one of the purposes was to get people off the informal trails in the rail corridor. He explained the proposed trail is not intended to be used just as a pass-through, the trail itself is the destination. He noted the various grants that were obtained for the project. The design team has made a lot of compromises to make it less costly and less impactful. They want people off the tracks and off the side of the freeway. Regarding usage, it's not unlikely they'll see 250,000 visitors per year. Among other things, he spoke about Alternative 4, describing it as a freeway trail that wouldn't do what it's supposed to, which is getting people out on the trail to hike and ride their bikes. They want the trail to be irresistible, he said.

David Emerson, Caltrans Project Manager, said they are in favor of encouraging people to use different modes of transportation and the project is similar to the Santa Claus Line Bike Path project. Among other things, he explained the trail will ultimately be owned and maintained by the City of Carpinteria, which allows them some flexibility in design.

Jeff Lindgren, County of Santa Barbara Parks Division, said they are pleased to see the project moving forward and are very much in support. They hope the Planning Commission will support it. He said one of the unique aspects is how it connects to the community of Carpinteria.

Fred Luna, Santa Barbara County Association of Governments (SBCAG), spoke about how they've been involved in funding the project and have been working closely with Caltrans. He said they are very much in support of the project, have worked diligently as a team with the City for years.

BREAK – Chair Benefield called for a 3-minute break.

Jonathan Leech of Dudek, in response to more questions about how wind velocity affects physical impacts, said he had worked on a project with a skyscraper that was affecting wind currents in a body of water next to it. He explained they had consulted with a professor of thermodynamics who

researched wind tunnel models and airflows, and changes in wind weren't a part of the Rincon Trail project. The professor concluded his models were appropriate for the larger conditions. Mr. Leech said an upper bench was responsible for a lot of turbulence, but Alternative 3 removed the upper bench which gives us the profile we have today. He explained that migratory birds and nesting patterns wouldn't be affected, which is something that would have been a physical effect under CEQA. He said under the CEQA guidelines, effects to the environment don't include immediate effects to recreation.

Commissioner Allen added to his disclosure of ex-parte communications that Seal Watch recorded over 30,000 visitors into the overlook over the years prior to the pandemic.

PUBLIC HEARING OPENED – Chair Benefield opened the public hearing. The following are highlights:

1. Aaron La Plante (did not appear)
2. Karl Cameron, pilot who has flown at Rincon for 30 years, expressed support for Alternative 4. His comments included that design options are still being explored at this point, there is still an uncapped oil well which is an environmental concern, and there are 2,800 people who signed a petition against Option 3 and support Option 4.
3. Gary Mussell, Director of Friends of Bates Beach, expressed support for Plan 4 and asked that they reject Plan 3. Highlights included statements that the parking lot is not ADA compliant and it's hard for cars to back out of parking spaces (visibility issues); he questioned why the EIR says the parking lot is not significant enough to be part of the report; and he likes the idea of a split trail (a hybrid of Alternatives 3 and 4).
4. Robert Pyle, suggested placing removal of the bric-a-brac into the project scope. He said people are climbing it to access the parking lot at the west end of the beach.
5. George Jimenez said he is also in the area daily and asked Commissioner Allen if seal watchers had permits to cross the tracks and have permission from the railroad company. He complained about the use of a cement trail. He noted that trail users are dumped into the Rincon parking lot which is already unsafe. He spoke about how we are using funds to attract tourists instead of using them for transportation purposes.
6. John Greynald announced he was there to respond to questions about the air study. He questioned why it was included in the EIR if CEQA guidelines don't address it. Among other things, he said the project is being ramrodded through, and it should be clear why the study is incomplete.
7. Otis Gillespie displayed photos of the flying site and the bluff called Little Diamond Head, specifically pointing out how the environment was going to be impacted by drainage pipe outflows and stanchions.

8. Erin Finnegan, representing Santa Barbara Middle School, expressed appreciation for the fact we're even considering the bike path. She said they have done bike trips with kids for 30 years and spoke about how important these paths are for community connectedness, health and safety.
9. Randall Davy, avid bike rider and pilot, supports the idea of coastal access. He spoke about the test of empathy and how when a take is considered, it's important that the project is not force fed in a way that creates second guessing and hard feelings for years to come. He said Alternative 4 hasn't been truly fleshed out yet.
10. Helen O'Neil of Bike Ventura and Bike Oxnard spoke about bike safety issues in the parking lot and expressed support for Alternative 4. She said less bikes would have to go through the parking lot.
11. Noah Wu, long-time Carpinteria resident, said he is against the pathway, noting the overflow from Rincon that has been taking place. He expressed concern when everyone finds out about the bike path that they're going to park along Carpinteria Avenue. He's nervous about the congestion and how bikes and pedestrians will be flowing through Rincon parking lot.
12. Chris Tierly?, beginner pilot visiting from New Zealand, said there are very few places he can learn to fly, and Bates has been very special for him. He hopes we can have both recreational groups enjoy the area together.
13. Jamie Bishop complained that the proposed final EIR is flawed and should not be certified without further amendment. She said the project is not consistent with Coastal Act Section 30251. She expressed support for Alternative 4.
14. Susan Allen, standing in for Ted Rhodes of Citizens for Carpinteria Bluffs, read a letter in support of the project and the Planning Commission certifying the EIR.
15. Aja Rajumani said he is a pilot and member of the soaring community. Regarding the change of airflow movements having no effect on the environment, he said he studied ecology and they do have an effect on birds, butterflies, etc. He recalls biking through here years ago and the Carpinteria part stood out in his mind. He doesn't think bikers would notice if they went behind the hill on one section of the trail.

PUBLIC HEARING CLOSED – Chair Benefield closed the public hearing.

Planner Nick Bobroff responded to concerns raised during public comment. Regarding drainage outflows discussed, he said they would be replaced with new piping running down a bluff face, which would be a significant improvement. He clarified the bridge is free span and there will be no stanchions. Regarding air flow changes in the EIR, he explained there will be no impacts to birds and wildlife in any significant manner. About safety concerns in the parking lot, he said the City's consulting traffic engineer studied it and, because it's a slow speed environment, the addition of cyclists and pedestrians should not be an issue provided they use common

sense. With respect to consistency with Section 30251, he said the section doesn't preclude earthwork from occurring, and the work must be done to accommodate any trail. He added that the slope is going to be stabilized through revegetation and will look more natural than it currently does. Concerning masses of people parking on Carpinteria Avenue, he explained part of a future project is to build a parking lot and trail improvements on the Rincon Bluffs Preserve, although it is not guaranteed.

Commissioner Allen said he is all for soaring and wishes there was a way to ensure and improve it in our county. He walks up there a lot and has often trespassed over the tracks to get to the County park. He said the project is part of a larger statewide effort and he feels a responsibility to ensure the best trail for the most people. In balancing the interest of soaring over the long-term interest of the population of CA and other visitors, he wants a trail that benefits the majority in the best way possible. He would hate to make a decision for the soaring community that might not be able to continue, noting there is no guarantee they will be able to continue to use the King property. They don't know what project will be proposed there unless the community can acquire that hilltop. He agreed many trespass on UPRR property, and we don't know what the railroad will do for safety reasons. They have legal right to fence it all, which is why approving a project that is less than ideal for users in the future would be a mistake.

About the EIR, Allen said it is undisputable in that it's much nicer to walk through the County Park, and the Coastal Act prioritizes aesthetics. As for Seal Watch, he clarified it has nothing to do with coastal trails and stays on the beach. About certification of the EIR, he felt it was a mistake to include the soaring study but said the EIR is totally supportable. There is no threshold because recreational activity is not part of its purview and including it would be expanding its scope. All other impacts are well analyzed, so he can accept and certify it. He expressed support for certifying the EIR, for Alternative 3 and approval of the CUP/CDP, stating that it benefits the most people and accomplishes the goal of the California Coastal Trail.

Commissioner Moyer said Alternative 4 is depressing and he questioned its constructability considering its slope, angle and what has to be done to create a path. The path won't be ADA compliant, and it's just basically a place to get from point "a" to point "b". The project that is designed will correct a lot of problems, including drainage. He suggested the gliding community would be better served to start a non-profit and go to King and enter into a discussion about a contract to secure a glider port there; however, he warned there could be issues with the FAA. He said it would be wonderful if there was a legal glider port there. He can support the EIR,

and he can understand the reason it doesn't consider recreation – it's more concerned with the environment.

Commissioner Callender said he is going to vote not to accept the EIR as adequate. The key issue is the notion that alteration of the wind characteristics is not a feature of the natural environment. He is a process engineer and likes processes that work well, and he is bothered by the one we followed. When the MND was brought before him, he felt recreational aspects weren't being addressed. He said leadership and vision is a key part of how things get done, and this project was spearheaded by Parks Director Matt Roberts who has a vision. It's clear where his sympathies lie, which he doesn't begrudge, but at the same time we need to draw a line with this EIR analysis process. The purpose of this EIR is to clearly spell out the impacts, and he feels a leaning on the scales for salesmanship to minimize the impacts to the soaring community. It has caused us to get a document that is not as good as it should be. He'd like soaring impacts acknowledged as a physical impact on the environment with a significant effect. He feels this process has found us ways to get to a decision the applicant wants, and we are failing the test of empathy, which disappoints him.

BREAK – Chair Benefield called for a 2-minute break.

Chair Benefield spoke about how they try to balance what is best but mostly they are on the side of the bigger community. She doesn't hear anyone say they cannot soar due to Alternative 3; they simply cannot do it the way they did before. She expressed support for the EIR, CUP and CDP. She said they bent over backwards to get a study but they (soaring community) didn't like it. The most people who will benefit is the general public, not the soaring community, and that's the balancing they do. She loves soaring and it fascinates her, but it's not the main public benefit. The major public benefit is for bikers and walkers. She lives 8 feet from a trail by the marsh, and during Covid it has been packed. She said we need substantial structure to move on. She recommended approval of all three items and entertained a motion

MOTION

Commissioner Allen moved that the Planning Commission adopt the attached Resolution PC-22-001 thereby acting on behalf of City of Carpinteria as the lead agency as defined by CEQA, accepting and certifying the Environment Impact Report (EIR) for the Rincon Trail Project as having satisfied the procedural and statutory requirements of CEQA, selecting the steeper slope/reduced earthwork Alternative 3 as the preferred project, and approving the Conditional Use Permit and Coastal Development Permit for the portion of the proposed Rincon Trail located in the City of Carpinteria. Commissioner Moyer seconded. Motion passed 3-1

by the following roll call vote: Commissioner Allen voted yes, Commissioner Moyer voted yes, Commissioner Callender voted no, and Chair Benefield voted yes. Chair Benefield announced there are 10 days in which to appeal to the City Council.	
OTHER BUSINESS - None	OTHER BUSINESS
MATTERS PRESENTED BY COMMISSIONERS - None	MATTERS PRESENTED
DIRECTOR'S REPORT - None	DIRECTOR'S REPORT
ATTENDANCE OF PLANNING COMMISSIONERS FOR THE NEXT MEETING OF February 7, 2022	ATTENDANCE FOR NEXT MEETING
ADJOURNMENT - Chair Benefield adjourned the meeting at 8:33 p.m. Secretary, Planning Commission ATTEST: Chair, Planning Commission	ADJOURNMENT

PLANNING COMMISSION
STAFF REPORT

MEETING DATE: March 7, 2022

ITEM FOR CONSIDERATION

Siegel Residence Addition
Project 21-2106-DP/CDP/ARB

Request to approve a Development Plan and Coastal Development Permit to construct a 535 square-foot two-story addition to the rear of the existing residence for a resultant size of 1,403 square feet and to accept a categorical exemption pursuant to §15301, §15303, and §15332 of the California Environmental Quality Act (CEQA).

Report prepared by: Syndi Souter, Associate Planner
Community Development Department


SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department


SIGNATURE

Owners: Timothy and Anissa Siegel

Agent: Russell Werth, Designer

Project Location: 4755 Fourth Street

APN: 003-435-007

Zoning: Planned Residential Development
(PRD-20)

General Plan Designation: Medium Density
Residential (MDR)



I. RECOMMENDATION

Adopt the attached Resolution No. PC-22-003, thereby approving Project 21-2106-DP/CDP/ARB to construct a 535 square-foot two-story addition to the rear of the existing residence for a resultant size of 1,403 square feet; and to accept a categorical exemption pursuant to §15301, §15303, and §15332 of the California Environmental Quality Act (CEQA).

II. PROPOSED PROJECT DESCRIPTION

Development Plan

The requested Development Plan would allow the construction of a new 535 square-foot two-story addition to the rear of the existing 868 square-foot single-story single-family residence on a parcel of approximately 3,164 square feet in size. The addition would contain a new bedroom and master suite. The project would also include an interior kitchen remodel and the demolition of an existing 62 square-foot laundry room. The existing unpermitted front yard chain-link gate, bamboo fencing, and hedge are proposed to be removed and replaced with a new three-foot tall picket fence. The resultant residence would be 1,403 square feet in size with a detached 216 square-foot one-car garage and a maximum height of 26 feet.

Coastal Development Permit

A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics and Background

The project site is located in the Beach Neighborhood on the south side of Fourth Street, midway between Holly Avenue and Ash Avenue. The 3,164 square-foot lot is presently developed with an 868 square-foot one-story single-family residence and a detached 216 square-foot one-car garage. Along the street frontage, there is a hedge that is approximately seven-feet tall in front of a five-foot tall bamboo fence, with a three-foot-tall chain link gate across the driveway entrance. According to the Santa Barbara County Assessor's records, the residence was originally constructed in 1937. The existing residence was built approximately two-feet two-inches from the property line on the western side, and the garage sits in the southeast corner along the side and rear property lines. As such, portions of both existing structures are considered legal non-conforming because they encroach into the now-required setbacks. Additionally, the one-car garage is also considered legal non-conforming since the current code requires each single-family residence to have a two-car garage. The proposed project has been designed to avoid structural alterations within the legal non-conforming portions of the existing residence.

The project site is located in the Beach Neighborhood (Community Design Subarea 1), comprised of a mix of single-family and multi-family residences. The property is surrounded on three sides by two-story residences. Across Fourth Street from the subject property is a mixture of older small single-story single-family residences and single-family residences that have had significant remodels, including second-story additions.

The site is zoned Planned Residential Development (PRD-20) and has a Medium Density Residential (MDR) land use designation. The project site is not currently located in any overlay districts. However, the project is located in an area identified in the City's Sea Level Rise Vulnerability

Assessment and Adaptation Plan (SLRVAAP) as being vulnerable to sea level rise impacts from two or more feet of sea level rise.

Architectural Review Board

The project received preliminary review by the Architectural Review Board (ARB) on December 16, 2021, and the Board generally supported the project with a few comments. Story poles were erected prior to the ARB meeting on November 11, 2021. The ARB unanimously supported the removal of the existing hedge, bamboo fence, and chain-link gate along the front of the property and suggested a picket fence instead. The Board commented that all of the windows should have shutters; the new second-story window on the east elevation should be centered under the gable; and adding a new window in the stairwell to break up the west elevation. At that meeting, the Board made a recommendation to the Planning Commission for preliminary approval with comments. Final review by the ARB would be required before issuance of building permits.

A copy of the Minutes from the December 16, 2021 ARB meeting is attached as Exhibit 2.

IV. ENVIRONMENTAL

This project can be found to be categorically exempt from environmental review pursuant to Sections 15301(e) (existing facilities), 15303 (new construction or conversion of small structures) and 15332 (in-fill development projects) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). The project meets the requirements for the listed Categorical Exemptions as the project includes only an addition to an existing residence, wherein the project is consistent with the City's General/Coastal Plan and Zoning Code, is located within city limits on a project site of no more than five acres substantially surrounded by urban uses, and the project site has no value as habitat for endangered, rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services. As the project is consistent with these standards, the exemption is appropriate.

For more detail, see the attached Notice of Exemption included as Exhibit 3.

V. ANALYSIS

The discussion below provides an analysis of the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code (CMC), and with the policies and objectives of the City's General Plan/Coastal Land Use Plan. The site is zoned Planned Residential Development (PRD-20) and has a Medium Density Residential (MDR) land use designation. The project site is not currently located in any overlay districts.

Carpinteria Municipal Code (CMC)

A single-family residence is a permissible use in this district, subject to specific development standards and approval of a Development Plan and Coastal Development Permit. The following table identifies the project's conformance with applicable Planned Residential Development District requirements:

Standard	Requirement/Allowance	Proposal
Setbacks		
Front*	50 feet from centerline of street or 20 feet from property line, whichever is greater.	Existing: 40 feet from centerline; 20 feet from property line Proposed: No change
Side (East)	5 feet	Existing: 11-feet 10-inches Proposed: No change
Side* (West)	5 feet	Existing: 2-feet 2-inches Proposed: 5-feet 6-inches (addition)
Rear	15 feet	Existing: 19 feet Proposed: 15 feet
Height	30 feet	Existing: 17 feet Proposed: 26 feet
Building Coverage	50% max. (1,582 square feet)	Existing: 27% (868 square feet) Proposed: 32% (1,010 square feet)
Common Open Space	20% min. (633 square feet)	Existing: 66% (2,080 square feet) Proposed: 61% (1,938 square feet)
Density	1 unit max. (20 units/acre)	Existing: 1 single-family residence Proposed: No change
Parking*	2 spaces in a garage	Existing: 1 space in a garage Proposed: No change

**The existing residence is considered legal non-conforming with respect the required front and side setbacks, and parking. Please see the discussion below.*

Legal Non-conforming Setbacks & Parking

The existing residence is legal non-conforming with respect to the required front and side setbacks, and parking. The existing residence encroaches 10-feet into the front yard setback and two-feet ten-inches into the side yard setback. A corner of the existing detached garage encroaches into the side setback. The project site also only provides for one parking space within the garage. Pursuant to CMC Section 14.82.010.3.b, *"Additions may be made to a legally existing dwelling unit without requiring any additional garage, carport, automobile storage space or driveway paving; provided, that such additions do not either increase the number of families that can be housed in such structure or occupy the only portion of an area which can be used for required garages, carports, automobile storage space or access thereto."*

The proposed second-story addition would comply with the current setbacks and additional parking would not be triggered as the residence would remain as a single-family dwelling. The proposed project has been designed to avoid new construction and structural alterations within the legal non-conforming portions of the residence. In the event that structural alterations to the legal non-conforming portions of the existing residence would be necessary to construct the addition, a Conditional Use Permit would need to be reviewed and approved by the Planning Commission, pursuant to CMC Section 14.82.061- Nonconformance of residential uses as to yards, height, or parking.

General Plan/Coastal Land Use Plan

The project site has a General Plan/Coastal Land Use Plan designation of Medium Density Residential (MDR) and is within Design Subarea 1 (Beach Neighborhood) of the Community Design Element and is subject to the following policies:

Land Use Element

Objective LU-3: Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the city's edge.

Policy LU-3f: Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with principles established in the Community Design Element.

The proposed addition is in keeping with the “beachy” character of the neighborhood, and the project will enhance the aesthetics and livability of the residence. The existing small residence on the subject property is representative of the small, older homes that give the Beach neighborhood distinctive “small beach town” charm. The project would preserve and enhance these characteristics. The project received a preliminary recommendation for approval from the ARB, and has been found consistent with the applicable policies of the Community Design Element, as discussed in detail below.

Noise Element

Policy N-5c: The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.

The City’s standard conditions relating to construction timing and noise attenuation have been included in the attached recommended Conditions of Approval (Exhibit 1, Attachment C).

Safety Element

Objective S-4: Minimize the potential risks and reduce the loss of life, property and the economic and social dislocations resulting from flooding.

Although the project site is not located in the 100-year floodplain, it is still an area currently vulnerable to flooding impacts. These vulnerabilities are liable to become more pronounced in the future as a result of rising sea levels, as discussed in the City’s Sea Level Rise Vulnerability Assessment and Adaptation Project (SLRVAAP), which shows the subject property as being vulnerable to two feet or more of sea level rise from cumulative impacts by 2060. Chapter 7 of the

California Coastal Commission's (CCC) 2018 Sea Level Rise Policy Guidance document includes strategies for addressing sea level rise for redevelopment projects, including, developing thresholds for defining "redevelopment".

Consistent with CCC guidance, the City Council adopted interim sea level rise (SLR) guidance on October 26, 2020 with Resolution No. 6010 to provide assistance to City staff, decision-makers, and applicants for projects in areas prone to SLR. The interim guidelines define "redevelopment" as projects that result in improvements costing more than 50% of the existing structure's market value; or projects resulting in the replacement of more than 50% of the existing structure. If a proposed project exceeded these thresholds, it would qualify as "redevelopment" and be expected to further analyze vulnerability to impacts from sea level rise and identify and implement adaptation strategies to mitigate those potential impacts.



To address the City's interim practice concerning redevelopment in Zone 2 of SLR prone areas, the applicant has provided a construction cost estimate and a depreciated replacement cost estimate to demonstrate that the project does not qualify as redevelopment because the project cost is 48% of the market value of the structure. Staff has also received documentation from a structural engineer to confirm that the degree of structural alterations/reconstruction on the existing residence would be 41% of the area of the existing structure to accommodate the proposed second story, which is also below the 50% replacement threshold to qualify as redevelopment. As such, the proposal does not qualify as "redevelopment," and is not subject to the additional studies, analysis, and mitigation measures as required by the SLR interim guidance.

Please see Exhibit 4 for copies of the interim SLR Guidance, cost estimate, appraisal, and engineer's report.

Community Design Element

Objective CD-1: *The size, scale and form of buildings on a parcel should be compatible with the adjacent nearby properties and with the dominant neighborhood or district development pattern.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the city.*

The proposed project would change the scale of the existing cottage style residence from a one-story structure to a two-story structure. The proposed second-story addition would be set back approximately 14-feet from the front face of the existing residence. The proposed height of the two-story addition would be 26-feet for the portion over the existing residence and 22-feet for the new area at the rear. The property is surrounded on three sides by two-story residences, and the immediate neighborhood includes a mix of one- and two-story structures. The proposed design and size of the second-story addition is not out of character with other homes in the neighborhood. As such, Staff feels that the proposal is consistent with the above objectives.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

Given that the property is surrounded on three sides by two-story structures, the project as proposed would not significantly impact public views of the mountains. Views of the Pacific Ocean are not available from the project site.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the “living rooms” of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas, which maintain and enhance the quality of Carpinteria’s streetscape.*

The removal of the existing seven-foot-tall hedge and five-foot tall bamboo fence will open up the views of the property from the street and the proposed picket-fence will be lower and consistent with the street frontages of other homes in the neighborhood. The proposal would enhance the streetscape in the neighborhood.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photo-pollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity, and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

New exterior lighting is not shown on the preliminary plans at this time. Should the project be approved by the Planning Commission, the project would return to the ARB for final review at which time staff and the Board would have the opportunity to review the final working drawings, including any existing and proposed exterior lighting, for consistency with this Objective and Policy.

Subarea 1 (Beach Neighborhood) Objectives and Policies

Objective CDS1-2: *Enhance the pedestrian character of the neighborhood streets.*

Objective CDS1-3: *Ensure that the scale and character of new development is consistent with the existing small-scale character of the residential neighborhood and that it is consistent with the neighborhood “small beach town” image. Discourage new development of large, “boxy” buildings, with ground floors primarily devoted to garages.*

CDS1-Implementation Policy 1: *New buildings should discourage the ground floor being dominated by garage doors or “boxy” building design.*

CDS1-Implementation Policy 7: *To create a picturesque skyline, visible pitched roofs are recommended, rather than flat roofs with parapets or mansard fascias. On three-story elements, visible pitched roofs should be required to prevent the buildings from “walling off” the beach from the town.*

The proposed second-story addition would be set back from the existing front face of the residence and the roof pitch is proposed to match the existing 3:5 pitch. The proposal is designed to match the existing cottage style architecture, which is consistent with the “small beach town” image. The proposed picket fence will enhance the pedestrian character of the project as experienced from the street.

VI. DEVELOPMENT IMPACT FEES

The proposed project would not result in a net increase of dwelling units. Therefore, this residential project is not subject to Development Impact Fees payable to the City. Other agencies and districts may, however, charge mitigation or service fees triggered by the proposed upgrades.

VII. ACTION OPTIONS

1. Adopt Resolution No. PC-22-003, thereby approving Project 21-2106-DP/CDP/ARB to construct a 535 square-foot two-story addition to the rear of the existing residence for a resultant size of 1,403 square feet; accept the CEQA Notice of Exemption; and adopt the Findings for Approval in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C.
(Staff’s recommendation)
2. Direct the applicant to prepare project revisions and return to the next Commission meeting.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission’s next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-22-003
Attachment A – Findings
Attachment B – Plan set
Attachment C – Recommended Conditions of Approval

Exhibit 2 Minutes from the December 16, 2021 ARB Meeting

Exhibit 3 CEQA Notice of Exemption

Exhibit 4 Interim Sea Level Rise Guidance Documents

Exhibit 1
Resolution PC-22-003

Siegel Residence Addition
21-2106-DP/CDP/ARB

March 7, 2022

RESOLUTION NO. PC-22-003

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
CARPINTERIA APPROVING DEVELOPMENT PLAN AND COASTAL
DEVELOPMENT PERMIT NO. 21-2106-DP/CDP/ARB FOR THE SIEGEL RESIDENCE
ADDITION LOCATED AT 4755 FOURTH STREET, APN 003-435-007**

REQUESTED BY RUSSELL WERTH, AGENT FOR TIMOTHY AND ANISSA SIEGEL

WHEREAS, the Planning Commission of the City of Carpinteria has considered an application for a Development Plan and a Coastal Development Permit filed by Russell Werth, agent for Timothy and Anissa Siegel; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on October 14, 2021; and

WHEREAS, the Carpinteria Architectural Review Board has considered the proposed project on December 16, 2021, and recommended preliminary approval; and

WHEREAS, the Planning Commission has conducted a noticed public hearing and received evidence regarding the application for the Development Plan and Coastal Development Permit; and

WHEREAS, the project is exempt from the California Environmental Quality Act under Guidelines Sections 15301(e) (existing facilities), 15303 (new construction or conversion of small structures) and 15332 (in-fill development projects) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). The project meets the requirements for the listed Categorical Exemptions as the project includes only an addition to an existing residence, wherein the project is consistent with the City's General/Coastal Plan and Zoning Code, is located within city limits on a project site of no more than five acres substantially surrounded by urban uses, and the project site has no value as habitat for endangered, rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan and Coastal Development Permit are approved making the findings outlined in Attachment A.
2. The Development Plan and Coastal Development Permit consistent with the plans shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 7th day of March, 2022, by the following vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

ABSTAIN: COMMISSIONER(S):

Jane Benefield, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 7th day of March, 2022.

Exhibit 1
Attachment A: Findings

Siegel Residence Addition
21-2106-DP/CDP/ARB

March 7, 2022

ATTACHMENT A: FINDINGS

PLANNING COMMISSION HEARING PROJECT NO. 21-2106-DP/CDP/ARB March 7, 2022

**Siegel Residence Addition
4755 Fourth Street**

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Development Plan and Coastal Development Permit was submitted on April 28, 2021, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on October 14, 2021. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners

within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemptions 15301(e) (existing facilities), 15303 (new construction or conversion of small structures) and 15332 (in-fill development projects) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). The project meets the requirements for the listed Categorical Exemptions as the project includes only an addition to an existing residence, wherein the project is consistent with the City's General/Coastal Plan and Zoning Code, is located within city limits on a project site of no more than five acres substantially surrounded by urban uses, and the project site has no value as habitat for endangered, rare or threatened species. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services.

1.3 Development Plan Findings

1. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

The property is located in the Planned Residential Development (PRD-20) zone district (CMC 14.14), and is designated Medium Density Residential (MDR) in the General Plan/Coastal Land Use Plan. Single-family residences are an allowed use in the PRD zone, and the proposed addition conforms to the development standards in regards to height, building coverage, open space, and setbacks. As discussed in the Planning Commission staff report dated March 7, 2022, and hereby incorporated into these Findings by reference, the project is consistent with the General Plan/Coastal Plan's applicable Land Use, Community Design Element, Noise Element, and Safety Element Objectives and Policies in that the project involves upgrades to an existing residence in its present location and configuration. As the existing arrangement would be maintained, the improvement can be found to fit within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size, and scale. The use of the residence will not change. Therefore, this finding can be made.

2. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

The project site is not currently located in a flood hazard area according to the current Flood Insurance Rate Map ("FIRM") for the area. The project site is, however, located in an area that may become vulnerable to coastal flooding resulting from two feet of sea level rise (SLR) from cumulative impacts by 2060 according to the City's "Sea Level Rise

Vulnerability Assessment and Adaptation Project.” Consistent with California Coastal Commission guidance and adopted interim City guidance, the applicant provided sufficient documentation to demonstrate that the project would not constitute “redevelopment” (e.g., a project valuation that exceeds 50% of the existing structure’s current valuation; or a project that replaces 50% or more of the existing structure), and therefore was not required to further examine potential exposure to, or adaptation strategies for, future sea level rise as part of this project.

Per the adopted guidance, the project has also been conditioned to require recordation of a real estate disclosure and waiver document requiring the owner to assume the risk of any damage caused by future sea level rise and to waive any claims for damages for such hazards; and to require the disclosure to any future buyers all permit conditions related to coastal hazards, property defects or vulnerabilities, including information about known current and potential future vulnerabilities to sea level rise. These conditions are necessary to protect public health, safety and welfare; to properly disclose to current and future owners the property’s potential vulnerability to sea level rise impacts and potential coastal flooding hazards due to climate change; to safeguard valuable public coastal resources, which are of statewide importance; and to require the property owner, rather than the City, to accept responsibility for any future damages related to sea level rise, particularly since the project does not include any adaptation measures intended to otherwise reduce or mitigate risk to future sea level rise impacts.

The property is also not located in an area prone to geologic or fire hazards. Given the above, and the fact that the density on the property will remain as a single-family residence, this finding can be made.

3. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The project is minor in nature, is located in an existing developed urban area, and is not located near a creek or the Pacific Ocean, therefore, this finding can be made.

4. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

There are no proposed or existing public access easements recorded on the property, therefore this finding can be made.

5. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

This finding can be made since the proposed project will not impact traffic circulation,

sewage disposal, fire protection, water supply, or police protection due to the minor nature of the addition to a single-family residence.

6. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

This finding can be made because the project is minor in nature and the proposed addition would be an improvement to the property.

1.4 Coastal Development Permit Findings

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the permit requested may be issued based on the following findings:

1. *The proposed development is in conformity with the City's certified Local Coastal Program.*

The property is designated Medium Density Residential (MDR) in the General Plan/Coastal Land Use Plan. Single-family residences are allowed under this designation, and the project is a 535 square-foot addition to an existing single-family residence. As discussed in the Planning Commission staff report dated March 7, 2022, and hereby incorporated into these Findings by reference, the project is consistent with the General Plan/Coastal Plan's applicable Land Use, Community Design Element, Noise Element, and Safety Element Objectives and Policies in that the project involves upgrades to an existing residence in its present location. Additionally, the project has been reviewed under the City's interim SLR guidance and does not meet the criteria for "redevelopment." As the existing residential use would be maintained, the improvement can be found to fit within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size, and scale. The use of the residence will not change. Therefore, this finding can be made.

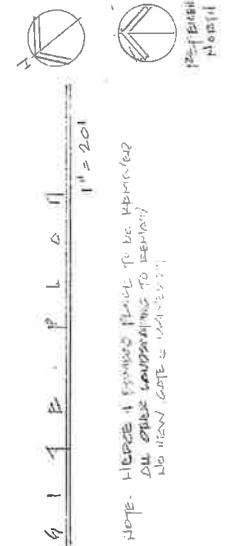
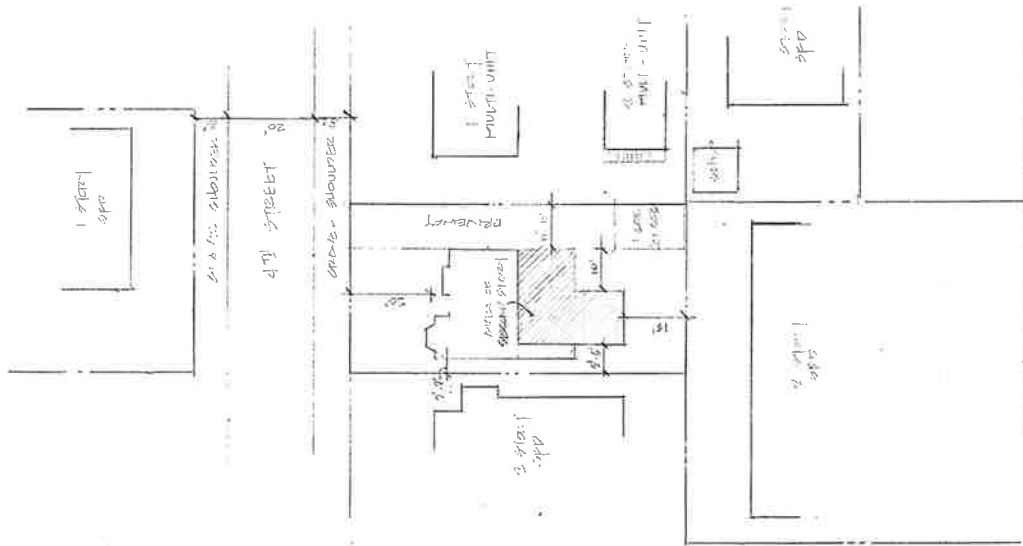
Exhibit 1
Attachment B: Reduced Plans

Siegel Residence Addition
21-2106-DP/CDP/ARB

March 7, 2022

FAR CALCULATIONS

LOT	3164 X .50	3164.00 S.F.
ALLOWABLE @ FIRST FLOOR	867.75 S.F.	1582.00 S.F.
ACTUAL @ FIRST FLOOR	216.00 S.F.	
HOUSE	1083.75 S.F.	
GARAGE	(1083.75 X .40)	
TOTAL		
ALLOWABLE @ SECOND FLOOR		433.50 S.F.
ACTUAL @ SECOND FLOOR		421.75 S.F.

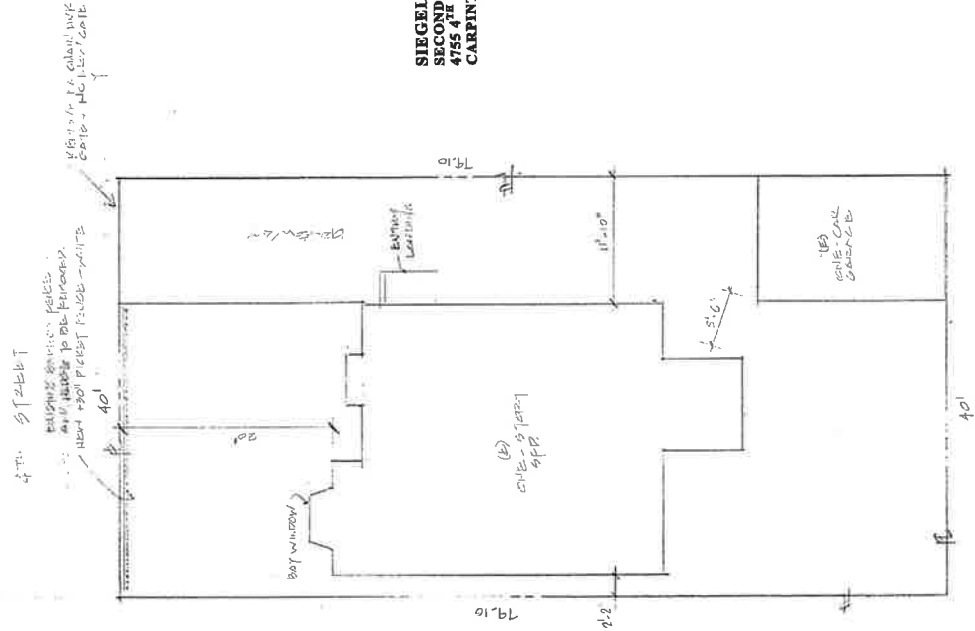


ARCHITECTURE
 RUSSELL JAMES WERTH
 13419 GALEWOOD STREET
 SHERMAN OAKS, CALIFORNIA
 91423
 818 424-8707 cell

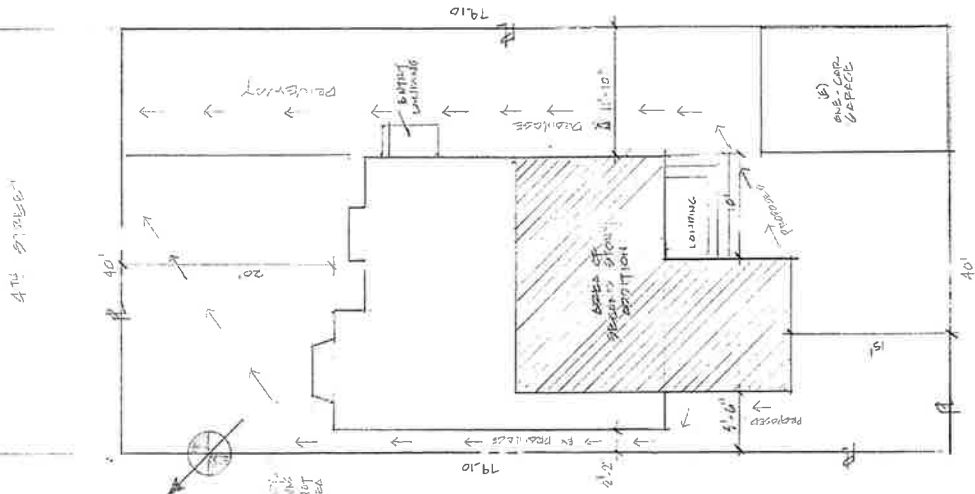
SIEGEL RESIDENCE
 SECOND STORY ADDITION / REMODEL
 4755 4th STREET
 CARPINTERIA, CALIFORNIA

ARCHITECTURE
 RUSSELL JAMES WERTH
 13419 GALEWOOD STREET
 SHERMAN OAKS, CALIFORNIA
 91423
 818 424-8707 cell

SIEGEL RESIDENCE
 SECOND STORY ADDITION / REMODEL
 4755 4TH STREET
 CARPINTERIA, CALIFORNIA



EXISTING
 SCALE 1/8" = 1'-0"



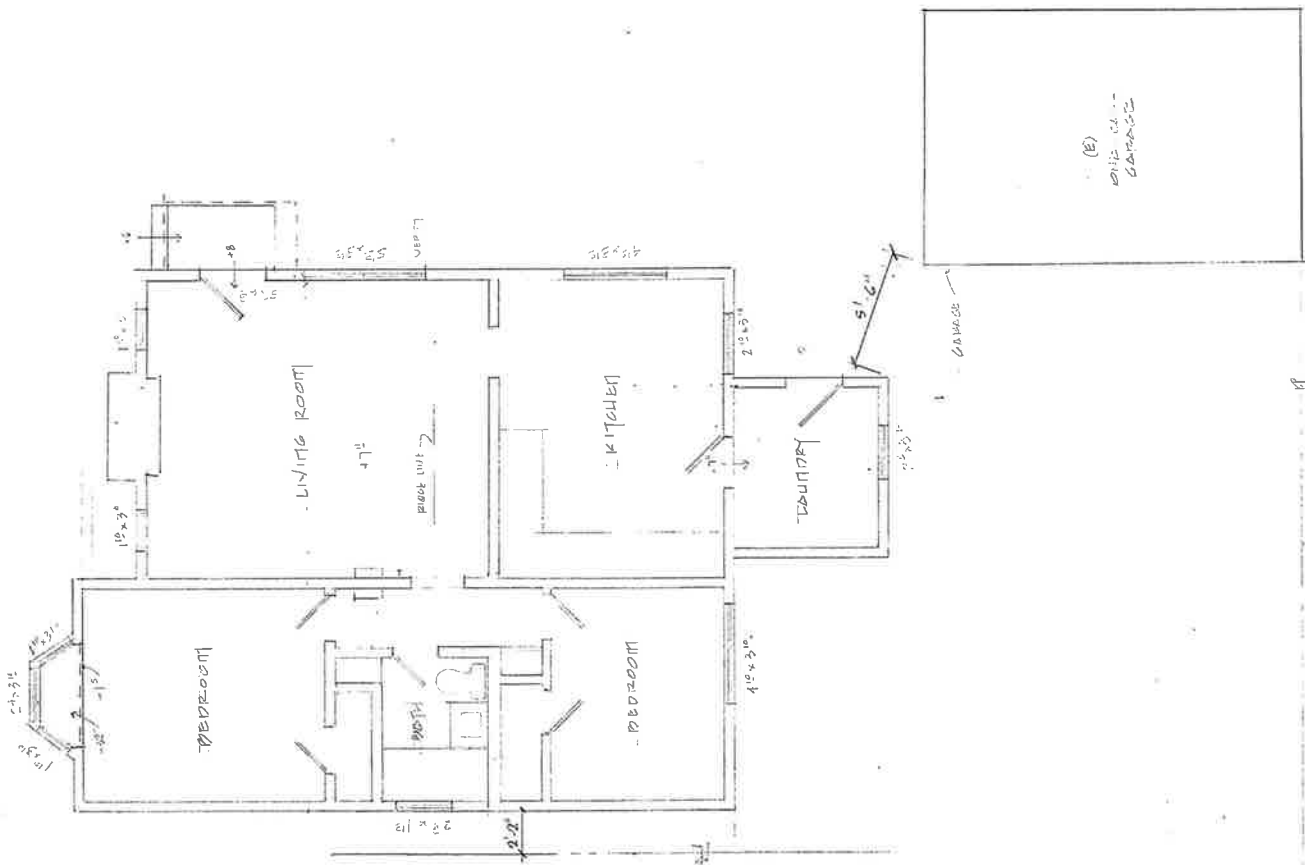
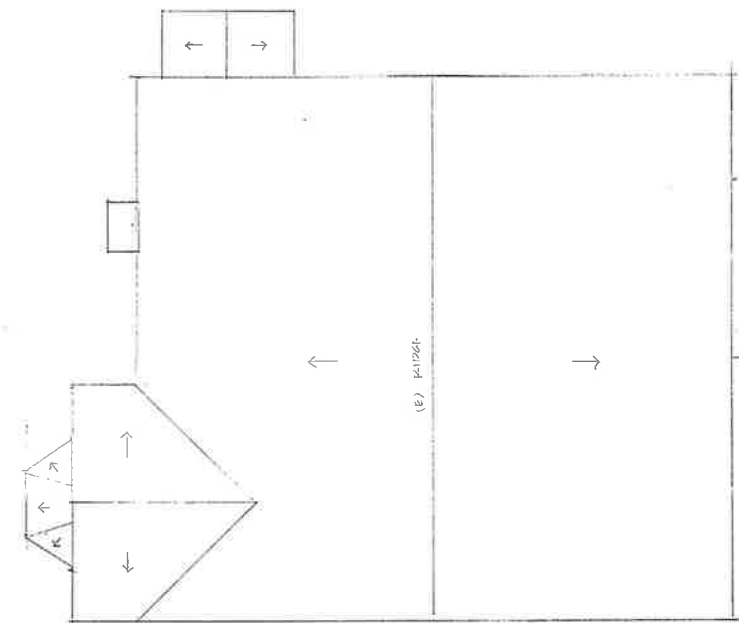
PROPOSED
 SCALE 1/8" = 1'-0"

NOTE:
 THIS REAR PORCH IS NOT
 TO BE CONSIDERED AS A
 PART OF THE NEW
 ADDITION. IT IS NOT
 TO BE INCLUDED IN THE
 TOTAL AREA.

ARCHITECTURE
RUSSELL JAMES WERTH
13419 GALEWOOD STREET
SHERMAN OAKS, CALIFORNIA
91423
818 424-8707 cell

**SIEGEL RESIDENCE
SECOND STORY ADDITION / REMODEL
4755 4TH STREET
CARPINTERIA, CALIFORNIA**

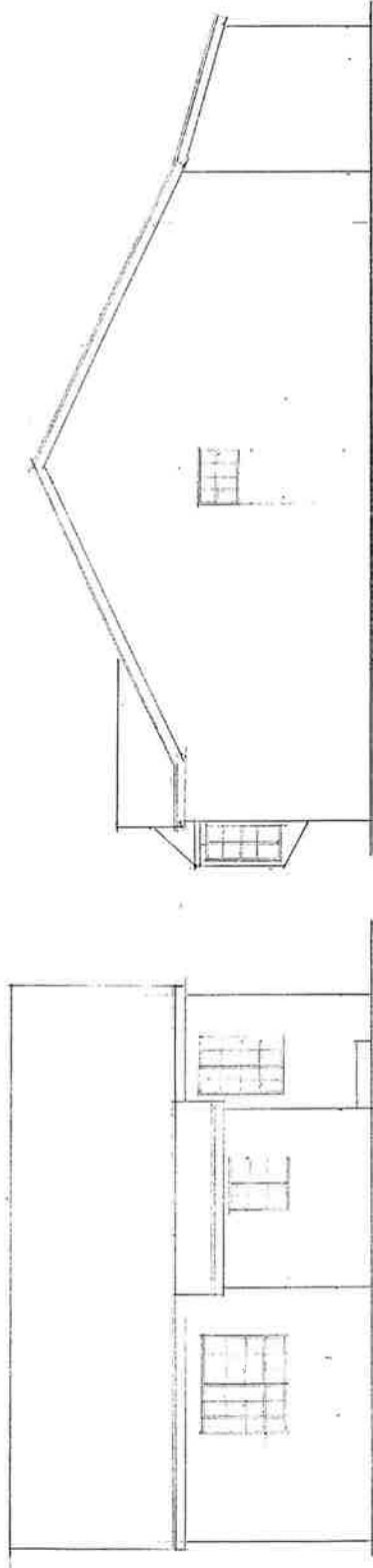
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WOLF PLANT

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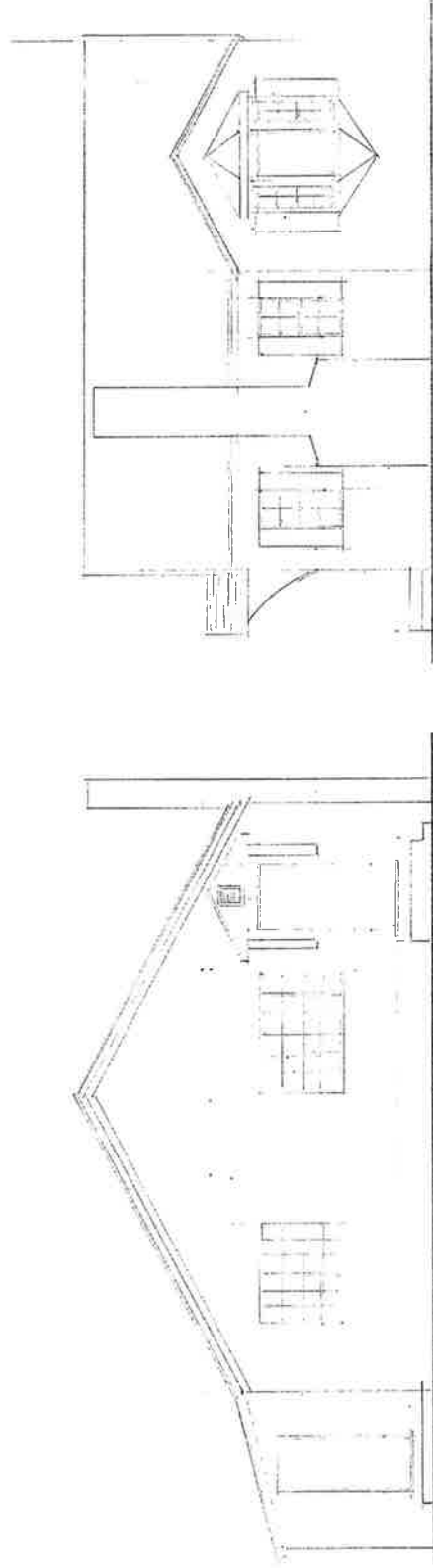
ARCHITECTURE
 RUSSELL JAMES WERTH
 13419 GALEWOOD STREET
 SHERMAN OAKS, CALIFORNIA
 91423
 818 424-8767 cell



EXISTING
 1/4" = 1'-0"

EXISTING
 1/4" = 1'-0"

SIEGEL RESIDENCE
 SECOND STORY ADDITION / REMODEL
 4755 4TH STREET
 CARPINTERIA, CALIFORNIA

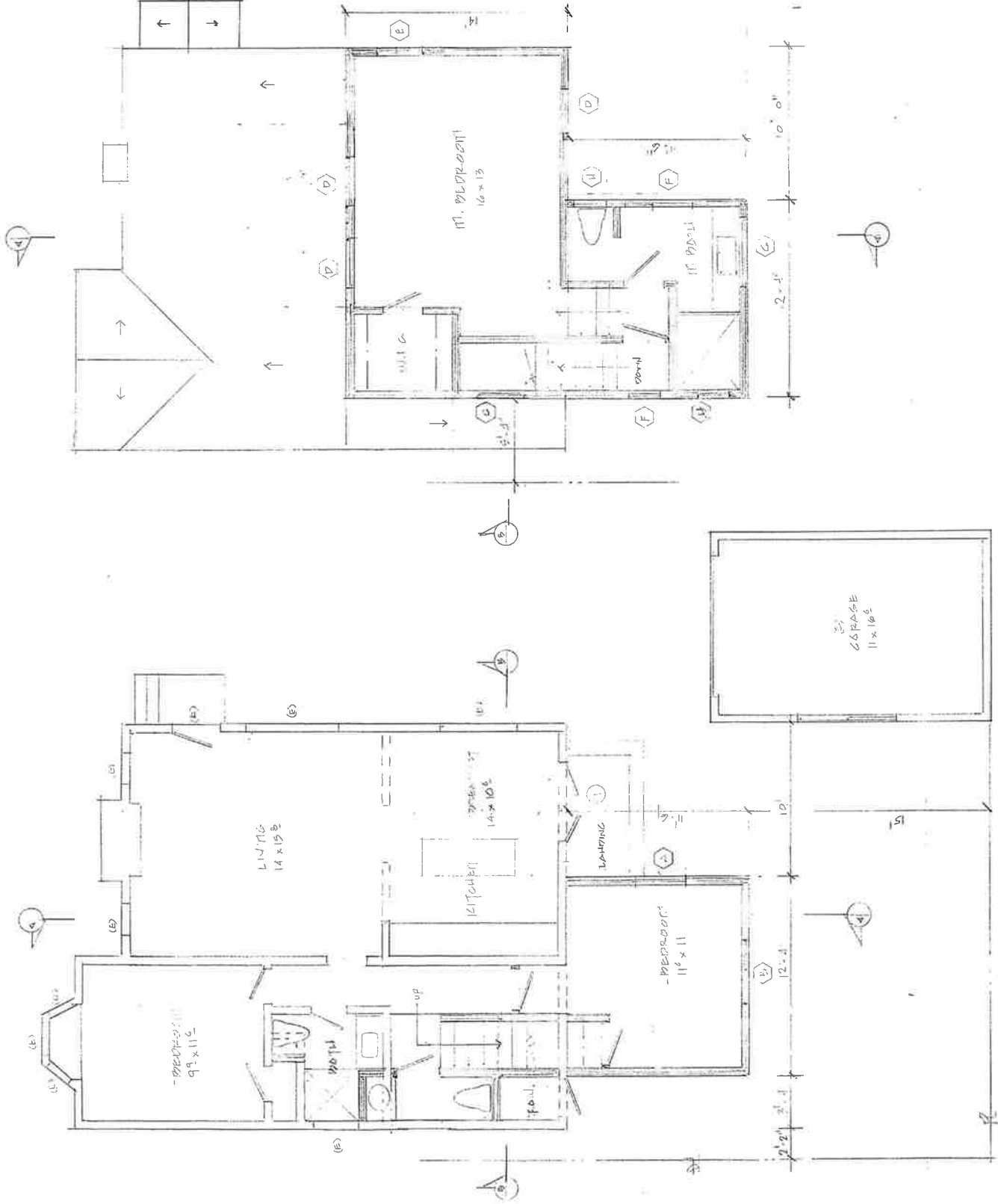


EXISTING
 1/4" = 1'-0"

EXISTING
 1/4" = 1'-0"

ARCHITECTURE
 RUSSELL JAMES WRETH
 13419 GALEWOOD STREET
 SHERMAN OAKS, CALIFORNIA
 91423
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SIEGEL RESIDENCE
 SECOND STORY ADDITION / REMODEL
 4755 4TH STREET
 CARPINTERIA, CALIFORNIA

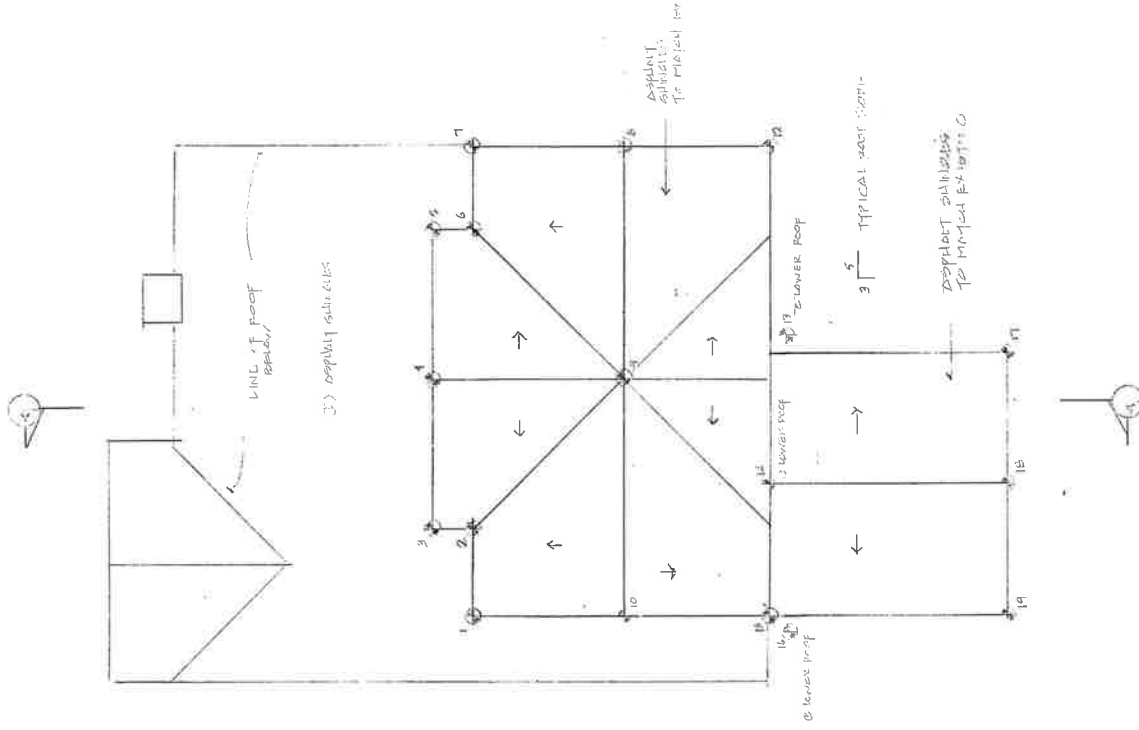


FLOOR PLAN
 SECOND LEVEL

FLOOR PLAN
 FIRST LEVEL

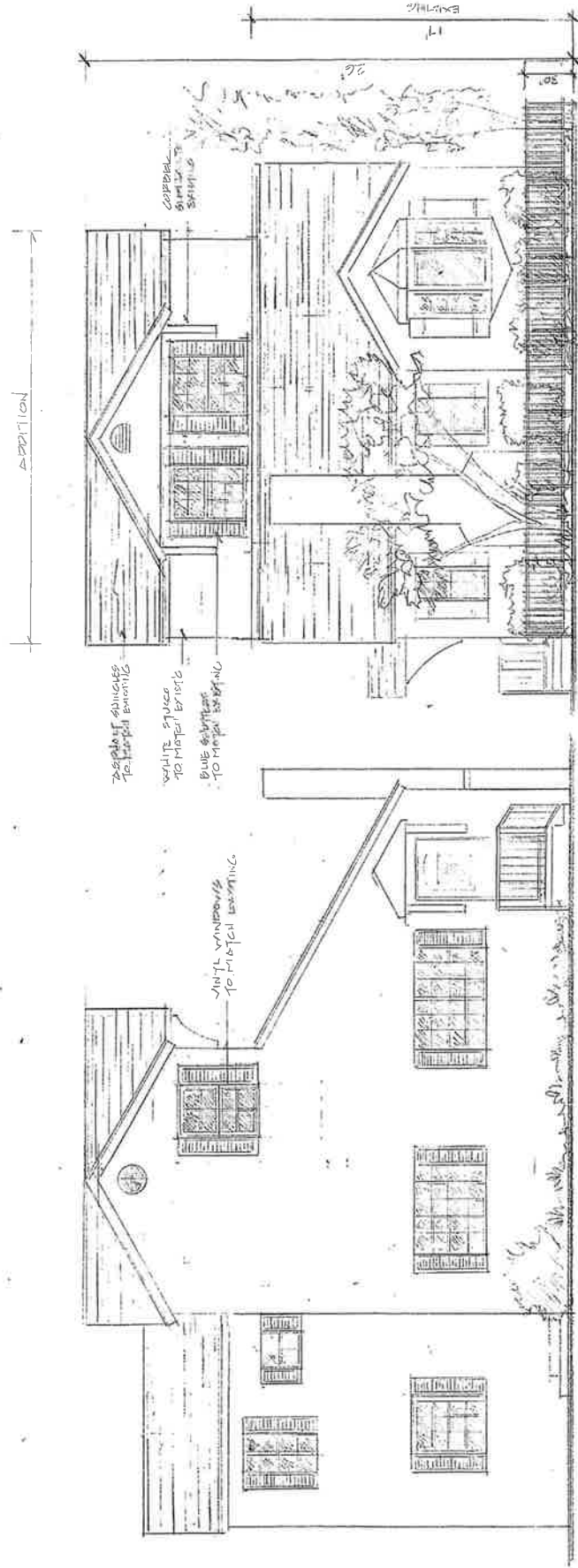
ARCHITECTURE
 RUSSELL JAMES WERTH
 13419 CALEWOOD STREET
 SHERMAN OAKS, CALIFORNIA
 91423
 818 424-9707 cell

SIEGEL RESIDENCE
 SECOND STORY ADDITION / REMODEL
 4755 4th STREET
 CARPINTERIA, CALIFORNIA



S T O O P P L A N

ARCHITECTURE
 RUSSELL JAMES WERTH
 13419 GALLEWOOD STREET
 SHERMAN OAKS, CALIFORNIA
 91423
 818 424-8707 cell

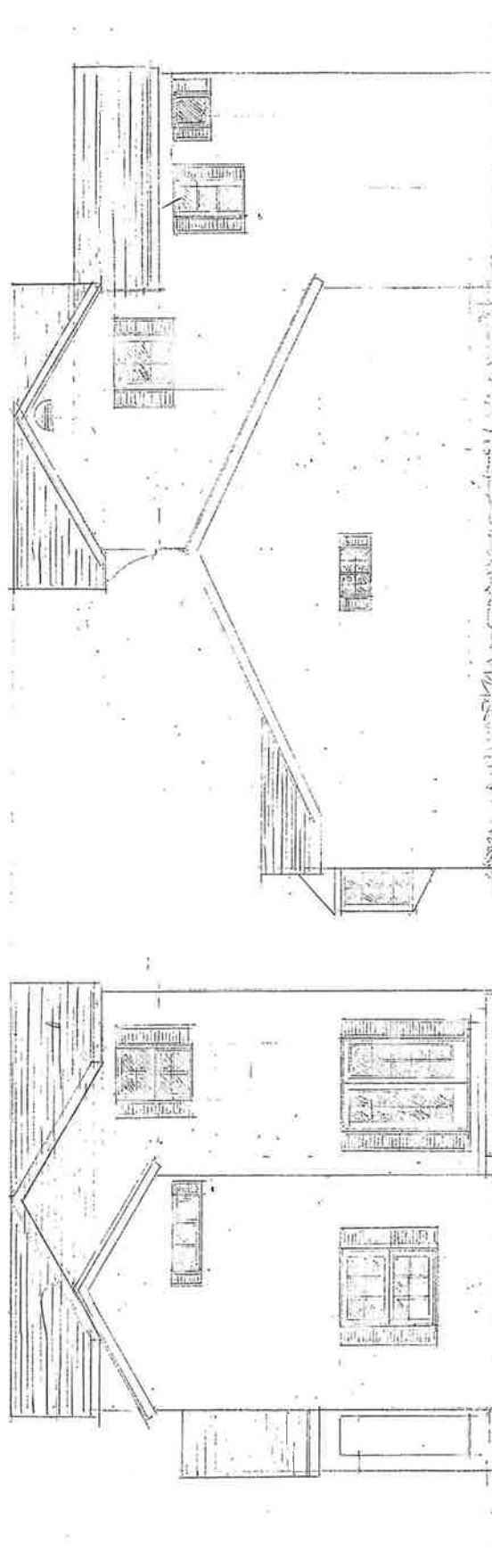


E O S T L E E V A T : 0 11

1 0 P 7 H E L E V A T : 0 11
 NOTE: SEE PHOTOS FOR ALL COLORS & FINISHES

SIEGEL RESIDENCE
 SECOND STORY ADDITION / REMODEL
 4755 4th STREET
 CARPINTERIA, CALIFORNIA

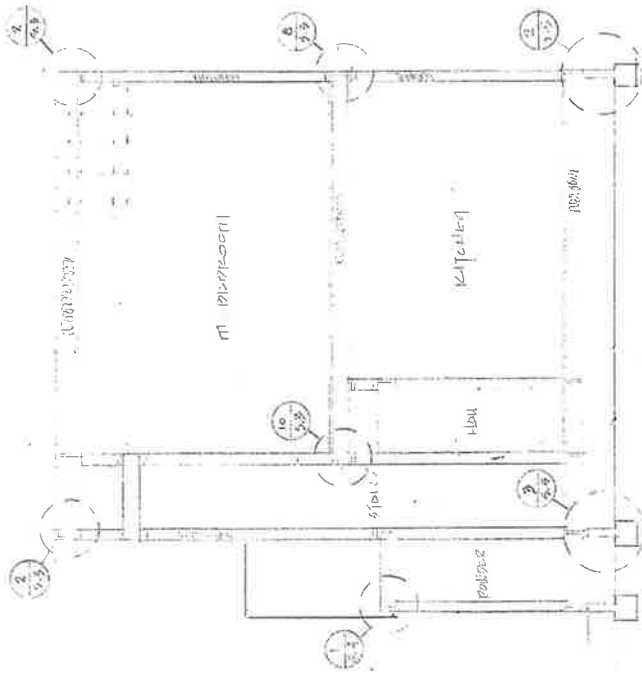
ARCHITECTURE
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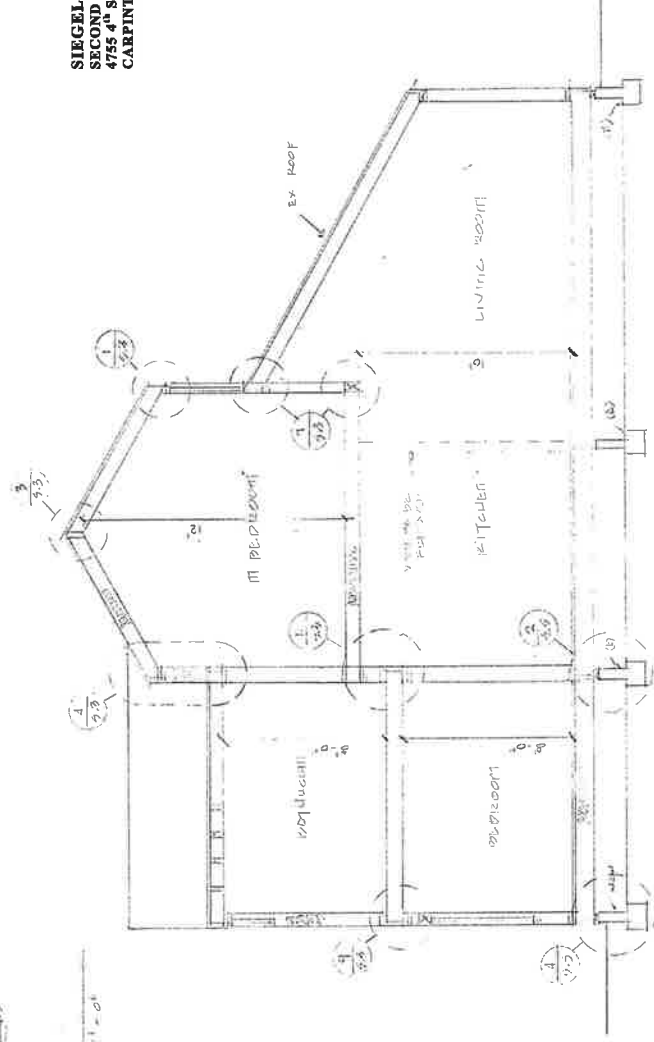
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SIEGEL RESIDENCE
 SECOND STORY ADDITION / REMODEL
 4755 4th STREET
 CARPINTERIA, CALIFORNIA



SECTION A-A



SECTION A-A

Exhibit 1
Attachment C: Recommended
Conditions of Approval

Siegel Residence Addition
21-2106-DP/CDP/ARB

March 7, 2022

**PLANNING COMMISSION HEARING
PROJECT 21-2106-DP/CDP/ARB
4755 FOURTH STREET (APN 003-435-007)
MARCH 7, 2022**



**ATTACHMENT C: CONDITIONS OF APPROVAL
SIEGEL RESIDENCE ADDITION**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit are based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated March 7, 2022) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

The project description is as follows:

Request for a Development Plan and Coastal Development Permit to allow the construction of a new 535 square-foot two-story addition to the rear of the existing 868 square-foot single-story single-family residence on a parcel of approximately 3,164 square feet in size. The addition would contain a new bedroom and master suite. The project would also include an interior kitchen remodel and the demolition of an existing 62 square-foot laundry room. The existing unpermitted front yard chain-link gate, bamboo fencing, and hedge are proposed to be removed and replaced with a new three-foot tall picket fence. The resultant residence would be 1,403 square feet in size with a detached 216 square-foot one-car garage and a maximum height of 26 feet.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape

Plans) must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. The design, scale and character of the project architecture and landscape shall be compatible and blend harmoniously with vicinity development and consistent with the City's "small beach town" character. **Plan Requirement and Timing:** The applicant shall submit plans for the project for final review by the Architectural Review Board prior to approval of any Building Permit for physical development. **Monitoring:** Community Development Department staff (CDD) shall review submitted plans, provide direction to the ARB regarding this mitigation measure and site inspect during the construction phase.
3. All materials and colors used in construction and all landscape materials shall be as represented to the City and any deviation will require the express review of the Community Development Department.
4. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. **Plan Requirements:** The locations of all exterior lighting fixtures shall be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD and ARB shall review final plans for compliance with this measure prior to approval of a building permit for structures. Building Inspector shall inspect structures upon completion to ensure that exterior lighting fixtures have been installed consistent with their depiction on the final plans.
5. By acceptance of this Development Plan and Coastal Development Permit, the Applicant/Owner acknowledges and agrees, on behalf of itself and all successors and assigns:
 - a. Coastal Hazards: That the site is subject to coastal hazards including but not limited to episodic and long-term shoreline retreat and coastal erosion, high seas, ocean waves, storms, tsunamis, tidal scour, coastal flooding, and interaction of the same;
 - b. Assume Risks: To assume the risks to the Applicant/Owner and the property that is the subject of this permit of injury and damage from such coastal hazards in connection with this permitted development;
 - c. Waive Liability: To unconditionally waive any claim of damage or liability against the City, its officers, agents, and employees for injury or damage from such coastal hazards;
 - d. Indemnification: To indemnify and hold harmless the City, its officers, agents, and employees with respect to the City's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such coastal hazards;

- e. **Permit Intent:** The intent of this permit is to allow for the approved project to be constructed and uses consistent with the terms and conditions of this permit for only as long as it remains reasonably safe for occupancy and use without additional substantive measures beyond ordinary repair and/or maintenance to protect it from coastal hazards, and for only as long as the approved project remains on private property;
- f. **Disclosure:** All documents related to any future marketing and sale of the subject property, including but not limited to marketing materials, sales contracts, deeds, and similar documents shall notify buyers of the terms and conditions of this Development Plan Revision and Coastal Development Permit; and
- g. **Property Owner Responsible:** That any adverse effects to property caused by the permitted project shall be fully the responsibility of the property owner.

Plan Requirements/Timing: Prior to issuance of a building permit, the Applicant/Owner shall provide to the Community Development Department a conformed copy of an executed and recorded Informational Notice containing the above “coastal hazard risk” acknowledgements, waivers, assumption of risk, and disclosure statements. CDD staff shall provide the Informational Notice. **Monitoring:** CDD staff shall confirm recordation of the Informational Notice prior to issuance of building permits for the as-built construction.

- 6. In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a CDD-qualified archaeologist and Native American representative are retained by the applicant to evaluate the significance of the find pursuant to Phase 2 investigations of the City Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with City Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and shall spot check in the field.
- 7. Construction activity shall be limited to the hours between 8:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.
- 8. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction

activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.

9. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.
10. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
11. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on demolition plans. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates. **Timing:** Materials shall be recycled as necessary throughout demolition and grading activities. **Monitoring:** Public Works shall review and approve a completed WMP prior to issuance of a Building Permit.
12. To prevent construction and/or employee trash from blowing offsite, covered receptacles shall be provided onsite prior to commencement of grading or construction activities. Waste shall be picked up weekly or more frequently as directed by CDD staff. **Plan Requirements and Timing:** Prior to Building Permit issuance, applicant shall designate and provide to CDD the name and phone number of a contact person to monitor trash/waste and organize a clean-up crew. Trash control shall occur throughout all grading and construction activities. **Monitoring:** CDD shall inspect periodically throughout grading and construction activities.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

13. Approval of the Development Plan shall expire one year after approval by the Planning Commission, or City Council on appeal, unless prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The decisionmaker with jurisdiction over the project may, upon good cause shown, grant a time extension.
14. No permits for development, including grading, shall be issued except in conformance with an approved Development Plan. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Exhibit 1 Attachment B, dated March 7, 2022. Substantial conformity shall be determined by the Community Development Department Director.
15. On the date a subsequent Development Plan is approved for this site, any previously approved but unbuilt plans shall become null and void.
16. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
17. An approval granted by the Planning Commission/City Council does not constitute a Building Permit or authorization to begin any construction. An appropriate permit issued by the Building Division must be obtained prior to constructing, enlarging, moving, converting, or demolishing any building or structure within the City.
18. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
19. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
20. Within one year after the effective date of this permit, construction shall commence. Construction cannot commence until a Building Permit has been issued. Failure to commence the construction pursuant to a valid Building Permit shall render the Development Plan and Coastal Development Permit null and void.
21. All time limits may be extended by the Planning Commission for good cause shown, provided a written request, including a statement of reasons for the time limit extension request is filed with Community Development prior to the expiration date.

22. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
23. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of grading/construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
24. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions of Approval.
25. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
26. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full.
27. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
28. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
29. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Conditional Use Permit Amendment and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents

decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

30. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.
31. Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.

SPECIAL DISTRICT CONDITION LETTERS

32. Compliance with the attached Departmental and District letters is required as follows:
 - a.) Carpinteria Sanitary District, dated September 29, 2021 (email),
 - b.) Santa Barbara County Air Pollution Control District, dated September 29, 2021,
 - c.) City of Carpinteria Public Works Department, dated October 7, 2021,
 - d.) Carpinteria Valley Water District, dated October 8, 2021, and
 - e.) Carpinteria-Summerland Fire Protection District, dated October 11, 2021.

Approved by the Planning Commission on March 7, 2022

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant/Property Owner

Date

Syndi Souter

From: Lance Lawhon <lancel@carpsan.com>
Sent: Wednesday, September 29, 2021 9:50 AM
To: Syndi Souter
Subject: RE: 4755 Fourth Street- Siegel Residence #21-2106-DP/CDP/ARB

****EXTERNAL EMAIL****

CAUTION: This email originated from outside the City of Carpinteria. DO NOT OPEN attachments or CLICK on links unless you are sure they are safe. Remember, reputable vendors, banks, etc. will not ask you to disclose passwords or other sensitive information.

Hi Syndi, Thank you for the opportunity to review the subject project. The District has no comments at this time. If the project requires modifications to the sewer lateral serving the parcel, a permit from the District would be required. Please contact me with any questions. Thank you.



Lance Lawhon

Engineering Technician

5300 Sixth Street, Carpinteria, CA 93013

Phone: (805) 684-7214 ext. 113 Fax: (805) 684-7213

Email: lancel@carpsan.com Web: www.carpsan.com

ENVIRONMENTAL LEADERSHIP IN CARPINTERIA SINCE 1928

NOTE: Our Administration Office has temporarily relocated to 1110 Eugenia Place. Please continue to use 5300 Sixth Street as our mailing address. Phone numbers and email addresses remain the same.

From: Syndi Souter [mailto:SyndiS@ci.carpinteria.ca.us]
Sent: Monday, September 27, 2021 4:33 PM
To: John Ilasin; Dan Chepley; Danielle Rose; Brian King (Brian@cvwd.net); Lance Lawhon; Michael LoMonaco (m.lomonaco@csfd.net); Todd Jenkins (T.Jenkins@csfd.net); FirePrevention; CEQAGroup@sbcapd.org
Subject: 4755 Fourth Street- Siegel Residence #21-2106-DP/CDP/ARB

Hi all,

Attached please find the routing slip, applications, and plans for the above project.
Please review and send any comments or conditions to me by 10/11/2021.

Thanks,
Syndi Souter, Associate Planner
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013
(805) 755-4405



air pollution control district
SANTA BARBARA COUNTY

September 29, 2021

Syndi Souter
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

Re: Santa Barbara County Air Pollution Control District Suggested Conditions on 4755 Fourth Street, 21-2106-DP/CDP/ARB

Dear Syndi Souter:

The Santa Barbara County Air Pollution Control District (District) has reviewed the referenced project of a 535 square foot two-story addition to an existing single-family residence including addition of a new bedroom and bathroom, and extension of an additional exterior bedroom. Excavation will require less than 50 cubic yards of cut. The subject property, a 0.07-acre parcel zoned PRD-20 and identified in the Assessor Parcel Map Book as APN 003-435-007, is located at 4755 Fourth Street in the City of Carpinteria.

1. All portable diesel-fired construction engines rated at 50 brake horsepower or greater must have either statewide Portable Equipment Registration Program (PERP) certificates or District permits prior to grading/building permit issuance. Construction engines with PERP certificates are exempt from the District permit, provided they will be on-site for less than 12 months.
2. The application of architectural coatings, such as paints, primers, and sealers that are applied to buildings or stationary structures, shall comply with District Rule 323.1, *Architectural Coatings* that places limits on the VOC-content of coating products.
3. Natural gas-fired fan-type central furnaces with a rated heat input capacity of less than 175,000 British thermal units per hour (Btu/hr) and water heaters rated below 75,000 Btu/hr must comply with the emission limits and certification requirements of District Rule 352. Please see www.ourair.org/wp-content/uploads/rule352.pdf for more information.

In addition, the District recommends that the following **best practice** be considered for inclusion as conditions of approval, in the interest of reducing emissions of toxic air contaminants:

1. **Advisory:** The applicant should determine whether any structure(s) proposed for demolition or renovation contains asbestos that is friable or has the potential to become friable during demolition or disposal. If any structure does contain friable asbestos, the asbestos should be removed by a contractor that is state certified for asbestos removal. For more information on asbestos in construction, please see www.ourair.org/asbestos.

Aeron Arlin Genet, Air Pollution Control Officer

If you or the project applicant have any questions regarding these comments, please feel free to contact me at (805) 961-8878 or via email at WaddingtonE@sbcapcd.org.

Sincerely,

A handwritten signature in black ink, appearing to read "Emily Waddington". The signature is fluid and cursive, with the first name "Emily" and last name "Waddington" clearly distinguishable.

Emily Waddington
Air Quality Specialist
Planning Division

cc: Planning Chron File

CITY OF CARPINTERIA, CALIFORNIA



Public Works Department Memorandum

To: Syndi Souter, Associate Planner
Community Development Department

From: John L. Ilasin, Public Works Director/City Engineer /s/

Date: October 7, 2021

Subject: 4755 Fourth Street, Project No. 21-2106-DP/CDP/ARB

The Public Works Department has reviewed the project submittal dated September 27, 2021, and has the following conditions of approval:

CONDITIONS OF APPROVAL

1. An Engineering Permit shall be obtained from the City Engineer for any improvements or other encroachment work within the public right-of-way.
2. All improvements within the public right-of-way shall be completed to the satisfaction of the City Engineer prior to the issuance of a Certificate of Occupancy.
3. Record drawings or as-built plans shall be submitted to the City Engineer at time of final inspection for all work covered by an Engineering Permit. The record drawings or as-built plans shall be the original construction tracings or permanent mylar copies of a quality acceptable by the City Engineer.
4. A Transportation Permit shall be obtained from the City Engineer for operating or moving any vehicle or combination of vehicles or special mobile equipment in any of the acts as listed in Carpinteria Municipal Code Section 12.12.010.
5. All new and existing utility services shall be installed underground from the closest point of connection or utility pole and completed prior to any paving required for the project. No new utility poles shall be installed.
6. Stormwater control plans shall be in conformance with the County of Santa Barbara Technical Guide for Low Impact Development.
7. A Maintenance Agreement for permanent stormwater quality best management practices shall be submitted to the City Engineer for review and approval. The Maintenance Agreement shall include, at minimum, the following elements: (1) Operations and Maintenance Plan; (2) Legal description and plat of property; (3) Site plan of all permanent stormwater quality best management practices; (4)

Property owner's printed name, signature, and date of signing; and (5) Notary public acknowledgement.

8. Improvements in areas of special flood hazards as shown in the latest effective flood insurance rate map shall be constructed in conformance with the City floodplain management regulations (Carpinteria Municipal Code Chapter 15.50).
9. Construction and demolition debris generated shall be reported in conformance with the Construction and Demolition Debris Recycling Program. Sixty-five percent (65%) or more of all construction and demolition debris shall be diverted from the landfill. The Construction and Demolition Debris Recycling Program forms shall be completed and submitted to the City Engineer prior to the issuance of a Certificate of Occupancy.
10. Construction and demolition debris shall be separated on site into reuse, recycling, or disposal. Separate bins or containers for recycling of construction and demolition debris shall be provided on site.
11. Self-hauled disposal receipts from transfer stations shall be submitted to the City Engineer prior to the issuance of a Certificate of Occupancy.
12. Any self-hauled construction and demolition debris shall be reported in writing to the City Engineer. A contract waste hauler may be allowed for disposal of construction and demolition debris subject to the approval of the City Engineer.

End of Comments



Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

BOARD OF DIRECTORS

Matthew Roberts
President
Case Van Wingerden
Vice President
Patty Holcombe
Shirley L. Johnson
Kenneth Stendell

October 8, 2021

GENERAL MANAGER

Robert McDonald, P.E. MPA

Syndi Souter
City of Carpinteria – Community Development Department
5775 Carpinteria Avenue
Carpinteria, CA 93013

SUBJECT: 4755 FOURTH ST, APN NO 003-435-007 ACCOUNT NO. 03-030567-09, 21-2106-DP/CDP/ARB – 535 SQUARE-FOOT-TWO STORY ADDITION TO EXISTING SINGLE-FAMILY RESIDENCE – CONDITION LETTER

To Whom It May Concern,

Please be advised, this parcel is within the jurisdiction of Carpinteria Valley Water District (District) and therefore is entitled to District water service in accordance with the District's Rules and Regulations. Currently the District is in a Stage I Water Shortage Condition; for more information on Ordinance 19-2, please visit the District website www.cvwd.net. This letter is good for one year from the date of the letter.

The District has reviewed the proposed site plan, dated August 30, 2021, for the subject parcel. The subject parcel is currently served by a 3/4" water meter. The District has the following conditions for the project:

- If fire sprinklers are required, fire demand calculations must be provided to the District to ensure that the water meter size is adequate. If the water meter must be upsized, the owner is responsible for all fees and deposits associated with the distribution system improvements necessary to upsize the meter.
- If fire sprinklers are required, the District will require backflow assemblies to be installed and tested and they will be added to the District's Cross-Connection Control Program.

Should changes to the plans, including landscaping, irrigation, or water fixtures, occur we require an additional opportunity to review revised plans.

If you have any questions, please feel free to contact me at danielle@cvwd.net or 805-684-2816x121.

Sincerely,
Carpinteria Valley Water District

Danielle Rose
Engineering Analyst

cc: Brian King, District Engineer, brian@cvwd.net
TCM to account

S:\Development\4755 Fourth St\2021_10_08_Condition_Letter.docx

CARPINTERIA-SUMMERLAND FIRE PROTECTION DISTRICT
FIRE PROTECTION CERTIFICATE-PLANNING APPLICATION (FPC-P)

INSTRUCTIONS: Submit completed form to the City of Carpinteria Building and Safety. Prior to Building & Safety approval, submitted plans will be forwarded to the Carpinteria-Summerland Fire Protection District for review. Payment shall be made to: Carpinteria-Summerland Fire Protection District prior to FPC review. The application fee of \$343.00 must be paid by credit card, check or money order made out to the Carpinteria-Summerland Fire Protection District. Payment shall be made on line or at: 1140 Eugenia Place, Suite A, Carpinteria, CA 93013. The Fire District then will review the submittal and email a Letter of Condition to the City of Carpinteria and to the Applicant.

PLANNING NUMBER: _____

DATE: _____

1. Applicant: Tim Siegel Phone: (818) 384-0280
Mailing Address: 4141 Longridge Ave Email: tsiegel@lscapital.com
City/ State/ Zip Code: Sherman Oaks CA 91423
2. Property Owner: _____ Phone: _____
Mailing Address: SAME Email: _____
City/ State/ Zip Code: _____
3. Project Address: 4755 4th STREET APN: 003-435-007
4. Project Description: ADDITION OF SECOND STORY BEDROOM
and Bath
5. Existing square footage: (include non-habitable space): _____
6. Does existing building have a fire sprinkler system? YES ☐ NO ☒
7. Square footage of new construction, remodel, and alterations: _____
(Including non-habitable space)
8. After project completion, will hazardous or flammable materials be on the premises?
YES ☐ NO ☒ If yes, describe fully _____
9. Describe project water source for fire protection (water district, private water co., etc.)
WATER DISTRICT

I HEREBY CERTIFY THAT THE ABOVE IS TRUE AND CORRECT AND THE PROJECT DESCRIBED SHALL COMPLY WITH ALL APPLICABLE DEVELOPMENT STANDARDS AND CODES.

Tim Siegel
Applicant name (print)

Tim Siegel
Applicant signature

Fire District Use Only

Approved with attached conditions ☒

Approved ☐

Date: 10/11/2021

Signed: Michael Lo Monaco

Comments: _____



CARPINTERIA~SUMMERLAND FIRE PROTECTION DISTRICT

4755, 4th Street, , Carpinteria, , CA, 93013, , 420 sqft second story addition, yes

Location	34.39766, -119.524983
Status	Planning Completed
Submittal Date:	2021-10-04
Address/Location:	4755 4th Street Carpinteria, CA 93013
APN:	003-435-008
Number of stories:	2
Comments:	420 sqft second story addition
Submittal Type:	Planning
Applicant:	Tim Siegel
Address	4141 Longridge Ave Sherman Oaks, CA 91423
Phone Number:	818-389-0250
Email:	tsiegel@lscapital.com
Fire Protection Systems Existing or Required	No

Planning/Conceptual Design

Date Plan Review Completed:	2021-10-11
Permit Number:	21-2106 CDP-ARB-DP
Planner:	Syndi Souter
Plans Checked By:	Michael LoMonaco
Invoiced	Yes
Items Invoiced:	FPC-P
Invoices Paid	Yes

Project Conditions

All work shall be done per current applicable CFC and CSFPD ordinance and standards.

Access and Identification	Building address numbers shall be visible from the street. Numbers shall be a minimum 4" high 1" stroke on a contrasting background.
Fire Protection Systems	City Jurisdiction: Any existing one-and two-family dwellings for which an application for building permits is filed or required to be filed with the City for any alteration modification remodel and/or addition that exceeds 75% of the existing square footage of the building floor area shall be required to install automatic fire sprinklers throughout the entire building. Smoke detectors and Carbon Monoxide Alarms must be installed in all residences in accordance with the current National Electric Code Per the provisions of the California Building and Fire Codes.
Additional Requirements	Any future changes including further division intensification of use or increase in hazard classification may require additional conditions in order to comply with applicable fire district development standards

"Pride in Service"

1140 Engenia Place, Suite A • Carpinteria, California 93013 • (805) 684-4591 Fax (805) 684-8242



CARPINTERIA~SUMMERLAND FIRE PROTECTION DISTRICT

Fees

PURSUANT to Ordinance 599 Chapter 8.26 Section 8.26.030 - Imposition of fire protection mitigation fee of the Carpinteria Municipal Code: The applicant will be required to pay a fee PRIOR TO THE ISSUANCE OF A "CERTIFICATE OF OCCUPANCY" for the purpose of mitigating the increased fire protection needs generated by the development. The amount of the fee is as follows:

C. Residential Additions: An additional \$0.472 per square foot of floor space will be assessed on all Single Family Residential development additions.

PURSUANT to CSFPD Ordinance 2019-01 Sec. 2. Imposition of fire protection fees for service: The applicant may be required to pay fees for additional plans reviews and/ or additional field inspections prior to the issuance of a "CERTIFICATE OF OCCUPANCY". The amount of the fee is as follows:

A. Two Hundred Twenty-Four (\$224.00) Dollars for Additional Plan Review Fees will be assessed as additional plan reviews are completed.

B. Two Hundred Ten (\$210.00) Dollars per hour for Field Inspections will be assessed for additional inspections.

Checks shall be made payable to: Carpinteria-Summerland Fire Protection District (CSFPD) and delivered to Fire District Headquarters at 1140 Eugenia Place, Suite A. Money orders and cashiers' checks will be accepted. Credit and debit cards can be used online. The link can be found at Carpfire.org Note: Cash payment will not be accepted.

Inspector's Signature:

A handwritten signature in black ink, appearing to be "ML", is written over a horizontal line.

Signed 2021-10-11 15:01:52 PDT

"Pride in Service"

1140 Eugenia Place, Suite A • Carpinteria, California 93013 • (805) 684-4591 Fax (805) 684-8242

Exhibit 2
Minutes from the December 16, 2021
ARB Meeting

Siegel Residence Addition
21-2106-DP/CDP/ARB

March 7, 2022

ACTION MINUTES

The meeting was called to order at 5:31 p.m. by Chair Stein

ROLL CALL

Boardmembers present: Brad Stein, Chair
Jim Reginato
Jason Rodriguez, Vice Chair
Richard Johnson
Amy Blakemore (arrived at 5:41 p.m.)

Boardmembers absent:

OTHERS PRESENT: 6 members of the public were in attendance.

PUBLIC COMMENT:

- Bob Franco addressed the ARB over concerns about sea level rise impacts and the need to make Bluffs 0 and Bluffs 1 available as future receiver sites for housing displaced by future sea level rise impacts in a managed retreat scenario. He shared a news article from the Associated Press about the challenges faced by a Welsh village threatened by sea level rise. He noted Bluffs 0 may not be viable right away due to decommissioning work and any needed contamination clean-up; with respect to the Bluffs 1 site, he noted that the recently submitted concept application for "The Farm" development would preclude use of the site for residential development, if approved by the City.

PROJECT REVIEW

- 1) Project: Siegel Residence Addition, 21-2106-DP/CDP
Address: 4755 Fourth Street
Applicant: Russell James Werth, agent for Timothy and Anissa Siegel
Planner: Syndi Souter

Request of Russell James Werth, agent for Timothy and Anissa Siegel, to consider Project 21-2106-DP/CDP for preliminary review of a proposal to construct a 535 square-foot two-story master suite and bedroom addition at the rear of the existing 868 square-foot residence. An existing 62 square-foot laundry room would be demolished as part of the project. The maximum building height would increase from 17-feet to 26-feet at the highest point. The property is a 3,164 square-foot parcel zoned Planned Residential Development (PRD-20), and shown as APN 003-435-007, addressed as 4755 Fourth Street.

No ex parte communications were disclosed.

Staff presented an overview of the proposed project and described to the Board that the existing residence is surrounded on three sides by two-story structures. Staff further explained that the existing front hedge and fencing were not permitted, and the existing residence is legal non-conforming with respect to the front and western side yard setbacks. Staff clarified that the proposed addition complies with the currently required setbacks. Boardmember Johnson inquired about the level of review for the project, and staff responded that the project was on the agenda for preliminary review with recommendations to the Planning Commission.

Russell Werth, designer, shared that they would be happy to remove the hedge and chain-link fence, and understood about eliminating the proposed bathroom window that was too close to the property line to meet building code requirements. Boardmember Johnson asked about the reason for the high 10-foot plate heights in the kitchen, and Mr. Werth responded at they wanted to create more space within a small house.

Tim Siegel, applicant, added that the purpose of the gate was to keep his dogs in their yard.

Public Comment: None

Boardmember Discussion:

Boardmember Rodriguez began the discussion by thanking the designer and applicant for their willingness to remove the hedge and fence. He stated that anything would be better than what is there now, and suggested white picket fencing similar to the surrounding homes. He went on to suggest adding shutters to the windows on all sides of the residence and addition to match the front windows, and to add a window in the stairwell to break up the west elevation. He commented that overall, he liked the addition.

Boardmember Reginato agreed with Boardmember Rodriguez's comments, and added that the proposed second-story window on the east elevation should be centered under the gable with shutters. He supported the removal of the existing fence and hedge, and supported a replacement with an upgraded fence and landscaping. He shared his support for approval of the project with his comments.

Boardmember Blakemore agreed with the other Boardmembers' comments about the hedge, fence, and shutters.

Boardmember Johnson liked Boardmember Reginato's idea for symmetry by centering the proposed second-story window on the east elevation, and supported the idea of adding more shutters. He pointed out the roof plan did not include the rear gable as shown on the elevations. He suggested lowering the plate height in the kitchen by 1-foot in order to lower the overall height of the addition. He stated that the massing is compatible and that the proposed colors and materials to match the existing are acceptable.

Boardmember Stein stated that it is a cute little house and that he agreed with the other Boardmembers' comments about moving the second-story window and adding the shutters. He shared that he was glad to hear from the applicant about the fence and hedge being removed.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Rodriguez, to recommend preliminary approval to the Planning Commission with their comments attached.

VOTE: 5-0

- 2) Project: Sobesky-Mathers Residence Exterior Alterations, 21-2127-CDP/ARB
Address: 5353 Eighth Street
Applicant: Eva Sobesky, EIS Studio, agent for Eva Sobesky and Todd Mathers
Planner: Syndi Souter

Exhibit 3
CEQA Notice of Exemption

Siegel Residence Addition
21-2106-DP/CDP/ARB

March 7, 2022

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara

105 East Anapamu Street

Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria

5775 Carpinteria Avenue

Carpinteria, CA 93013

(Address)

Project Title: Siegel Residence Addition

Project Applicant: Russell Werth, agent for Timothy and Anissa Siegel

Project Location - Specific:

4755 Fourth Street, Carpinteria, CA 93013 (APN 003-435-007)

Project Location - City: Carpinteria

Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

The proposed project would allow the construction of a 535 square-foot two-story addition to the rear of the existing single-family residence for a resultant size of 1,403 square feet.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Timothy and Anissa Siegel, property owners

Exempt Status: **(check one):**

☐ Ministerial (Sec. 21080(b)(1); 15268);

☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));

☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));

☒ Categorical Exemption. State type and section number: §15301(e), §15303, and §15332

☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

The project is consistent with the City's GP/LCP and CMC, is within city limits on a site of no more than 5 acres surrounded by urban uses, and the site has no value as habitat for endangered, rare or threatened species.

Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services.

Lead Agency

Contact Person: Syndi Souter, Associate Planner Area Code/Telephone/Extension: (805) 755-4405

If filed by applicant:

1. Attach certified document of exemption finding.

2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: _____ Date: _____ Title: Associate Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Exhibit 4
Interim Sea Level Rise Guidance Documents

Siegel Residence Addition
21-2106-DP/CDP/ARB

March 7, 2022

**CITY OF CARPINTERIA
INTERIM SEA LEVEL RISE GUIDANCE
APPLICANT CHECKLIST FOR NEW DEVELOPMENT
IN AREAS POTENTIALLY AFFECTED BY SEA LEVEL RISE**



INTRODUCTION

In reviewing an applicant's proposed project, the City of Carpinteria's (City) must consider a proposed project's consistency with the City's certified Coastal Land Use Plan/General Plan (CLUP/GP). The City's current CLUP/GP references the broader policies of the California Coastal Act (Coastal Act) by incorporation which allows the City to consider sea level rise impacts in the interim while the City's CLUP/GP is formally amended to include specific policies and development standards. The purpose of this Interim Guidance document is to notify applicants of the information requests and the potential special conditions the City anticipates imposing on Coastal Development Permit applications for new development and redevelopment that may be affected by sea level rise within the City's jurisdiction.

DECISION PROCESS

The City will review applications to analyze (1) whether the proposed project site will be impacted by sea level rise within the life of the project, relying on the best available science, and (2) the estimated extent of the impact caused by sea level rise. The City will use these analyses to determine whether any special conditions will be placed on the Coastal Development Permit (CDP), if approved. The remaining sections of this guidance provide applicants with an overview of the potential information requests, and possible special conditions, the City may require in order to inform its review and approval of a CDP. The information requests and special conditions the applicant should be aware of are determined by answering the following questions:

- a. *Is my project considered "redevelopment"?***
- b. *Where is my project located?***

IS MY PROJECT CONSIDERED REDEVELOPMENT?

The following information requests and special conditions are only applicable to proposed projects that fall within the definition of "development" or "redevelopment" as specified in City City's General Plan, Zoning Code, and Public Resources Code section 30610. For the purposes of this Interim Guidance, the City interprets the terms "redevelopment" and to "redevelop" as:

All new construction or reconstruction, additions and remodels that have a valuation exceeding fifty percent (50%) of the valuation of the existing structure; or replacement of fifty percent (50%) or more of an existing structure.

Applicants are expected to provide staff with sufficient information to make a determination as to whether a project qualifies as redevelopment. Information that may be required to make a redevelopment determination include, but are not limited to, a real estate appraisal demonstrating current market value of improvements; detailed contractor's estimate for proposed scope of work; preliminary structural plans demonstrating the extent of anticipated structural alternations (e.g., foundation, load bearing walls, roof/flooring and frame work, etc.).

WHERE IS MY PROJECT LOCATED?

Conditions and information requests to be considered are determined by the geographic location of the applicant's proposed project site and potential exposure to sea level rise, as defined by the following Zones:

Zone 1	Properties located on the ocean side of Sandyland Road between Linden Avenue and Ash Avenue
Zone 2	Properties located in the Beach Neighborhood excluding the northeast corner of the neighborhood, defined as those properties east of Holly Avenue <i>and</i> north of Third Street



Once the applicant has determined in which Zone the proposed project is located, the applicant should be prepared to expect the following information requests during the permit review process and/or special conditions of approval to be placed on the permit approval:

Zone 1	• <u>Information Request</u> ○ Wave action study ○ Site specific coastal hazards study • <u>Conditions</u> ○ Recorded disclaimers regarding (1) assumption of the risk, and/or (2) waiver of future claims against the City
---------------	---

Zone 2	• <u>Information Request</u> ○ Site specific coastal hazards study • <u>Conditions</u> ○ Recorded disclaimers regarding (1) assumption of the risk, and/or (2) waiver of future claims against the City
---------------	---

DESCRIPTIONS

I. Information Requests

- Wave Action Study. The City's current Safety Objective 4 (S-4) calls for minimizing "the potential risks and reduc[ing] the loss of life, property and the economic and social dislocations resulting from flooding." Implementation Policy 14 associated with this objective calls for wave run-up studies under certain circumstances. The City recognizes that every project is unique and may not present the same vulnerability to flooding hazards. The City will consider the 100-year storm event, like the 100-year flood event, as a design standard for development. Accordingly, the City will require these studies when the project is located within Zone 1.
- Coastal Hazards Study. Coastal Hazards Studies determine at what level and by what year the project site may be susceptible to sea level rise. The City and California Coastal Commission staff would likely rely on the USGS Coastal Storm Modeling System (CoSMoS) and guidance from the Commission's Sea Level Rise policy document, the 2018 Ocean Protection Council (OPC)'s Sea-Level Rise document, and appropriate tide gauges to analyze the project site's vulnerability to coastal hazards. Applicants should be aware that projects within areas susceptible to early sea level rise may be required by the Coastal Commission to address the life of their projects under the **Medium-High Risk Aversion** scenario or the **Extreme Risk Aversion (H++)** based on a set of sea level rise predictions during an appeal process. In anticipation of this requirement, applicants should prepare a Coastal Hazards Study to avoid a potential appeal to the Coastal Commission. For direction on the preparation of a Coastal Hazards Study, the City recommends reviewing the County of Santa Barbara's *Technical Guidelines for Preparation of a Coastal Hazard Report* that are pending certification by the Coastal Commission. A copy of which is attached to this guidance.

If possible, adaptation options should be identified and analyzed as a part of the applicant's project, leading to one or more alternatives for the project site that will minimize risks from sea level rise hazards and avoid or minimize impacts to coastal resources. This is because the City may require future or incremental removal of structures if property owners are faced with certain hazard triggers, for example when the shoreline comes within a certain distance of the foundation of the project, or the OPC

predictions indicate sea level rise may encroach on a project sooner than initially anticipated. Triggers identified would be based on estimated lead times needed to catalyst planning for future adaptation measures. These potential hazard triggers are typically incorporated into an adopted LCP, however, at least one court has approved removal conditions in the absence of an LCP policy requiring such removal, as long as the triggers are not overly broad. (See *Lindstrom v. California Coastal Commission* (2019) 40 Cal.App.5th 73.) This would also be consistent with the Coastal Act's purpose of minimizing coastal hazard risks and resource impacts when making redevelopment decisions. The potential condition would encourage and/or require, as applicable, at-risk structures to be brought into conformance with current standards as necessary.

II. Disclosures & Waivers

- Assumption of the Risk. For projects that qualify as "redevelopment" located in Zones 1 and 2, The City shall require applicants to assume the risk of damage caused by future sea level rise, and to waive any claims for damages for such hazards. Examples of waivers include:
 - *"By acceptance of this permit, the applicant acknowledges and agrees (i) that the site may be subject to hazards, including but not limited to coastal flooding, which may worsen with future sea level rise; (ii) to assume the risks to the permittee and the property that is the subject of this permit of injury and damage from such hazards in connection with this permitted development; (iii) to waive unconditionally any claim of damage or liability against the City, its officers, agents, and employees for injury or damage from such hazards; (iv) to indemnify and hold harmless the City, its officers, agents, and employees with respect to the City's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards; (v) that sea level rise could render it difficult or impossible to provide services to the site (e.g., maintenance of roadways, utilities, sewage or water systems), thereby constraining allowed uses of the site or rendering it uninhabitable; and (vi) that the structure and/or site require future adaptation or may need to be removed or relocated and the site restored if it becomes unsafe."*
- Disclosures & Waiver of Future Development. For projects that qualify as "redevelopment" located in Zones 1 and 2, the City shall require sellers of real estate to disclose permit conditions related to coastal hazards, or property defects or vulnerabilities, including information about known current and potential future vulnerabilities to sea level rise, to prospective buyers prior to closing escrow. As a corollary, the Coastal Commission, on appeal, may require additional disclosures that inform

future property owners that under certain circumstances they are unable to seek future CDPs for bluff or shoreline protective device(s), or other development, in the event their structure is damaged by sea level rise or storm events. An example of such disclosures, which would be tailored for individual projects based on potential hazards, includes:

- *"By acceptance of this Permit, the applicants agree, on behalf of themselves and all successors and assigns, that no bluff or shoreline protective device(s) shall ever be constructed to protect the development approved pursuant to Coastal Development Permit No. [X] including, but not limited to, the residence and foundation in the event that the development is threatened with damage or destruction from waves, erosion, storm conditions, bluff retreat, landslides, or other natural hazards in the future. By acceptance of this Permit, the applicants hereby waive, on behalf of themselves and all successors and assigns, any rights to construct such devices that may exist under Public Resources Code Section 30235."*

APPLICABLE AUTHORITY

All CDPs issued by the City must be consistent with its certified CLUP/GP as well as with the policies of the California Coastal Act. There are several policies within the City's current CLUP/GP which guide the City's evaluation and issuance of CDPs. These include, but are not limited to, the following:

- **Objective LU-1:** Establish the basis for orderly, well planned urban development while protecting coastal resources and providing for greater access and recreational opportunities for the public.
- **Policy LU-1a:** The policies of the Coastal Act are incorporated by reference as the guiding policies of the land use plan (Public Resources Code Sections 30210 through 30263). As applicable, the City may rely on:
 - *Section 30250 Location; existing developed area*
 - *Section 30253 Minimization of adverse impacts*
- **Objective S-4:** Minimize the potential risks and reduce the loss of life, property and the economic and social dislocations resulting from flooding.
 - *S-4-Implementation Policy 13:* The City shall support and facilitate the current Army Corps of Engineers (ACOE) feasibility study and otherwise pursue long-term solutions for beach nourishment and establishment of a vegetated dune system at City Beach. As an interim measure, and with permission from the Coastal Commission and US Army Corps of Engineers, the City may construct a sand berm on the City Beach parallel to the homes fronting on the beach.

- *S-4-Implementation Policy 14:* All new construction or reconstruction, additions and remodels that have a valuation exceeding 50 percent of the valuation of the existing structure, shall be constructed so as to be protected from wave action. A wave action study shall be prepared and submitted to the city as a part of the project application that determines the necessary construction design and technique to protect the structure and prevent impacts to adjacent property. Shoreline protective devices, such as seawalls and revetments, shall be prohibited. Coastal development permits for new construction, including reconstruction where more than 50 percent of the exterior walls are removed, shall be conditioned to not allow a future seawall to protect the development.

The Coastal Commission has taken the policy position that local governments are able to rely on the broader flood hazards policies of the Coastal Act as authority to analyze sea level rise impacts on new development without needing amendments to local coastal programs. (Pub. Res. Code, § 30253.) More specifically, while the Commission's jurisdiction on appeal is "limited to an allegation that the development does not conform to the standards set forth in the certified local coastal program or the public access policies set forth in [the Coastal Act]." (Pub. Res. Code, § 30603(b)(1)), the Commission's jurisdiction on appeal does include imposing reasonable terms and conditions on the permit "to ensure that such development or action will be in accordance with the provisions of this division." (Pub. Res. Code, § 30607.) Accordingly, applicants should be aware that the Coastal Commission has utilized the broader policies of the Coastal Act to impose special conditions for appealed projects, even if not within the authority allowed in the local government's certified LCP.

COST ESTIMATE

Victor R Gomez

8649 Cypress ave South Gate CA 90280 @ 123 494 7836

Customer Siegel Residence

4755 4th Street
Carpinteria ca

Address: 4755 4th Street
Carpinteria, California.

DESCRIPTION

Demolition: As need it by plan and hauling away the trash.

All footing, digging and forming, pour concrete by plans.

Framing: Provide labor and materials for framing according to plans.
Windows and doors, to be chosen by owner.

Plumbing: Provide and install new copper and main line for new addition .
Owner to provide fixtures for all bathrooms (estimate \$1200)

Electrical: Provide and install per code to the new wiring and new main pannel.
Owner to provide for all decorative fixtures other then can lights.

Insulation: Provide and install all insulation per code.

Drywall: Provide and install all new drywall and patch existing.
Tap and mud to except paint.

Stucco: Provide and install all stucco to match existing knock down finish siding.

Paint: Provide and install all painting (color to be chosen by owner).

Roof: Provide and install to match existing.

Total: \$160,000.00

EXCLUSIONS:

Permits and any special inspection

kitchen Cabinets Owner to estimate \$15,000.00

Plumbing fixtures Owner to estimate \$3,000.00

Doors hardware. Owner to estimate \$500.00

Kitchen Appliances Owner to estimate \$20,000.00

Total Projected Costs: \$198,500.00

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AUG 30 2021
COMMUNITY DEVELOPMENT
DEPARTMENT

APPRAISAL (excerpt)

Uniform Residential Appraisal Report

ADDITIONAL COMMENTS	**** COVID-19 COMMENTS: WITH RESPECT TO THE RECENT COVID-19 FLU PANDEMIC, ANY INFLUENCE ON VALUES IN THE MARKET ARE YET TO BE DETERMINED. HOWEVER, INTEREST RATES REMAIN AT NEAR ALLTIME LOWS ENCOURAGING DEMAND AND THE MARKET SO FAR APPEARS TO BE STABLE.				
	**** RECONCILIATION: EACH COMP WAS CHOSEN TO BRACKET ONE OR MORE OF SUBJECT'S MAJOR CHARACTERISTICS IN ORDER TO CONTRIBUTE TO A FINAL ESTIMATE OF VALUE. NO ONE PARTICULAR COMP STOOD OUT TO MERIT PRIMARY CONSIDERATION, THUS SALE COMPS WERE GIVEN EQUAL WEIGHT. THE LISTING COMP PROVIDED MINIMAL SUPPORT.				
	**** NOTE: APPRAISER IS AWARE THAT ESTIMATED VALUE IS SIGNIFICANTLY BELOW SUBJECT'S CURRENT CONTRACT PRICE. REASONS FOR THIS ARE BELIEVED TO BE THAT SUBJECT WAS NOT EXPOSED TO THE MARKET VIA THE MLS & THAT THE BUYER OR BOTH PARTIES MAY NOT BE AWARE OR PRIVY TO COMPS SUCH AS THE ONES UTILIZED IN THIS APPRAISAL.				
	**** ELECTRONIC TRANSMISSION/DIGITAL SIGNATURE: THIS APPRAISAL REPORT MAY HAVE BEEN SENT ELECTRONICALLY AND INCLUDED A DIGITAL SIGNATURE. IF SO, BOTH THE ELECTRONIC TRANSMISSION AND DIGITAL SIGNATURE MEET MINIMUM USPAP REPORTING REQUIREMENTS INCLUDING DIGITAL SIGNATURE SECURITY.				
	**** % G.L.A., SINGLE, NET AND/OR GROSS ADJUSTMENTS COMMENTS: ANY G.L.A., SINGLE, NET, AND/OR GROSS ADJUSTMENTS WHICH EXCEEDED THE PREFERRED FNMA LENDER GUIDELINES WERE NOT CONSIDERED ADVERSE TO ESTIMATED VALUE. RATHER, THESE ADJUSTMENTS WERE NECESSARY AS NO MORE SIMILAR COMPARABLES WERE AVAILABLE WHICH WOULD HAVE ADJUSTMENTS WITHIN THESE PREFERRED GUIDELINES. IN ADDITION, THE ADJUSTMENTS MADE WERE CONSIDERED REALISTIC AND REFLECTIVE OF THE CURRENT MARKET, AND WERE CONSIDERED TO LEND A REASONABLE AND RELIABLE ESTIMATE OF VALUE TO SUBJECT PROPERTY.				
	**** INTENDED USER: THE INTENDED USER OF THIS APPRAISAL REPORT IS THE LENDER/CLIENT. THE INTENDED USE IS TO EVALUATE THE PROPERTY THAT IS THE SUBJECT OF THIS APPRAISAL FOR A MORTGAGE FINANCE TRANSACTION, SUBJECT TO THE STATED SCOPE OF WORK, PURPOSE OF THE APPRAISAL, REPORTING REQUIREMENTS OF THIS APPRAISAL REPORT FORM, AND DEFINITION OF MARKET VALUE. NO ADDITIONAL INTENDED USERS ARE IDENTIFIED BY THE APPRAISER.				
	**** NOTE: APPRAISER CERTIFIES THAT THE LENDER OR THE AMC DID NOT IMPROPERLY INFLUENCE, OR ATTEMPT TO IMPROPERLY INFLUENCE, THE OUTCOME OF THIS APPRAISAL BY DOING ANY OF THE THINGS PROHIBITED BY SECTION 1(B) OF THE APPRAISER INDEPENDENCE REQUIREMENTS, EFFECTIVE 10/15/2010.				
	**** AGE ADJUSTMENTS: NO AGE ADJUSTMENTS WERE MADE AS AGE WAS CONSIDERED AS EFFECTIVE AGE & ADJUSTED FOR ON THE CONDITION LINE.				
	**** ADJUSTMENT DERIVATION: ALL ADJUSTMENTS INCLUDING LOCATION, CONDITION, GLA, BR/BATHS, ETC. WERE DERIVED FROM DISCUSSIONS WITH LOCAL AGENTS, HISTORICAL DATA & GROUP DATA ANALYSIS OVER THE PAST 2 YEARS IN THIS AREA & ARE TYPICAL & REPRESENTATIVE OF THE MARKET.				
	**** DISTANCE COMMENT: ANY COMPS WHICH EXCEEDED THE PREFERRED FNMA LENDER ONE-MILE RADIUS GUIDELINE FROM SUBJECT PROPERTY WERE NOT CONSIDERED ADVERSE TO THE APPRAISAL OR ESTIMATED VALUE. RATHER, THESE COMPS WERE NECESSARY TO THE ANALYSIS AS NO MORE SIMILAR NEARER COMPS WERE AVAILABLE. IN ADDITION, THESE COMPS WERE STILL WITHIN SUBJECT'S DEFINED MARKETING AREA WHICH MAY HAVE EXTENDED MORE THAN A ONE MILE RADIUS.				
	**** SALES DATE COMMENTS: BECAUSE THERE WERE LIMITED COMPS WITH SALE DATES WITHIN THE LENDER'S PREFERRED 6 MONTH GUIDELINE, COMPS WITH SALES DATES OVER 6 MONTHS HAD TO BE UTILIZED. THIS WAS NOT ADVERSE TO ESTIMATED VALUE AS PRICE LEVELS APPEAR TO HAVE BEEN RELATIVELY STABLE OVER THIS TIME PERIOD & ALL COMPS SOLD WITHIN THE FNMA 12 MONTH GUIDELINE.				
	**** PREDOMINANT VALUE COMMENT: SUBJECT'S VALUE WAS LESS THAN THE AREA'S PREDOMINANT VALUE, HOWEVER, THIS WAS NOT DUE TO SUBJECT BEING AN UNDER-IMPROVEMENT OR ADVERSE TO ESTIMATED VALUE/MARKETABILITY. RATHER, THERE WERE SEVERAL HOMES IN SUBJECT'S MARKETING AREA SIMILAR IN SIZE AND VALUE RANGE WITH NONE SHOWING ANY UNUSUAL MARKETING TIMES OR ANY OTHER ADVERSE MARKETING/VALUE AFFECTS.				
	**** PERSONAL PROPERTY: ANY PERSONAL PROPERTY INCLUDED IN THE PURCHASE AGREEMENT TO THIS SALES TRANSACTION WAS GIVEN NO VALUE IN THIS APPRAISAL. THIS HAD NO AFFECT ON ESTIMATED VALUE OR MARKETABILITY.				
	COST APPROACH	COST APPROACH TO VALUE (not required by Fannie Mae.)			
		Provide adequate information for the lender/client to replicate your cost figures and calculations.			
Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value) COMPARABLE LAND SALES WERE EXTREMELY LIMITED, THUS LAND VALUE WAS OBTAINED BY THE ABSTRACTION METHOD.					
ESTIMATED		☒	REPRODUCTION OR	REPLACEMENT COST NEW	
Source of cost data (SEE BELOW)					
Quality rating from cost service		AVG	Effective date of cost data	11/17/2020	
Comments on Cost Approach (gross living area calculations, depreciation, etc.)					
NOTES: 1) MINOR DEVIATION IN ACTUAL VS CALCULATED GLA ARE DUE TO ROUNDING					
ERROR & HAVE NO VALUE CONSEQUENCE. 2) NO FUNCTIONAL OR ECONOMIC					
OBsolescence NOTED. 3) RATIO OF LAND TO PROPERTY VALUE OVER 50 PERCENT IS					
TYPICAL FOR SMALL HOMES IN THIS BEACH AREA. 4) COST DATA BASED ON NATIONAL COST					
SERVICE, MODIFIED TO LOCAL STANDARDS, THEN ROUNDED. 5) COST APPROACH					
PERFORMED BY THE ABSTRACTION METHOD.					
INCOME					
	PUD INFORMATION	PROJECT INFORMATION FOR PUDs (if applicable)			
Is the developer/builder in control of the Homeowner's Association (HOA)? ☐ Yes ☐ No Unit type(s) ☐ Detached ☐ Attached					
Provide the following information for PUDs ONLY if the developer/builder is in control of the HOA and the subject property is an attached dwelling unit.					
Legal Name of Project					
Total number of phases		Total number of units	Total number of units sold		
Total number of units rented		Total number of units for sale	Data source(s)		
Was the project created by the conversion of existing building(s) into a PUD? ☐ Yes ☐ No If Yes, date of conversion.					
Does the project contain any multi-dwelling units? ☐ Yes ☐ No Data source.					
Are the units, common elements, and recreation facilities complete? ☐ Yes ☐ No If No, describe the status of completion.					
Are the common elements leased to or by the Homeowner's Association? ☐ Yes ☐ No If Yes, describe the rental terms and options.					
Describe common elements and recreational facilities.					

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SEP 03 2021
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DEPARTMENT

CALCULATIONS

MARKET VALUE APPRAISALS
133 East De La Guerra St #288
SANTA BARBARA, CA 93101

12/10/2020

QUICKEN LOANS, LLC
1050 WOODWARD AVE
DETROIT, MI 48226

RE: ANISSA SIEGEL
4755 4TH ST
CARPINTERIA, CA 93013
File No. CARP013S2020
Case No. 29156435

RECEIVED
SEP 03 2021
COMMUNITY DEVELOPMENT
DEPARTMENT

Dear SIRS

In accordance with your request, I have personally inspected and prepared an appraisal report of the real property located at:

4755 4TH ST, CARPINTERIA, CA 93013

The purpose of this appraisal is to estimate the market value of the property described in the body of this appraisal report.

Enclosed, please find the appraisal report which describes certain data gathered during our investigation of the property. The methods of approach and reasoning in the valuation of the various physical and economic factors of the subject property are contained in this report.

An inspection of the property and a study of pertinent factors, including valuation trends and an analysis of neighborhood data, led the appraiser to the conclusion that the market value, as of 11/30/2020 is:

\$ 1,000,000

The opinion of value expressed in this report is contingent upon the limiting conditions attached to this report.

It has been a pleasure to assist you. If I may be of further service to you in the future, please let me know.

Respectfully submitted,

Signature: _____

Scott D. Tisdale

$$\frac{\$198,500}{\$412,842} = .48 = 48\%$$

ENGINEER'S REPORT

NIVER ENGINEERING, LLC. STRUCTURAL DESIGN CONSULTANTS

PROJECT	JOB NO.	DATE	DESIGNER	PAGE

City of Carpinteria
Community Development Department

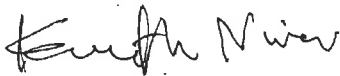
October 7, 2021

Re: Siegel residence
4755 Fourth Street
Carpenteria

As structural engineer for the proposed remodel and addition to the above residence I have determined that the square foot area of altered floor and roof, including exterior walls and foundation as required to support the loading of the new second floor addition is 41percent of the square foot area of existing structure.

Yours

Kenneth Niver
Project structural engineer

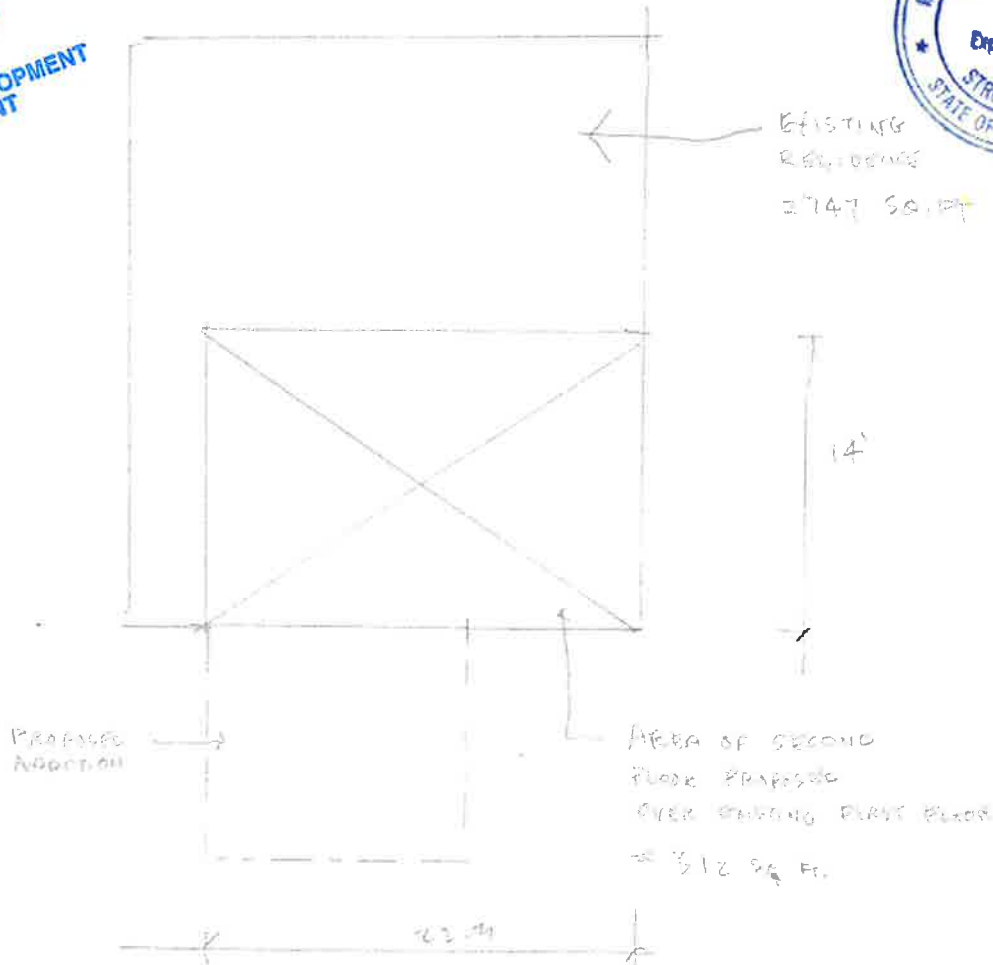


RECEIVED
OCT 11 2021
**COMMUNITY DEVELOPMENT
DEPARTMENT**

NIVER ENGINEERING, LLC. STRUCTURAL DESIGN CONSULTANTS

PROJECT	JOB NO.	DATE	DESIGNER	PAGE
4755 FOURTH ST. CARPENTRY REPAIR		10.11.21		

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OCT 11 2021
COMMUNITY DEVELOPMENT
DEPARTMENT



PERCENT OF EXISTING RESIDENCE SUPPORTING

LOADING OF NEW SECOND FLOOR

$$\frac{312}{747} = 41\%$$

PLANNING COMMISSION
STAFF REPORT

MEETING DATE: March 7, 2022

ITEM FOR CONSIDERATION

The Storage Place Modular Buildings Addition
21-2129-CUP/CDP

Request for approval of a Conditional Use Permit and a Coastal Development Permit to allow for the siting and use of fifteen 20'x10' modular storage buildings in an area previously designated for leasable parking spaces under the provisions of the Carpinteria Municipal Code (CMC) §14.26 Industrial/Research Park (M-RP) Zone District; and to approve an Exemption pursuant to §15301 and §15303 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APNs 001-180-064, -065, -066, and -067, addressed as 6250 Via Real.

Report prepared by: Marysol Smith, Associate Planner
Community Development Department


SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department


SIGNATURE

Owner: David Eldred, Carpinteria Storage Place, LP

Applicant: Zachary Ulrick

Project Location: 6250 Via Real

APNs: 001-180-064, -065, -066, -067

Zoning: Industrial/Research Park District (M-RP)

General Plan Designation: Research Development
Industrial (RDI)



I. RECOMMENDATION

Adopt the attached Resolution PC-22-004, thereby approving Project 21-2129-CUP/CDP to allow for the siting and use of fifteen 20'x10' modular storage buildings in an area previously designated for leasable parking spaces under the provisions of the Carpinteria Municipal Code (CMC) §14.26 Industrial/Research Park (M-RP) Zone District; and to approve an Exemption pursuant to §15301 and §15303 of the California Environmental Quality Act (CEQA) Guidelines.

II. PROPOSED PROJECT DESCRIPTION

Conditional Use Permit: Request for approval of a Conditional Use Permit to allow for the siting and use of fifteen 20'x10' modular storage buildings in an area previously designated for leasable parking spaces. The combined square footage of the proposed structures would total 3,000 square feet. The structures would add a total of thirty new leasable storage units to meet an increase in demand for storage space. These new units would function in the same exact way as the permanent units, subject to month-to-month leases, and would remain in place for the duration of their use. They would be sited where there are currently leasable parking spaces for vehicles and boats, along the northeast rear corner of the property. These leasable parking spaces for vehicles and boats would no longer be offered. The modular buildings are considered to be "temporary" in the sense that they are not fixed, permanent buildings and considered to be "portable," because (when empty) a single forklift can pick up a container and move it to another location. When the demand for storage units recedes, the structures could be moved off site to another location, sold, or be disposed of. No change to the business' hours of operation, staffing, parking or landscaping are proposed as part of this project.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics and Background

The project site, comprised of four assessor parcels totaling 8.47 acres, is located north of Via Real and east of the Vista de Santa Barbara Mobile Home Park. The property is developed with a personal self-storage facility comprised of a mix of sixteen 1- to 2-story buildings including a 2-story residential unit and office building. The original 1970s Development Plan (D-8-756) was for a multi-phased project for twelve buildings, an RV storage yard in the northeast quadrant of the facility and a caretaker's residential unit.

A subsequent revision was approved in the early 1990s (89-494-DPM/LLA) for additional storage buildings to be constructed in place of the existing RV storage yard in the northeast quadrant of the property. The addition was ultimately approved by the Planning Commission with the request that an area for storage of up to 30 RVs to accommodate some of the existing clients of the storage yard continue to be provided. In 1995, a building permit was approved to convert 1,200 square feet of one of the existing storage unit buildings into an office space for the business (BP# 5682).

The property is bounded by residential uses on the west, industrial research uses to the north, a partially developed mixed use project to the east, and US Highway 101 to the south. The site is zoned Industrial/Research Park District (M-RP), has a Research Development Industrial (RDI) land use designation, and is located in the Northeast Neighborhood (Subarea 4), which is characterized by

residential uses and industrial research uses. The residential uses include multi-family, mobile home and single-family residential developments. The site is not subject to any Overlay districts.

Architectural Review Board (ARB)

The project has not been reviewed by the ARB due to location of the structures being screened from public view by existing buildings and landscaping. The modular buildings would not be visible from the street. The buildings would be constructed of corrugated panels including a standing seam roof panel and metal roll-up doors. They would be installed on pressure treated blocks to allow for water drainage beneath the structures and to facilitate leveling. The body of the buildings would be a light brown stone color, the roll-up doors would be satin white and the roof and trim would be high gloss white. This color scheme is generally consistent with the theme of the existing buildings.

IV. ENVIRONMENTAL

This project can be found to be categorically exempt from environmental review pursuant to Sections 15301 (existing facilities) and 15303 (new construction) of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). The project meets the requirements for the listed Categorical Exemptions as the project includes an addition to existing facilities, all public services are available, the area is not environmentally sensitive, and the new construction of commercial structures would not involve hazardous substances. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services. As the project is consistent with these standards, the exemption is appropriate.

For more detail, see the attached Notice of Exemption included as Exhibit 2.

V. ANALYSIS

The discussion below provides an analysis of the project in terms of its compliance with the development standards of Title 14, Zoning, of the Carpinteria Municipal Code (CMC), and with the policies and objectives of the City's General Plan/Coastal Land Use Plan.

CMC, Title 14, Zoning Code Requirements

The existing use as a storage facility was originally permitted via a Development Plan (D-8-756) under the, now superseded, Design Manufacturing zone district. Under the current M-RP zone district, a storage facility would require approval of a Conditional Use Permit (CUP). Therefore, staff has processed this current proposed project as a CUP, which if approved, would bring the project into conformance with the required permit type for this land use as specified in the current Zoning Code. An analysis of the project's conformity with the required findings for approval of a CUP is provided in Exhibit 1, Attachment A, Findings for Approval. Previous project conditions of approval adopted as part of the original Development Plan (DP) and subsequent DP revision would remain in effect, except where superseded by more restrictive conditions included in this current CUP.

The following table lists the project's conformance with Municipal Code requirements for the M-RP zone district.

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	50 feet from centerline of street or 20 feet from property line, whichever is greater	Existing: 110 feet from property line Proposed: No change
Side (East)	10 feet	Existing: 62 feet Proposed: 16-25 feet
Side (West)	10 feet	Existing: 72 feet Proposed: No change
Rear	10 feet	Existing: 66 feet Proposed: 42 feet
Height Limit	30 feet max.	Proposed: 8-9 feet (structures to be installed on low blocks for leveling and to allow water to flow beneath them)
Parking*	7 parking spaces (1 space per 500 feet of office space and 2 spaces for residential unit)	Existing: General/residential: 15 uncovered spaces and 25 leasable parking spaces Proposed: No change to the number of general/residential parking spaces Eliminate area for 25 leasable spaces
Building Coverage	40% max (136,164 sf)	Existing: 35% (119,850 sf) Proposed: 36% (122,850 sf)
Landscaping	30% min. (102,123 sf)	Existing: 30% (102,123 sf) Proposed: No change

**Refer to the following discussion*

Parking

Parking is legal nonconforming in that there is no provision of 1 covered parking space for the residential unit. No changes are proposed to the residential unit or to the general parking area as part of this project.

Other District Requirements

The M-RP zone district includes a variety of other requirements the uses on the site must conform to. They include the following:

CMC §14.26.110 – Other district requirements:

- 1. All activities, other than loading and unloading, and other incidental handling, shall be conducted wholly within a completely enclosed building.*
- 2. The volume of sound, measured during calm air conditions, generated by or resulting from any use, other than motor vehicles, operated in any lot shall not exceed fifty (50) decibels at any point along the boundary of or outside of the lot upon which such use is located.*
- 3. The ground vibration generated by any use, other than motor vehicles, operated on any lot shall not be perceptible without instruments at any point along the boundary of or outside of the lot upon which such use is located.*
- 4. Except for the heating of buildings, there shall be no smoke or dust generated by or resulting from any use, other than motor vehicles, located upon the lot.*
- 5. No beam of exterior lighting used for the purpose of illuminating buildings or structures shall be directed toward adjacent residential areas without intermediate obstruction.*
- 6. No operation and no material stored shall be injurious to the health, safety, or welfare of persons residing or working in the neighborhood by reason of danger to life or property*

The proposed addition of 30 leasable units would not change the existing use of the property as a storage facility or significantly change the intensity of use. No exterior lighting is proposed. Therefore, the existing use of the property and the proposed addition can be found consistent with the above district requirements.

General Plan/Coastal Plan

The project site has a General Plan/Coastal Land Use Plan designation of Research Development Industrial (RDI). The project site is in Design Subarea 4 (Northeast Neighborhood) in the Community Design Element of the City's General Plan/Coastal Plan and is subject to the following policies:

Land Use Element

Objective LU-1: *Establish the basis for orderly, well planned urban development while protecting coastal resources and providing for greater access and recreational opportunities for the public.*

Objective LU-2: *Protect the natural environment within and surrounding Carpinteria.*

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City's edge.*

The proposed project involves an addition of 3,000 square feet of detached modular storage buildings to be located towards the rear of the property, in an area not visible from Via Real or any other public street. The structures would be installed on an existing paved area and no landscaping would need to be eliminated. The proposal would not alter the existing use of the property or significantly increase the intensity of use. Applicants find that most of their customers visit their leased units less than once per month. Thus, the project could be found to be consistent with the above objectives.

Community Design Element

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the city.*

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas which maintain and enhance the quality of Carpinteria's streetscape.*

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

CD-13-Implementation Policy 6: *Exterior lighting on commercial development shall be designed to compliment the building and shall be at the minimum height and intensity required to ensure public safety.*

The proposed storage structures would be of a modular design, however the colors and materials, earth tone light brown with white accents, would be consistent with those of the existing buildings. The structures would of single-story construction with a maximum height of less than 9 feet, including the blocks the structures would be mounted on. The structures would not be visible from public streets and would not create any new impacts to views of the mountains or sea. No changes to the existing frontage or landscaping are proposed. No new exterior lighting or changes to existing exterior lighting are proposed as part of this project. Therefore, the project can be found consistent with the above objectives and policies related to community design and aesthetics.

The Northeast (Subarea 4) Objectives & Policies

Objective CDS4-1: *Strengthen the visual and physical connections between the subarea, the downtown and other neighborhoods and districts in the city.*

Policy CDS4-a: *Ensure that new development is sensitive to the scale and character of the existing neighborhoods, and consistent with the city's "small beach town" image.*

Policy CDS4-b: *Ensure that new development adjacent to designated city edges, abutting agricultural lands outside the city limits, are designed with rural and semi-rural elements and details, providing an appropriate transition and connection of the town to the countryside.*

No changes to the existing frontage or landscaping are proposed as part of this project. The proposed addition of 3,000 square feet for 30 new leasable modular storage units would be located towards the interior of the lot. The project would not change the existing use of the site, nor significantly change the intensity of use. The modular structures would be low in height and would be further screened by an adjacent embankment due to the subject property being at a lower grade than the adjoining property to the east. The project would not impact the existing scale of buildings or the appearance of the property from any public vantage.

Noise Element

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation have been included in the attached Conditions of Approval.

VI. DEVELOPMENT IMPACT FEES

A series of ordinances and resolutions adopted by the City Council require the payment of various development impact fees. If the project were approved as submitted, it would be subject to the fees as shown in the following table. The amounts shown are estimates only. The actual amounts will be calculated in accordance with the fee resolutions in effect when the fees are paid. The Fees are updated annually in July.

The developer of a project that is required to pay development impact fees may apply to the City Council for a reduction, adjustment or waiver of any of those fees based on the absence of any reasonable relationship or nexus between the impacts of the proposed development and either the amount of the fee(s) charged or the type of facilities to be financed. The application must be in writing and must be submitted to the city clerk either ten days prior to the public hearing on the development permit for the project, or if no development permit is required, at the time of building permit application.

Estimated Development Impact Fees

Estimate based on the proposed 3,000 square foot modular buildings addition

Fee Type	Fee Per Square Foot Unless noted otherwise	Total Fee
Streets and Thoroughfares	\$1.87	\$5,610.00
Highway Interchanges & Bridges	\$9.54	\$28,620.00
Traffic Control Facilities	\$0.77	\$2,310.00
General Facilities & Equipment	\$0.35	\$1,050.00
Storm Drainage Facilities	\$0.87	\$2,610.00
Parkland Acquisition Fees	\$4.98	\$14,940.00
TOTAL		\$55,140.00

Other Estimated Fees

Fee Type	Fee Per Unit Unless noted otherwise	Total Fee
Carp.-Summerland Fire District Fire Protection Certificate	\$229.00	\$229.00
School District	\$0.56/ non- habitable sq. ft.	\$1,680.00
New Construction Tax	\$0.045	\$135.00
TOTAL		\$2,044.00

VII. ACTION OPTIONS

1. Approve Project 21-2129-CUP/CDP to allow for the siting and use of fifteen 20'x10' modular storage buildings, and adopt the Findings for Approval in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C. (staff's recommendation).
2. Direct the applicant to prepare project revisions and return to the next Commission meeting.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-22-004
Attachment A – Findings
Attachment B – Plan set
Attachment C – Recommended Conditions of Approval

Exhibit 2 Notice of Exemption

Exhibit 1
Resolution PC-22-004

The Storage Place Modular Buildings Addition
6250 Via Real

Planning Commission Hearing
March 7, 2022

RESOLUTION NO. PC-22-004

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
CARPINTERIA APPROVING A CONDITIONAL USE PERMIT AND COASTAL
DEVELOPMENT PERMIT NO. 21-2129-CUP/CDP FOR THE SITING AND USE OF
FIFTEEN 20'X10' MODULAR STORAGE BUILDINGS LOCATED AT 6250 VIA REAL,
APNs 001-180-064, -065, -066, -067.
REQUESTED BY DAVID ELDRED, CARPINTERIA STORAGE PLACE, LP.**

WHEREAS, the Planning Commission of the City of Carpinteria has considered an application for a Conditional Use Permit and Coastal Development Permit filed by Zachary Ulrick for David Eldred, Carpinteria Storage Place, LP; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on January 4, 2022; and

WHEREAS, the Planning Commission has conducted a hearing and received evidence regarding the application for a Conditional Use Permit and Coastal Development Permit; and

WHEREAS, the project is exempt from the California Environmental Quality Act (CEQA) under Guidelines Sections 15301 (existing facilities) and 15303 (new construction) as the project includes an addition to existing facilities, all public services are available, the area is not environmentally sensitive, and the new construction of commercial structures would not involve hazardous substances. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Land Use Plan and the Zoning Code standards that are relevant to the project.

**NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS
FOLLOWS:**

1. The Conditional Use Permit and Coastal Development Permit is approved making the Findings outlined in Attachment A.
2. The Conditional Use Permit and Coastal Development Permit for the project consistent with the plans shown in Attachment B is approved subject to the conditions of approval set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 7th day of March, 2022, by the following vote:

AYES: Commissioners:

NOES: Commissioner(s):

ABSENT: Commissioner(s):

ABSTAIN: Commissioner(s):

Jane Benefield, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 7th day of March 2022.

Exhibit 1
Attachment A: Findings for Approval

**The Storage Place Modular Buildings Addition
6250 Via Real**

**Planning Commission Hearing
March 7, 2022**

ATTACHMENT A: FINDINGS FOR APPROVAL

PLANNING COMMISSION HEARING

PROJECT NO. 21-2129-CUP/CDP

MARCH 7, 2022

THE STORAGE PLACE MODULAR BUILDINGS ADDITION

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Conditional Use Permit and Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Conditional Use Permit and Coastal Development Permit was submitted on October 27, 2021 and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on January 4, 2022. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's General Plan/Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act (CEQA) under Categorical Exemption Sections 15301 (existing facilities) and 15303 (new construction) as the project meets the following criteria: the project includes an addition to existing facilities, all public services are available, the area is not environmentally sensitive, and the new construction of commercial structures would not involve hazardous substances. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services.

1.3 Conditional Use Permit Findings

Pursuant to Carpinteria Municipal Code §14.62.040(8), the Planning Commission may approve a Conditional Use Permit upon a determination that all of the following findings have been met:

1. *The site for the proposed use is adequate in size and shape to accommodate the use.*

As discussed in the Planning Commission staff report dated March 7, 2022, and hereby incorporated into these Findings by reference, the proposed addition would add an additional 3,000 square feet of leasable storage space. This would increase the site's building coverage to 36%, but remaining under the maximum allowed coverage of 40%. The area where the new modular storage buildings addition would be located is already paved; no landscaping would have to be removed to accommodate the project and the area is within the site's allowed building envelope. Existing infrastructure on site is already set up for the use and the 30 additional leasable storage units would not significantly increase the intensity of the existing use. This type of storage facility is allowed in the M-RP zone district with a Conditional Use Permit.

2. *The site for the proposed use is served by streets and highways that are properly designed to carry the type and quantity of traffic generated by the subject use.*

The project site is adequately served by the existing street network in the area. The proposed additional leasable space would not generate a significant increase in traffic or parking demands. The applicant has documented that their customers visit their leased units less than once per month, on average. Assuming similar use characteristics, the addition of an average of 60 additional vehicle trips per month (~30 to/~30 from) would add a negligible amount of new vehicle traffic to area roadways and intersections. The project would therefore continue to be adequately served by existing streets and highways.

3. *The granting of the permit will not materially adversely affect such necessary community*

services as sewage disposal, fire protection, water supply, and police protection.

The project would not adversely affect such necessary services as these services are currently available to the existing site and surrounding properties located throughout the industrial research park district. The proposed modular buildings would not place a significant additional demand on community services significant enough to adversely affect the availability of these services. The Carpinteria-Summerland Fire Protection District has reviewed the proposed plans and confirmed that the new addition would not interfere with emergency ingress/egress or access throughout the site. Other agencies potentially affected by this project have also been notified and have indicated an ability to continue to serve the project.

4. *The granting of the permit will not be detrimental to the health, safety and general welfare of the neighborhood.*

No change to the hours of operation, staffing, parking or landscaping are proposed as part of this project. The proposed buildings would not be visible from any public street. Intensity of use would not significantly change as the applicants find that most of their customers visit their leased units less than once per month. The new modular buildings would be sited where there are currently leasable parking spaces for vehicles and boats, along the north east rear corner of the property. These leasable parking spaces for vehicles and boats would no longer be offered. The modular buildings are considered to be “temporary” in the sense that they are not fixed, permanent buildings and considered to be “portable” because (when empty) a single forklift can pick up a container and move it to another location. When the demand for the storage units recedes, the buildings could be moved off site to another location, sold, or be disposed of.

Additionally, the project site is not located in a flood hazard area according the current Flood Insurance Rate Map (“FIRM”) for the area. No other overlays or hazard zones apply to the project site.

5. *The proposed use is consistent with the coastal plan, general plan, and applicable specific plan.*

As discussed in the Planning Commission staff report dated March 7, 2022, and hereby incorporated by reference, the project has been found consistent with all applicable Objectives and Policies of the City’s General Plan/Coastal Land Use Plan, and the requirements of the Industrial/Research Park (“M-RP”) District. The project involves the siting and use of fifteen 20’x10’ modular storage buildings. The buildings would add a total of thirty new leasable storage units to meet an increase in demand for storage space. These new units would function in the same way as the permanent units, subject to month-to-month leases, and would remain in place for the duration of their use. No other

changes to the site are proposed as part of this project. The project conforms to all of the zoning district requirements for the M-RP district.

6. *The proposed use will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The project site is entirely developed with large buildings, parking lots/drive aisles and ornamental landscaping. No sensitive habitats, fish, or wildlife are located onsite. All proposed elements of the project would be confined to the existing developed area. Standard project conditions of approval have been included to address construction-related impacts including but not limited to noise, dust and stormwater runoff.

7. *The proposed development will not conflict with recorded easements acquired by the public-at-large for access through or use of the property within the proposed development or any easements granted to any public agency or required as a condition of approval.*

There are several existing public utility easements that affect the property. On the eastern side of the property, near where the modular buildings are proposed to be located, there is a Water District Easement. However, the proposed project has been sited to not conflict with this or any other recorded easements on the property. Respective agencies have been informed and have had the opportunity to apply conditions of approval. The Carpinteria Valley Water District required that the structures not encroach into their easement and that access to the water main and infrastructure not be disrupted.

8. *Any other conditions which are reasonably necessary to protect the public peace, health, safety, and general welfare.*

No change to the hours of operation, staffing, parking or landscaping are proposed as part of this project. The proposed buildings would not be visible from any public street. Standard construction conditions apply to the project and the previously imposed conditions from the original Development plan and subsequent revision remain in effect unless superseded by a more restrictive condition in this permit. Any future modifications to the modular buildings, relocation onsite, removal or change of use of the modular buildings must first be reviewed and approved by the Community Development Department.

1.4 Coastal Development Permit Findings

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the permit requested may be issued based on the following findings:

1. *The proposed development is in conformity with the City's certified Local Coastal Program.*

The property is designated Research Development Industrial (RDI) in the General Plan/Coastal Plan and is zoned Industrial Research Park (M-RP). The project is consistent with all aspects of the Zoning Code. The project can also be found consistent with the applicable policies from the Land Use and Community Design Elements of the General Plan in that it would not alter the existing building, frontage or site circulation. The proposed structures would be limited to the rear eastern side of the property, where they would not be publically visible. No change of use is proposed. Finally, construction noise impacts would be limited and temporary in nature and hours of construction would be limited by the conditions of approval so as to maintain consistency with the applicable policies of the Noise Element of the City's General Plan. A more detailed analysis of the project's conformity with the Objectives and Policies of the City's certified General Plan/Coastal Land Use Plan is presented in the staff report prepared for the Planning Commission hearing of March 7, 2022, and herein incorporated by reference.

Exhibit 1
Attachment B: Reduced Plan Set

**The Storage Place Modular Buildings Addition
6250 Via Real**

**Planning Commission Hearing
March 7, 2022**

Technical drawing of a rollup door assembly. The drawing includes a side view and a front view (labeled 'Front (High Side)').

Labels and Dimensions:

- STANDING SEAM ROOF PANEL
- 1/2" x 12" SLOPE
- HEADERS
- ROLLUP PIER
- ROLLUP DOORS
- FINISH
- LATCH TYPE
- HIGH EAVE
- LOW EAVE
- JANUS CORRUGATED PANEL
- Front (High Side)

BUILDING LOADS PER IRC 2012/2015/2018	
ROOF LIVE LOAD	20 PSF
ROOF SNOW LOAD	10 PSF
FLOOR LOAD (Equally distributed)	12 PSF
DESIGN WIND SPEED	15 mph

Two Unit Configuration
(2)- 10x10s Side Entry

WARNING

THE FOLLOWING INSTRUCTIONS ARE INTENDED TO BE A GUIDE FOR THE PROFESSIONAL INSTALLER. LACK OF ADEQUATE KNOWLEDGE CAN POSE A THREAT OF SERIOUS INJURY TO THE NONPROFESSIONAL.



Janus
International
Corporation

5 Janus International Blvd, Temple, GA 30179 770.562.2850 Janusintl.com

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DIMENSIONS & DIMENSIONAL TOLERANCES ARE IN INCHES

① = 0.032	② = 0.063	③ = ±.001	④ = 0.25
Critical dimension tolerances to be marked as shown			

20'x10' ECO MASS PORTABLE BUILDING

NOTE: WHEN ORDERING REPLACEMENT PAPER, SPECIFY PART DESCRIPTION AND SIZE.
IF NOT LISTED, ORDER 11

step 1) Getting Started
PICK A LOCATION AND LEVEL AREA TO UNPACK YOUR PARTS. UNPACK
YOUR UNITS AS TO NOT SCRATCH OR DENT THE FINISHED FLOORS.

2) Safety First
UNPACKING WHEN LIFTING, MOVING OR ASSEMBLING THE METAL PARTS &
PANELS AS THEIR EDGES CAN BE SHARP. MECHANICAL GLOVES ARE RECOMMENDED. READ ALL THE INSTRUCTIONS PRIOR TO STARTING ANY WORK.

3) Look Horizontal

[illegible]

20x10 MASS PORTABLE BUILDING PARTS LIST

[illegible]

E		PART NUMBER	360020	MANUFACTURED IN CHICAGO
21		DESCRIPTION	MASS PORTABLE BUILDING 20x10 with (2)- 10x10 Units	
A ₁		DRAWING TITLE NUMBER	360020	NUMBER OF SHEETS 1 OF 25

THE STORAGE PLACE

CONTAINER SPECS. OVERVIEW

A2.0

**ULRICK
DESIGN**

805.350.0669
ZACHARYULRICK@GMAIL.COM
ULRICK-DESIGN.COM

PROPERTY AGENT

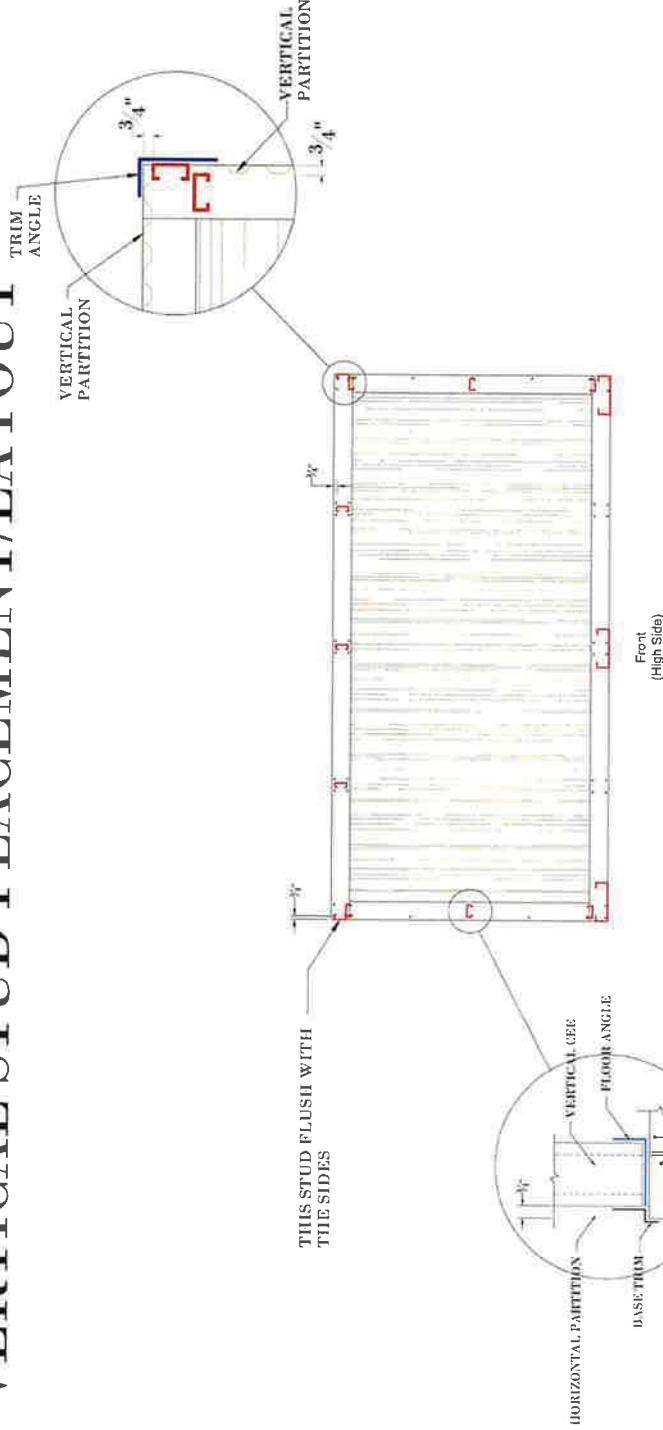
6250
VIA REAL
CARPINTERIA
CA 93013

CONSULTANT:

Conclusions

[illegible]

VERTICAL STUD PLACEMENT/LAYOUT



Next Step.) INSTALLING VERTICAL STUDS
VERTICAL STUDS ARE TO BE PLACED 3/4" FROM THE EDGE AS SHOWN.



135 Janus International Blvd, Temple, GA 30179 770.562.2650 Janusintl.com

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DATE		DESCRIPTION		MANUFACTURED	
DESIGNED BY		Tark A.		MASS PORTABLE BUILDING 20x10 with (2)- 10x10 Units	
CHECKED BY		A		CRANING FILE NUMBER	
DIMENSIONS & DIMENSIONAL TOLERANCES ARE IN INCHES		TOLERANCE		NUMBER OF SHEETS	
① = ±.002		② = ±.004		10 OF 25	
③ = ±.003		④ = ±.004			
⑤ = ±.003		⑥ = ±.004			
⑦ = ±.003		⑧ = ±.004			
⑨ = ±.003		⑩ = ±.004			
⑪ = ±.003		⑫ = ±.004			
⑬ = ±.003		⑭ = ±.004			
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**ULRICK
DESIGN**

BDS.350.0669
ZACHARYULRICK@GMAIL.COM
ULRICK-DESIGN.COM

PROJECT: 600123

6250
VIA REAL
CARPINTERIA
CA 93013

CONSULTANT

REVISIONS
NO. DESCRIPTION DATE

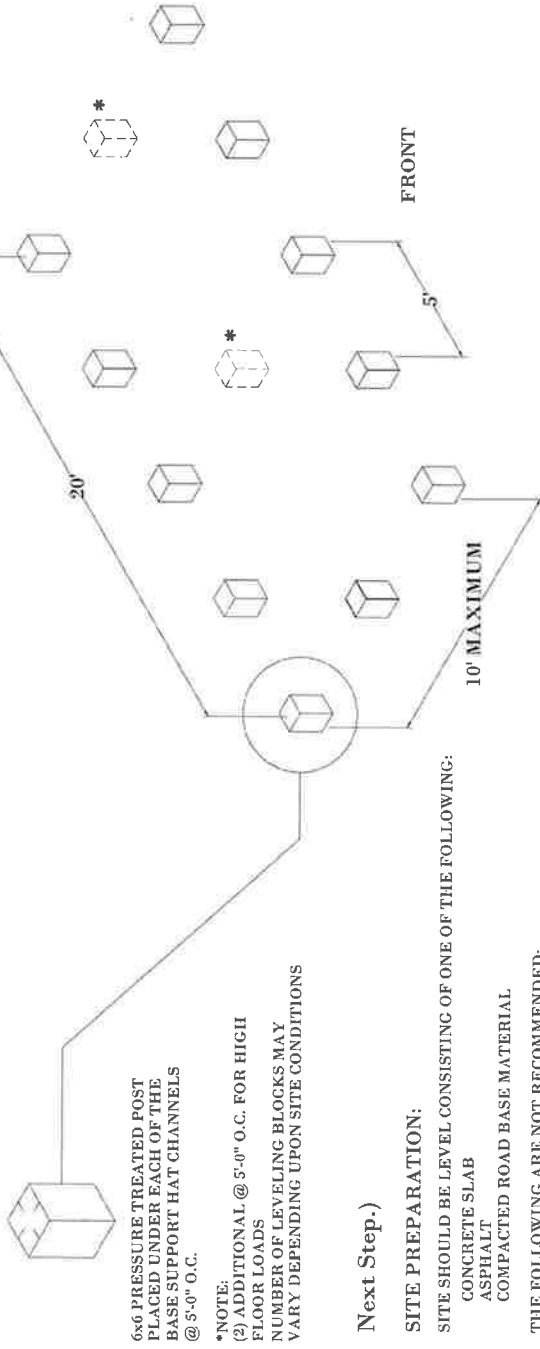
THE STORAGE
PLACE
FLOOR PLAN

CONTAINER SPECS.
FLOOR PLAN

PROJECT NUMBER
000123
DATE
10/1/21

A2.1

LEVELING BLOCKS - OPTIONAL



TYPICAL LEVELING MATERIAL LAYOUT

NOTE: APPROPRIATE SITE PREPARATION FOR
SUITABLE BEARING MATERIALS TO SUPPORT MASS
PORTABLE BUILDING & APPROPRIATE HOLD-DOWN
ANCHORAGE AGAINST WIND UPLIFT IS THE
RESPONSIBILITY OF THE CUSTOMER.

 Janus International Corporation 135 Janus International Blvd., Temple, CA. 90179 770.562.2850 Janusintl.com	The arrangements depicted herein are the sole property of Janus International and may not be reproduced without its written permission.		SCALE: NONE		PART NUMBER: 360020		MANUFACTURED: 10/12/21	
	DIMENSIONS & DIMENSIONAL TOLERANCES ARE IN INCHES (1) ± 0.03 (2) ± 0.01 (3) ± 0.125 Critical dimensions tolerance to be marked as shown		DATE: 10/12/21		DESCRIPTION: MASS PORTABLE BUILDING 20x10 with (2) - 10x10 Units		DRAWING FILE NUMBER: A	
			DRAWN BY: Tarik A.		CHECKED BY:		NUMBER OF SHEETS: 1 OF 1	

**ULRICK
DESIGN**

805.350.0449
ZACHARY@ULRICKDESIGN.COM
ULRICK-DESIGN.COM

PROJECT ADDRESS:

6250
VIA REAL
CARPINTERIA
CA 93013

SUBMITTAL

REVISIONS
DATE
DESCRIPTION

THE STORAGE
PLACE

CONTAINER SPECS.
LEVELING BLOCKS

PROJECT NUMBER
DATE DATE
000183
10/12/21

A2.3

Exhibit 1
Attachment C: Recommended
Conditions of Approval

The Storage Place Modular Buildings Addition
6250 Via Real

Planning Commission Hearing
March 7, 2022

**PLANNING COMMISSION HEARING
PROJECT 21-2129-CUP/CDP
6250 VIA REAL (APNs 001-180-064, -065, -066, -067)
MARCH 7, 2022**



**ATTACHMENT C: CONDITIONS OF APPROVAL
THE STORAGE PLACE MODULAR BUILDINGS ADDITION**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Conditional Use Permit and Coastal Development Permit are based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated March 7, 2022) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

The project description is as follows:

Request for approval of a Conditional Use Permit and Coastal Development Permit to allow for the siting and use of fifteen 20'x10' modular storage buildings in an area previously designated for leasable parking spaces. The combined square footage of the proposed structures would total 3,000 square feet. The structures would add a total of thirty new leasable storage units to meet an increase in demand for storage space. These new units would function in the same exact way as the permanent units, subject to month-to-month leases, and would remain in place for the duration of their use. They would be sited where there are currently leasable parking spaces for vehicles and boats, along the northeast rear corner of the property. These leasable parking spaces for vehicles and boats would no longer be offered. The modular buildings are considered to be "temporary" in the sense that they are not fixed, permanent buildings and considered to be "portable," because (when empty) a single forklift can pick up a container and move it to another location. When the demand for storage units recedes, the structures could be moved off site to another location, sold, or be disposed of. No change to the business' hours of operation, staffing, parking or landscaping are proposed as part of this project.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. The conditions of approval herein are specific to the Conditional Use Permit and Coastal Development Permit #21-2129-CUP/CDP for the above project description. The conditions of approval for the original Development Plan (D-8-756) and subsequent modification (89-494-DPR/LLA) shall remain in full force and effect, except where superseded by more restrictive conditions included in this current CUP.
3. Any future modifications to the modular buildings, relocation onsite, removal or change of use of the modular buildings must first be reviewed and approved by the Community Development Department.
4. Exterior night lighting is not proposed as part of this project. **Timing/Plan Requirements:** A building permit application and lighting plan must be submitted for changes to existing lights or if new lighting is proposed. Exterior night lighting installed on the project site, shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels.
5. Existing parking spaces that serve the onsite general and residential uses must remain available at all times and cannot be leased out.
6. No changes to the approved landscaping plan are proposed as part of this project. The site's landscaping must be maintained in good condition and be repaired as needed in accordance with the approved landscape plan. Any proposed changes in the future to the approved landscape plan on file for the site must first be reviewed and approved by the Community Development Department.
7. The applicant shall be responsible for maintaining the premises in a clean and orderly condition at all times. This includes, but is not limited to the following:
 - a. All trash/recycling shall be properly disposed of in the appropriate receptacles provided on site.
 - b. The applicant shall regularly inspect the perimeter of the site to ensure that trash is not leaving the premises via wind or runoff;

- c. All structures and improvements on site shall maintain a tidy appearance and be kept in good working order; and
 - d. All site landscaping shall be adequately maintained to ensure appropriate screening of the parking lots from the streets.
- 8. Construction staging and materials storage shall be placed in a manner that does not obstruct access to the parking spaces, easements (unless permission has been granted by the easement holder), and emergency access roadways throughout the facility. **Plan Requirements and Timing:** The location of construction staging and materials storage shall be shown on the plans submitted to the Community Development Department for review by the Fire District prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all construction activities.
- 9. Construction activity shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.
- 10. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
- 11. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.
- 12. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout

area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.

13. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on demolition plans. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates. **Timing:** Materials shall be recycled as necessary throughout demolition and grading activities. **Monitoring:** Public Works shall review and approve a completed WMP prior to issuance of a Building Permit.
14. To prevent construction and/or employee trash from blowing offsite, covered receptacles shall be provided onsite prior to commencement of grading or construction activities. Waste shall be picked up weekly or more frequently as directed by CDD staff. **Plan Requirements and Timing:** Prior to Building Permit issuance, applicant shall designate and provide to CDD the name and phone number of a contact person to monitor trash/waste and organize a clean-up crew. Trash control shall occur throughout all grading and construction activities. **Monitoring:** CDD shall inspect periodically throughout grading and construction activities.
15. In accordance with Chapter 15.80 of the Carpinteria Municipal Code, the applicant shall pay Development Impact Fees to the City prior to Building Permit issuance. The amount of the fees will be determined at the time the fees are paid.
16. All other fees, including School District and New Construction fees shall be paid prior to Building Permit Issuance.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

17. This Conditional Use Permit and Coastal Development Permit are not valid until a Building Permit for the development has been obtained. Failure to obtain said Building Permit shall render this Conditional Use Permit and Coastal Development Permit null and void. Prior to the approval of the Building Permit, all of the conditions listed in this Conditional Use Permit and Coastal Development Permit that are required to be satisfied prior to approval of a Building Permit must be satisfied. Upon issuance of the Building Permit, the Conditional Use Permit and Coastal Development Permit shall be valid. The effective date of this Permit shall be the date of expiration of the appeal period, or if appealed, the date of action by the City Council.

18. If the Planning Commission determines at a noticed public hearing that the permittee is not in compliance with any permit condition(s), pursuant to the provisions of Section 14.62.060 of the Carpinteria Municipal Code, the Planning Commission is empowered, in addition to revoking the permit pursuant to said section, to amend, alter, delete or add conditions to this permit.
19. Any use authorized by this Conditional Use Permit and Coastal Development Permit shall immediately cease upon expiration or revocation of this Conditional Use Permit and Coastal Development Permit. Any Building Permit issued pursuant to this Conditional Use Permit and Coastal Development Permit shall expire upon expiration or revocation of the Conditional Use Permit and Coastal Development Permit. Conditional Use Permit and Coastal Development Permit renewals must be applied for prior to expiration of the Conditional Use Permit and Coastal Development Permit.
20. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
21. Within one year after the effective date of this permit, construction shall commence. Construction cannot commence until a Building Permit has been issued. Failure to commence the construction pursuant to a valid Building Permit shall render the Conditional Use Permit and Coastal Development Permit null and void.
22. All time limits may be extended by the Planning Commission for good cause shown, provided a written request, including a statement of reasons for the time limit extension request is filed with Community Development prior to the expiration date.
23. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
24. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of grading/construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
25. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions of Approval.

26. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
27. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full.
28. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
29. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
30. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Conditional Use Permit and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.
31. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.
32. Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.

SPECIAL DISTRICT CONDITION LETTERS

33. Compliance with the attached Departmental and District letters is required as follows:
- a.) Carpinteria Valley Water District, dated December 17, 2021,
 - b.) Carpinteria-Summerland Fire Protection District, dated November 24, 2021, and,
 - c.) City of Carpinteria Public Works Department, dated January 25, 2022.

Approved by the Planning Commission on March 7, 2022

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant/Property Owner

Date



Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

BOARD OF DIRECTORS

Matthew Roberts
President
Case Van Wingerden
Vice President
Polly Holcombe
Shirley L. Johnson
Kenneth Stendell

December 17, 2021

Marysol Smith
City of Carpinteria – Community Development Department
5775 Carpinteria Avenue
Carpinteria, CA 93013

GENERAL MANAGER

Robert McDonald, P.E. MPA

SUBJECT: 6250 VIA REAL, APNS 001-180-064, -065, -066, -067, ACCOUNTS 16-169551-01 AND 16-160002-01, PLACEMENT OF PORTABLE STORAGE CONTAINERS – COMMENT LETTER

To Whom It May Concern,

Please be advised, this parcel is within the jurisdiction of Carpinteria Valley Water District and therefore is entitled to District water service in accordance with District Rules and Regulations. Currently the District is in a Stage II Drought Condition; for more information on Ordinance 21-1, please visit the District website www.cvwd.net. This letter is good for one year from the date of the letter.

This subject property is served by a 6" fire service and a 1" water meter. Based on the plans received on December 13, 2021, the District has the following comments:

- The portable storage containers must remain out of Carpinteria Valley Water District's easement and access to the water main and District infrastructure must not be disrupted.
- The owner is responsible for exposing and raising the fire hydrant valve that is paved over and raising the isolation valve ahead of the fire service.

If you have any questions, please feel free to contact me at danielle@cvwd.net or 805-684-2816x121.

Very truly yours,
Carpinteria Valley Water District

Danielle Rose
Engineering Analyst

CC: TCM to account



CARPINTERIA~SUMMERLAND FIRE PROTECTION DISTRICT

6250, Via Real, , Carpinteria, CA, CA, 93013, , Placement of temporary portable container , yes

Location	34.388288, -119.491107
Status	Planning Completed
Submittal Date:	2021-11-18
Address/Location:	6250 Via Real Carpinteria, CA 93013
APN:	001-180-065
Number of stories:	1
Comments:	Placement of temporary portable container
Submittal Type:	Planning
Applicant:	David Eldred
Address	PO Box 5717 Santa Barbara, CA 93150
Phone Number:	805-696-0895
Email:	deeldred@gmail.com
Fire Protection Systems Existing or Required	No

Planning/Conceptual Design

Date Plan Review Completed:	2021-11-24
Permit Number:	21-2129-DPR/CDP
Planner:	Marysol Smith
Plans Checked By:	Michael LoMonaco
Invoiced	Yes
Items Invoiced:	FPC-P
Invoices Paid	Yes

Project Conditions

All work shall be done per current applicable CFC and CSFPD ordinance and standards.

Access and Identification

All required access ways (public or private) shall be installed and made serviceable prior to the erection of combustible materials.

Access to this project shall conform to the requirements for the private roads and driveways set forth in the current CSFPD California Fire Code Amendment Ordinance and the CSFPD Road and Driveway Standards and the Santa Barbara County Private Road and Driveway Design Standards (Section #8).

A minimum of 13 feet 6 inches of vertical clearance shall be provided and maintained for fire apparatus.

Gated access ways (if provided) shall open in the direction of ingress travel; gates shall be located thirty (30') feet from the edge of road driving surface. Minimum clear width of gate opening shall be at least 2 feet wider than the road served. The location and type of gate shall be approved by the Fire District prior to installation.

A Fire District approved key entry system shall be installed in an accessible location.

Fire Lane Identification shall comply with the current CSFPD Development Standards

Fire Protection Systems

Prior to occupancy Portable Fire Extinguishers shall be mounted such that the maximum travel distance from any area will meet the standard or be less than 75 feet.

Additional Requirements

Any future changes including further division intensification of use or increase in hazard classification may require additional conditions in order to comply with applicable fire district development standards

"Pride in Service"

1140 Eugenia Place, Suite A • Carpinteria, California 93013 • (805) 684-4591 Fax (805) 684-8242



CARPINTERIA~SUMMERLAND FIRE PROTECTION DISTRICT

Checks shall be made payable to: Carpinteria-Summerland Fire Protection District (CSFPD) and delivered to Fire District Headquarters at 1140 Eugenia Place, Suite A. Money orders and cashiers' checks will be accepted. Credit and debit cards can be used online. The link can be found at Carpfire.org. Note: Cash payment will not be accepted.
Inspector's Signature:

A handwritten signature in black ink, consisting of stylized, cursive letters that appear to be "MR".

Signed 2021-11-24 07:29:15 PST

"Pride in Service"

1140 Eugenia Place, Suite A • Carpinteria, California 93013 • (805) 684-4591 Fax (805) 684-8242

CARPINTERIA-SUMMERLAND FIRE PROTECTION DISTRICT
FIRE PROTECTION CERTIFICATE-PLANNING APPLICATION (FPC-P)

INSTRUCTIONS: Submit completed form to the City of Carpinteria Building and Safety. Prior to Building & Safety approval, submitted plans will be forwarded to the Carpinteria-Summerland Fire Protection District for review. Payment shall be made to: Carpinteria-Summerland Fire Protection District prior to FPC review. The application fee of \$343.00 must be paid by credit card, check or money order made out to the Carpinteria-Summerland Fire Protection District. Payment shall be made on line or at: 1140 Eugenia Place, Suite A, Carpinteria, CA 93013. The Fire District then will review the submittal and email a Letter of Condition to the City of Carpinteria and to the Applicant.

PLANNING NUMBER: 21-2129-DPR/CDP

DATE: _____

1. Applicant: David Eldred Phone: (805)969-0895
Mailing Address: PO Box 5717 Email: deeldred@gmail.com
City/ State/ Zip Code: Santa Barbara, CA 93150
2. Property Owner: David Eldred Phone: (805)969-0895
Mailing Address: PO Box 5717 Email: deeldred@gmail.com
City/ State/ Zip Code: Santa Barbara, CA 93150
3. Project Address: 6250 Via Real APN: 001-180-065
4. Project Description: Placement of temporary portable containers
5. Existing square footage: (include non-habitable space): 0
6. Does existing building have a fire sprinkler system? YES ☐ NO ☐
7. Square footage of new construction, remodel, and alterations: 3,000
(Including non-habitable space)
8. After project completion, will hazardous or flammable materials be on the premises?
YES ☐ NO ☒ If yes, describe fully _____
9. Describe project water source for fire protection (water district, private water co., etc.)
Existing hydrant and riser in place

I HEREBY CERTIFY THAT THE ABOVE IS TRUE AND CORRECT AND THE PROJECT DESCRIBED SHALL COMPLY WITH ALL APPLICABLE DEVELOPMENT STANDARDS AND CODES.

David Eldred
Applicant name (print)

David Eldred
Applicant signature

Fire District Use Only

Approved with attached conditions ☒

Approved ☐

Date: 11/24/2021

Signed: Michael Lo Monaco

Comments: _____

CITY OF CARPINTERIA, CALIFORNIA



Public Works Department Memorandum

To: Marysol Smith, Associate Planner
Community Development Department

Via: John L. Ilasin, Public Works Director/City Engineer

From: Jason Dane, Engineering Technician

Date: January 25, 2022

Subject: 6250 Via Real, Project No. 21-2129-DPR/CDP

The Public Works Department has reviewed the project submittal dated November 18, 2021, and has the following conditions of approval:

CONDITIONS OF APPROVAL

1. An Engineering Permit shall be obtained from the City Engineer for any improvements or other encroachment work within the public right-of-way.
2. All improvements within the public right-of-way shall be completed to the satisfaction of the City Engineer prior to the issuance of a Certificate of Occupancy.
3. Record drawings or as-built plans shall be submitted to the City Engineer at time of final inspection for all work covered by an Engineering Permit. The record drawings or as-built plans shall be the original construction tracings or permanent mylar copies of a quality acceptable by the City Engineer.
4. A Transportation Permit shall be obtained from the City Engineer for operating or moving any vehicle or combination of vehicles or special mobile equipment in any of the acts as listed in Carpinteria Municipal Code Section 12.12.010.
5. All new and existing utility services shall be installed underground from the closest point of connection or utility pole and completed prior to any paving required for the project. No new utility poles shall be installed.
6. Stormwater control plans shall be in conformance with the County of Santa Barbara Technical Guide for Low Impact Development.
7. A Maintenance Agreement for permanent stormwater quality best management practices shall be submitted to the City Engineer for review and approval. The Maintenance Agreement shall include, at minimum, the following elements: (1) Operations and Maintenance Plan; (2) Legal description and plat of property; (3)

Site plan of all permanent stormwater quality best management practices; (4) Property owner's printed name, signature, and date of signing; and (5) Notary public acknowledgement.

8. Improvements in areas of special flood hazards as shown in the latest effective flood insurance rate map shall be constructed in conformance with the City floodplain management regulations (Carpinteria Municipal Code Chapter 15.50).
9. Construction and demolition debris generated shall be reported in conformance with the Construction and Demolition Debris Recycling Program. Sixty-five percent (65%) or more of all construction and demolition debris shall be diverted from the landfill. The Construction and Demolition Debris Recycling Program forms shall be completed and submitted to the City Engineer prior to the issuance of a Certificate of Occupancy.
10. Construction and demolition debris shall be separated on site into reuse, recycling, or disposal. Separate bins or containers for recycling of construction and demolition debris shall be provided on site.
11. Self-hauled disposal receipts from transfer stations shall be submitted to the City Engineer prior to the issuance of a Certificate of Occupancy.
12. Any self-hauled construction and demolition debris shall be reported in writing to the City Engineer. A contract waste hauler may be allowed for disposal of construction and demolition debris subject to the approval of the City Engineer.

End of Comments

**CITY OF CARPINTERIA
CONDITIONS OF APPROVAL
DEVELOPMENT PLAN MODIFICATION; PROJECT 89-494-DPM
"THE STORAGE PLACE" 6250 VIA REAL
PLANNING COMMISSION MEETING OF FEBRUARY 5, 1990**

The Conditions set forth in this permit affect the title and possession of the real property which is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions, and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on owner (applicant, developer) by this permit.

COMMUNITY DEVELOPMENT DEPARTMENT

General Conditions:

1. This Development Plan Modification approval is restricted to APN 01-180-58, 59, 60, 61 located at 6250 Via Real and is for the construction of 69,000 additional square feet of storage space located within three (3) new storage buildings. Included in the proposal is a lot line adjustment.
2. The project is subject to the provisions of Resolution No. 1446, the Resource Management Plan of the City of Carpinteria and may require a water allocation.
3. That water conserving fixtures shall be utilized on all faucets, sinks, water closets and other water outlets throughout the project to reduce water demands.
4. That any and all damage or injury to public property resulting from this development, including without limitation City streets, shall be corrected or result in being repaired and restored to its original or better condition.
5. That all requirements of the City of Carpinteria (including but not limited to public improvements as defined in the City of Carpinteria Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.
6. That the owner shall sign and have recorded, with the Santa Barbara County Recorder, an agreement to waive all rights of protest to any future assessment districts prior to issuance of building permits. Said agreement is available at the Community Development Department.
7. That the conditions of this approval supercede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.

8. That all buildings, roadways, parking areas, landscaping and other features shall be located substantially as shown on the approved plans.
9. That the applicant shall comply with the attached Negative Declaration and that all mitigation measures are incorporated herein as conditions of approval.
10. That the applicant agrees to pay any and all City costs, permits, attorney's fees, engineering fees, license fees and taxes arising out of or concerning the proposed project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. In addition, the applicant agrees to indemnify the City for any and all legal costs in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.
11. That the standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.
12. Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.
13. That any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
14. That unless the use is inaugurated not later than twelve (12) months after the date of approval, the approval shall automatically expire on that date. The City Manager and/or Community Development Director may grant one six-month extension of time if:
 - a. there have been no changes in the proposed site plans and;
 - b. there have been no changes in the adjacent areas and;
 - c. the permittee had diligently worked toward the inauguration of the use.
15. That no building permits shall be issued for this project prior to meeting all required terms and conditions listed herein.

Design Review - General:

16. That prior to the issuance of any building permits, the applicant shall return to the Architectural Review Board for a review and approval of final plans to include signing, lighting, colors and exterior materials, landscaping and irrigation.

Design Review - Landscape:

17. That prior to the issuance of any building permits, the applicant shall post a landscape maintenance bond equaling \$500.00, or \$0.15 per square foot, whichever is greater and;

- a. The landscaping shall be maintained in good condition for the life of the project;
- b. Landscaping shall be drought resistant, low water-use species;
- c. Where feasible, locally adapted native plants shall be required;
- d. Prior to occupancy all landscaping and planting shall be installed.
- e. All landscaped areas located within parking areas shall be protected by a raised six-inch curb;
- f. Any curb carrying water along its face shall be curb and gutter;
- g. Specimen trees shall be appropriate to the site and shall be maintained in good condition so as to attain a full and healthy mature appearance.
- h. The removal, topping of or otherwise interference with the ability of the specimen tree to continue its growth and attain full maturity shall be a violation of these conditions of approval and shall require replacement of the damaged tree.

Design Review - Screening:

- 18. That screened trash enclosure(s) shall be required and plans shall be subject to the review and approval of the Architectural Review Board prior to the issuance of any building permits.
- 19. That all mechanical equipment, including roof mounted, (i.e., air conditioning fans, blowers, vent stacks, etc.) shall be visually screened from all views. Screening shall be compatible with the style and color of the main structure and shall be reviewed by the Architectural Review Board.
- 20. No outside storage of any materials shall be permitted.

Design Review - Lighting:

- 21. That exterior lighting for the site shall be low level and directed in such a manner that direct lighting or glare will effect neither adjacent properties nor public streets or walkways.

ENGINEERING

General:

- 22. The applicant shall submit grading and street improvement plans prepared by a California Registered Civil Engineer. Said plans shall include but not be limited to street, utility, and storm drain improvements and shall be submitted to the Community Development Department for review and approval by the City Engineer prior to issuance of building permits.
- 23. An engineering cost estimate shall be submitted with the grading and improvement plans. Each page of the cost estimate shall be signed and stamped by the applicant's engineer.
- 24. Using a rain frequency of a twenty-five year storm, hydrology/hydraulic calculations shall be submitted by the applicant's engineer to the Community Development Department for review, using the Santa Barbara County Engineering Design Standards. Storm drainage run-off shall be conducted to the public street in a safe and adequate manner per Santa Barbara County Standards. Easements required for drainage shall be described and shown on the improvement plans and Record of Survey.

25. Prior to issuance of building permits, faithful performance and labor and material bonds (each to be 100% of the City Engineer's estimate) shall be filed with the City to cover all public improvements and any on-site grading and retaining walls. A cash deposit in the amount of 10% of the bond amount shall be submitted with each bond.

ENGINEERING

Utilities:

26. That all service lateral utilities shall be installed underground, and:
- a. That all underground utility (gas, electrical, telephone, cable TV, water, sewer, storm drainage, etc.) service installations and/or enlargements are to be completed prior to any paving required for this project.
 - b. That all costs for the relocation and undergrounding of existing transmission lines and service laterals shall be borne by the applicant.
 - c. That all utilities shall be provided to all units prior to occupancy.
 - d. That three 22,000 lumen HPSV lamps on Marblite poles shall be installed along the project frontage on Via Real. The exact location of the street lights shall be determined by the City Engineer during plan check of the street improvement plans.
27. That all utility easements be described adequately on submitted plans.
28. That a separate electric meter shall be installed for each building unless a "gang" meter approved by the S.C.E. is installed.

ENGINEERING

Street Improvements:

29. The project frontage along the westerly boundary of the site shall be improved in accordance with the requirements of the City Engineer and with the standards, specifications and policies of the City of Carpinteria which shall include:
- a. That the existing private drive along the westerly boundary extending the length of the project site be granted to the City in the form of an irrevocable offer of dedication. The total dedicated width shall be 47.5 feet. The design shall include a 4.5 foot wide sidewalk on the easterly side with 40 feet from curb face to curb face and a 2.5 foot planter strip with a 6" curb on the westerly side.
 - b. Monolithic 6" curb, 18" gutter, 4.5' wide sidewalk along the easterly boundary of the street, 2 handicapped ramps, and 2 commercial driveway approaches (8" thick) shall be constructed per the Santa Barbara County Standard Details at the locations shown on the improvement plans.
 - c. Prior to commencement of any work in the public right-of-way, a street construction and/or excavation permit shall be obtained from the City Engineer.
30. Asphalt street areas, curbs, gutters, and sidewalks shall transition into existing public improvements subject to review of the City Engineer.

31. No persons shall occupy any structure until all improvements have been approved by the City Engineer and, on-site construction has received final approval from the Building Inspector and a Certificate of Occupancy has been obtained from the Community Development Department.
32. That the required street lights and fire hydrant shall be installed outside of the sidewalk in accordance with City standards and practices approved by the City Engineer and the Carpinteria-Summerland Fire District.

ENGINEERING

Grading:

33. That prior to the issuance of building permits, two copies of a soils report, prepared by a California Registered Geologist or Soils Engineer, shall be submitted to the Community Development Department addressing the soil quality for grading, excavation, slope and foundation construction.
34. That prior to performing any grading, the developer shall obtain a Grading Permit from the City Engineer, in accordance with Chapter 8.36 of the Carpinteria Municipal Code, and pay the required grading permit deposits/fees.

ENGINEERING

Record Drawings:

35. That at the time of final acceptance of improvements, the applicant shall submit a set of "Record Drawings" of all public improvements. The "Record Drawings" shall be the original tracings or permanent mylars of a quality acceptable to the City Engineer.
36. That prior to occupancy, a Notice of Completion for all public improvements shall be accepted by the City Council. This Notice of Completion shall be filed with the County Recorder.
37. That prior to occupancy, a Lot Line Adjustment Record of Survey shall be submitted to the Community Development Department for review and approval by the City Engineer.

CARPINTERIA SANITARY DISTRICT

38. That the project shall be subject to the rules, regulations, and standards of the Carpinteria Sanitary District.

CARPINTERIA COUNTY WATER DISTRICT

39. That the project shall be subject to the rules, regulations and construction standards of the Carpinteria County Water District (CCWD).
40. That prior to construction of proposed storage building "Q", the applicant shall notify Underground Service Alert (USA) so that the existing Cachuma Project easement and main can be staked and protected.

CARPINTERIA-SUMMERLAND FIRE DISTRICT

41. That the project shall be subject to the rules, regulations and installation standards of the Carpinteria-Summerland Fire District.
42. That this project shall conform to the Carpinteria Municipal Code for the installation of fire sprinkler systems and their alarms.
43. That a fire mitigation fee shall be assessed to this project in accordance with CMC Chapter 8.26.

44. That the applicant shall install a public fire hydrant at the main entrance driveway on the east side, near the sidewalk.

CARPINTERIA/SUMMERLAND UNIFIED SCHOOL DISTRICT

45. That the project shall be subject to the standards and fees of the Carpinteria/Summerland Unified School District.
46. The applicant shall sign these Final Conditions of Approval within 10 working days of receipt.

Approved by the Planning Commission on February 5, 1990

Kate Severn
Secretary of Planning Commission

April 10, 1990
Date

**I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT**

David E. Eldred
Applicant

Feb 15, 1990
Date

SUGGESTED CONDITIONS OF APPROVAL

DEVELOPMENT PLAN No. D-8-756

Planning Commission Meeting of January 19, 1976

Planning Department

1. That all buildings, roadways, parking areas, landscaping and other features shall be located substantially as shown on the development plans, Exhibits A, B and C.
2. That unless the use is inaugurated not later than twelve (12) months after the date of approval, the approval shall automatically expire on that date. The Planning Director may, in his discretion, grant one additional six-month extension for use inauguration if there have been no changes in the proposed plot plans, if there have been no changes in the adjacent areas, and if permittee has diligently worked toward inauguration of use.
3. That any minor changes may be approved by the Planning Director, but any major changes will require the filing of a modification application to be considered by the Planning Department.
4. That all requirements of any law or agency of the State, City of Carpinteria and any other governmental entity shall be met.
5. That signs are subject to the City of Carpinteria Municipal Code.
6. That all roof-mounted mechanical equipment (air conditioning, fans, blowers, vent stacks, etc.) shall be screened. The screening device shall be compatible with the architecture and color of the main structure.
7. The project may be developed in phases (Phase I Bldgs A-D, Phase II Bldgs. E-H and Phase III Bldgs. J-M), or all may be developed concurrently. If a phased construction program is pursued the developer may be permitted to install temporary landscaping and improvement between lots. If Phase I is the only phase completed within 12 months of the original date of approval, the temporary planting strip shall be replaced with permanent landscaping and fencing along the property lines.
8. That 6" curbing shall be installed around all landscaped and parking areas.
9. That all parking areas shall be delineated. Selected parking areas located in front of the structure need not be improved at this time. The unimproved areas shall be landscaped. The planning department shall determine when the unimproved parking areas shall be improved.

10. No rental space or any portion thereof may be used for commercial storage nor for the repairing or working on of any motor vehicle, boat or airplane. In addition no space may be used for the operation of any commercial enterprise or the storage of any flammable or explosive material. This development is to be used for household or related storage of personal items by an individual or family.
11. That with the development of Phase III, a masonry wall be constructed along the west boundary in accordance with Section 75.06-4 of the Design Manufacturing zone, Carpinteria Zoning Ordinance.
12. That the open storage area of Phase I shall be paved if construction of Phase II has not been commenced within one year of the completion of Phase I. If Phase II is developed the open storage area shall be paved upon completion.

Public Works Department

1. That Via Real shall be improved to include concrete curb, gutter, sidewalk and paving in accordance with the specifications of the Department of Public Works. Permittee shall submit improvement plans prepared by a registered civil engineer, shall enter into an agreement with the City to complete the improvements and shall post a bond in an amount to be determined by the Department of Public Works guaranteeing the construction of the improvements. All sidewalks shall be located adjacent to curbs and transition to join any existing sidewalks.
2. That prior to construction, grading and drainage plans and hydraulic calculations shall be submitted to the Department of Public Works for approval. Drainage plans and calculations shall indicate the following conditions before and after development: quantities of water, rates of flow, major water courses, drainage areas and patterns, diversions, collection systems and drainage structures.
3. That access rights to Via Real shall be dedicated to the City of Carpinteria.
4. That a private road along the west boundary of the property shall be improved within a 47 foot right-of-way with (40) feet of improvements, to a point, a minimum of 120 feet north of the Via Real right-of-way to serve Phase I of the project.
5. That there shall be no ingress to or egress from the property except as shown on the plot plans submitted.
6. That prior to construction, a zone clearance shall be obtained from the Planning Department and a building permit shall be obtained from the Department of Building and Safety.

7. That no parking space shall be located within ten (10) feet of a vehicular entrance to the property; that all areas shown as parking areas shall be surfaced with asphaltic concrete and shall be suitably marked, outlining individual parking spaces and traffic flow.
8. Prior to the issuance of a building permit, three (3) sets of landscaping plans and maintenance program shall be submitted to the Planning Director for approval. A maintenance bond in the amount of \$5,000.00 shall be submitted to the City as companion to the landscaping plans. At the expiration of three (3) years from date of approval, the balance of the maintenance bond shall be returned to the applicant. Prior to occupancy, all landscaping and planting shall be accomplished.
9. That street trees shall be planted at the time of development and maintained as required by the Carpinteria Street Tree Policy.
10. That all utilities shall be placed underground.

Carpinteria County Water District

1. That the project (D-8-756) shall be subject to the rules, regulations, construction standards and requirements of the Carpinteria County Water District.

Carpinteria-Summerland Fire District

1. That the project (D-8-756) shall be subject to the rules, regulations, installation standards and requirements of the Carpinteria-Summerland Fire District.

Carpinteria Sanitary District

1. That the project (D-8-756) shall be subject to the rules, regulations, installation standards and requirements of the Carpinteria Sanitary District.

Conditions of Approval for Lot Split No. 2-74

Planning Commission Meeting September 16, 1974

Public Works Department

1. That Via Real shall be improved to include concrete curb, gutter, sidewalk and paving in accordance with the specifications of the Department of Public Works. Permittee shall submit improvement plans prepared by a registered civil engineer, shall enter into an agreement with the City to complete the improvements and shall post a bond in an amount to be determined by the Department of Public Works guaranteeing the construction of the improvements. All sidewalks shall be located adjacent to curbs and transition to join any existing sidewalks.
2. That prior to construction, grading and drainage plans and hydraulic calculations shall be submitted to the Department of Public Works for approval. Drainage plans and calculations shall indicate the following conditions before and after development: quantities of water, rates of flow, major water courses, drainage areas and patterns, diversions, collection systems and drainage structures.
3. That access rights of Parcels A and B to Via Real shall be dedicated to the City of Carpinteria prior to recording of the parcel map.
4. That the access easement shall be improved within a 47-foot right-of-way with forty (40) feet of improvements.

Carpinteria County Water District

1. That the project (Lot Split No. 2-74) shall be subject to the rules, regulations and construction standards of the Carpinteria County Water District.

Carpinteria-Summerland Fire Department

1. That the project (Lot Split No. 2-74) shall be subject to the rules, regulations and installation standards of the Carpinteria-Summerland Fire Department.

Carpinteria Sanitary District

1. That the project (Lot Split No. 2-74) shall be subject to the rules, regulations and construction standards of the Carpinteria Sanitary District.

Exhibit 2
Notice of Exemption

The Storage Place Modular Buildings Addition
6250 Via Real

Planning Commission Hearing
March 7, 2022

Notice of Exemption**Appendix E**

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara

105 East Anapamu Street

Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria

5775 Carpinteria Avenue

Carpinteria, CA 93013

(Address)

Project Title: The Storage Place, Modular Buildings Addition

Project Applicant: Zachary Ulrick for David Eldred, Carpinteria Storage Place, LP

Project Location - Specific:

6250 Via Real (APNs 001-180-064, -065, -066, -067)

Project Location - City: Carpinteria

Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

Siting and use of fifteen 20'x10' modular storage buildings in an area previously designated for leasable parking spaces. The combined square footage of the proposed structures would total 3,000 square feet. The structures would add new leasable storage units to meet an increase in demand for storage space.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: David Eldred

Exempt Status: **(check one):**

☐ Ministerial (Sec. 21080(b)(1); 15268);

☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));

☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));

☒ Categorical Exemption. State type and section number: §15301 and §15303

☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

The project includes an addition to existing facilities, all public services are available, the area is not environmentally sensitive, and the new construction of commercial structures would not involve hazardous substances. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality and the site can be adequately served by all required utilities and public services.

Lead Agency

Contact Person: Marysol Smith, Assoc. Planner Area Code/Telephone/Extension: (805) 755-4451

If filed by applicant:

1. Attach certified document of exemption finding.

2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: _____ Date: _____ Title: Associate Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

ACTION MINUTES

The meeting was called to order at 5:31 p.m. by Chair Stein

ROLL CALL

Boardmembers present: Brad Stein, Chair
Jim Reginato
Jason Rodriguez, Vice Chair
Richard Johnson
Amy Blakemore (arrived at 5:41 p.m.)

Boardmembers absent:

OTHERS PRESENT: 6 members of the public were in attendance.

PUBLIC COMMENT:

- Bob Franco addressed the ARB over concerns about sea level rise impacts and the need to make Bluffs 0 and Bluffs 1 available as future receiver sites for housing displaced by future sea level rise impacts in a managed retreat scenario. He shared a news article from the Associated Press about the challenges faced by a Welsh village threatened by sea level rise. He noted Bluffs 0 may not be viable right away due to decommissioning work and any needed contamination clean-up; with respect to the Bluffs 1 site, he noted that the recently submitted concept application for "The Farm" development would preclude use of the site for residential development, if approved by the City.

PROJECT REVIEW

- 1) Project: Siegel Residence Addition, 21-2106-DP/CDP
Address: 4755 Fourth Street
Applicant: Russell James Werth, agent for Timothy and Anissa Siegel
Planner: Syndi Souter

Request of Russell James Werth, agent for Timothy and Anissa Siegel, to consider Project 21-2106-DP/CDP for preliminary review of a proposal to construct a 535 square-foot two-story master suite and bedroom addition at the rear of the existing 868 square-foot residence. An existing 62 square-foot laundry room would be demolished as part of the project. The maximum building height would increase from 17-feet to 26-feet at the highest point. The property is a 3,164 square-foot parcel zoned Planned Residential Development (PRD-20), and shown as APN 003-435-007, addressed as 4755 Fourth Street.

No ex parte communications were disclosed.

Staff presented an overview of the proposed project and described to the Board that the existing residence is surrounded on three sides by two-story structures. Staff further explained that the existing front hedge and fencing were not permitted, and the existing residence is legal non-conforming with respect to the front and western side yard setbacks. Staff clarified that the proposed addition complies with the currently required setbacks. Boardmember Johnson inquired about the level of review for the project, and staff responded that the project was on the agenda for preliminary review with recommendations to the Planning Commission.

Russell Werth, designer, shared that they would be happy to remove the hedge and chain-link fence, and understood about eliminating the proposed bathroom window that was too close to the property line to meet building code requirements. Boardmember Johnson asked about the reason for the high 10-foot plate heights in the kitchen, and Mr. Werth responded at they wanted to create more space within a small house.

Tim Siegel, applicant, added that the purpose of the gate was to keep his dogs in their yard.

Public Comment: None

Boardmember Discussion:

Boardmember Rodriguez began the discussion by thanking the designer and applicant for their willingness to remove the hedge and fence. He stated that anything would be better than what is there now, and suggested white picket fencing similar to the surrounding homes. He went on to suggest adding shutters to the windows on all sides of the residence and addition to match the front windows, and to add a window in the stairwell to break up the west elevation. He commented that overall, he liked the addition.

Boardmember Reginato agreed with Boardmember Rodriguez's comments, and added that the proposed second-story window on the east elevation should be centered under the gable with shutters. He supported the removal of the existing fence and hedge, and supported a replacement with an upgraded fence and landscaping. He shared his support for approval of the project with his comments.

Boardmember Blakemore agreed with the other Boardmembers' comments about the hedge, fence, and shutters.

Boardmember Johnson liked Boardmember Reginato's idea for symmetry by centering the proposed second-story window on the east elevation, and supported the idea of adding more shutters. He pointed out the roof plan did not include the rear gable as shown on the elevations. He suggested lowering the plate height in the kitchen by 1-foot in order to lower the overall height of the addition. He stated that the massing is compatible and that the proposed colors and materials to match the existing are acceptable.

Boardmember Stein stated that it is a cute little house and that he agreed with the other Boardmembers' comments about moving the second-story window and adding the shutters. He shared that he was glad to hear from the applicant about the fence and hedge being removed.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Rodriguez, to recommend preliminary approval to the Planning Commission with their comments attached.

VOTE: 5-0

- 2) Project: Sobesky-Mathers Residence Exterior Alterations, 21-2127-CDP/ARB
Address: 5353 Eighth Street
Applicant: Eva Sobesky, EIS Studio, agent for Eva Sobesky and Todd Mathers
Planner: Syndi Souter

Request of Eva Sobesky, EIS Studio, agent for Eva Sobesky and Todd Mathers, to consider Project 21-2127-CDP/ARB for preliminary and final review of a proposal for exterior improvements and alterations to an existing two-story single-family residence. The proposed alterations include the construction of a new 204 square-foot front porch trellis; construction of a new 114 square-foot second-floor balcony; installation of new doors, windows, and skylights; a re-roof; and refinishing the exterior of the residence and site walls with smooth stucco. The property is a 6,250 square-foot parcel zoned Planned Residential Development (PRD-20), and shown as APN 003-331-002, addressed as 5353 Eighth Street.

Boardmember Reginato recused himself from participation due to a potential conflict of interest. He owns real property within 500 feet of the project location.

Under disclosure of ex parte communications, Boardmembers Stein and Rodriguez both disclosed that they had discussed privacy concerns with the westerly neighbor, Gary Campopiano.

Staff presented the proposed project and explained that the proposed exterior alterations are Phase 2 of a two-part remodel project. Phase 1 of the project included interior alterations, for which a building permit had been issued. Staff shared pictures of the existing residence so the Board could see the changes that the proposed improvements would make to the aesthetics of the residence. Staff highlighted that the purpose of the project was to allow more sunlight into the residence and asked the Board to carefully review the potential privacy impacts associated with the proposed new second-story doors, windows, and balcony. During the presentation, several Boardmembers asked questions about the dimensions and location of the proposed balcony.

Boardmember Johnson asked where the neighbor who submitted a public comment letter was located in relation to the site. A discussion ensued regarding the locations of the site perimeter walls, wall heights, and materials. Boardmember Rodriguez asked about the landscaping along the western property line, and the photographs presented by the neighbor. He asked for clarification on the staff report regarding concerns about privacy impacts from the balcony, and staff responded that the staff report was written before the public comment letter and accompanying photographs were received, and that staff would like the Board's feedback on privacy impacts from the proposed balcony. Boardmember Johnson confirmed with staff that the roof and exterior walls of the residence would not be changing. Boardmember Stein asked for clarification of the purpose of the two phases for the project, and staff responded that the permit for the Phase 1 interior work had already been issued to get work started while Phase 2 went through ARB review for the exterior alterations.

The applicants, Eva Sobesky and Todd Mathers, addressed the Board. Ms. Sobesky explained to the Board that the existing residence had many much-needed repairs and leaks, and building code issues. The house is very dark and cold, and she wanted to create a warm, contemporary conventional residence and keep the landscaping. She was willing to plant additional landscaping to provide screening with the neighbor. The existing wall was proposed to remain. She felt that the balcony was justified and would allow fresh air and sunshine into the house. Mr. Mathers suggested that the existing bamboo could be extended along the property line for screening and privacy. He shared that with the Phase 1 work, they discovered the whole house needs to be replumbed and rewired, with numerous leaks and mold to be repaired.

Boardmember Stein asked what they were going to do with the site walls with bumps, and Ms. Sobesky responded that they would be removed and the wall re-plastered. Boardmember Johnson

asked about the columns for the balcony supports, and she responded that they were rotten and would need to be replaced. He requested a detail for the replacement posts, and asked about the proposed window materials. Ms. Sobesky responded that the windows would be aluminum in a light bronze color. Ms. Sobesky asked about the maximum fence/wall heights and suggested they could add some large plants for a fast-growing screen.

Public Comment:

Gary Campopiano spoke at the meeting about his concerns with the proposed balcony with doors and windows since it would look directly into two of his bedrooms and a bathroom. He shared that some Macadamia trees have been planted on his property, but they are not all doing well. He stressed the need for better screening with additional landscaping, and that the avocado tree on the project site was very old and not very lush anymore. He shared his concern about eye problems from the dust that could be generated by the removal of the “hump and bump” stucco finish, and requested dust mitigation. He clarified that the wall between the properties is at least 5’-8”, and that it drops down lower at the front by Eighth Street. The Board asked where his bedroom and bathroom windows were located relative to the proposed balcony, and he showed the Board the locations on the aerial photo. He also submitted a public comment letter ahead of the meeting citing the same concerns. A copy of the letter is on file with the Community Development Department.

Boardmember Discussion:

Boardmember Stein started the discussion talking about the age of the avocado tree. Ms. Sobesky shared that she has had an arborist come out to look at the tree, and it is definitely at least 70 years old and nearing the end of its life and will likely need to be removed soon.

Mr. Bobroff brought the proposed windows on the eastern second-story elevation to the Board's attention for additional privacy considerations to include in their discussion. Staff revisited the eastern elevation in the presentation and showed photographs to the Board. The Board discussed the location of the proposed windows with the existing landscaping for screening, and determined that the windows on the east side would not cause privacy impacts to the two-story structure next door.

Boardmembers Johnson and Blakemore questioned why the header for the northern window on the east elevation was a foot lower than the other two proposed windows, and made the suggestion that the header should be raised to match the other windows.

Boardmember Stein commented that the exterior lights proposed for the deck would spill down to the neighboring property, and that the lenses should be recessed more and a lower wattage.

Bandmember Johnson recommended additional landscaping along the western property line, other than Podocarpus, to provide screening and privacy. He suggested a solid wall around the base of the balcony to increase privacy for both properties would be beneficial. He was glad to see that the bumps in the stucco will be going away and the new upgrades to the building. He requested construction details on the deck and trellis including materials and finishes.

Boardmember Rodriguez agreed that screening is important for privacy with plants or a taller wall. He felt that the location of the balcony was acceptable, but that it was accessed by too many doors. He suggested that the balcony should be accessed only from the master bedroom and that the other doors could be replaced with smaller windows. He supported the removal of the “hump and bump” stucco. He liked the new front trellis. He referenced Design Guideline #26 for the Beach Neighborhood,

which applies to second floor decks and windows for privacy, and said the intention should be the same for this project. He said he was happy to see the that applicant was willing to install screening for privacy between the properties.

Boardmember Blakemore agreed with the other Boardmember's comments. She suggested bamboo for screening, and was not against Podocarpus because it is also very fast growing. She thought fewer doors and smaller windows on the deck would be a good idea, unless a solid wall enclosed the deck. She asked about the layout of the doors and windows on the front elevation, and thought there was too much glass. Ms. Sobesky clarified that the new front door would be more solid to eliminate that feeling.

Boardmember Stein stated that he was big on privacy, and that the deck should have solid walls instead of the wire railing. He agreed with Boardmember Rodriguez about the doors accessing the deck and that it should only be accessible from the master bedroom. He agreed that the avocado tree would not be on the site for much longer. He requested that the project be conditioned with a provision for the landscaping to be installed and maintained for the life of the project. He reiterated that the exterior lights should be dimmer and not spill light out beyond the deck. He suggested that the stucco should be misted during demolition to reduce the amount of dust.

Boardmember Johnson added that a 6-foot-wide deck would not likely become a party deck given the small size.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Rodriguez, to recommend preliminary approval to the Community Development Director with their comments attached.

VOTE: 4-0 (Reginato recused)

OTHER BUSINESS: None

CONSENT CALENDAR:

- 3) Action Minutes of the Architectural Review Board Meeting of November 30, 2021

ACTION: Motion by Boardmember Rodriguez, seconded by Boardmember Johnson, to approve the Minutes as presented.

VOTE: 4-0-1 (Stein abstain)

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

- 4) Sanctuary Beach Deck Revision: Staff presented proposed plans for the addition of a small second floor deck for the street-facing front unit. Staff shared the original approved plans and explained that planning had no objections to the request. The Boardmembers were in unanimous agreement that the proposed deck revision was an improvement and could be supported as presented.
- 5) Beach Neighborhood Street Improvement Colors: Boardmember Reginato inquired about the reasoning behind the variety of concrete colors being used in the Beach Neighborhood street

improvements. Staff agreed to forward this inquiry along to the Public Works Department for more information.

ADJOURNMENT

Chair Stein adjourned the meeting at 7:30 p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, January 13, 2022. All Boardmembers present indicated they expected to be present.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board

March

Sun	Monday	Tuesday	Wednesday	Thursday	Friday	Sat
	LR Lobby Meeting Room SR Side Meeting Room CMR Council Meeting Room CC Council Chamber ZM Zoom Meeting PW Public works yard TBD To be determined	1 9AM Tech Task Force Meeting CC 10AM Supervisors Meeting CC	2 9AM City Manager Conf. Call ZM 9AM City Clerk staff meeting LR 2PM Public Works Staff Mtng, CC 5:30 Fire District Board CC-TV	3 8AM DTBAB Meeting SR 1PM Parks Dep. Mtg. TBD 2PM All CDD Staff Mtg. CC 5:30PM Architectural Review CC	4	5
6	7	8 10AM Supervisors Meeting CC 2:30PM Planning Staff Mtng. CMR 4:30PM School District closed sess. SR 5:30PM School District Board CC-TV	9 9AM City Manager Conf. Call ZM 2PM Public Works Staff Mtng, CC 5:30PM Water Dist. Mtg. CC-TV	10 1PM Parks Dep. Mtg. TBD 2:30PM Code Compliance Mtg. LR	11	12 9AM/1PM ABOP PW Yard 9AM Carp Beautiful
13	14	15 10AM Supervisors Meeting CC 2:30PM Planning Staff Mtng. CMR 5:30PM City Council Mtg. CC-TV	16 9AM City Clerk staff meeting LR 9AM City Manager Conf. Call ZM 2PM Public Works Staff Mtng, CC	17 1PM Parks Dep. Mtg. TBD 2:30PM Code Compliance Mtg. LR 5:30PM Architectural Review CC	18	19
20	21	22 10AM Supervisors Meeting CC 2:30PM Planning Staff Mtng. CMR	23 9AM City Manager Conf. Call ZM 2PM Public Works Staff Mtng, CC 5:30PM Water Dist. Mtg. CC-TV	24 1PM Parks Dep. Mtg. TBD 2:30PM Code Compliance Mtg LR 3:30PM Inter Dep. Coordination ZM 5:30PM Tree Advisory Board CC	25	26 9AM-1PM ABOP PW-Yard
27	28	29	30 9AM City Clerk staff meeting LR 9AM City Manager Conf. Call ZM	31 1PM Parks Dep. Mtg. TBD 2:30PM Code Compliance Mtg. LR		
	5:30PM City Council Mtg. CC-TV					

City of Carpinteria
Planning Activity Summary

February 2022

- | | | | |
|-----------------------------|--------------------|---------------------------|------------------------|
| 1. In 30-day review process | 5. Schedule for PC | 9. Schedule for final ARB | 13. BP issued |
| 2. Incomplete | 6. PC approved | 10. Final ARB Approval | 14. Under construction |
| 3. Schedule for ARB | 7. Schedule for CC | 11. Schedule for CCC | 15. C of O issued |
| 4. Director's Decision | 8. CC Approved | 12. In plan check | |

Last Edited 02/28/2022

Project #	Owner / Applicant	Address	Street	Project Description	Activity	Planner	Status	Code Violation
22-2143-DPR	Bega	1000	Bega Way	Energy storage system	Submitted 2/7/2022. Under review.	Marysol	1	
22-2141-CON	Beth Scerni	4610	Fourth Street	New two-story single-family residence, raised deck and detached garage.	Submitted 1/24/2022. Under review.	Syndi	1	
22-2139	Patrick O'Connor	N/A		Building standards appeal for permits issued for 5387 Eighth Street	Submitted 1/7/2022. Under review. Scheduled for the City's Local Appeals Board 2/28/2022.	Steve	1	
21-2128-DP/CDP	Chevron	5675	Carpinteria Avenue	Decommissioning and Remediation of the Carpinteria Oil and Gas Processing Facilities	Submitted 10/25/2021. Labels Submitted 11/10/21.	Steve/Luis	1	
21-2126-FENCE/ARB	Jaime & Ericka Lopez	5458	Granada Way	As-built walls in front and side yards	Submitted 9/27/2021. Incomplete 10/20/2021. Resubmittal 2/8/2022.	Syndi	1	Yes
21-2112	City of Carpinteria		City wide	Downtown Design Overlay Program	In progress. Draft in preparation. DRC Meeting 4/7	Rita	1	
21-2111	City of Carpinteria		City wide	Density Bonus Program	In progress. Public Draft in preparation. Parked 5/2 PC Hearing	Rita	1	
21-2083-DP/CDP/ARB	Jerry & Lisa Zins	4905	Eighth Street	New duplex	Submitted 1/13/2021. Incomplete 2/12/2021. Owners have decided to do condos instead of apts. Resubmitted 9/17/2021. 2nd Incomplete 10/11/2021. Revised duplex project submitted 2/4/2022.	Syndi	1	
22-2142-SIGN	John Crispis for Albertsons	1018	Casitas Pass Road	New illuminated wall sign and parking lot signs	Submitted 1/20/2022. Incomplete.	Marysol	2	
22-2140-CUP	Carpinteria Valley Water District	5300	El Carro (El Carro Park)	New groundwater wells	Submitted 1/18/2022. Incomplete 2/9/22.	Nick	2	
21-2138-DPR/CDP	Santa Cruz Island Foundation	4994	Carpinteria Ave	Exterior site & building improvements for new Channel Islands Center	Submitted 12/22/21. Routed 1/7/22. Under review. Incomplete 1/21/22.	Nick	2	
21-2131-DP/CDP/ARB	Tim Finnigan	4775	Seventh Street	New SFD with 4-car garage below	Submitted 11/8/2021. Incomplete 12/8/2021.	Syndi	2	
21-2116-ARB	Motel 6	5550	Carpinteria Avenue	Lighting and landscaping	Submitted 7/14/2021. Incomplete 8/12/2021. Resubmitted 11/10/2021. Incomplete 12/9/2021. Resubmittal 12/20/2021. Incomplete 1/19/2022. Pending Resubmittal. Schedule for ARB.	Marysol	2	Yes
21-2099-CUP	Family Baptist Church	5026	Foothill Road	New portable classrooms for elementary school	Submitted 3/15/2021. Incomplete 4/13/2021. Resubmitted 5/26/2021. Incomplete 6/24/2021. Prelim ARB 6/17/2021, continued to 7/1/2021 with comments. Project on hold per applicants.	Marysol	2	
20-2073-SIGN	Ramiro Vega	830	Maple Avenue	New illuminated sign (as-built)	Submitted 11/6/2020. Incomplete 12/3/2020. Pending resubmittal.	Marysol	2	yes
20-2067-DP/CUP/CDP	Jens Amlie	845	Concha Loma Drive	460 sf master bedroom addition to (e) SFD	Submitted 10/1/2020. Incomplete 10/30/2020. Awaiting resubmittal.	Syndi	2	

20-2059-DP/CDP	Barton Myers	6175	Carpinteria Ave	Construct (N) 2-story office building.	Submitted 7/30/20. Incomplete 8/28/20. Resubmitted 11/25/20. Incomplete 12/24/20. Property to be listed for sale 1/31/22.	Nick	2	
20-2057-DP/CUP/CDP	Martha Marquez	4684	Seventh Street	Construct a 258 SF addition and new entry porch to Unit A on the existing duplex.	Submitted 7/22/2020. Incomplete 8/21/2020. Resubmittal 3/23/2021. Incomplete 4/21/2021. Awaiting resubmittal.	Syndi	2	
20-2047-DP/CDP	Chevron	5663	Carpinteria Ave	Seal rookery overlook improvements	Submitted 3/26/2020. Under review. Incomplete 4/23/2020. Awaiting resubmittal.	Syndi	2	
20-2045-LM	Rafael Hernandez	4950 & 4954	Fifth Street	Voluntary lot merger	Submitted 3/11/2020. Sent to City Surveyor for review 3/23/2020. 1st corrections received & sent to applicant 4/9/2020.	Syndi	2	
20-2033-SIGN	Yummy Yogurt	1005	Casitas Pass Road	New sign	Submitted 2/7/2020. Incomplete 3/6/2020. Resubmitted 4/10/2020. Under review. Pending resubmittal.	Marysol	2	Yes
20-2030-CUP	Procore	6395 B&C	Cindy Lane	Convert 2 warehouse buildings to a business training center. Total square footage is 60,522 sf, and includes a new kitchen and mezzanine	Submitted 1/8/2020. Incomplete 2/7/2020. Awaiting resubmittal.	Syndi	2	
19-2018-FENCE	Ernesto Verburgt	4516	El Carro Lane	7 foot side yard fence (resulting from grade difference)	Submitted 10/25/2019. Incomplete. Partial resubmittal 12/10/2019. Building Permit in plan check. Awaiting solution for last incompleteness item.	Marysol	2	Yes
19-2008-ORD/LCPA	City of Carpinteria			Amendment(s) to the City's LCPA - (ADUs) to implement State requirements	Admin Drafts submitted to CCC and HCD. Awaiting comments. Target Spring Planning Commission and City Council adoption hearings	Steve/Rita	2	
18-1954-DPR/CDP	Winfred Van Wingerden	4180	Via Real	New gazebo, paint colors, and landscaping	Submitted 12/27/18. Incomplete 1/25/19. Resubmitted 2/11/19; under review. Revised scope; complete 3/7/19. Revised scope, resubmitted materials 4/19/19. Roy H. advised applicant new gazebo triggers ADA issues.	Syndi	2	Yes
18-1916-CUP/CDP	Crown Castle	1222	Cravens Lane	Wireless Telecommunications Facility	Submitted 4/19/18. Incomplete 5/17/18. Resubmitted 6/25/18. Incomplete 7/23/18.	Nick	2	
18-1915-CUP/CDP	Crown Castle	5315	Foothill Road	Wireless Telecommunications Facility	Submitted 4/19/18. Incomplete 5/17/18. Resubmitted 6/25/18. Incomplete 7/23/18.	Nick	2	
15-1783-SIGN/FENCE	Arbor Trailer Park	4677	Carpinteria Avenue (Ninth Street)	New frontage fences and signage	Submitted 08/05/15. Need survey from PW. Incomplete 08/17/15. See Matt M for PW status.	Marysol	2	

21-2108-ARB	William and Theresa Wood	4916-4950	Carpinteria Avenue	Exterior improvements, staircase replacement, new driveway gate,	Submitted 5/5/2021. Incomplete 6/4/2021. Resubmittal under review 8/27/2021. Complete 9/16/2021. Prelim Continued ARB 10/14/2021. Pending resubmittal.	Marysol	3	
21-2107-CUP/CDP/ARB	City of Carpinteria/S&S Seeds	6155	Carpinteria Avenue	Coastal Vista Trail Segment	Submitted 4/28/2021. Incomplete 5/27/2021. Resubmitted 12/28/2021. Complete 1/13/2022. Needs ARB review.	Syndi	3	
21-2100-FENCE	Bruce Fincher	4759	Sandyland Rd	Rolling driveway security gate	Submitted 4/5/2021. Incomplete 4/29/2021. Complete 6/2/2021. Prelim ARB 6/17/2021. Under review with Public Works. Redesign and resubmittal under review.	Marysol	3	
19-2006-CON	Richard Smith	5510	Callejon Dr	Remodel (E) SFD, construct 2nd story addition, & addition of ADU	Submitted 9/6/19. ARB concept review 11/21/19. Revised ARB concept review 8/27/20.	Nick	3	
19-1986-LCPA	City of Carpinteria		Citywide	Development Design and Housing Regulation Changes	Initiated by the City Council on 5/28/19. Ad-Hoc Committee inaugural meeting 5/9/19. Last Meeting 6/10/2021.	Steve/Rita	3	
18-1942-DP/CDP	Carp Unified School Dist.	5201	Eighth Street	Replace portables with Modulares	Submitted 10/15/2018. Incomplete 11/14/18. Resubmitted 3/6/19, Complete 4/4/19. Waiting for requested materials for ARB.	Steve	3	
21-2134-SIGN	Carpinteria Business Park	4185, -88, -93	Carpinteria Avenue	Update existing signage of 4 tenants to meet the new sign program	Submitted 11/16/2021. Resubmittal under review for approval and building permit.	Marysol	4	
21-2079-ARB	Lynette & Jason Fernandes	1330	Vallecito Place	New entry porch, exterior updates, & interior remodel	Submitted 1/8/2021. Incomplete 2/5/2021. Resubmittal 2/19/2021. Complete 3/18/2021. To ARB for prelim/final 3/25/2021. Director approval 11/10/2021.	Syndi	4	
20-2074-CDP	AT&T / Eukon Group	323	Elm Avenue	new small wireless facility in City ROW.	Submitted 11/11/20. Incomplete 11/19/20. Resubmitted 5/24/21. Incomplete 6/3/21. Resubmitted 10/28/21. Complete 11/22/21. Director Approved 1/7/22.	Nick	4	
20-2046-ARB	Sukone Sripajittichai	901	Linden, Suite B	Add three new windows to exterior wall to create a new storefront.	Submitted 3/16/2020. Complete 04/13/2020. Prelim ARB 06/11/2020, continued. Schedule for prelim ARB 7/30/2020. Director Approval 10/13/2020. Final ARB 10/15/2020. Pending Building Permit submittal.	Marysol	4	
18-1935-ARB	Gerardo Celio	1466	Azalea Drive	Demo of structures, new California roof over flat roof garage, addition of 181 sf	Submitted 08/30/2018. Incomplete 9/28/2018. ARB 10/11/2018. Pending resubmittal. Resubmitted 05/14/2019. Complete 06/13/2019. Resubmittal 10/14/2019. Pending another resubmittal for Director-level final review. BP submitted for demo of unpermitted construction only.	Marysol	4	

21-2129-DPR/CDP	The Storage Place	6250	Via Real	New storage units (modular)	Submitted 10/27/2021. Incomplete 11/24/2021. Resubmitted 12/10/2021. Complete 1/4/2022. PC 3/7/2022.	Marysol	5	
21-2106-DP/CDP/ARB	Siegel Residence Addition	4755	Fourth Street	Second story addition to SFD	Submitted 4/28/2021. Incomplete 5/28/2021. Resubmitted 8/30/2021. Complete 10/14/2021. Prelim ARB on 12/16/2021. Scheduled for PC on 3/7/2022.	Syndi	5	
16-1822-DP/CDP	Via Real Hotel	4110	Via Real	New 110-room hotel	Submitted 4-19-16. Incomplete 5-18-16. Resubmittal 7/14/16. Incomplete 8/11/16. Resubmittal 9-12-16. Incomplete 10/11/16. Resubmitted 10/31/16. Complete 11/30/16. Prelim ARB 12/15/16, cont'd to future meeting. In-progress ARB review 2/16/17. Prelim ARB approval 3/30/17. Env. review underway. Reviewed updated biological/wetland reports; CCC determined creek regulations apply. Site visit w/ CCC 6/8. Revised project submitted 7/24/19; under review. Revised preliminary ARB review 8/29/19; continued to 11/21/19 ARB meeting. Revised prelim ARB approval 11/21/19. Revised CEQA review underway.	Nick	5	
16-1810-LCPA	City of Carpinteria		Citywide	General Plan/Coastal Land Use Plan Update	kick off meeting April 27, 2016. Ongoing through 2022.	Steve	5	
15-1781-DP/CDP	Bernardo Cruz	4675	Carpinteria Ave	Construct (N) 2-story mixed use building	Submitted 07/09/2015. Incomplete 8/06/15. Concept ARB review 03/29/20. Resubmittal 07/22/20. Incomplete 8/21/20. Resubmitted 2/8/21. Incomplete 3/8/21. Resubmitted 5/17/21. Prelim ARB Approved 9/16/21.	Nick	5	
05-1210-ZTA/LCPA	City of Carpinteria		Citywide	Zoning Code Update	Kick-off meeting 4/20/05. Joint Study Session 5/16/05. All administrative draft chapters delivered 5/12/06. Now connected to the 3-year Principal Planner position work effort through a CCC grant.	Steve/Rita	5	
21-2122-CUP/CDP	Caltrans		US 101/Carpinteria Avenue	Santa Claus Ln Bike Path	Submitted 8/12/31. Additional submittals 9/20/21. Complete 9/27/21. Prelim ARB approved 11/10/21. PC approved 12/6/21. CCC appeal period ended 1/10/22, no appeals filed.	Nick	6	

20-2072-CUP/CDP	Ben Paul	4652	Fourth Street	Exterior and interior remodel of two existing detached dwelling (as-built).	Submitted 10/20/2020. Incomplete 11/19/2020. Resubmittal 01/08/2021. Prelim/Final ARB 01/14/2021. Incomplete 2/4/2021. Resubmittal 3/8/2021. Complete 3/25/2021. Planning Commission 6/7/2021. Approved. Pending Building Permit submittal.	Marysol	6	yes
18-1926-DP/CDP	Steadfast Grand Vida II	5464	Carpinteria Ave	Phase II Assisted Living Facility expansion	Submitted 7/12/18. Incomplete 8/10/18. Resubmitted 1/28/19; incomplete 3/7/19. Resubmitted 3/21/19; incomplete 4/18/19. Resubmitted 6/11/19; complete 7/11/19. To prelim ARB 10/17/19; continued to ARB 12/12/19. Prelim ARB approval 12/12/19. To PC 1/6/2020-approved. To ARB for in-progress review 1/30/2020. TEX requested 5/26/2020. TEX approved by PC on 8/3/2020.	Syndi	6	
14-1722-TPM/CDP	Godfrey	1056	Eugenia Place	Subdivide (e) mixed use building into three condominiums	Submitted 6/19/14. Incomplete 7/17/14. Resubmitted 10/20/14. Complete 10/29/14. PC approved 11/3/14. FLAN sent 11/18/14.	Nick	6	
21-2137-CON	Carp Bluff, LLC	5885	Carpinteria Avenue	Concept review for a 99-room resort, 16-unit apartment building, a farm, and associated structures.	Submitted 12/13/2021. Tentatively scheduled for CC/PC/ARB concept review on 3/30/2022.	Syndi	7	
19-2015-CUP/CDP	City of Carpinteria		Carpinteria Ave	Construct Carpinteria Rincon Trail	Submitted 10/17/19. AB52 Notification 10/29/19. Release of public draft MND 11/1/19. To ERC 11/14/19. PC acceptance & certification of MND 1/6/20. Appeal of PC filed 1/15/20. Appeal set aside. NOP Released for EIR 10/30/20. NOP Scoping Hearing 11/17/20. NOP Scoping Period closed 11/30/20. Draft EIR released for 45-day review period 3/12/21. To ERC 4/13/21. DEIR commented period ended 4/26/21. ARB Prelim Approval 10/28/21. Proposed Final EIR published 1/3/22. PC approved 1/18/22. Appeals filed 1/28/22. To City Council 3/28/22.	Nick	7	
19-1982-MCA	City of Carpinteria		Citywide	Seismic Retrofitting of Soft-Story Buildings	Initiated by the City Council on 5/13/19. To City Council for first read on 1/13/2020. Public Workshop held 2/22/2020. Second first read yet to be scheduled this summer when meetings go live due to public interest.	Dan / Steve	7	

21-2127-CDP/ARB	Eva Sobesky & Todd Mathers	5353	Eighth Street	Exterior alterations to existing residence.	Submitted 10/25/2021. Incomplete 11/24/2021. Stop Work posted 11/30/2021. Complete 12/6/2021. Prelim ARB 12/16/2021. Final ARB scheduled for 3/3/2022.	Syndi	9	
21-2090-DP/CDP	CHT, LLC	700	Linden Ave	Rehabilitate & Remodel (E) buildings; new 2nd floor addition	Submitted 2/17/21. Incomplete 3/19/21. Resubmitted 4/15/21. Prelim ARB approval 4/29/21. Resubmittal 5/21/21. Complete 6/11/21. PC approved 7/6/21. To ARB In-Progress Review 9/30/21. Hardware/Butler Buildings BP submitted 10/12/21. Butterfly Building BP submitted 11/23/21. Site Improvements BP submitted 12/14/21. Schedule for Final ARB Review.	Nick	9	
19-2016-DP/CDP	City of Carpinteria	5775	Carpinteria Avenue	New skate park and amenities	Submitted 10/22/2019. Complete 11/20/2019. Prelim review at ARB on 1/30/2020. Approved at PC on 6/1/2020. Tentatively scheduled for Final ARB on 3/17/2022.	Syndi	9	
17-1883-DP/CDP/TPM	Michael Haber	4716	Seventh St	remodel (E) SFD, construct carport, construct 2 (N) 2-story residential units, subdivide property for condominium purposes.	Submitted 6/22/17. Incomplete 7/20. Resubmitted 10/2/17. Incomplete 11/1/17. Resubmitted 1/11/18, under review. Prelim ARB approval 3/15/18. PC approved 6/4/18. FLAN sent to CCC 06/21/18. Submitted for Final ARB 11/20/20. Awaiting revised drawings. Final Parcel Map submitted for review 2/1/21. In BP plan check.	Nick	9	
19-1980-ARB	Stengel	5420	Cameo	Remodel SFD & 1st floor addition	Submitted 4/19/19. Comments back to applicant 5/13/19. Complete 5/22/19. Prelim ARB approval 6/13/19. Director approved 7/30/19. Final ARB approval 9/26/19. Applicant submitted Time Extension Request granted 12/11/20.	Nick	10	

14-1719-CUP/CDP	City of Carpinteria		Carpinteria Ave Bridge	Replace Carpinteria Ave Bridge over Carpinteria Creek	NOP & Scoping Document released 7/3/14. Scoping Hearing 7/22/14. Project overview to PC 9/2/14. Project update to CC 11/10/14. ARB CON 2/12/15. EIR released for public comment 3/25/16. ERC 4-26-16. Public Comment Period closed 5-9-16. Prelim ARB approval 9/15/16. PC approved 11/7/16. Sent to CCC 11/18/16. PW completing 65% drawings 3/17. Utility relocation coordination underway 3/17. Construction easement acquisition underway Spring 2018. Entitlements expired, need CEQA Addendum to address CSD Siphon relocation. Final ARB 11/21/19. PC approval for reauthorization of CUP/CDP and acceptance of CEQA Addendum 6/01/20.	Nick	10	
17-1896-LCPA/ORD	City of Carpinteria			citywide commercial cannabis regulations	12/11/17 briefing to CC. 1/22/18 briefing to CC. 4/23/18 CC initiates Ord development. PC 10/1/18 cont'd. 11/5/18 PC recommended approval to CC. CC approved 1st reading 11/26/18. CCC Approved LCPA 2/7/19. Ordinance 2nd reading approved by CC 3/25/19. Consultant contract for licensing program awarded by CC 4/08/19. CCC acceptance of LCPA 5/9/19. Drafting of Licensing program underway.	Nick	11	
21-2133-TUP	Gigavac	6382	Rose Lane	TUP for portable restrooms during remodel	Submitted 11/9/21. Approved 12/16/21. BP submitted 1/31/22.	Nick	12	
21-2132-TUP	Gigavac	6382	Rose Lane	TUP for portable offices during remodel	Submitted 11/9/21. Approved 12/16/21. BP submitted 1/31/22.	Nick	12	
21-2123-CUPR	McCann Mini-Storage	1222	Cravens Lane	Interior mezzanine to add 13,000 sf of storage units to existing 13,000 sf building.	Submitted 8/11/2021. Incomplete 9/9/2021. Resubmitted 11/18/2021. Complete 11/23/2021. Approved by PC on 2/7/2022. BP#13374 in plan check.	Syndi	12	
21-2120-DPR/ARB	Faydra Gage, Dawn Sherry Architects	4835	Carpinteria Ave	Exterior Alterations to existing parking lot/outdoor patio addition and minor interior remodel to existing commercial lease space.	Submitted 7/28/2021. Complete 8/27/2021. Prelim/Final ARB 9/30/2021. Director Approval 11/30/2021. Building Permit submitted 1/26/2022.	Marysol	12	

20-2037-ARB/CDP	John Cervini	5586	Retorno Dr	Remodel (E) SFD & construct 2nd story addition	Submitted 2/21/20. Incomplete 3/20/2020. Resubmittal 9/29/2020. Incomplete #2 10/27/2020. Resubmittal 11/12/2020. Complete 12/3/2020. Prelim ARB on 2/11/2021. Director approval 5/5/2021. No appeals filed. Final ARB on 7/29/2021. BP#13393 in plan check.	Syndi	12	
18-1903-DP/CDP	Procore	6303	Carpinteria Ave	Renovation of exterior building facade, landscape and driveway/parking lot	Submitted 1/16/18. Incomplete 02/14/2018. Resubmitted 08/15/2018. Incomplete 9/14/2018. Concept ARB review 10/11/18. Continued Conceptual ARB review 11/15/2018. Complete 01/11/2018. Prelim ARB 02/13/2019. PC 07/01/2019. Final ARB 9/12/2019. In plan check, pending resubmittal. Proposal to proceed with partial relandscaping only under review	Marysol	12	
17-1888-CDP	Finnigan	4775	Seventh St	construct (N) 728 sq ft 3-car garage	Submitted 9/6/17. Incomplete 9/20/17. Resubmitted 9/26/17. Complete 10/3/17. Approved by Director 10/9/17. In BP Plan Check.	Nick	12	
15-1788-CDP	Gobbell	5398	Star Pine Road	Convert (E) accessory building into a second dwelling unit	Submitted 8/19/15. Incomplete 9/4/15. Resubmittal 9/11/15. Complete 9/28/15. Prelim/Final ARB 10/15/15. CDD Director approved 10/29/15. 1-year time extension approved 10/11/16. Submitted for Building Permits 10/4/17. In Plan Check.	Nick	12	
15-1767-CDP	Wood	650	Concha Loma Drive	New Single Family Residence	Submitted 4/28/15. Incomplete 5/27/15. Resubmitted 7/13/15. Complete 8/10/15. CEQA Initial Study underway. ARB concept review 10/15/15. Draft MND public review period 7/15- 8/15/16. To ERC 8/4/16. Prelim ARB 8/11/16, continued with revisions. Revised plans submitted; Prelim ARB approved 9/14/17. PC Approved 8/5/19. FLAN sent to CCC 8/23/19. BP application submitted 12/24/19. Final ARB approved 5/28/20. In BP review.	Nick	12	
07-1407-ARB	6380 Via Real, LLC	6380	Via Real	Revised new office complex	Revised Final ARB 10/17/2019. BP #13512 submitted 12/14/2021.	Syndi	12	
21-2104-SIGN	Juice N Things LLC	4991	Carpinteria Ave	New signs (2) non-illuminated	Submitted 4/20/2021. Incomplete 5/5/2021. Resubmitted, under review. Incomplete 7/6/2021. Matters by Staff 7/15/2021. Resubmittal 7/30/2021. Final pending information submitted 8/25/2021. Director Approve 9/2/2021. Building Permit ready for issued, pending payment and pickup.	Marysol	13	

21-2101-SIGN	Nhan Nguyen, Lavish Nails	991	Linden Ave	1 non-illuminated wall sign	Submitted 4/9/2021. Incomplete 5/5/2021. Resubmittals, pending corrections. Approved 8/17/2021. Building Permit issued.	Marysol	13	
21-2094-DPR/CDP	Carpinteria Valley Historical Society	956	Maple Avenue	Construct new storage shed	Submitted 3/2/2021. Incomplete 4/1/21. Resubmitted 6/4/21. Complete 7/26/21. Director approved 7/29/21. FLAN sent 8/31/21. BP submitted 9/17/21. BP issued 12/16/21.	Nick	13	
21-2092-SDU/CDP	J. Bradley Stein	1315	Casitas Pass Road	Validate (E) guest house as SDU & permit remodel of SDU & attached accessory structures	Submitted 2/26/2021. Complete 3/19/21. Prelim ARB approved 3/25/21. Director approved 6/1/21. BP issued 6/23/21.	Nick	13	
21-2087-ARB	Paul & Michelle Sanchez	1481	Sterling Avenue	SFD remodel, 391sf of add'ns, new front porch, & full re-roof	Submitted 2/9/2021. Incomplete 3/5/2021. Resubmitted 3/26/2021. Complete 4/1/2021. Prelim & final at ARB 4/15/2021. Director approval 5/4/2021. BP#13369 issued 9/21/2021.	Syndi	13	
21-2086-ARB	Frank & Christine Isaac	5410	Cameo Road	SFD remodel, 70sf add'n., and new deck/trellis	Submitted 2/8/2021. Incomplete 3/5/2021. Resubmitted 6/29/2021. Complete 6/30/2021. To ARB for prelim/final review 7/29/2021. Director approved 10/20/2021. BP#13206 issued 2/8/2022.	Syndi	13	
20-2042-ARB	Scouras Family Trust	1493	Trenora Street	SFD remodel, 89.5 sf addition to 1st floor, 451 sf addition to 2nd floor	Submitted 3/5/2020. Incomplete 3/31/2020. Resubmitted 5/21/2020. Complete 6/18/2020. Prelim ARB on 7/16/2020. Resubmittal 8/27/2020. In-progress ARB on 10/29/2020. Approval letters sent 11/25/2020. Final ARB on 7/1/2021. BP#13339 issued 11/3/21.	Syndi	13	
19-1985-ARB	Brian Pera, HLW for Procore	6303	Carpinteria Ave	Renovation of exterior facade of an existing 1,315 accessory structure	Submitted 5/15/2019. Complete 6/12/2019. Substantial Conformity Determination 8/1/2019. Building Permit Application submitted 9/4/2019. BP issued.	Marysol	13	
17-1894-DP/CDP	M3 Multifamily, LLC	4819	Carpinteria Avenue	construct new 2-story mixed use building	Submitted 11/30/17. Incomplete 12/19/17. Resubmitted 2/22/18. Complete 2/23/28. PC approved 4/2/18. BP issued 2/19. PC approved 36-mo. Time Extension 5/4/20.	Nick	13	
21-2121-FENCE/ARB/CDP	St. Joseph Catholic Church	1532	Linden Avenue	New perimeter fence and landscaping around playing field and school.	Submitted 8/9/2021. Incomplete 9/8/2021. Resubmittal 9/23/2021. Complete 10/12/2021. Preliminary & final review at ARB on 10/28/2021. Director approval 11/18/2021. BP #13491 issued 12/15/2021.	Syndi	14	
21-2119-SIGN	Jaime Leaf, Signature Signs	957	Maple #2	Monument sign reface	Submitted 7/19/2021. Approved 8/17/2021. Under construction.	Marysol	14	

21-2115-TUP	Sanctuary Beach/Klentner	4285	Carpinteria Ave	TUP for construction office trailer	Submitted 6/21/2021. Application complete 6/24/2021. Approved 6/30/2021. BP#13371 issued 7/19/2021.	Syndi	14	
21-2097-DP/CDP	Kimberly and Gregory Garcia	4921	Sandyland Road	Exterior remodel, new siding, windows, relandscaping, new fence	Submitted 3/9/2021. Incomplete 3/30/2021. Resubmitted 5/17/2021. Complete 6/15/2021. ARB 7/1/2021. Director Approval 8/24/2021. Building Permit Issued 9/24/2021. Revision approved by Matters by Staff 11/10/2021. Final sign-off corrections pending.	Marysol	14	yes
21-2093-SIGN	Ben Mascari	879	Linden Ave	New sign	Submitted 2/26/2021. Approved 3/8/2021.	Marysol	14	
21-2085-ARB/CDP	Forrest Carter	5251	Sixth Street	6' fence & gates	Submitted 2/4/21. Incomplete 2/25/21. Resubmitted 6/8/21. Complete 6/9/21. Prelim ARB approved 7/15/21. Director approved 8/26/21. BP submitted 9/22/21. BP issued 12/16/21. Construction underway.	Nick	14	
21-2082-SIGN	Procore Technologies	6303	Carpinteria Ave	Reface existing monument sign and new illuminated wall sign	Submitted 01/13/2021. Approved 1/26/2021. BP issued 2/24/2021.	Marysol	14	
21-2081-SIGN	Rincon Mountain Winery	4187	Carpinteria Ave	Wall sign, non-illuminated	Submitted 1/11/2021. Approved 1/26/2021. BP issued 2/3/2021.	Marysol	14	
20-2078-SIGN	Union Bank	5420	Carpinteria Ave	New signs	Submitted 12/7/2020. Incomplete. Resubmitted 03/04/2021. Complete. Approved 3/9/2021. BP issued. Under construction. 11/2021 corrections given to applicant prior to final signoff.	Marysol	14	
20-2070-ARB/CDP	Manuel Martinez	1147	Vallecito Road	Remodel (e) SFD & construct 2nd story addition	Submitted 10/15/2020. Under review. Incomplete 11/13/2020. Resubmittal 11/24/2020. Incomplete 12/10/2020. Resubmittal 12/10/2020. Complete 12/11/2020. Prelim ARB on 2/11/2021, continued. Resubmittal 3/26/2021. Prelim at ARB 4/15/2021. Director approval 6/1/2021. Appeal filed 6/11/2021. Appeal to PC 8/2/2021. Appeal continued. Approved by PC on 9/7/2021. To ARB for final review 10/14/2021. BP#13346 issued 12/9/2021.	Syndi	14	
20-2066-SIGN	Singing Springs	5455	Eighth Street	New monument sign	Submitted 8/17/2020. Director approval 9/15/2020. Building Permit issued 1/2021. Under construction, pending landscaping re-installation.	Marysol	14	

20-2061-ARB/CDP	Brandon and Julia Wheatley	1150	Vallecito Road	Master bedroom addition	Submitted 7/31/2020. Under review. Incomplete 8/25/2020. Incomplete 10/9/2020. Prelim/Final 10/29/2020 ARB. Incomplete 11/16/2020. Complete 01/14/2021. Director Approval 2/2/2021. BP issued. Under construction. Revision application submitted, under review.	Marysol	14	
20-2056-ARB	Rod Herman	1423	Camino Trillado	Exterior updates, new porch overhang, new curbs and 3' garden wall, new hardscape and landscaping.	Submitted 7/2/2020. Complete 7/30/2020. To ARB for prelim/final 9/17/2020. Director approved 9/23/2020. BP#13204 issued 4/26/2021. Under construction.	Syndi	14	
20-2051-SIGN	Coordinated Signs for LinkedIn	6410	Via Real	Campus-wide wayfinding signs	Submitted 3/30/2020. Incomplete 04/24/2020. Approved 5/19/2020. Pending BP Submittal. Minor revision to approved sign permit submitted. Revision approved. BP issued 9/29/2020. Under construction.	Marysol	14	
20-2043-DP/CDP	Strickland- Wahl	4854	Sandyland Road	Remodel & convert 2 apartments into 1 SFD	Submitted 03/06/20. Incomplete 4/3/20. Resubmitted 04/30/20. Complete 05/28/20. Preliminary ARB Approval 06/25/2020. PC Approved 9/8/20. CCC Appeal Period Ended 10/8/20. Final ARB approval 2/11/21. BP submitted 3/25/21. NTPO recorded 6/28/21. BP issued; under construction.	Nick	14	
20-2041-ARB/DP/CDP	Kyle & Andrea Zuvella	4756	Fifth Street	Remodel and 431 sf master suite addition	Submitted 3/4/2020. Incomplete 3/31/2020. Resubmittal 6/11/2020. To ARB 8/13/2020. Resubmittal 8/31/2020. To ARB for in-progress review 9/17/2020. To PC on 3/1/2021. Final ARB on 7/1/2021. BP#13276 issued 8/6/2021. Under construction.	Syndi	14	
20-2032-ARB/CDP	Dave Moore	5550	Calle Ocho	A 970 sf addition to an existing SFD	Submitted 1/24/2020. Complete 2/21/2020. ARB on 5/14/2020. Resubmitted and R-1 letters sent 8/26/2020. BP#13008 issued 10/16/2020. Under construction.	Syndi	14	
19-2029-DPR/CDP	Carpinteria Arts Center	855	Linden Avenue	Courtyard improvements: new hardscape, landscaping, a living wall, storage, utility sink, fencing, and trash enclosures	Submitted 12/20/2019. Complete 01/16/2020. Prelim ARB 2/27/2020. Approvals pending. BP submitted 10/23/2020. BP issued.	Marysol	14	

19-2023-LLA	Lockwood/Segall	5139 & 5157	Eighth Street	LLA, demo and rebuild garage.	Submitted 11/15/2019. Incomplete 12/13/19. Resubmitted 3/10/2020. 2nd Incomplete 4/2/2020. Resubmitted 4/13/2020. Complete 4/16/2020. Corrections sent to City Surveyor 4/27/2020. ARB on 5/28/2020. Approved by PC on 7/6/2020. City Surveyor corrections to applicant 7/13/2020. 4th review to City Surveyor 10/8/2020. Corrections to applicant 11/2/2020. LLA docs to City Surveyor for recording 4/5/2021. Applicant making corrections to add'l docs per Recorder's Office. LLA recorded 12/30/2021. BP#13089 issued 1/14/2022. Under construction.	Syndi	14	
19-2021-ARB	Marsha Ota	5273	Cambridge Lane	Remodel and addition of 460 sq. ft.	Submitted 11/7/2019. Complete 12/18/19. To CDD Director for action. Approved by CDD 2/24/2020. BP#12889 issued 8/3/2020. Under construction.	Syndi	14	
19-2012-DPR	Mac Partners / Jeremy Rogers	6384	Via real	Building facade renovation, addition of new patio areas, new permeable area for future parking area.	Submitted 10/7/2109. Incomplete 11/6/19. Partial resubmittal 12/4/19; under review. Incomplete 12/16/2019. Resubmitted 01/14/2020. Incomplete 02/13/2020. Complete 06/03/2020. Prelim ARB 06/25/2020. In Progress ARB 10/29/2020. PC 12/7/2020. Final ARB 5/13/2021. Building issued. Under construction. Exterior light demonstration under review ARB matters by staff 3/3/2022	Marysol	14	
19-2009-ARB	Jesse Bustillos / The Spot	389	Linden Ave	Remodel dinning room structure, new outdoor patios, upgrades to parking and lighting	Submitted 9/24/2019. Complete 10/28/2019. Pending resubmittal for Prelim ARB. Resubmitted 01/08/2020. Prelim ARB 2/27/2020. In Progress Review 05/14/2020. Director Approval 7/7/2020. Final ARB 7/30/2020. BP Submitted 8/27/2020. In plan check. BP issued 3/31/2021. Under construction. 8/2021 on hold pending redesign. Prelim redesign submitted 1/2022, pending application submittal.	Marysol	14	Yes

19-1996-DP/CDP/PM	Justin Klentner	1075	Cramer Road	Demolish (E) units; construct (N) 4-unit condo development	Submitted 8/28/19. Incomplete 9/26/19. Resubmitted 10/24/19. Complete 11/22/19. Prelim ARB approval 12/12/19. PC approved 2/3/20. ARB In-Progress 2/27/20. Final ARB Approval 3/12/20. Revised Final ARB Review 4/30/20. Building Permit submittal 4/14/20. Final Map recorded. BP ready to issue 8/31/20. Under construction. Condo Plan & CCRs recorded 7/23/21. Temp CoO issued 9/23/21.	Nick	14	
19-1989-CUP/CDP	Laurie Neil	4836	Fifth Street	Remodel & construction addition to (E) cottage	Submitted 7/12/19. Incomplete 8/7/19. Resubmitted 11/14/19. Complete 12/9/19. Approved at PC on 5/4/2020. BP#13133 issued 12/10/2020. Under construction.	Syndi	14	
19-1983-DP/TPM/CDP	Phari LLC	1112	Linden Avenue	Remodel and add 251 sf to an (E) SFD and detached garage with 2nd dwelling unit to create a project with four condominium units and a carport with associated parking and landscaping	Submitted 6/5/19; Incomplete 7/3/19. Resubmitted 7/3/19; complete 7/23/19. Prelim ARB was 7/11/19; no recommendation. PC Approved 8/5/19. No appeal. Final Map Recordation 5.26/20. BP issued 7/23/2020. Under Construction.	Steve	14	
19-1965-DPR/CDP	Carpinteria Business Park	4185-4195	Carpinteria Ave	Exterior architectural façade improvements to five of the buildings within the Flood Hazard and Coastal Appeals Overlay.	Submitted 2/5/2018. Incomplete 3/19/2019. Resubmitted 3/28/2019. Incomplete 4/25/2019. Prelim ARB 06/13/2019. Complete 6/21/2019. Resubmittal 8/23/2019. Director Approval 9/26/2019. Final ARB 10/31/2019. Building Permit application submitted 12/17/2019. Building Permit issued. Under construction. Revision to lights approved by ARB 1/14/2021. Minor awning revision 8/2021. Monument sign revision 11/2021.	Marysol	14	
19-1958-DP/CDP previously 14-1733-DP/CDP/TPM	Sanctuary Beach Condominiums (Norman's Tennis Court)	4925	Carpinteria Avenue	Four residential condominiums	Planning Commission Approved 11/2/15. DP/CDP Time Extension approved 12/5/16. Project stalled. Map is still alive. New DP/CDP submitted 1/3/19 and 1/28/16. Complete 2/1/19. DP/CDP approved by PC 3/4/19. Final Map Clearance to CC 5/13/19. Map recorded, building permit approval underway with new ownership. BP issued; under construction.	Steve; Nick	14	
18-1938-CDP	CA State Parks	205	Palm Avenue	Sewer replacement, Santa Rosa Campground	Submitted 9/25/2018. Complete 10/23/2018. NOE submitted. Approved 3/1/2019. Conditions of Approval and final plans received. Under construction.	Marysol	14	

18-1929-DPR/CDP	Sinclair	4921	Sandyland Road	Remodel (E) detached Condo	Submitted 8/6/18. Incomplete 8/30/18. Resubmitted 12/14/2018. Incomplete 01/11/2019. Resubmitted 2/26/2019. Incomplete 3/28/2019. Resubmitted 4/1/2019. Complete 5/1/2019. ARB 06/13/2019. PC 8/5/2019. Final ARB 8-29-2019. BP issued 1/21/2020. Under construction. Revision proposed 11/18/2020. Matters by Staff 1/14, 1/28, 2/11. Partial ARB approval 2/11/2021. Partial Building Permit revision issued 2/23/2021. Final ARB approval of colors and materials 03/25/2021. Pending final Building Permit revision.	Marysol	14	
18-1920-CUP/CDP	Caltrans		Citywide	Highway 101 HOV Lanes	Submitted 5/18/18. Incomplete letter 6/14/18. Applicant resubmittal 7/20/18. Complete 8/17/18. ARB Prelim/Final 10/11/2018. To PC 3/4/19, continued to 4/1/19. PC Approved 4/1/19. Under construction.	Steve	14	
18-1919-ARB	Leland Walmsley	1455	Azalea Drive	Garage remodel and one-story addition to SFD	Submitted 5/7/18. Incomplete 6/5/18. To ARB 7/12/18 and 8/16/18 for Prelim review, cont'd to future hearing w/revisions. Resubmitted 6/29/2020. Complete 7/29/2020. To ARB 8/13/2020. Revised project scope to ARB on 10/1/2020. Director approved 1/13/2021. Final ARB on 5/13/2021. BP#13286 issued 9/16/2021. Under construction.	Syndi	14	
18-1909-ARB/CDP	Able, John	477	Concha Loma Dr	Addition & remodel to SFD, new pool, new ADU	Submitted 3/13/18. Incomplete 4/11/18. Resubmitted 6/11/18. Incomplete 7/11/18. Resubmitted 10/01/18. Incomplete 10/31/18. ARB conceptual review 11/15/18. Resubmitted 6/7/19; incomplete 7/5/19. Resubmitted 7/12/19. Incomplete 8/8/19. Resubmitted 9/12/19. Complete 10/10/19. Prelim ARB approval 11/21/19. Scheduled for In-progress ARB Review 4/30/20. CDD Director approval 6/23/20. Final ARB 6/25/20. CCC appeal period ended. BP issued 6/24/21; under construction.	Nick	14	

17-1868-DP/CDP	Carpinteria Sanitary District	5300	Sixth Street	Demolition of existing modular offices and the construction of a new 4,118 square foot one-story office building.	Submitted 4/12/2017. IDAG 4/20/2017. Incomplete 5/12/2017. Resubmitted 8/8/2017. Incomplete 9/7/2017. Resubmitted 10/10/2017. Complete 10/31/17. Prelim ARB 1/25/18. Continued Prelim ARB 03/15/2018. Planning Commission approved 06/04/2018. FLAN sent to CCC 6/14/18. Resubmittal 10/23/2019, under review. Pending PW determination. Final ARB 2/27/2020. BP issued 12/2021. Under Construction. Minor revision.	Marysol	14	
17-1850-CDP	CA Dept. of Parks and Recreation	205	Palm Avenue	State Beach Phase II ADA Improvements	Submitted 1/3/2017. Incomplete 1/31/2017. Resubmittal 5/22/2017. Complete 6/15/2107. Director Approval 9/13/2017. Pending resubmittal of minor modifications and signed Conditions of Approval. Received 9/6/2018. Time Extension approved 7/31/2019. Under construction.	Marysol	14	
16-1849-CUPR/TTM/CDP	Faith Lutheran Church	1335	Vallecito Place	7-lot subdivision & 5 new SFDs	Submitted 12/22/16. Complete 10/31/17. ARB Preliminary approved 3/15/18 with comments for suggested revisions. PC approval 8/6/18. CC Approval of CUP/TM/CDP on 12/10/18. CC review of Affordability Covenant and Final Map Acceptance 2/8/2021. Final map submitted on 3/26/2020. Sent to City Surveyor for review on 3/26/2020. 1st map check corrections to applicant 4/30/2020. 2nd submittal to City Surveyor 6/3/2020. 2nd corrections to applicant 8/21/2020. 3rd submittal to City Surveyor 9/21/2020. Corrections to applicant. 4th submittal to City Surveyor 10/28/2020. To ARB for in-progress review 10/29/2020. 5th submittal to City Surveyor 11/23/2020. Other docs under review with City Atty. Final Map, documents, and street name to CC for acceptance on 2/8/2021. Map recorded 3/8/2021. Final ARB on 5/27/2021. BPs #13293-13299 issued 8/12/2021. Under construction. Affordable unit lottery started 11/15/2021 and ended on 1/21/2022. Affordable unit in escrow 2/24/2022.	Steve / Syndi	14	

16-1847-CUP/CDP	Zerlin	5305	Eighth Street	Abate Zoning/Building Violations & construct (N) 2nd floor addition.	Submitted 11/15/2016. Incomplete 12/15/2016. Resubmittal 2/3/2017. Incomplete 2/15/2017. Resubmittal 4/24/2017. Complete 5/24/2017. To Prelim ARB 06/15/2017; cont'd with direction for redesign. Resubmitted 09/11/2017. Preliminary ARB 2/15/18. PC 05/07/2018. Approved. Plan resubmitted 10/23/2018. Final ARB 02/13/2019. BP issued. Under construction. Landscape/hardscape revision proposed 3/24/2021, under review. ARB matters by staff 4/29/20021. Revisions submitted, under review. Final sign-off pending.	Marysol	14	Yes
16-1839-CDP	Thom Vernon	500	Maple Avenue	Install new windows & replacement roll-up doors	Submitted 8/12/16. Incomplete 9/8/16. Complete 9/14/16. To ARB 9/15/16, continued to 10/13/16. ARB approved 10/13/16. Director Approved 10/21/16. FLAN sent to CCC 11/1/16. BP application submitted 10/20/16. BP issued 2/2/17, under construction.	Nick	14	
15-1804-CDP	Hawkins	5567	Calle Arena	Construct (N) SFD w/ attached two-car garage	Submitted 12/29/15. Incomplete 1/28/16. Meeting w/ new agent 6/26/17. Concept ARB 8/17/17. Revised submittal 12/13/17. Incomplete 1/12/18. Concept ARB 2/15/18. Resubmitted 4/13/18. Incomplete 5/3/18. Resubmitted 5/9/18. Scheduled for Prelim ARB Review 5/31/18. Cont'd to Prelim 7/12/18. Cont'd to Prelim 7/26/18. ARB Prelim Approval 7/26/18. Complete 9/27/18. Revised ARB Prelim Approval 11/15/18. Director approval issued 12/18/18. Appeal filed 12/28/18. PC denied appeals 3/4/19. Appeal of PC decision filed 3/14/19. CC denied acceptance of appeal 4/22/19. FLAN sent to CCC 4/24/19. Appeal filed with CCC 5/9/19. CCC Appeal hearing 7/10/19, CCC found no substantial issue. City approvals stand. Final ARB approval 8/29/19. BP submitted 4/2/19. BP issued 12/19/19, under construction.	Nick	14	

09-1522-CUP/CDP/LCPA/ORD	Caltrans		Linden-Casitas Interchanges and Via Real Extension	Reconstruct overcrossings and extend Via Real across Carpinteria Creek	Submitted 2009. PC recommended approval 05/18/15. CC first reading and recommended approval of ORD and LCPA 06/22/15 and 07/27/15. Submitted to CCC 08/21/15. CCC hearing in October in Orange County. CC approved CUP/CDP 11/23/15. FLAN sent to CCC 12/1/15. No appeal. ARB Final 3/17/16. Construction underway 9/12/16.	Steve	14	
08-1483-CDP	Salzgeber	447	Concha Loma Drive	Install water well and storage tank for agricultural purposes	Submitted 12/18/08. Incomplete 1/16/09. Resubmitted 3/20/09. Incomplete. Resubmitted 9/1/09. Director approved 5/7/10. Permit issued 10/19/10. Well constructed and sealed 11/10. Awaiting installation of pump and storage tank.	Nick	14	
04-1172-DP/CDP	Franssen	750	Palm Avenue	Construct one new SFD and create two condominiums	Revised plans submitted 9/15/06. Incomplete 10/9/06. Resubmitted 10/30/06. Prelim ARB 11/30/06. Complete 12/21/06. To PC 1/2/07. Revised Prelim ARB 1/25/07. PC approved 2/5/07. CC approved map clearance 12/10/07. PC approved one year TEX 2/4/08. Grading Permit issued 2/4/09. Final ARB for Unit 2 10/1/09. BP issued, under construction. CoFO issued on rear unit.	Nick	14	
21-2136-TUP	Eva Sobesky & Todd Mathers	5353	Eighth Street	TUP for watchman's trailer	Submitted 12/1/2021. Director approved 12/10/2021.	Syndi	15	
21-2135-CDP	Andrew Spyрка, VCRCD	447	Concha Loma Drive	Monarch habitat restoration	Submitted 12/1/2021. Director approved 12/16/2021. CCC appeal period ended 1/14/2021. No appeals filed.	Syndi	15	
21-2109-SIGN	ARCO AM/PM Gas Station	1116	Casitas Pass Road	re-face price sign	Submitted 5/6/2021. Approved 5/19/2021. Building Permit issued.	Marysol	15	

Last updated

3/3/2022 17:19

BUILDING PERMIT REPORT

2/1/2022 - 2/28/2022



Permit #	Permit Date	Parcel #	Site Address	Owner Name	Project Description	Valuation	Status	Issued Date	Code Compliance Violation	Fire Permit
13563	2/18/2022	003-890-035	4826 Sawyer Avenue	WILLIAMS, SCOTT STEVEN	Convert existing interior loft / family room into bedroom with closet.	16,000	In Review Planning		Yes	
13562	2/18/2022	003-171-009	5324 Star Pine Road	PITTERLE, BRYN	Split one (1) large bedroom into two. Add egress window to new bedroom. Remove one closet, add two closets.	5,000	In Review Planning			
13560	2/16/2022	001-340-CA1	1024 Palmetto Way F&G - Garages	Villa del Mar Home Owners Association	Remove tile, install new 30 and 90 pound underlayment. Replace rotten wood as needed re-install tile back. 8 squares	7,800	Issued	2/16/2022		
13558	2/16/2022	001-340-CA1	1024 Palmetto Way A - Garage	Villa del Mar Home Owners Association	Remove tile, install new 30 and 90 pound underlayment. Replace rotten wood as needed re-install tile back. 5 squares	4,500	Issued	2/16/2022		
13557	2/15/2022	003-331-002	5353 Eighth Street	MATHERS FAMILY TRUST 5/27/17	Phase 2-exterior alterations including new smooth stucco, new windows & doors, new front porch trellis, new courtyard balcony. Refer to Planning project #21-2127.	88,000	In Review Building			

13556	2/15/2022	004-015-079	1225 Franciscan Court #2	PATTERSON, DENNIS G	replace water heater	2,000	Issued	2/15/2022		
13555	2/14/2022	004-112-014	4820 El Carro Lane	COWART, JOHN WILLIAM TRUST A 1/21/93	Install 4.8 KW DC roof-mount PV solar system with (12) enphase IQ7A microinverters.	17,385	Building Dept. Approved			
13554	2/14/2022	003-241-001	4573 Carpinteria Avenue	TREVILLIAN II FAM LIMITED PARTNERSHIP	Small structure repair due to dry rot studs found at the time of re-roof. Replaced wood studs only at south-eastern elevation approximately 200 sq. ft. of wall discovered.	10,000	Issued	2/14/2022		
13553	2/9/2022	001-180-041	1000 Bega Way (Bldg #2, APN 001-180-041)	BEGA/US , INC	Install solar system with 351 kW (DC) solar consisting of: (780) SPR-A450-COM-MLSD solar modules, (4) STP core 62kW inverters, (2) STP core 50kW inverters (1) load center, and (1) visible blade disconnect.	789,750	In Review Building			
13552	2/4/2022	003-212-023	4399 Carpinteria Avenue	DUDLEY, SAMUEL	Install flush roof mounted solar PV-17panels, 5,95 KW; 1 inverter.	11,305	Issued	2/15/2022		
13551	2/10/2022	001-300-031	5445 Hales Lane	GUTIERREZ FAMILY TRUST 6/8/04	Tear off 1,500 sq. ft. of roof over leak area and install Presidential 40 year composition. 15 squares.	11,000	Issued	2/10/2022		

13550	2/9/2022	003-690-CA1	231 Linden Avenue	Sandpiper Linden Homeowners Assoc.	Removing and disposing of one layer of hot mop and gravel roof system. Installing one layer of nail based, edge metal on the perimeter of roof and second layer of modified bitumen Interplay self-adhering. 20 squares.	23,305	Issued	2/9/2022		
13549	2/9/2022	003-340-012	5596 Retorno Drive	RODRIGUEZ, JASON	Replace/repair dry rot/termite damage. Interior/exterior trim, molding, threshold fascia.	5,000	Issued	2/9/2022		
13548	2/8/2022	004-047-016	911 Walnut Avenue	CARPINTERIA FIRE DISTRICT ET AL	Interior remodel of fire station's existing bathrooms, totaling 308 sf	125,000	In Review Building			Yes
13547	2/8/2022	003-680-016	220 Elm Avenue #16	LANGSTON COOPER TRUST 7/15/98	Interior kitchen & bathroom remodel (100 sf)	34,000	Issued	2/8/2022		
13546	2/8/2022	004-027-058	1370 Tomol Drive	WOOD, EDWARD E	Replace electrical panel 100 A, new location, same side of house. Existing to remain as junction box.	3,000	Issued	2/8/2022		

Total Records: 17

3/2/2022