

CITY OF CARPINTERIA PLANNING COMMISSION AGENDA

**David Allen
Jane L. Benefield
John Callender, Vice-Chair
Glenn La Fevers
John Moyer, Chair**



**City Council Chamber
5775 Carpinteria Avenue
Carpinteria, CA 93013
Time: 5:45 p.m.
Agenda Posted: 08/03/17**

AUGUST 7, 2017

THE PLANNING COMMISSION RESERVES THE RIGHT TO CHANGE THE ORDER IN WHICH ITEMS ARE HEARD. APPLICANTS NOT IN ATTENDANCE WHEN THEIR ITEM IS CALLED MAY HAVE THEIR ITEM CONTINUED TO THE NEXT REGULAR MEETING.

Any information presented to the Planning Commission by the public on any agenda item and during Public Comment using electronic media to be displayed on the overhead projector must be arranged with staff for review of materials in advance of the meeting and no later than Friday prior to the Planning Commission meeting.

Any written, printed or electronic material and/or exhibit presented at this meeting becomes the property of the City, and a copy must be provided to City staff.

This meeting will be broadcast live on Government Access Television Channel 21 and rebroadcast on Wednesday after the meeting at 8:00 p.m. and on Saturday at 5:00 p.m.

- 1. CALL TO ORDER and ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS**
- 4. PUBLIC COMMENT**

This time on the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Commission and not listed on other sections of the agenda. Please limit comments to no more than five minutes. Depending on the number of speakers wishing to make comments, the Chair may further limit the time available to each speaker to control the amount of time spent on this part of the agenda. If you wish to speak on a **CONSENT CALENDAR** item, please do so during this part of the meeting.

Please be advised that California law does not allow the Planning Commission to discuss or take action on any issue presented by the public during this portion of the meeting. The Commission may ask a question for clarification, provide a brief response to public comment, refer the matter to staff for review and a later report or direct staff to place an item on a future agenda.

The City is not responsible for the content of statements made during the public comment period or the factual accuracy of any such statements.

5. CONSENT CALENDAR

Items on the Consent Calendar are considered to be routine and are normally enacted by one unanimous vote of the Commission. Individual items may be removed and considered separately at the request of a Commissioner. Any item removed from the Consent Calendar will be added to another section of the agenda.

a. Minutes of the regular Planning Commission meeting held July 3, 2017.

6. NEW PUBLIC HEARING

**a. Wells Residence
Project 17-1879-DP/CDP**

Planner: Nick Bobroff

Hearing on the request of Brian Banks, Siemens Planning, LLC, agent for Geoff Wells to consider Project 17-1879-DP/CDP (application filed on May 31, 2017) for approval of a Development Plan and a Coastal Development Permit (and a modification to the single family residential parking requirements) to convert a former church building into a single family residence, under the provisions of the Planned Residential Development (PRD-20) Zone District; and to approve an Exemption pursuant to §15301, 15303 and 15304 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 004-047-021, addressed as 924 Walnut Avenue.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing
4. Planning Commission Action

7. OTHER BUSINESS

8. MATTERS PRESENTED BY COMMISSIONERS

9. DIRECTOR'S REPORT

- a. Distributed Information
 - i. City calendar for the month of August 2017
 - ii. Community Development Project Status Report as of July 31 , 2017
 - iii. Construction Permit Report as of July 31, 2017

10. ADJOURNMENT

Notes

All actions of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within 10 calendar days of the Commission's action. Appeal deadline for items on this agenda: 5:00

p.m., August 17, 2017. The next regular Planning Commission meeting will be held on Tuesday, September 5, 2017 at 5:30 p.m. in the Council Chamber.

If you challenge any of the Planning Commission's decisions related to the agenda items above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence to the Planning Commission prior to the public hearing.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact the Community Development Department by email at lorenae@ci.carpinteria.ca.us or by phone at (805) 755-4410 or the California Relay Service at (866) 735-2929. Notification two business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

CALL TO ORDER and ROLL CALL Chair Moyer called the meeting to order at 5:30 p.m. Commissioners Present: John Moyer, Chair John Callender, Vice-Chair Glenn La Fevers Commissioners Absent: David Allen Jane L. Benefield Others Present: Steve Goggia, Community Development Director Lucy Graham, Associate Planner Approximately 15 interested persons	CALL TO ORDER & ROLL CALL
PLEDGE OF ALLEGIANCE - Chair Moyer called for the flag salute.	PLEDGE OF ALLEGIANCE
INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS - None	ANNOUNCEMENTS
PUBLIC COMMENT - None	PUBLIC COMMENT
CONSENT CALENDAR a. Minutes of the regular Planning Commission meeting held June 5, 2017 MOTION Upon a motion by Commissioner Callender, seconded by Commissioner La Fevers, the Planning Commission voted 3-0 (Moyer, Callender and La Fevers voted yes) to approve the minutes of the regular Planning Commission meeting held June 5, 2017 as presented.	CONSENT CALENDAR
NEW PUBLIC HEARING a. Segall/Dentler Residence Demolition/New SFD Planner: Lucy Graham Project 17-1858-DP/CDP Hearing on the request of David Ferrin of Arketype Architects Inc., agent for Anthony S. Segall and Deborah Dentler, to consider Project 17-1858-	CONTINUED PUBLIC HEARING

DP/CDP (application filed February 13, 2017) for approval of a Development Plan and Coastal Development Permit to allow the demolition of an existing single-story residence, the construction of a new 2,034 square foot two-story house with 921 square feet of patios and decks under provisions of the Planned Residential Development (PRD) Zone District; and to approve an Exemption pursuant to §15302, §15303 and §15304 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 003-321-012, addressed as 5157 Eighth Street.

DISCLOSURE OF EX PARTE COMMUNICATIONS

Commissioner Moyer disclosed that he drove by the site and looked at the story poles.

Associate Planner Lucy Graham presented the staff report and provided additional details in response to commissioners' questions.

PUBLIC HEARING OPENED

Chair Moyer opened the public hearing at 5:50 p.m.

David Ferrin, project architect, made the following comments as he summarized how they arrived at the design: They were trying to be modest, with the house the same square footage as the one there now. The building mass was designed to fit into neighborhood context and the materials are compatible with the neighborhood. The low pitched roof was intentional, and the building wall is a good neighbor wall. The overall strategy was not to replicate the neighborhood but to create a high quality next generation home.

Applicant Tony Segall said that in 2009 he bought a unit in the condominium to the east. They did not want to build something that would turn into a condominium but something more scaled to the site. With respect to the roof, it's a butterfly roof with contour and considerably lower rise than the property next door. He noted the shared easements created challenges. He described the neighborhood as eclectic and said the ARB referred to the project as a gem.

Becky Jackson who grew up at 5157 Eighth Street spoke about how her family sat on the porch and were friendly to visitors. She said the proposed home does not feel friendly and charming, and it would be a mistake to approve it.

Patricia Pimentel, Becky Jackson's sister who also grew up at 5157 Eighth Street, said part of its charm was that people would walk by and say how

cute it was. She said this project would stand out like a sore thumb and she hopes there would be something different.

Donna Schroeder, 5175B Eighth Street, said she attended the ARB meeting. She said none of the 59 dwellings in the area have a butterfly roof and it's in striking contrast to the dominant neighborhood theme. She said if it's approved, it would open the door to game-changing plans in the neighborhood and would change the neighborhood forever.

Robert Shroll said he didn't attend the ARB meeting. He expressed support for the project. He said he appreciates the design and thought that went into it.

Phylene Wiggins, 5175A Eighth Street, said she attended the ARB meeting. She opposed the project due to its conflict with the small beach town character. She questioned how a style (Midcentury Modern) that is not prevalent could be in character with the neighborhood and asked for data to support the ARB's recommendation. She described the project as precedent-setting and urged a design more compatible with the neighborhood.

Mike Wondolowski, President of Carpinteria Valley Association (CVA), said the ARB's recommendation is fatally flawed. Among other things, he spoke about the project's incompatibility with the neighborhood and said the setback modifications are not justified by the public benefits. He said CVA is asking for denial of the project.

Nan Panizzon opposed the project. She said the height elevation looks fine but she is astounded anyone would approve the project for downtown Carpinteria. She described the top as looking like a cement slab and said perhaps the project is better suited for the industrial center. She suggested adding hedges along the sides or a small pitch to the roof.

George Lehtinen said he did not attend ARB meetings. He described the project as near the outer envelope of how different a design can be. He said such designs are trendy in big cities such as the Bay Area but it does not fit Carpinteria. He asked that the front setback be enforced.

Applicant Deborah Dentler said she was sorry the neighbors do not like the project and she understands they don't like something new. She explained that the wall is board and batten that exists on most of the buildings along the block. She spoke about her love of historical architecture, noting that she served three terms on the Glendale Historical Architectural Preservation Commission. With respect to the architect, she said she found one

experienced in craftsman design. She reiterated the ARB's enthusiasm for the project and read comments made by its members. She noted the property was not found to have historic value, and she displayed photos of homes with butterfly or flat roofs in the neighborhood.

PUBLIC HEARING CLOSED

Chair Moyer closed the public hearing at 6:34 p.m.

Commissioner La Fevers asked for feedback on the home's roof form, as well as the vertical form of the structure. Associate Planner Lucy Graham explained that it's a different form but not prohibited. She described the reaction to the design as subjective and said the ARB helps staff determine what is compatible.

Community Development Director Steve Goggia agreed that the flat or butterfly roof is not the norm for the majority of Carpinteria, but he questioned whether that means we cannot support it.

The commissioners proceeded to provide feedback, with Commissioner La Fevers stating that what is at issue is whether it's compatible. He commented that it's modest, well-designed and an attractive addition to the neighborhood. He said lot coverage is respectable and it achieves great balance on the lot. Although he is struggling with issues of compatibility, he has confidence and respect in the ARB's recommendation.

Commissioner Callender said he agrees with almost all of La Fevers' comments. He said that he's struggling with neighborhood compatibility, and the project presents an architectural point of view that's striking and a strong statement architecturally. The ARB's enthusiasm is a suggestion of something worthwhile in the design, he said.

Chair Moyer commented that it was a monumental task to deal with the condominiums next door. He said Architectural Review Board member Scott Ellinwood carries the initials FAIA, which is a very prestigious ranking in the architectural world. He said the project is well thought out and, in time, everyone in town will come to respect it. Carpinteria needs to look to the future a little and rejuvenate itself, he said. Regarding the setbacks, he stated they are not out of hand and noted the project is next to an obtrusive 3-unit condominium.

Commissioner Callender said that as it stands right now, he would not vote in favor on the main basis of language in the objectives and policies regarding compatibility with the neighborhood. He said this variation crosses the line where he cannot make consistency findings. He

commented that small beach town character cannot be reduced to an architectural style, that it is about relationships between people and community. He encouraged the applicant and the neighbors to move forward and build that future of what is important about Carpinteria.

Commissioner La Fevers expressed support for the project. He described it as high quality, well designed for the lot and a significant piece of architecture. He likes the front porch layout and design. He said in Carpinteria, we have flexibility and variation. He stated that he has much respect for the ARB and their recommendation.

MOTION

Upon a motion by Commissioner La Fevers, seconded by Chair Moyer, the Planning Commission voted 2-1 (Moyer and La Fevers in favor; Callender opposed) to adopt Resolution PC-17-008 thereby approving the DP/CDP for demolition and replacement of a single-family dwelling with a new two-story single family residence at 5157 Eighth Street.

BREAK

Chair Moyer called for a 5-minute break at 7:01 p.m.

OTHER BUSINESS

- a. Request for a determination that the City's Capital Improvement Plan (CIP) is consistent with the General Plan and Coastal Plan of the City of Carpinteria pursuant to Government Code §65401.

Public Works Director Charles Ebeling provided background information regarding the necessity for making the determination. He explained that when the City applies to obtain grants, one of the questions asked is whether the projects are part of an approved plan. He noted each project in the CIP will still need to go through a stand-alone approval process.

MOTION

Upon a motion by Commissioner Callender, seconded by Commissioner La Fevers, the Planning Commission voted 3-0 (Moyer, Callender and La Fevers voted yes) to make a recommendation to make a finding that the CIP is consistent with the General Plan pursuant to Government Code §65401.

- b. According to Section 2.32.040 of the Carpinteria Municipal Code, the Planning Commission shall elect a chair and vice-chair from among its

OTHER BUSINESS

members at its first regular meeting after July 1st of each year. The Planning Commission agreed to continue the item to its meeting of September 5th.	
MATTERS PRESENTED BY COMMISSIONERS - None	MATTERS PRESENTED
DIRECTOR'S REPORT a. Distributed Information i. Action Minutes of the Architectural Review Board meeting of May 25, 2017 and June 15, 2017 ii. City calendar for the month of July 2017 iii. Community Development Project Status Report as of June 29, 2017 iv. Construction Permit Report as of June 29, 2017 Community Development Director Steve Goggia reviewed the distributed information and noted upcoming projects. He announced that there will be a televised General Plan Update Committee meeting on July 17th. The topic of the meeting will be healthy communities.	DIRECTOR'S REPORT
ADJOURNMENT - Chair Moyer adjourned the meeting at 7:30 p.m. ATTEST: _____ Secretary, Planning Commission _____ Chair, Planning Commission	ADJOURNMENT

PLANNING COMMISSION
STAFF REPORT

MEETING DATE: August 7, 2017

ITEM FOR CONSIDERATION

Wells Residence
17-1879-DP/CDP

Request for a Development Plan and Coastal Development Permit to allow an interior remodel to convert a former church building at 924 Walnut Avenue into a single family residence. A Development Plan Modification is requested to allow a new driveway cut, apron and uncovered tandem parking area as part of the project.

Report prepared by: Nick Bobroff, Senior Planner
Community Development Department



SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department



SIGNATURE

Owner: Geoff Wells

Applicant: Brian Banks, Siemens Planning, LLC

Project Location: 924 Walnut Avenue

APN: 004-047-021

Zoning: Planned Residential Development
(PRD-20)

General Plan Designation: Medium Density
Residential (MDR)



I. RECOMMENDATION

Staff recommends the Commission adopt Resolution PC-17-010, thereby approving Project 17-1879-DP/CDP to allow an interior remodel to convert a former church building located at 924 Walnut Avenue into a single family residence and grant a Modification to the City's covered parking requirements for a single family residence.

II. PROPOSED PROJECT DESCRIPTION

Development Plan: The proposed project would convert a former church into a single family residence. No changes are proposed to the building's 1,677 square foot footprint or height (remaining at 15 feet six inches). An interior remodel would replace the existing sanctuary and classrooms with a two-bedroom, two-bathroom private residence. Exterior alterations to the structure are limited to filling in an existing window and replacing an existing door with a new window at the southeast corner of the building.

A new curb cut, apron and driveway would be constructed on the project's Walnut Avenue frontage to provide access to a new onsite parking area located along the north (side) property line. New decorative landscaping is proposed for the front yard lawn area. The existing 36-inch high picket fence, located in the City's Walnut Avenue right-of-way is proposed to be repaired/replaced.

Modification to Parking Requirements: A Modification to the City's covered parking requirements for a single family dwelling is required to allow the proposed parking arrangement. Instead of providing the requisite two-car garage, the applicant is requesting a Modification to allow an uncovered tandem parking arrangement to provide the required two onsite parking spaces. More details are provided below under Section V. Analysis.

Coastal Development Permit: A Coastal Development Permit (CDP) is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics and Background

Property Setting

The project site is located on the east side of Walnut Avenue, approximately halfway in-between Carpinteria Avenue and Eighth Street. The 7,000 square-foot lot is developed with an existing one story 1,677 square foot church building. The structure was originally built in 1923 as the Christian Science Meeting Hall and has remained as such until the property recently changed hands.

The building is oriented toward Walnut Avenue and features a covered, raised front porch. The building contains a sanctuary, two classrooms and two bathrooms. The property and structure are considered legal nonconforming in that no onsite parking is provided, and the existing building encroaches into the required rear setback by five feet.

The project site is located in the Downtown/Old Town Neighborhood (Community Design subarea 2). The general area includes an eclectic mix of single family and multifamily residential developments, small commercial businesses, and governmental/civic buildings. Building architectural styles and ages are equally diverse, and range from the 1920s up to current. Immediately adjacent to the subject

property is a mix of single family and multifamily residential developed lots to the north, east and south. Across Walnut Avenue from the subject lot is the Carpinteria Fire Station.

The site is zoned Planned Residential Development (PRD-20) and has a Medium Density Residential (MDR) land use designation. The existing use of the property as a church is a conditionally permitted use in any zone district.

Historical Resources Status

In light of the age and historic use of the property, the applicant was asked to obtain and submit a historic resources report to determine the historical significance of the existing structure. The historians concluded that the subject building was historically significant and potentially eligible for listing at the County of Santa Barbara, California Register of Historical Resources and National Register of Historic Places. This determination was based on the findings that the "building is a rare example in Carpinteria of a reductive interpretation of the Classical Revival Style" of architecture and "because the building has a direct association with the early 20th century development of Carpinteria's middle and working class neighborhoods which often featured churches and small commercial buildings set amongst modest homes."

As a result of these findings of significance, the proposed project was analyzed by the historians to determine whether the proposed conversion and improvements (including the new onsite parking arrangement) would result in a significant impact under the California Environmental Quality Act (CEQA). The historians determined that, because the applicant was not altering the exterior of the building in any meaningful way, the proposed project would not result in a significant environmental impact. Further, the historians noted their preference for the proposed parking arrangement, as it had the least impact on the front façade (including the walkway to the front entry) and would not substantially alter the existing setting, or public views, of the structure.

Copies of the Phase I and Phase II historical resource reports are attached as Exhibit 2.

Architectural Review Board (ARB)

Preliminary/Final Review

The project was reviewed by the ARB at the June 29, 2017 meeting. Overall, the project was favorably received by the Board and recommended for preliminary/final approval with only minor comments for further consideration related to the re-landscaping of the front yard.

A copy of the Minutes from the June 29, 2017 ARB Meeting is attached as Exhibit 3.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to Sections 15301 [Existing Facilities], 15303 [New Construction or Conversion of Small Structures] and 15304 [Minor Alternations to Land] of the Guidelines for the Implementation of the California Environmental

Quality Act (CEQA). Class 1 Categorical Exemptions consist of minor repairs, maintenance and alterations of existing structures and includes interior and exterior remodels. Class 3 Categorical Exemptions allow for conversions of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. Class 4 Categorical Exemptions consist of minor public or private alterations in the condition of land, water, and/or vegetation which do not involve removal of healthy, mature, scenic trees except for forestry or agricultural purposes.

As mentioned previously, in light of the existing structure's age and character, a Phase I/II Historic Resources report was prepared to evaluate the existing structure for any historical significance pursuant to the City's CEQA Guidelines and Environmental Thresholds. The report found that the structure was potentially eligible for listing at the local, state and national levels making it a significant cultural resource under CEQA. However, as the project complies with the U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Structures and proposes no significant exterior changes to the building that would risk compromising its historical integrity, the impacts to cultural resources were found to be Class III (less than significant). As the project would not result in a significant effect upon cultural resources and is otherwise consistent with the above-described CEQA Categorical Exemption Guidelines, an exemption is appropriate.

For more detail, see the attached Notice of Exemption, included as Exhibit 4.

V. ANALYSIS

The discussion below provides an analysis of the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code, and with the policies and objectives of the General Plan/Coastal Land Use Plan.

Zoning Code Requirements

The subject property is zoned PRD-20, as is defined in CMC §14.14, Planned Residential Development District. This zone district provides for a mix of residential uses and densities (up to 20 units per acre). The proposed use of the property for one unit is a permissible use subject to the approval of a Development Plan and Coastal Development Permit.

The structure's long, narrow layout results in an unusual floor plan with the master suite largely isolated from the rest of the residence. To ensure the proposed floor plan arrangement is not used as a separate dwelling unit, which would be in violation of the Carpinteria Municipal Code unless first approved by the Planning Commission, staff has included a condition of approval requiring the recordation of an informational Notice to Property Owner indicating the property's approved use for one single family dwelling.

The following table lists the project's conformance with the applicable PRD zone district development standards.

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	50 feet from centerline of street or 20 feet from property line, whichever is greater.	Existing: 78 feet from centerline of street/38 feet from property line Proposed: No change
Side (North)	5 feet min.	Existing: 14 feet 11 inches Proposed: No change
Side (South)	5 feet min.	Existing: 14 feet 9 inches Proposed: No change
Rear	15 feet min.	Existing: 10 feet 3 inches* Proposed: No change
Height	30 feet	Existing: 15 feet 6 inches Proposed: No change
Building Coverage	50% max. (3,500 square feet)	Existing: 24% (1,677 square feet) Proposed: No change
Open Space	20% min. (1,400 square feet)	Existing: 64% (4,525 square feet) Proposed: 55% (3,891 square feet)
Density	3 units max. (20 units/acre)	Existing: church Proposed: 1 unit
Parking	2 garage spaces	Existing: 0 spaces Proposed: 2 uncovered tandem spaces**

*See nonconforming discussion below.

**See Parking Modification discussion below.

Legal Nonconforming Status

The existing property and structure are legal nonconforming with respect to onsite parking and the required rear setback. Currently, no parking is provided onsite and the structure encroaches approximately five feet into the required rear setback. As part of the project, the nonconforming parking situation would be improved through the provision of two onsite parking spaces (discussed further below). The existing building footprint would remain unchanged; proposed improvements include a non-structural interior remodel of the structure and filling in an existing framed window opening and door. As no structural changes to the portion of the building located in the setback are requested as part of the project, a Conditional Use Permit is not required.

Parking Modification

The proposal includes a request for a Modification to allow for deviation from the City's covered parking requirements for a single family residence to allow the proposed uncovered tandem parking configuration. The proposed arrangement is inconsistent with the following parking requirements: 1) Pursuant to CMC §14.54.040(1)(a), a single family residence is to provide a two-car garage; and 2) CMC §14.54.070(3)(e) states that the design of parking areas shall not require the moving of any car to gain access to a required parking space.

Pursuant to Carpinteria Municipal Code (CMC) §14.50.120, the Planning Commission may consider Modification to requirements of the base zoning district in which the proposed development is located, including building height, yard setback, parking, building coverage or landscaping, if it is determined that such Modification is necessary to accommodate an innovative project which will result in at least one of the following public benefits:

1. *Energy efficient heating/cooling; or*
2. *Provision of affordable housing units through mix of housing types, innovative design and construction techniques, or other means; or*
3. *Provision of a larger amount of open space or landscaping than the minimum requirements of the district.*

In order to grant the requested Modification, the Commission must find that the project would result in at least one of the above described public benefits. Staff believes that the project would meet the intent of finding “3,” maintaining a significantly greater open space area than the minimum required, most of which is located at the front of the lot and visible from Walnut Avenue, while still providing the required number of onsite parking spaces in the least intrusive manner so as to minimize impacts to the site’s historically significant character. The amount of open space provided with the project is 3,891 square feet, slightly more than twice the minimum required. The parking area has been designed and located in consultation with the architectural historians and received a recommendation for preliminary/final approval from the City’s ARB. The design minimizes the impacts of the driveway and parking area on the visual quality of the front yard and best preserves the property’s existing historic character. Therefore, staff finds the proposed parking arrangement to be an innovative solution to improving the site’s parking conformance while remaining sensitive to the constraints placed on the property due to its historical significance.

General Plan/Coastal Plan

The project site has a General Plan/Coastal Land Use Plan designation of Medium Density Residential. The project site is in Design Subarea 2 (Downtown/ Old Town Neighborhood) in the Community Design Element of the City’s General Plan/Coastal Plan and is subject to the following policies:

Land Use Element

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City’s edge.*

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with principles established in the Community Design Element.*

The proposed project represents an example of the adaptive reuse of an existing historically significant building. The church, which dates back to 1923, has been found to be an important historic resource representative of the development patterns of the City’s original residential areas. Preserving the church building in a largely intact manner with only minor exterior changes

to allow it to be repurposed into a private single family dwelling thus helps to achieve the above Objective and Policy.

Community Design Element

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the city.*

The 900 block of Walnut Avenue exhibits a mix of building types, styles and uses. The subject building, which dates to the early 1920s is one of the older buildings on this block of Walnut Avenue, but is representative of many of the older, original buildings and cottages that remain scattered around the downtown neighborhoods. The proposed project, which would convert the existing church building into a private single family residence, would preserve the existing building's architectural style and integrity, and would have no impact on the size, scale or form of the existing building. Therefore, the project can be found consistent with these Objectives.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the "living rooms" of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

Policy CD-5b: *Garages should not dominate views from any public street.*

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

The proposed conversion of the church into a single family dwelling can generally be found consistent with this Objective and Policies. The existing structure's raised, covered front porch and street-facing door would be retained. The existing front walkway would remain and the surrounding front yard areas enhanced with new appropriate landscaping and a rebuilt/repaired low, front yard picket fence. The proposed parking area, which would require the granting of a Modification, would allow for two uncovered tandem parking spaces. This arrangement largely preserves the existing frontage character with minimal disruption as compared to a new garage or carport. In light of the structure's historical significance, this is an appropriate response to protecting the existing cultural resource while still improving the property's onsite parking condition.

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas which maintain and enhance the quality of Carpinteria's streetscape.*

As part of the project, a new decorative paver driveway and parking area would be installed along the property's (north) side property line. The driveway and parking area has been designed to be as visually unobtrusive to the site as possible. The remainder of the front yard would be enhanced with new decorative landscaping and a repaired/rebuilt low, front yard picket fence. The existing brick walkway and raised, covered front porch would be preserved.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

No new lighting is proposed as part of the project at this time. If new lighting is included, it will be reviewed by the City and consulting architectural historian to ensure it is consistent with the above Objective and Policy, while also being architecturally appropriate to the building's historic design and aesthetics.

CD-14-Implementation Policy 8: *Landscaping shall be designed to maximize the use of native drought-tolerant species and deciduous trees to shade buildings in summer and allow for passive solar heating in winter.*

The submitted preliminary planting plan includes a mix of appropriate drought-tolerant plantings for the re-landscaping of the front yard. The plant palette has been reviewed by and consented to, by the City's Architectural Review Board.

Subarea 2. The Downtown and Old Town

Objective CDS2-1: *Preserve and strengthen the visual and physical connections between the downtown, beach, the salt marsh, mountains, and the other neighborhoods and districts in the city.*

Policy CDS2-a: *Ensure that new intensified land uses within the Downtown remain consistent with the city's "small beach town" image.*

As mentioned elsewhere, the proposed project would largely maintain and preserve the existing historically significant church building while allowing it to undergo an interior remodel to be converted into a single family residence. As such, the project can be found to be consistent with the above Objective and Policy and remain consistent with the City's "small beach town" image.

CDS2 Implementation Policy 18: *Hedges, walls and picket fences between 30 inches and 42 inches in height are encouraged on the frontage line. Sideyard walls should step down to no more than 42 inches in height within the front yard setback area.*

CDS2 Implementation Policy 20: *Driveways should be as narrow as practical to make pedestrian use of the sidewalks safer and more pleasant. Parking of vehicles across the sidewalk should be prohibited and enforced.*

The existing 36-inch high wood picket fence would be repaired/rebuilt in place. The proposed driveway, which would provide access to two tandem, uncovered onsite parking spaces would be approximately 12 feet wide where it meets the sidewalk. This arrangement is slightly narrower than typical residential driveways (i.e., 16 feet), but still allows for a suitable degree of maneuvering area to enter/exit the driveway on Walnut Avenue.

Circulation Element

Policy C-3c: *Review new development proposals to improve neighborhood circulation patterns and enhance the inter-neighborhood routing characteristics of the city's master plan.*

Policy C-3h: *Require all new projects to demonstrate safe traffic flow integration with the Master Plan of Streets as well as street/drainage improvements function. This shall include construction traffic and the designation of construction routes.*

The proposed project would convert an existing church into a single family dwelling. The proposed use as a private residence is expected to generate fewer daily traffic trips than the former church use, and thus would not result in any new traffic impacts for the project area. One public off-street parking space would be eliminated to accommodate the new driveway cut and apron, however the new onsite parking area will provide two parking spaces for the residence. The driveway location and design has been reviewed and preliminarily approved by the Public Works Department. Because the proposed use is a single family dwelling, vehicles are permitted to back out of the driveway onto the street.

Open Space, Recreation and Conservation Element

Policy OSC-6f: *All development shall be evaluated for potential adverse impacts to water quality and shall consider Site Design, Source Control and Treatment Control BMPs in order to minimize polluted runoff and water quality impacts resulting from the development. In order to maximize the reduction of water quality impacts, BMPs should be incorporated into the project design in the following progression: (1) Site Design BMPs, (2) Source Control BMPs, and (3) Treatment Control BMPs.*

The new project would generate limited new hardscape associated with the new driveway and uncovered parking area. While the total square footage of these improvements would fall below the minimum threshold for requiring stormwater measures to be incorporated into the project, the applicant has proposed to utilize a paver material with sand joints for the driveway that would allow for some onsite percolation of stormwater. The submitted plans also call for disconnecting downspouts into landscape areas and using mulch to improve opportunities for onsite retention of stormwater flows.

Policy OSC-13b: *Require new development or redevelopment in the downtown section of Carpinteria to conform with the scale and character of the existing community and consistent with the city's theme of a small beach-oriented community.*

The proposed project would have no impact on the scale or character of the existing building. The structure has been a part of the downtown setting for approximately 95 years and has changed very little in that time. The proposed remodel and change of use would primarily impact the interior of the building, leaving the exterior façade largely intact. The proposed parking arrangement was reviewed by the consulting architectural historians and ARB, and found to be appropriate for the site and sensitive to the unique constraints posed by the building's historical significance. The driveway/parking arrangement is comparable to the common arrangement of many of the older residences in the downtown where a long, narrow driveway leads down a side yard to a small, often single car garage. In light of the above analysis, retaining the existing church building helps to preserve the City's small beach town charm.

Objective OSC-16: *Preserve Carpinteria's cultural resources.*

Policy OSC-16a: *Carefully review any development that may disturb important archaeological or historically valuable sites.*

As discussed elsewhere in this report, the existing church building has been found to be a historically significant building eligible for listing at the local, state and national levels. Based on the limited scope of exterior improvements to the building and the careful design and placement of the proposed onsite parking configuration so as to not detract from or materially interfere with the existing building, the consulting architectural historians were able to conclude that the project would have a Class III (less than significant) impact on the historical integrity of the building. The historians further concluded that the proposed scope of work could be found consistent with the U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Structures. Therefore, the project can be found consistent with the above Objective and Policy. Appropriate conditions of approval have been included to ensure that the proposed conversion and remodel is completed in compliance with the recommendations of the consulting architectural historian.

Safety Element

Objective S-1: *Minimize the potential risks and reduce the loss of life, property and the economic and social dislocations resulting from fault surface rupture in the planning area, from ground shaking due to an earthquake along a fault in the planning area or in the region, from seismically-induced liquefaction in the planning area, and from seismically-induced tsunamis.*

Policy S-1c: *Development in areas identified as having high seismically-induced liquefaction potential shall follow structural engineering foundation design parameters outlined in the Uniform Building Code or obtained through an independent structural engineering study.*

S-1-Implementation Policy 2: *Site specific geotechnical studies are required to more accurately determine the potential for liquefaction. These studies shall be performed prior to new construction and for the retrofit of critical facilities. The studies should include site-specific depth to groundwater*

and soil composition. Areas having liquefiable sediments should be identified, and structures should be designed to withstand liquefaction.

According to Figure S-2, Seismic and Slope Stability Hazards, of the City's General Plan/Coastal Plan, the project site is located in an area with a high potential for liquefaction. Because the project constitutes a remodel of an existing building, the Building & Safety Department will need to make a determination as to what extent the project will be required to upgrade the building to comply with current building codes based on the scope of the project. If applicable, this may include seismic retrofits (like underpinning of the foundation) to improve the safety of the structure.

Noise Element

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation are included in the recommended Conditions of Approval. The conditions limit construction hours to Monday through Friday, from 7:00 a.m. to 5:00 p.m. The conditions also require construction equipment to be outfitted with standard noise reduction measures and any loud, stationary equipment to be located/buffered so as to not create a nuisance situation for adjacent land uses. These measures would ensure consistency with the above Policies.

Public Facilities and Services Element

Policy PF-5c: *The City will ensure that new development will not adversely impact services and facilities provided to existing development.*

The proposed project has been reviewed by the Carpinteria Sanitary District, Carpinteria-Summerland Fire Protection District and the Carpinteria Valley Water District. All agencies indicated an ability to continue to serve the property. Where appropriate, the service providers have provided condition letters which have been included with the City's conditions of approval.

VI. DEVELOPMENT IMPACT FEES

A series of ordinances and resolutions adopted by the City Council require the payment of various development impact fees for projects that would result in a net increase of dwelling units or new commercial/industrial square footage. In instances (like this project) when a proposed project would result in a change of use from one land use type category to another, the project is required to pay any net difference that results in any of the Development Impact Fee (DIF) categories.

If the project were approved as submitted, it would be subject to the fees as shown in the following table. The amounts shown are estimates only. The actual amounts will be calculated in

accordance with the fee resolutions in effect when the fees are paid. The Fees are updated annually in July.

The developer of a project that is required to pay development impact fees may apply to the City Council for a reduction, adjustment or waiver of any of those fees based on the absence of any reasonable relationship or nexus between the impacts of the proposed development and either the amount of the fee(s) charged or the type of facilities to be financed. The application must be in writing and must be submitted to the city clerk either ten days prior to the public hearing on the development permit for the project, or if no development permit is required, at the time of building permit application.

Estimated Development Impact Fees as of July 24, 2017

The following is an estimate for the conversion of a 1,677 square foot church building to one single family residence.

Fee Category	Commercial Fee Rate Fee per square foot unless noted otherwise	Total Commercial Credit per fee category	Single Family Residential Fee Rate Fee per unit unless noted otherwise	Total Single Family Residential Fee per fee category	Net Single Family Residential Fee Due per fee category
Streets and Thoroughfares	\$1.55	\$2,599.35	\$542.09	\$542.09	\$0.00
Highway Interchanges & Bridges	\$13.13	\$22,019.01	\$4,588.83	\$4,588.83	\$0.00
Traffic Control Facilities	\$2.49	\$4,175.73	\$869.09	\$869.09	\$0.00
General Facilities & Equipment	\$0.27	\$452.79	\$1,730.51	\$1,730.51	\$1,277.72
Storm Drainage Facilities	\$11,718.34/acre	\$1,883.11	\$9,765.44/acre	\$1,569.28	\$0.00
Parkland Acquisition Fees	N/A	N/A	\$14,119.95	\$14,119.95	\$9290.19*
Parks and Recreational Facilities	N/A	N/A	\$7,368.21	\$7,368.21	\$7,368.21
Aquatics Facilities	N/A	N/A	\$628.62	\$628.62	\$628.62
Open Space Land Acquisition Fee	\$2.88	\$4,829.76	N/A	N/A	\$0.00*
TOTAL					\$18,564.74

**Open Space Land Acquisition Fee Credit from the commercial category was applied toward the Parkland Acquisition Fee from the residential category.*

Other Estimated Fees

Fee Type	Fee Per Unit Unless noted otherwise	Total Fee
Carp-Summerland Fire District Fire Protection Certificate	\$205.00	\$205.00
Carp-Summerland Fire District Mitigation Fee	TBD	TBD
Carpinteria Water District Water meter relocation deposit	\$9,000.00 construction deposit	\$9,000.00
TOTAL		\$9,250.00

VII. ACTION OPTIONS

1. Adopt Resolution PC-17-010, thereby approving Project 17-1879-DP/CDP to grant a Development Plan and Coastal Development Permit, including a Modification to the City's parking standards, to allow a remodel to convert an existing church into a single family dwelling; and adopt the findings in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C. (staff's recommendation)
2. Direct the applicant to prepare project revisions and return to a future Commission hearing.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-17-010
Attachment A: Findings
Attachment B: Preliminary Plans
Attachment C: Conditions of Approval

Exhibit 2 Phase I/II Historical Resources Reports

Exhibit 3 June 29, 2017 ARB Meeting Minutes

Exhibit 4 Notice of Exemption

Exhibit 1
Resolution PC-17-010

Wells Residence
924 Walnut Avenue

PC Hearing, August 7, 2017

RESOLUTION NO. PC-17-010

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
CARPINTERIA APPROVING DEVELOPMENT PLAN AND COASTAL
DEVELOPMENT PERMIT 17-1879-DP/CDP FOR CONVERSION OF A FORMER
CHURCH BUILDING TO A SINGLE FAMILY RESIDENCE, INCLUDING A
MODIFICATION TO THE SINGLE FAMILY RESIDENTIAL PARKING
REQUIREMENTS, LOCATED AT 924 WALNUT AVENUE
(APN 004-047-021).**

REQUESTED BY GEOFF WELLS

WHEREAS, the Planning Commission of the City of Carpinteria has considered an application for a Development Plan and Coastal Development Permit, including a Modification to the Single Family Residential parking requirements, filed by Brian Banks, Siemens Planning, LLC on behalf of Geoff Wells on May 31, 2017; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on June 28, 2017; and

WHEREAS, the Carpinteria Architectural Review Board has considered the proposed project on June 29, 2017 and recommended preliminary/final approval; and

WHEREAS, the Planning Commission has conducted a noticed public hearing and received evidence regarding the application for the Development Plan and Coastal Development Permit, including a Modification of the zoning district requirement for the single family residential parking as specified in Chapter 14.54.040; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act under Guidelines Sections 15301, 15303 and 15304 as the project includes an interior conversion of existing structure from a church to a single family residence and minor alterations to land; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan and Coastal Development Permit is approved making the findings outlined in Attachment A.
2. The Development Plan and Coastal Development Permit consistent with the plans shown in Attachment B is approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 7th day of August 2017, by the following vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

ABSTAIN: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 7th day of August 2017.

Exhibit 1
Attachment A: Findings

**Wells Residence
924 Walnut Avenue**

PC Hearing, August 7, 2017

ATTACHMENT A: FINDINGS

PLANNING COMMISSION HEARING PROJECT 17-1879-DP/CDP AUGUST 7, 2017

WELLS RESIDENCE

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Development Plan and Coastal Development Permit, including a Modification to the City's single family residential parking requirements, was submitted on May 31, 2017, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on June 28, 2017. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners

within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemptions §15301 [existing facilities], 15303 [new construction or conversion of small structures] and §15304 [minor alterations to land]. Class 1 Categorical Exemptions consist of minor repairs, maintenance and alterations of existing structures and includes interior and exterior remodels. Class 3 Categorical Exemptions allow for conversions of existing small structures from one use to another where only minor modifications are made to the exterior of the structure. Class 4 Categorical Exemptions consist of minor public or private alterations in the condition of land, water, and/or vegetation which do not involve removal of healthy, mature, scenic trees except for forestry or agricultural purposes.

1.3 Development Plan Findings

1. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

As discussed in the Planning Commission staff report dated August 7, 2017 and hereby incorporated by reference, the project can be found consistent with all applicable Objectives and Policies of the City's General Plan/Coastal Plan and Zoning Code. The use of the property as a single family residence is consistent with the types of development permissible under the site's Planned Residential Development (PRD-20) zoning designation and the Medium Density Residential (MDR) land use designation. With the approval of the Modification to allow for an uncovered tandem parking configuration in place of a two-car garage, the proposed project would be consistent with all applicable zoning requirements.

2. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

This finding can be made as the subject parcel is not located within any known areas of high geologic, flood or fire hazards. Under the site's PRD-20 zoning designation, the 7,000 square foot subject lot could accommodate up to three dwelling units; the subject project proposal is to convert the existing church building into one single family residence.

3. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The project site is located in a developed urban area and outside of any areas identified in the City's Environmentally Sensitive Habitat Area (ESHA) Overlay district. The site does not contain any environmentally sensitive habitat area, or provide any habitat value for endangered, rare or threatened species, nor does the project have the ability to impact fish or wildlife as it involves the conversion of an existing church building into a single family residence within a developed urban neighborhood. There are no known sensitive resources or native vegetation that would be impacted as a result of this project.

Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, because the project is a redevelopment project that would replace convert an existing structure from a conditionally permitted use to a permitted use in a developed neighborhood. Standard conditions of approval address any temporary construction impacts of the project and the implementation of storm water best management practices. For these reasons, the project would not cause substantial environmental damage.

4. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

There are no recorded easements acquired by the public at large for access through the property, nor is the property encumbered by any easements granted to a public agency. Likewise, no new easements are required as a condition of approval.

5. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

The project does not have the potential to adversely affect these services in that these services are currently available to the existing church building and would continue to be made available to this property. Agencies potentially affected by this project have been notified and have indicated an ability to serve the project.

The proposed development would not by itself, or cumulatively, impose an increased demand on public services that would adversely affect the availability of these services to existing or future development. Therefore, this finding can be made.

6. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

The project involves converting an existing church building into a single family residence

within an urbanized, residential part of the City. No changes to the structure's footprint, appearance or size/bulk/scale would result from the project. With the approval of a parking Modification, the property would provide its two required onsite parking spaces in an uncovered tandem arrangement, thereby improving the parking situation over the current condition. Overall, the project can be found to be consistent with the City's desire to preserve and enhance the "small beach town" character of the Downtown/Old Town Neighborhood. Therefore, this finding can be made.

1.4 Development Plan Modification Findings

1. *The modification to zoning standards for the covered parking requirements is necessary to accommodate an innovative project which will result in the provision of a larger amount of open space or landscaping than the minimum requirements of the district.*

The project maintains a significantly greater open space area than the minimum required, most of which is located at the front of the lot and visible from Walnut Avenue, while still providing the required number of onsite parking spaces in the least intrusive manner so as to minimize impacts to the site's historically significant character. The amount of open space provided with the project is 3,891 square feet, slightly more than twice the minimum required. The parking area has been designed and located in consultation with the architectural historians and received a recommendation for preliminary/final approval from the City's ARB. The design minimizes the impacts of the driveway and parking area on the visual quality of the front yard and best preserves the property's existing historic character. Therefore, the proposed parking arrangement is found to be an innovative solution to improving the site's parking conformance while remaining sensitive to the constraints placed on the property due to its historical significance.

1.5 Coastal Development Permit Findings

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the permit requested may be issued based on the following findings:

1. *The proposed development is in conformity with the City's certified Local Coastal Program.*

The project includes the conversion of an existing church building into a two-bedroom, two-bathroom single family residence. No changes to the structure's footprint, appearance or size/bulk/scale are proposed. As discussed in the Planning Commission staff report dated August 7, 2017 and hereby incorporated by reference, the project is consistent with the General/Coastal Plan's applicable Land Use Element, Community Design Element, Circulation Element, Open Space/Recreation/Conservation Element, Safety Element, Noise Element and Public Facilities Element Objectives and Policies in that the project is

consistent with the types of land uses anticipated this area of the City, would not create any new impacts on sensitive habitats or existing infrastructure, would preserve a historically significant building, and would not pose a nuisance to surrounding land uses. Therefore, this finding can be made.

Exhibit 1
Attachment B: Reduced Plans

**Wells Residence
924 Walnut Avenue**

PC Hearing, August 7, 2017

Vicinity Map



Scope of work:
 Convert church to single family residence.
 Interior remodel, plumbing, electrical and
 mechanical work.
 No grading

Square Footage:

	NET	GROSS
Existing church	1,516	1,577
(C) covered entry	97	97
Converted SFR	1,516	1,577
Interior remodel	574	

Lot area - structure = 5,226 sq. ft.

Contacts:

Owner:
 Mr. and Mrs. Geoff Wells
 1017 Sunset Place
 Ojai, CA 93023
 (805) 985-5365

Residential Designer:
 Calvin Design / Sophie Calvin
 P.O. Box 50716
 Santa Barbara, CA 93150
 (805) 965-5751
 sophiecalvin@gmail.com

Landscape Architect:
 Scott Menzies
 550 Maple Ave., Suite A
 Carpinteria, CA 93013
 (805) 320-9751
 www.ScottMenzies.com

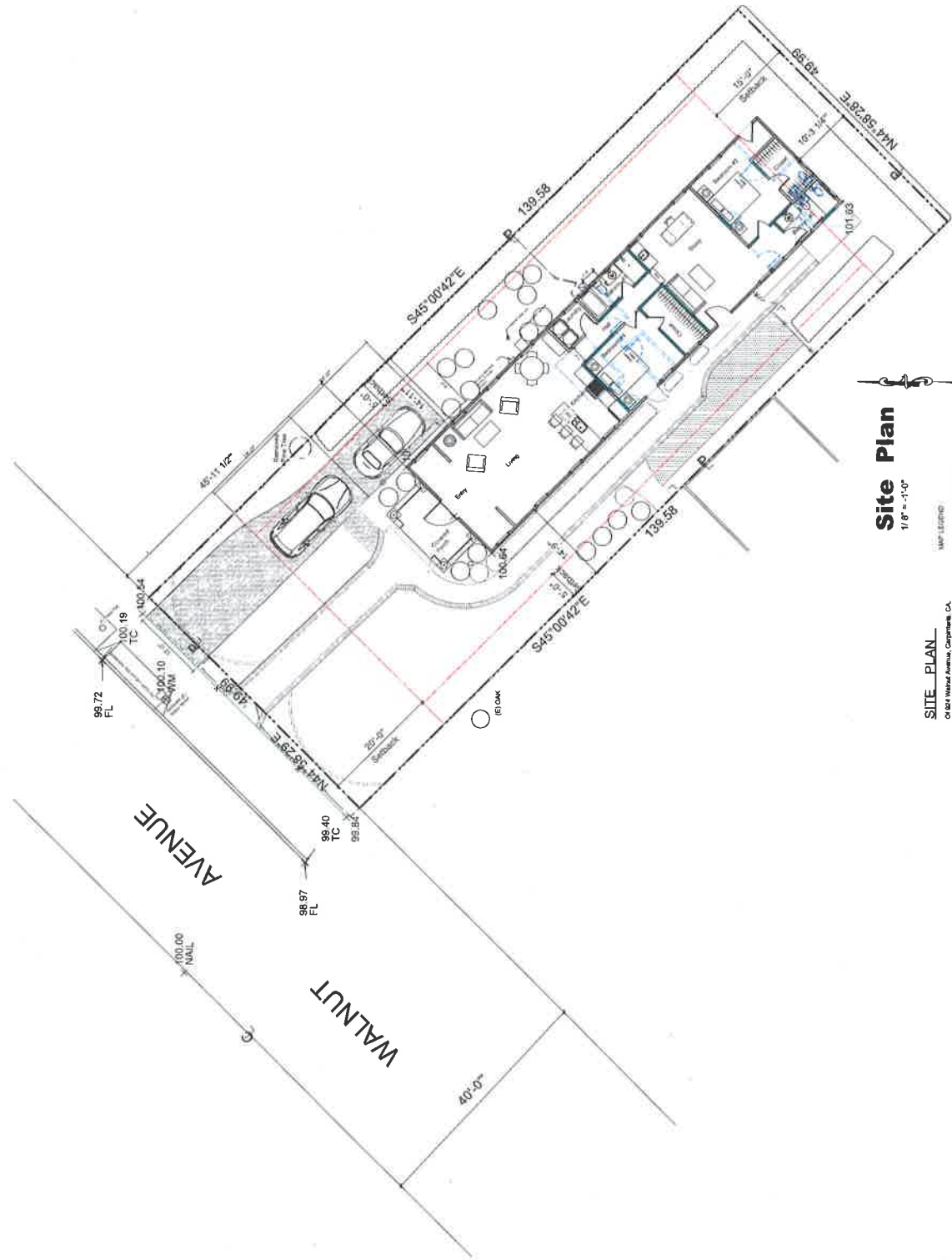
Historian:
 Post Hazeltine Associates
 2807 Ovella St.
 Santa Barbara, CA 93105
 (805) 962-5751

Land Surveyor:
 Joel Avalos
 2500 Santa Barbara St.
 Santa Barbara, CA 93103
 (805) 846-7242
 Lic. # 7324

APN: 004-047-021
Lot Size (net): 7,000 sq. ft.
Zone: PRD
Construction type: Single family residence
Year built: 1921
Occupancy: R3
Coastal Zones: Yes
Stories: One
High fire: No

Sheet index:

- A1. Site Plan, project data
- A2. Existing floor plan
- A3. Existing exterior elevations
- A4. Existing interior elevations
- A5. Proposed floor plan
- A6. Proposed exterior elevations
- A7. Perspectives
- L1.0 Landscape Plan



Site Plan

1/8" = -1'-0"

MAP LEGEND
 MSL - survey control point
 MSL - survey control point
 TC - top of curb
 FL - top of foot
 - centerline
 Survey Control Point

SITE PLAN

0164 Walnut Avenue, Carpinteria, CA
 APN: 004-047-021 Date: 08/29/17
 FILE: MSL ID-23
 Prepared By:
 JOEL F. AVAIA LAND SURVEYOR L.S. 7324
 2801 Palms RD, Suite 100, Carpinteria, CA 93027 PH: (805) 944-7242



Sophie Calvin
 (405) 969-0559
 1401 S. Broadway, 6th Floor
 Oklahoma City, OK 73104

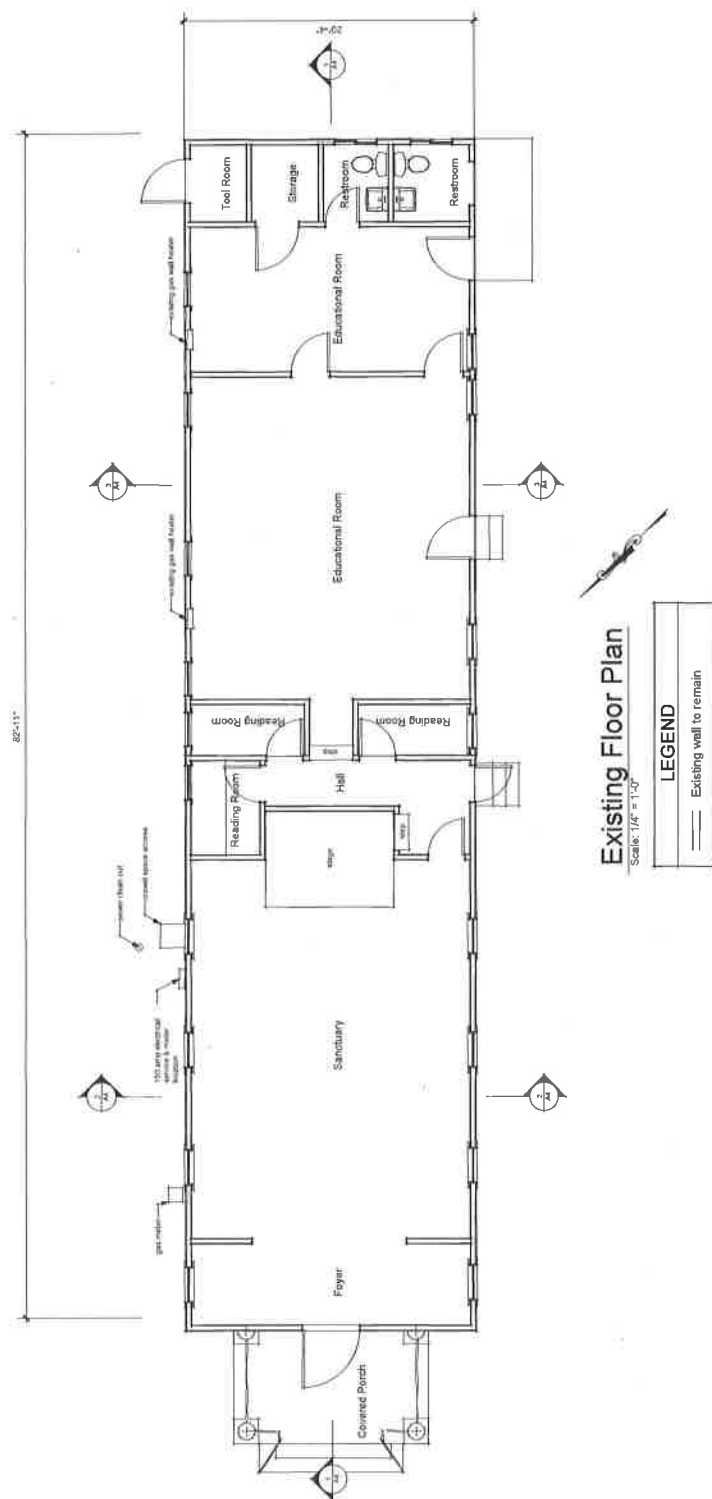
and the authors of the book, *Johns Hopkins University Press*. The book is available in paperback for \$19.95 and in hardcover for \$34.95. For more information, contact the publisher at 7401 E. Eastman Avenue, Suite 200, Denver, CO 80231, USA. Tel: 303 755 4700. Fax: 303 755 4710. E-mail: info@wiley.com.

Mr. and Mrs. Geoff Wells
924 Walnut Ave., Carpinteria, CA

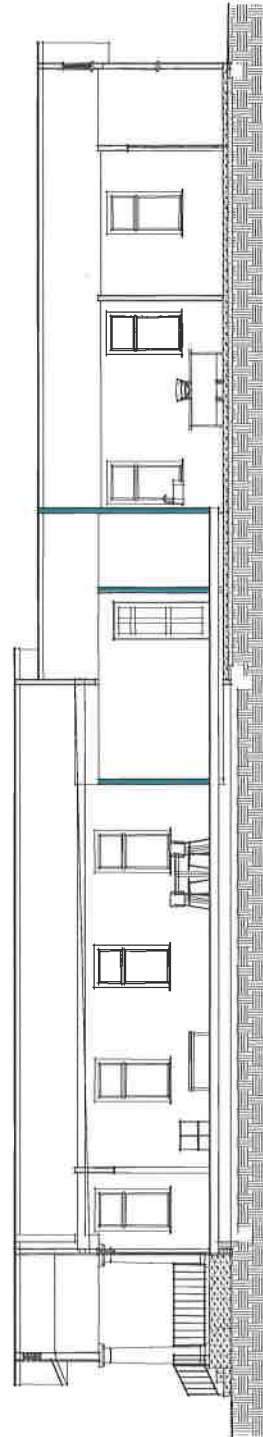
Existing Floor Plan

May 30, 2017

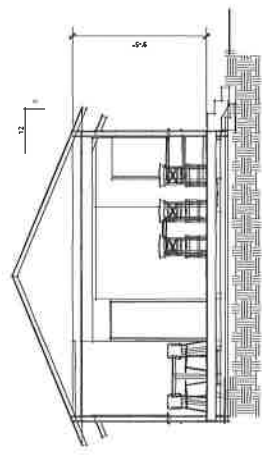
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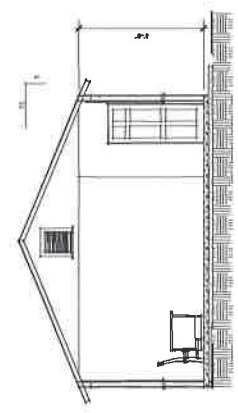
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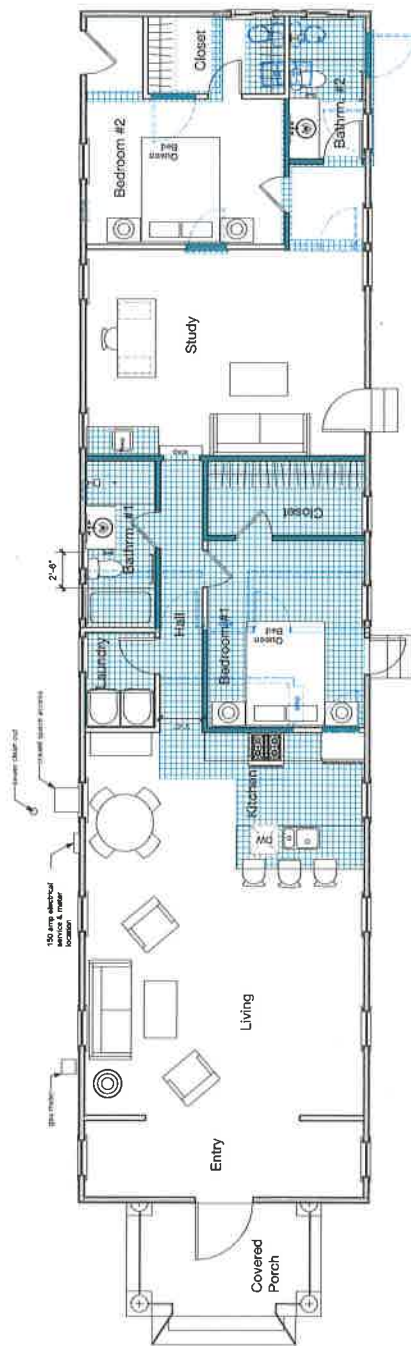
1 section
 Scale: 1/4" = 1'-0"



2 section
 Scale: 1/4" = 1'-0"



3 section
 Scale: 1/4" = 1'-0"



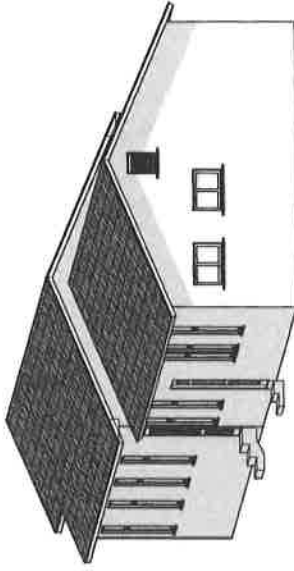
Proposed Floor Plan

Scale: 1/4" = 1'-0"

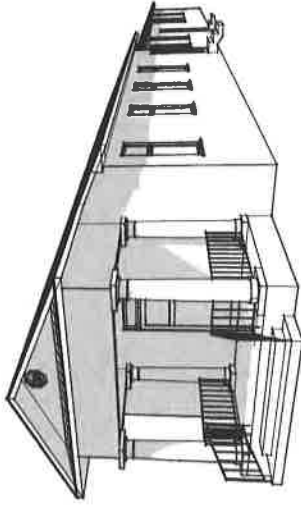
LEGEND

- Wall to be demolished**
- Existing wall to remain**
- New 2 x 6 stud wall, for exterior and plumbing wall**
- New 2 x 4 stud wall**
- Area of remodel**

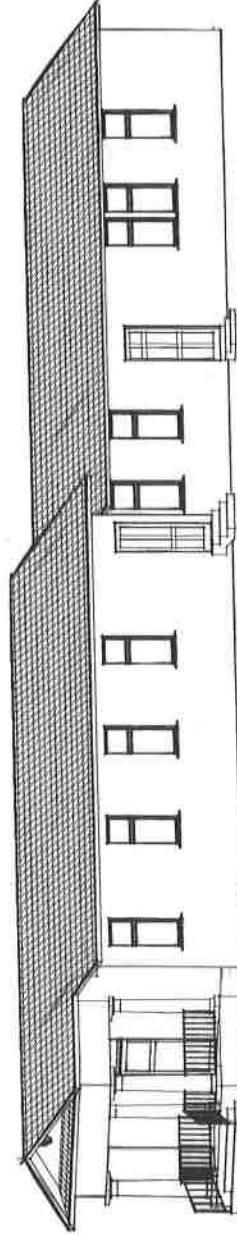
Architectural drawing of the West Elevation of a building. The drawing shows a two-story structure with a gabled roof, a central entrance with columns, and a small balcony. Dimensions include a total height of 17'-0", a roof height of 12'-0", and a width of 14'-0". Labels indicate existing features like the tile vent, asphalt shingle roofing, exterior plaster, and painted wood/plaster/glass doors. A north arrow points towards the bottom left.



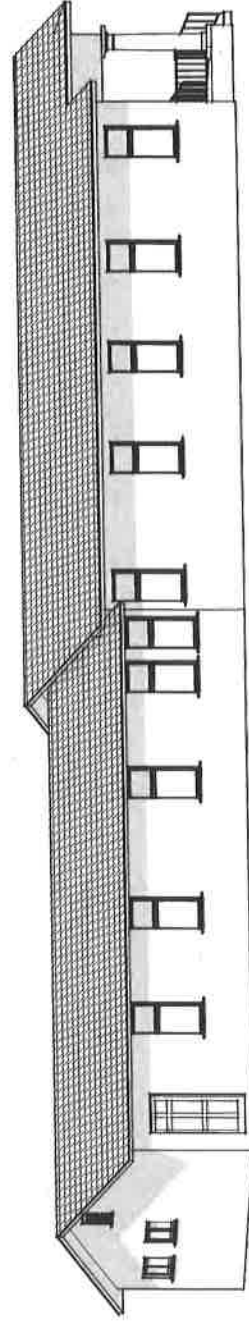
East Elevation



West Elevation



South Elevation



North Elevation

SCOTT WENZEL
LANDSCAPE ARCHITECT

LANDSCAPE PLAN

ISSUE DATE _____

PLANNING COMM. & 7-17 _____

DRAWN: SM
CHECKED: SM

SHEET No _____
L1.0
OF _____

PROJECT No. 17B-15

SCOTT WENZEL
LANDSCAPE ARCHITECT

LANDSCAPE PLAN

[illegible]

Condition	Control (n=10)	MCI (n=10)	AD (n=10)
1	100	85	65
2	95	80	60
3	90	75	55
4	85	65	45



BELGARD HOLLAND STONE PAVER.



62 HET - SoSe Sommersemester 2020

WEED-ABE - Weedbeats 'N' Bats'

Exhibit 1
**Attachment C: Recommended Conditions of
Approval**

**Wells Residence
924 Walnut Avenue**

PC Hearing, August 7, 2017

**PLANNING COMMISSION HEARING
PROJECT 18-1879-DP/CDP
924 WALNUT AVENUE
APN 004-047-021
AUGUST 7, 2017**



**ATTACHMENT C: CONDITIONS OF APPROVAL
WELLS RESIDENCE**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated August 7, 2017) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows:

The proposed project would convert a former church into a single family residence. No changes are proposed to the building's 1,677 square foot footprint or height (remaining at 15 feet six inches). An interior remodel would replace the existing sanctuary and classrooms with a two-bedroom, two-bathroom private residence. Exterior alterations to the structure are limited to filling in an existing window and replacing an existing door with a new window at the southeast corner of the building.

A new curb cut, apron and driveway would be constructed on the project's Walnut Avenue frontage to provide access to a new onsite parking area located along the north (side) property line. New decorative landscaping is proposed for the front yard lawn area. The existing 36-inch high picket fence, located in the City's Walnut Avenue right-of-way is proposed to be repaired/replaced.

A Modification to the City's covered parking requirements for a single family dwelling is required to allow the proposed parking arrangement of providing an uncovered tandem parking arrangement instead of two parking spaces in a garage.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. Applicant shall sign and record an informational Notice to Property Owner (NTPO) on a form provided by the Community Development Department notifying current and future owners that the property is approved at this time, only for a single family residence, and that any other use or intensification of use first requires the express approval of the City of Carpinteria. **Plan Requirements and Timing:** NTPO form provided by CDD shall be signed, notarized and recorded by the applicant with the Santa Barbara County Clerk Recorder's office prior to issuance of any Building Permits. **Monitoring:** Applicant shall submit satisfactory evidence of recordation to CDD prior to Building Permit issuance.
3. Onsite structures shall be preserved, restored and renovated according to the City's historical resources guidelines. A County of Santa Barbara qualified historian shall be retained to identify appropriate preservation and restoration/renovation guidelines for onsite structures pursuant to City guidelines, as appropriate. **Plan Requirements:** Final building plans shall be reviewed and approved by the consulting architectural historian. Historian shall be consulted during construction as needed. **Timing:** Review and approval of final building plans shall occur prior to issuance of any Building Permits for construction. Historian shall site inspect during construction as needed. **Monitoring:** Written proof of historian's review and approval of final building plans shall be provided to CDD. CDD shall ensure compliance with historian's recommendations through site visit and/or photo documentation.
4. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. **Plan Requirements:** The locations of all exterior lighting fixtures shall be depicted on a Lighting Plan to be reviewed and approved by CDD. **Monitoring:** CDD shall review plans prior to the Building Permit approval and if needed, refer the proposed

fixtures to the consulting architectural historians for review and approval. CDD shall site inspect prior to occupancy clearance.

5. All materials and colors used in construction and all landscape materials shall be as represented to the Architectural Review Board and any deviation will require the express review of CDD staff.
6. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.
7. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
8. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site by following the dust control measures listed below. During clearing, grading, earth moving, excavation or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this shall include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency shall be required whenever the winds speed exceeds 15 miles per hour. Reclaimed water should be used whenever possible.
 - b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
 - c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
 - d. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.

Plan Requirements: All requirements shall be shown on the grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction activities. **Monitoring:** CDD shall ensure measures are on plans. Grading and Building Inspectors shall spot check and ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

9. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.
10. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
11. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on demolition plans. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates. **Timing:** Materials shall be recycled as necessary throughout demolition and grading activities. **Monitoring:** Public Works shall review and approve a completed WMP prior to issuance of a Building Permit.
12. Best available erosion and sediment control measures shall be implemented during grading and construction. Best available erosion and sediment control measures may include but are not limited to use of sediment basins, gravel bags, silt fences,

geo-bags or gravel and geotextile fabric berms, erosion control blankets, coir rolls, jute net and straw bales. Storm drain inlets shall be protected from sediment-laden waters by use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters, and excavated inlet sediment traps. Sediment control measures shall be maintained for the duration of the construction period. Construction entrances and exits shall be stabilized using gravel beds, rumble plates, or other measures to prevent sediment from being tracked onto adjacent roadways. Any sediment or other materials tracked off site shall be removed the same day as they are tracked using dry cleaning methods. **Plan Requirements:** An erosion and sediment control plan shall be submitted to and approved by Public Works prior to issuance of a Grading or Building Permit. The plan shall be designed to address erosion and sediment control during all phases of development of the site. **Timing:** The plan shall be implemented prior to the commencement of construction. **Monitoring:** Public Works shall perform site inspections throughout construction.

13. Adequate space shall be maintained to allow a minimum of two vehicles to be parked within the approved parking area, without encroaching into the City right-of-way or required setbacks, for the life of the project.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

14. This Development Plan and Coastal Development Permit is not valid until a Building Permit for the development has been obtained. Failure to obtain said Building Permit shall render this Development Plan and Coastal Development Permit null and void. Prior to the approval of the Building Permit, all of the conditions listed in this Development Plan and Coastal Development Permit that are required to be satisfied prior to approval of a Building Permit must be satisfied. Upon issuance of the Building Permit, the Development Plan and Coastal Development Permit shall be valid. The effective date of this Permit shall be the date of expiration of the appeal period, or if appealed, the date of action by the City Council.
15. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
16. Within one year after the effective date of this permit, construction shall commence. Construction cannot commence until a Building Permit has been issued. Failure to commence the construction pursuant to a valid Building Permit shall render the Development Plan and Coastal Development Permit null and void.
17. All time limits may be extended by the Planning Commission for good cause shown, provided a written request, including a statement of reasons for the time

limit extension request is filed with Community Development prior to the expiration date.

18. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
19. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
20. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions or Approval on a form acceptable to Community Development. Such form may be obtained from the CDD office.
21. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
22. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full.
23. In accordance with Chapter 15.80 of the Carpinteria Municipal Code, the applicant shall pay Development Impact Fees to the City prior to Building Permit issuance. The amount of the fees will be determined at the time permits are issued.
24. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
25. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
26. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Development Plan and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold

harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

27. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.
28. Compliance with the attached Departmental and District letters is required as follows:
 - a. Carpinteria Public Works Department letter dated July 20, 2017
 - b. Carpinteria Valley Water District letter dated June 5, 2017
 - c. Carpinteria Sanitary District letter dated June 23, 2017
 - d. Carpinteria-Summerland Fire Protection District letter dated June 28, 2017
 - e. Santa Barbara County Air Pollution Control District letter dated June 13, 2017

Approved by the Planning Commission on August 7, 2017

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant/Property Owner

Date

CITY OF CARPINTERIA, CALIFORNIA



Department of Public Works Memorandum

To: Nick Bobroff, Senior Planner

From: Matt Maechler
Department of Public Works

Date: July 20, 2017

Subject: 924 Walnut Ave. 17-1879

The Department of Public Works (DPW) has reviewed the project submittal and has prepared the following conditions of approval. Other City departments and agencies may have additional requirements.

PROJECT SPECIFIC CONDITIONS

1. Plans shall be submitted for frontage improvements prior to issuance of building permits for review and approval by the City Engineer. Frontage improvements, including monolithic 6" curb, 18" gutter, and driveway aprons are to be installed in conformance with the standards, specifications and policies of the City at the locations shown in the improvement plans. Unless otherwise specified, the City utilizes the County of Santa Barbara Engineering Standards.
2. All improvements in the public right-of-way shall be completed to the satisfaction of the City Engineer prior to the issuance of a Certificate of Occupancy by the Community Development Department.
3. The proposed location of the Water Meter shall be shown in the plans as well as receiving approval from Carpinteria Valley Water District.
4. The applicant shall submit two (2) sets of improvement plans prepared by a California Registered Civil Engineer. Said plans shall include but not be limited to any street, utility, retaining wall/fence and/or storm drain improvements and shall be submitted to the Department of Public Works for review and approval prior to issuance of an Engineering Permit.
5. An Encroachment Permit for the project will be required for work within the public right-of-way and any private improvements located within the right-of-way, including landscaping and the picket fence. A standard indemnification form will also be required.

6. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates.
7. Applicant shall submit an erosion and sediment control plan prior to project approval. The plan shall contain site-specific best available erosion and sediment control measures to be implemented before demolition or construction activities occur. All erosion and sediment control plans shall be reviewed and approved by Public Works prior to start of work.
8. This project is subject to the requirements of the County of Santa Barbara Technical Guide for Low Impact Development for the project site, which shall include any frontage or right-of-way improvements. The applicant shall provide documentation to determine the extent of new or replaced impervious surfaces, and if applicable, submit a Storm Water Control Plan (SWCP) complying with the Technical Guide that includes the following elements: identification of potential pollutant sources that may affect the quality of the storm water discharges; the proposed design and placement of structural and non-structural PCRs to address identified pollutants; a proposed Operation and Maintenance Plan; a method for ensuring maintenance of all PCRs over the life of the project; and certification by a licensed civil engineer, architect, or landscape architect.

End of Conditions



Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

BOARD OF DIRECTORS

Alonzo Orozco
President
Polly Holcombe
Vice President
Shirley L. Johnson
Matthew Roberts
June Van Wingerden

June 5th, 2017

Geoff Wells
924 Walnut Ave.
Carpinteria, Ca. 93013

GENERAL MANAGER

Robert McDonald, P.E. MPA

**SUBJECT: 924 WALNUT AVE, APN 004-047-021, ACCOUNT # 08-082259-02
REQUIREMENTS FOR INTENT TO SERVE LETTER FOR CONVERTED
CHURCH**

Hello Mr. Wells

This letter is good for one year from the date of the letter.

The District has reviewed the submitted material for an Intent to Serve Letter for the conversion of an existing church to a new home dwelling. Currently, account # 08-082259-02 is being served by a 3/4" meter. Prior to the issuance of the intent to serve letter the district will require the following items.

- The district will require an exhibit showing where the existing meter and back flow device is and where the proposed meter will be placed.
- The district will require a construction deposit in the amount of 9,000 dollars for the relocation of the water meter. This deposit will need to be paid in full to the district before any relocation of the meter can be initiated. (See fee sheet behind.)
- The district will require fire flow calculations from a fire sprinkler engineer.

If you have any questions, please feel free to contact me at jeremy@cvwd.net or 805-684-2816x103.

Thank you,
Carpinteria Valley Water District

Jeremy W. Rentch, P.E.
Associate Engineer

C: File Copy
nickb@ci.carpinteria.ca.us

CARPINTERIA VALLEY WATER DISTRICT

FEE ESTIMATE FOR

Project Name: 924 Walnut Street Meter Relocation

Project Number: C-XX

Description:

Relocate Existing 3/4" Meter at the request of the owner

Owner Geoff Wells
Contact 924 Walnut Street Ave. Carpinteria CA

Date of Fee estimate 6/5/2017
Estimate valid through: 6/5/2018

Description	Qty	Unit Fee	Fee
Construction Deposit** per CVWD Rules and Regs (9a) and Appendix C			
1- 3/4" Meter Service Runs	1	\$9,000.00	\$9,000.00

DEPOSITS SUBTOTAL = \$9,000.00

TOTAL FOR CCRF & DEPOSITS = \$9,000.00

These fees will be required to be paid prior to the meter being removed.

initial

**The Deposit is an estimate of the time and material cost to the District. If the actual cost of work exceeds the Deposit the applicant will be billed for the remaining balance of the total cost for the work done. If the total cost of the work is less than the Deposit then the balance of the Deposit will be refunded to the applicant.

initial

Jeremy Rentch , Associate Engineer
Carpinteria Valley Water District

Signature
Owner

Notes: District Rule #4 "Credit of Applicant" Establishment of Credit: No later than 7 working days after the commencement of service, each applicant must establish credit with the District by one of the following methods:

- (1) If the applicant provides sufficient evidence of creditworthiness established on another Carpinteria Valley Water District service account, as determined solely by the Manager or his designee, credit will be deemed established.
 - (2) By a cash deposit with the District in the amount required by Rule Number 6.
 - (3) By receipt of a letter or e-mail from another public water agency with the following information confirming the customer's good credit account history for a current account with that agency:
 - i. Date account was open.
 - ii. Statement that there have been no shut offs for non-payment or door tags in the last 2 years.
- A current account includes an account closed at the request of the customer within 60 days of the date of the new service request. The District must receive a customer's letter of credit prior to the service start date.
- District Rule #8a** Deposit Amount. The amount of cash deposit to establish credit, as required by Rule Number 4 for all classes of service, shall be a sum equal to twice the estimated average bill for the type of service rendered.



CARPINTERIA
Sanitary District

5300 Sixth Street
Carpinteria, CA 93013

Phone (805) 684-7214 • Fax (805) 684-7213

June 23, 2017

Nick Bobroff
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, California 93013

RECEIVED

JUN 26 2017

CITY OF CARPINTERIA

RE: Project No. 17-1879 DP/CDP
924 Walnut Avenue (APN: 004-047-021)
Applicant: Geoff Wells
Agent: Brian Banks – Siemens Planning, LLC

Dear Mr. Bobroff:

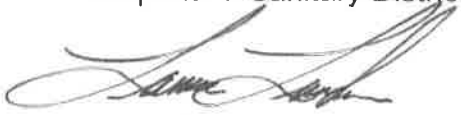
Thank you for the opportunity to provide comments on the subject project. The Carpinteria Sanitary District (District) has reviewed the revised plans received on June 8, 2017. The proposed project is to convert a former church into a single-family residence.

The District recommends that the following conditions be incorporated into the review/approval process to address sewer system improvements:

1. Any sewer improvements shall conform to approved District construction standards for materials and methods. The sewer lateral serving the property should be evaluated, and if necessary brought to current standards.
2. A sewer construction permit is required for any and all work on the sewer lateral serving the proposed project. The permit shall be procured and any applicable fees paid prior to issuance of Building permits. The applicant shall submit a detailed sketch or engineered drawing to the District showing any proposed sewer connections, alterations or additions. During the construction, it is the applicant's and contractor's responsibility to notify the District for inspection and of any sewer improvements or modifications not noted on the approved plans.
3. Please provide a note on the utility plans to inform the Contractor that a permit from the District is required prior to any sewer construction work. Please allow at least 48 hour advanced notice to the District for inspections. The District can be reached at (805) 684-7214 x13.

If you have any questions or comments regarding any of the conditions provided, please contact me at (805) 684-7214, ext. 13 or lancel@carpsan.com.

Sincerely,
Carpinteria Sanitary District

A handwritten signature in black ink, appearing to read 'Lance Lawhon', written over a horizontal line.

Lance Lawhon
Engineering Technician

cc: Geoff Wells
Brian Banks – Siemens Planning, LLC



CARPINTERIA~SUMMERLAND FIRE PROTECTION DISTRICT

June 28, 2017

Nick Bobroff
Associate Planner
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

RE: 17-1879-DP/CDP / Change of Use
APN 004-047-021 / 924 Walnut Ave

Dear Nick Bobroff:

The following items are necessary for fire protection:

1. The change of use of the building/ structure will require protection by an approved automatic fire sprinkler system. Prior to installation, plans for the proposed fire sprinkler system shall be designed by a qualified person and submitted to the prevention bureau for approval.
2. Smoke detectors and Carbon Monoxide Alarms must be installed in all residences in accordance with the National Electric Code Per the provisions of the 2016 California Building and Fire Codes.
3. Address numbers must be posted at the driveway and on the buildings such that they are visible from the street. Numbers shall be a minimum 4 inches high on a contrasting background.
4. Roof access must meet the requirements stated in the Carpinteria Municipal Code.
5. Access, when access ways are gated, a Fire District approved key box shall be installed in an accessible location. Prior to installation, the Fire District shall approve the location and type.

"Pride in Service"

6. Public fire hydrants supplying the required fire flow within the required driving distance from the structures shall be provided. Prior to issuance of a building permit submitted plans shall include the location of the fire hydrant nearest to this project.
7. Per Carpinteria-Summerland Fire District Ordinance No. 2003-01 pertaining to fees and service charges, a permit application fee is assessed on all plans reviews.
8. Pursuant to C.S.F.P.D. Ordinance No. 92-02 and Carpinteria City Ordinance No. 599, prior to issuance of a "Certificate of Occupancy", the Carpinteria-Summerland Fire Protection District mitigation fee must be paid.
9. Any future changes, including further division, intensification of use, or increase in hazard classification, may require additional conditions in order to comply with applicable fire district development standards.

If you need additional information on Fire District conditions, please contact me at 566-2451.

Sincerely,

A handwritten signature in cursive script, appearing to read 'Ed Foster', written in dark ink.

Ed Foster
Fire Marshal
Fire Prevention Bureau

cc: Applicant

RECEIVED

JUN 15 2017

CITY OF CARPINTERIA

June 13, 2017

Nick Bobroff
City of Carpinteria
Community Development Department
5775 Carpinteria Avenue
Carpinteria, CA 93013

Re: APCD Suggested Conditions on 924 Walnut Avenue, 17-1879-DP/CDP

Dear Mr. Bobroff:

The Air Pollution Control District (APCD) has reviewed the referenced project, which consists of proposed plans to convert a former church into a single-family residence. No changes are proposed to the building's 1,677 square foot (sq ft) footprint or height. An interior remodel would replace the existing sanctuary and classrooms with a two bedroom, two bathroom private residence. There will be some landscape and hardscape improvements. No grading is proposed. The subject property, a 7,000 sq ft-parcel zoned PRD-20 and identified in the Assessor Parcel Map Book as APN 004-047-021, is located at 924 Walnut Avenue in the City of Carpinteria.

Air Pollution Control District staff offers the following suggested condition:

1. The applicant is required to complete and submit an **Asbestos Demolition/Renovation Notification or an EXEMPTION** from Notification for Renovation and Demolition (APCD Form ENF-28 or APCD Form ENF-28e), which can be downloaded at www.ourair.org/compliance-forms/ for each regulated structure to be demolished or renovated. Demolition notifications are required regardless of whether asbestos is present or not. The completed exemption or notification should be presented, mailed, or emailed to the Santa Barbara County Air Pollution Control District with a minimum of 10 working days advance notice prior to disturbing asbestos in a renovation or starting work on a demolition. The applicant should visit www.ourair.org/asbestos/ to determine whether the project triggers asbestos notification requirements or whether the project qualifies for an exemption.

If you or the project applicant have any questions regarding this comment, please feel free to contact me at (805) 961-8893 or via email at NightingaleK@sbcapcd.org.

Sincerely,



Krista Nightingale
Air Quality Specialist
Technology and Environmental Assessment Division

cc: Brian Banks, Siemens Planning, LLC
TEA Chron File

Aeron Arlin Genet • Air Pollution Control Officer
260 North San Antonio Road, Suite A • Santa Barbara, CA • 93110 • 805.961.8800
OurAir.org • twitter.com/OurAirSBC

Exhibit 2
Phase I/II Historic Resources Reports
Prepared by Post Hazeltine Associates

Wells Residence
924 Walnut Avenue

PC Hearing, August 7, 2017

PHASE 1 HISTORIC RESOURCES REPORT

FOR

**924 Walnut Avenue
Carpinteria, California**

(APN 004-047-021)

**Prepared for:
Geoff Wells**

**Prepared by:
Post/Hazeltine Associates
2607 Orella Street
Santa Barbara, 93105
Tel: (805) 682-5751
E-mail: posthazeltine@cox.net**

February 13, 2017

1.0 INTRODUCTION AND PROJECT DESCRIPTION

This Phase 1 Historic Resources Letter Report for 924 Walnut Avenue (APN 004-047-021) (Figures 1 & 2), Carpinteria, California was prepared for Geoff Wells. This report evaluates the potential eligibility of the property for listing as a significant historic resource for the purposes of environmental review. The report was written by Pamela Post, Ph.D., primary author and Timothy Hazeltine and follows the guidelines for historic resource studies set forth by the City of Carpinteria.

2.0 SITE HISTORY

2.1 History of Carpinteria (1782-1900)

The project parcel is located within the Carpinteria Valley, a narrow strip of land extending north approximately 10 miles from the Rincon to Montecito and due west from the Santa Ynez Mountains to the Pacific Ocean. The valley was initially inhabited by the Chumash, whose village, "Mishopshnow," was located near what is now the present town of Carpinteria. During the Spanish and Mexican periods (1782-1848), with the exception of cattle grazing, the valley remained undeveloped. Following California's acceptance into the Union (1850) the area began to be settled by Americans, many of them farmers drawn to the valley's rich alluvial soil and benign climate. By the early 1860s a small settlement had been platted near the mouth of Santa Monica Creek (Toro Canyon Master Plan 2001: 4.11-1). Originally known as *La Carpinteria*, the town's name was anglicized in the 1870s, as "Carpenteria" (in 1900 the Post Office reverted to the town's original spelling of Carpinteria). By 1870 there were 427 people living in the township, most of them agriculturists (1870 United States Census). Farms in the valley were generally small. Ranging in size from five to fourteen acres, they were devoted primarily to the raising of beans, barley, grapes, and olives (Caldwell, 2000: 5, 9). Early settlers included Russel Heath (reputably Carpinteria's first American settler, he arrived in 1858), Oren and Rosina Caldwell who came in 1868, and Milton Smith, who purchased beach front property in 1863 and later built a small pier to the north of Carpinteria at La Serena for the farmers to ship agricultural goods.

Originally, the small town, which, by 1870, included a post office, blacksmith shop, and several saloons, was located south of Carpinteria Cemetery on Cravens Lane (Caldwell 1979: 6-7). In 1875 the Crushed Rock and Asphaltum Company of San Francisco leased 30 acres on Carpinteria Bluffs from two local farmers for use as an asphaltum mine (the bluff's tar seeps, which had first been used by the Chumash, were well known). The mine, which employed as many as 200 workers, comprised, in addition to the surface mines, barracks and a dining hall for the miners (Caldwell 1979: 77-78). After its extraction, the asphaltum was shipped to refineries via Serena Wharf (asphaltum continued to be extracted from the Carpinteria waterfront until the mid-1930s). Linden Avenue, located just to the west of the mine, soon developed a number of

saloons, stores, and boarding houses. In 1887, the Southern Pacific Railroad completed a rail line linking coastal Santa Barbara County with Los Angeles. The new line included a small station on Linden Avenue. The rail line not only made travel to Carpinteria more convenient it also provided an efficient method of transporting the valley's crops to Los Angeles. Within a few years of the railroad's arrival, the town's post office was moved from its old location near Cravens Lane to the 600 block of Linden Avenue. With the relocation of the post office, the town of Carpinteria began to develop along Linden Avenue, replacing the original location near Cravens Lane as the center of the valley's commercial and social life.

By the late 1890s, the town boasted a school, hotel, churches, social halls and stores. Most of the development centered on the intersection of Linden Avenue and Tenth Street. With a few notable exceptions, the town's houses were modestly-scaled wood-framed types whose architectural embellishments were limited to architectural trimwork (remaining examples include the houses at 4923 and 4953 Seventh Street). One of the few high style houses remaining from the late 19th century is the Queen Anne style house at 5395 Eighth Avenue. It was during this period that Walnut Avenue began to develop, with small scale residential housing, most of them designed as vernacular type or in the Queen Anne style. Throughout the 19th century, agriculture remained the foundation of the local economy. By the mid-1880s, lima beans and walnuts had replaced wheat and barley as the valley's most lucrative crops. By the late 1890s, the state's nascent citrus industry had begun to establish itself in Santa Barbara County, drawn to the area by the availability of water for irrigation, and mild, almost frost-free climate. C. D. Hubbard, a local resident, was instrumental establishment of Carpinteria Valley's thriving lemon industry (Scott 1992: 3) during the late 19th century.

2.2 Carpinteria 1900-1945

Significant improvements were made to the region's transportation system, in the early 20th century, most notably the completion, in 1901, of the northern segment of the Southern Pacific Railroad Company's coastal route linking Santa Barbara County to Northern California and the completion in 1912 of the Rincon Road, a causeway linking Carpinteria to Ventura. The completion of the causeway provided automobiles with their first reliable route to Carpinteria from Southern California. During this period Carpinteria, like many towns in California experienced some growth, likely due to expansion of the Carpinteria Valley's agricultural industry, including the establishment of nut and fruit packing houses along the railroad right-of-way. With population growth, came the need for additional churches, which during this period were among the most important centers for community life. One of these was the small 1st Church of Christ Scientist which opened in 1923 at 924 Walnut Avenue (Stockton 1960: 79).

By the early 1920s, cars and trucks began to replace horses as the Carpinteria Valley's primary mode of transportation. Tenth Street was soon lined with businesses, such as gas stations, garages, and even small motels that catered to travelers and local residents. Throughout the 1900s and into the late 1920s modestly-scaled residences continued to be built along Walnut Avenue and 6th Street, though by this time the Craftsman style had superseded the Queen Anne in popularity. Changing demographics and prejudice fueled in part, by the town's growing population of Hispanic agricultural workers, led to development of separate enclaves and schools for the town's Hispanic and white residents. Most of the Hispanic residents lived in neighborhoods on the northwest side of Linden Avenue while whites were primarily located southeast of Linden Avenue. In 1920, the school system was segregated, with Aliso School being set aside for the Hispanic children (the school was not desegregated until 1947). By the late 1920s, residential development was almost entirely focused on the new residential tracts being developed in or adjacent to the Vallecito Tract. The most notable development in Carpinteria during this period was the gradual transformation of Carpinteria Beach into a recreation destination. Local boosters billed it as the "Worlds Safest Beach" (Caldwell 1979: 4). Unlike earlier resorts, such as the Potter Hotel in Santa Barbara or the Miramar in Montecito, which were focused on an upper class clientele, the beach was marketed to short-term visitors of more modest means who traveled by car, stayed for the weekend, and patronized the town's cafes, motels and motor courts. With the onset of the Great Depression in 1929 the community's economic development, which was largely based on agriculture, faltered. While the economy improved after America's entry into World War II in 1941, shortages of building supplies curtailed new construction. Consequently, little development occurred in the town until after the end of World War II in 1945.

2.3 Carpinteria 1945-2017

The close of World War II ushered in a profound period of change for Carpinteria. In 1954, the old Coast Highway was relocated to the north and transformed into a four-lane freeway. The construction of the freeway led to the destruction of part of the Vallecito and Cramer Tract and physically separated the old town from the residential tracts located to the north of downtown (Scott 1992: 4). With the improved transportation provided by the new freeway, Carpinteria began to develop suburban housing tracts, many of whose residents worked in nearby Santa Barbara. As was common during this period new commercial development was located near or adjacent to the freeway rather than in the town's historic core. During the postwar period agriculture remained an important component of the economy where it increasingly focused on the production of avocados and hothouse and nursery plants rather than the more labor-intensive crops that had characterized the Carpinteria Valley in the late 19th and early 20th centuries. Beginning in the late 1980s, Carpinteria's old town began its revitalization with small stores, small inns and restaurants. Today, the

old town once again serves as a popular destination for both visitors and residents.

2.4 History of the Property at 924 Walnut Avenue (1916-2017)

The Church of Christ, Scientist was an American sect founded in Boston by Mary Eddy Baker in 1879. Baker, who believed herself cured from a serious illness by reading the Bible. Baker wrote *Science and Health with Key to the Scriptures* (1875), which outlined her religious philosophy and formed the basis for her teachings. In 1879 she and her followers formally established the Church of Christ Scientist in Boston. The church, which was unique in being headed by a woman, soon gained followers and by the early 20th century had gained followers throughout the nation. The Carpinteria chapter was established in 1910 by Mrs. S.F. Shepard, Mrs. Ray Cadwell, Mrs. Fred Humphrey, Mrs. Fannie Lyon, and Miss Estelle, all members of prominent local farming families, as a home study group (Stockton 1960: 78). By 1912, the group, which had gained new adherents, began meeting in the Masonic Lodge on Linden Avenue; by 1916 they were formally recognized as a branch of the mother church in Boston (Stockton 1960: 79). The charter members of the church were in addition to the original members, Mrs. Pearl Gay, Mrs. Eulalia Nelson, Mrs. Marian Cate, Miss Charlotte Shepard and John Sherman Bailey (Stockton 1960: 79). The newly formed church, which had already saved money for a building put-off construction until after World War II using the money instead for war relief (Stockton 1960: 79). Around the early 1920s, the church purchased the lot at 924 Walnut Avenue with the intent of constructing a church on the property. Construction began in early 1923 and was finished by the end of the year when the church held its first services. Like many Christian Science churches it incorporated Classical style architectural motifs, which in the case of the Carpinteria building were confined to the front porch with its Tuscan columns and pediment-capped roof (https://en.wikipedia.org/wiki/List_of_former_Christian_Science_churches,_societies_and_buildings). The church remained in operation until 2016 when it was closed. The closure of the church was symptomatic of the sect's dramatic loss of members in the post World War II period, which has seen membership fall by over 50 percent (https://en.wikipedia.org/wiki/Church_of_Christ,_Scientist).

3.0 SITE DESCRIPTION

3.1 General Description and Setting

924 Walnut Avenue is set on a rectangular lot on the east side of Walnut Avenue (see Figures 1 & 20. As noted in Section 1.0 on buildings is located on the property. This is a one-story rectangular building that is setback from the street. A fence extends along the street front, at its center a gate opens onto a concrete walk that leads to the building's raised porch. The parcel is informally landscaped with trees and shrubs, the most prominent being a large pine tree located off the north side of the former church. Adjacent properties on either side of the study parcel are residential.

3.2 The Former Church

Set on a raised foundation, the stucco-clad building has a rectangular foot print. The building is composed of two components, a large meeting room oriented to Walnut Avenue and a rear wing with a lower ridgeline that houses support facilities such as classrooms, offices and restrooms (Figures 3 – 6). Fenestration is composed of one-over-one wood sash windows and aluminum-framed windows and paneled doors. Roofs are front-facing gables with moderately extended eaves. The roofs' ridge heights vary with the meeting room have a higher roof line than the rear wing. While the side (east) and rear elevations (north and south) are reductive in design and do not feature architectural embellishments. The west elevation facing Walnut Avenue, which is the entrance façade, features the building's most formal architecture. It is composed of a centrally-placed raised porch whose Tuscan columns and pilasters support a Classical style pediment. The porch shelters an Arts and Crafts style wood door capped by Classical style grilles. The center of the pediment is embellished with a circular vent. The raised concrete porch's steps feature metal railing. Side and rear elevations primarily feature one-over-one wood sash windows. Some of the windows at the rear of the building feature metal framed glazing which must have replaced the original windows.

3.3 Landscape

The existing landscape is composed of a lawn facing Walnut Avenue. Informal plantings of shrubs, small trees and specimen plants extend along the narrow side yards bordering the buildings' north and south elevations. The rear yard is informally landscaped. Walkways are narrow concrete type typical of the first half of the 20th century. The largest tree is a pine located off the building's north elevation. The landscape does not embody any design characteristics that would indicate it contributes significantly to the setting of the building.

4.0 EVALUATION AND ANALYSIS

The former church 924 Walnut Avenue will be evaluated for integrity and historic/cultural significance using County of Santa Barbara, State of California and National criteria (the City of Carpinteria currently uses the County of Santa Barbara's historic resources guidelines as an evaluative framework for assessing potentially significant historic properties and assessing project impacts to significant historic resources).

4.1 Criteria for Evaluation of Evaluation of Historical Resources

The criteria to be used in determining the preliminary historic and architectural significance of buildings and/or properties are (the City of Carpinteria is currently using the significance criteria developed by the County of Santa Barbara):

Any structure 50 years or older is considered potentially significant and shall be subjected to the following criteria (County of Santa Barbara Resource Management Department Cultural Resource Guidelines Historic Resources Element: 1986, Revised January, 1993).

A significant resource a) possesses integrity of location, design, workmanship, material, and/or setting; b) is at least fifty years old; and c) demonstrates one or more of the following:

- 1) is associated with an event, movement, organization, or person that/who has made an important contribution to the community, state or nation;
 - 2) was designed or built by an architect, engineer, builder, artists, or other designer who has made an important contribution to the community, state, or nation;
 - 3) is associated with a particular architectural style or building type important to the community, state, or nation;
 - 4) embodies elements demonstrating a) outstanding attention to design, detail, craftsmanship, or b) outstanding use of a particular structural material, surface material, or method of construction or technology;
 - 5) is associated with a traditional way of life important to an ethnic, national, racial, or social group, or to the community-at-large;
 - 6) illustrates broad patterns of cultural, social, political, economic, or industrial history;
 - 7) is a feature or cluster of features which a sense of time and place that are important to the community, state, or nation;
 - 8) is able to yield information important to the community or is relevant to the scholarly study of history, historical archaeology, ethnography, folklore, or cultural geography.
- The level of significance for these criteria are established by rating each significance attribute of the resource (detailed below) according to the following scale:

The integrity, age and association of the property will be given a significance ranking ranging from 1 to 3 (with E for exceptional). The property's level of significance will be based on the ranking of each category.

E = exceptional
3 = high; very good
2 = good
1 = fair

5.1.2 Integrity

E = pristine integrity in all 5 categories
3 = very good integrity in at least 3 categories
2 = good integrity in at least 1 category
1 = fair to poor integrity in all categories

Integrity means that the resource retains the essential qualities of its historic character. These guidelines recognize five components of integrity: location, design, setting, materials, and workmanship.

5.1.2a Integrity of Location

Integrity of location means that the resource remains at its original location.

The former church was built in 1923 and has remained in place since its construction date. Therefore, the building receives a ranking of "very good" (3) for integrity of location.

5.1.2b Integrity of Design

Integrity of design means that the resource accurately reflects its original plan. However, it is rare to find structures that have not been modified in some manner. Therefore, the County guidelines recognize that building additions that accurately incorporate design elements found in the original structure do not compromise a building's integrity of design.

The former church has undergone few alterations since its initial date of construction; it is possible that the rear wing was added sometime after the original construction of the front meeting hall. However, this modification, whose design is consistent in scale, massing and materials with the front of the building, must have occurred before World War II, and is located to the rear of the building out of public view, consequently, it did not impair the building's integrity of design. Therefore, the building receives a ranking of (3) or "very good" for its integrity of design.

5.1.2c Integrity of Setting

Integrity of setting means those buildings, structures, or features associated with a later development period have not intruded upon the surrounding area to the extent that the original context is lost.

The former church's period of significance is 1923, the year it was built. The surrounding block has retained most of its early 20th century houses and streetscape features and can still convey the essential features of its pre World War II appearance. Therefore, the building at 924 Walnut Avenue, which has in large measure retained the essential features of its original setting, receives a ranking of (3) "very good" for integrity of setting.

5.1.2d Integrity of Materials

Integrity of materials means that the physical elements present are still present, or if materials have been replaced, the replacement(s) have been based on the original.

The former church has retained most of its original building fabric, including its character-defining front porch, front door, plaster cladding and most of its

original doors. Later modifications and alterations are either compatible in scale, massing and materials to the original building or in the case of the replacement windows at the rear of the building do not substantially impair the building's ability to convey the character of its original construction materials. Therefore, the building at 924 Walnut Avenue receives a ranking of (3) "very good" for integrity of materials.

5.1.2e Integrity of Workmanship

Integrity of Workmanship means that the original character of construction details is present. These elements can not have deteriorated or been disturbed to the extent that their value as examples of craftsmanship have been lost.

Constructed of standard construction materials of the day such as manufactured siding, doors, windows and hardware employed in a conventional manner the former church exhibits the level of craftsmanship found in modest houses of worship built in the first decades of the early 20th century. Therefore, the building at 924 Walnut Avenue receives a ranking of (2) "good" for integrity of workmanship.

Summary Statement of Integrity

The house receives a ranking of (3) for possessing "very good" integrity in at least one category.

5.1.3 Age

E = 125 years old or older

3 = 100 years old or older

2 = 75 years old or older

1 = 50 years old or older

Comment: A "E" designation is based on the premise that any manmade feature which survives for 125 years or more is intrinsically exceptional and therefore subject to special consideration be virtue of its age, irrespective of other ratings.

Based on the County's ranking system, the former church at 924 Walnut Avenue, which is 94 years of age, receive a ranking of "2" for age.

5.1.4 Association

Association with an event, movement, organization, or person that/who has made an important contribution to the community, state or nation;

E = Resource has a central or continuous association with an event...

3 = Resource has a direct association with an event...

2 = Resource has an indirect association with...

1 = Resource has a distant association with...

Comment: The significance of the event, movement, organization, or person must be established before this criterion is applied.

Because the property's direct associations are religious in nature the property at 924 Walnut Avenue receives a ranking of "not applicable" for this criterion.

5.1.5 Designer:

Was designed or built by an architect, engineer, builder, artist, or other designer important to the community, state or nation:

E = a designer that has made important contributions to the community and to the state or nation.

3 = a designer that has made important contributions to the community.

2 = an "attributed to" designer who made important contributions to the community.

1 = designer is unknown.

Comment: This significance attribute focus on overall designer contributions rather than on the aesthetic merits of the design itself.

There is no documentation that the house was designed by an architect or designer. Therefore, the house at 924 Walnut Avenue, which is not associated with a historically significant architect, designer, contractor or carpenter, who made important contributions to the development of Carpinteria, receives a ranking of "1" for this criterion.

5.1.6 Architectural Style or Building Type:

Is associated with a particular architectural style or building type, important to the community, state, or nation:

E = retains all of the attributes associated with its style or type or is a good example of its style or type if few survive.

3 = retains most of the attributes associated with its style or type or is remodeled in a recognizable style that does not destroy the original style or type.

2 = retains few, but sufficient attributes associated with its style or type.

1 = undecipherable as a style or type or is one of many examples of its style or type.

Comment: Vernacular building types and industrial architecture are equal in research to well defined and studied architectural styles.

In its design and materials the former church is as a very simplified iteration of the Classical Revival style, whose character-defining features include symmetry, balance and the use of architectural motifs inspired by ancient Greece and Rome. Because the

building at 924 Walnut Avenue has retained almost all of the attributes associated with its architectural style it receives a ranking of "3" for architectural style or building type.

5.1.7 Construction Materials

E = outstanding or very early example if few survive.

3 = outstanding or very early example if many survive; good example if few survive.

2 = good example if there are many examples of any material(s) and/or method(s) not generally in current use.

1 = common example of any method(s) and/or material(s).

Comment: examples of outstanding construction methods or structural materials include those which successfully address challenging structural problems, or which are treated as visible elements that contribute significantly to the resources overall design quality, or which exhibit fine craftsmanship.

The former church was built using standard framing and standard building materials of the day, such as pre-manufactured windows, doors, and dimensional lumber. Therefore, the building at 924 Walnut Avenue receives a ranking of "1" for construction materials.

5.1.8 Traditional Lifeways

E = resource has a central association with a tradition spanning three or more generations.

3 = resource has a direct association with a tradition spanning three or more generations

2 = resource has a direct association with a tradition spanning two generations or an indirect association with a tradition spanning two or more generations.

1 = resource has a distant association with a tradition spanning two or more generations.

Comment: traditional lifeways, as used here, pertain to cultural patterns that have attained antiquity commensurate with the age requirement to which tangible resources are held. A central association ("E" rating) implies a quality of uniqueness between the resource and the tradition.

The former church at 924 Walnut Avenue is not associated with a traditional lifeway. Therefore, the building at 924 Walnut Avenue receives a ranking of "not applicable" for this criterion.

5.1.9 Association with Broad Themes of Local, State, or National History

E = resource has a central association with theme(s)

3 = resource has a direct association with themes(s)

2 = resource has an indirect association with theme(s)

1 = resource has a distant association with theme(s)

Comment: The theme and its significance must be established before this criterion is applied. A helpful measure of this criterion is to consider how useful the resource would be for teaching or writing about cultural history.

The former church has an association early 20th century expansion of Carpinteria Valley's agricultural industry and population during the first three decades of the 20th century during the Regional Culture Period (1915-1945). The construction of modest churches set in residential neighborhoods was a characteristic feature of Carpinteria during a time when the Carpinteria Valley was developing into a regional center of the citrus industry, an economic activity that would be a mainstay of the local economy until the 1970s. Therefore, the building at 924 Walnut Avenue receives a ranking of "3" for association with broad themes of local, state, or national history.

5.1.10 Conveys (an) Important Sense of Time and Place

E = an individual resource or a unified urban or rural landscape which defines a period of 100 or more years ago.

3 = an individual resource or a unified urban or rural landscape which defines a period of 75 or more years ago.

2 = an individual resource or a unified urban or rural landscape which defines a period of 50 years or more.

1 = an individual resource or a unified urban or rural landscape which defines a period less than 50 years old.

Comment: A useful measure of this criterion is to consider the resource(s) has/have a prominence that contributes to a historic, visual, or environmental continuity. Would a typical resident notice the resource(s) and remember it/them?

The former church has retained sufficient integrity to convey its original design and Classical Revival architectural style. Later additions are compatible in scale and massing to the original architectural scheme. The former church continues to convey the essential features of its appearance when it was built in 1923. Therefore, the former church at 924 Walnut Avenue receives a ranking of "3" for its ability to convey an important sense of time and place.

5.1.11 Ability to Yield Important Information

This attribute of significance is not quantifiable. Generally, when this criterion is invoked, it is an indication that the resource under study requires further examination by a professional from a related discipline. Nevertheless, it is incumbent upon the historical specialist to consider what qualities of the resource or the project area might enable it to yield information that is important to another scholarly discipline.

Further study of the property would not yield information important to historical or cultural studies. The application of this criterion to potential archaeological deposits is beyond the purview of this report.

Summary Quantification of Historic Resource Criteria

In assessing the three major categories and the 13 subsets within the various categories in the County of Santa Barbara's significance for evaluation of historical resources, it is the professional opinion of Post/Hazelline Associates that the former church at 924 Walnut Avenue achieves the following historic resource ranking:

5.1.2 Integrity (3)

- a. Integrity of location = very good
- b. Integrity of design = very good
- c. Integrity of setting = very good
- d. Integrity of materials = good
- e. Integrity of workmanship = good

5.1.3 Age (2)

- 5.1.4 Association with an event, movement, organization or person important to the community, state, or nation = n.a.
- 5.1.5 Designer = 1
- 5.1.6 Architectural style or building type = 3
- 5.1.7 Construction materials = 1
- 5.1.8 Traditional lifeways = 0
- 5.1.9 Association with broad themes of local, state, or national history = 3
- 5.1.10 Conveys an important sense of time and place = 3
- 5.1.11 Is able to yield information important to the community or is relevant to the scholarly study of history, historical archaeology, ethnography, folklore, or cultural geography. (The application of this criterion is beyond the purview of this report).

The former church at 924 Walnut Avenue receives a ranking of "3" ("very good") for Integrity and "2" for Age. It receives an overall ranking of "2" for Association. Therefore, the property retains sufficient integrity and potential significance to require evaluation using the significance criteria outlined below:

The property also must meet one or more of the following Significance Criteria to be considered a significant resource:

- 1) *Is associated with an event, movement, organization, or person that /who has made an important contribution to the community, state or nation;*
- 2) *Was designed or built by an architect, engineer, builder, artist, or other designer who has made an important contribution to the community, state or nation;*
- 3) *Is associated with a particular architectural style, or building important to the community, state or nation;*
- 4) *Embodies elements demonstrating (a) outstanding attention to design, detail or method of construction, or (b) outstanding use of a particular structural material, surface material, or method of construction or technology;*
- 5) *Is associated with a traditional way of life important to an ethnic, national, racial, or social group, or to the community at large;*

- 6) *Illustrates broad patterns of cultural, social political, economic, or industrial history;*
- 7) *Is a feature or cluster of features which conveys a sense of time and place that is important to the community, state or the nation;*
- 8) *Is able to yield information important to the community, or is relevant to scholarly studies in the humanities, and social sciences.*

The property will be evaluated under Criteria 3 and 6; the remaining criteria are not applicable to the property.

Criterion 3:

The former church at 924 Walnut Avenue has retained sufficient integrity to convey its reductive interpretation of the Classical Revival style. Its character-defining features include its asymmetrical façade, front porch supported by Tuscan style columns and half-columns and pedimented porch roof as well as its double-hung sash windows and front gable roofs. The former church exemplifies the type of simplified versions of the Classical Revival style built in California's smaller towns, including Carpinteria, during the first few decades of the 20th century. Therefore, the building at 924 Walnut Avenue, which is one of Carpinteria's rare surviving examples of its architectural style, qualifies for designation as a Place of Merit under *Criterion 3*.

Criterion 6:

The former church has an association early 20th century expansion of Carpinteria Valley's agricultural industry and population during the first three decades of the 20th century during the Regional Culture Period (1915-1945). The construction of modest churches set in residential neighborhoods was a characteristic feature of Carpinteria during a time when the Carpinteria Valley was developing into a regional center of the citrus industry, an economic activity that would be a mainstay of the local economy until the 1970s. This development pattern which inserted modest churches as well as other non-residential uses in residential neighborhoods was characteristic of small towns such as Carpinteria. In Carpinteria, residences were in proximity to churches, stores and businesses such as packing houses. The juxtaposition of these building and use types was a characteristic feature of Carpinteria during the Regional Culture period when the former church was built. Therefore, the building at 924 Walnut Avenue, which contributes to visual and historical character of the surrounding neighborhood, qualifies for designation as a Place of Merit under *Criterion 6*.

5.2 Determination for Eligibility by the State Historical Resources Commission for listing in the California Register of Historical Resources

- (a) *For purposes of this section, the term "historical resources" shall include the following:*
- 1.) *A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).*
 - 2.) *A resource included in a local register of historical resources, as defined in section*

5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.

- 3.) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architecturally, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852) including the following:
- a) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;
 - b) Is associated with the lives of persons important in our past;
 - c) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or
 - d) Has yielded, or may be likely to yield, information important in prehistory or history.

The former church is potentially eligible for listing in the California Register of Historical Resources under Criterion c because it is a representative example of the type of modest interpretation of the Classical Revival style found in California's smaller agricultural communities during the first two decades of the 20th century. Therefore, the building at 924 Walnut Avenue is eligible for listing in the California Register of Historical Resources under Criterion c.

5.3 Evaluation of Eligibility for the National Register of Historic Places

The quality of significance in American history, architecture, archaeology, and culture is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:

- (a) That are associated with events that have made a significant contribution to the broad patterns of our history; or
- (b) That are associated with the lives of persons significant in our past, or
- (c) That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction, or
- (d) That has yielded, or may be likely to yield, information important in prehistory or history.

The former church is potentially eligible for listing in the National Register of Historic Places under Criterion c because it is a representative example of the type of modest interpretation of the Classical Revival style found in the nation's smaller agricultural communities during the first two decades of the 20th century. Therefore, the building at 924 Walnut Avenue, as an example of this architectural type is eligible for listing in the National Register of Historic Places under Criterion c.

6.0 CONCLUSIONS

This Historic Structures Report has determined that the former church at 924 Walnut Avenue, California, (APN 004-047-021) is eligible for listing as a Place of Merit at the City of Carpinteria level and for listing in the California Register of Historical Resources and the National Register of Historic Places. The existing landscape is not a contributor to these potential designations. Therefore, the former at 924 Walnut Avenue is a potentially significant resource for the purposes of environmental review. Please note that these conclusions are the professional opinion of Post/Hazeltine Associates and final decisions regarding significance are the purview of the lead agency, the City of Carpinteria.

7.0 BIBLIOGRAPHY AND REFERENCES

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The following archives were used in the preparation of this report:

Carpinteria Valley Museum of History

City of Carpinteria, Community Development, Planning Department

County of Santa Barbara Tax Assessor's Office

Santa Barbara Historical Society, Gledhill Library

University of California, Santa Barbara, Main Library, Special Collections

Maps

U. S. Geodetic Survey Maps, 1870, 1878.

U. S. Land Commission Map, 1855.

1919 Harold G. Chase Map Depicting Parcels and Owners Between Carpinteria and Santa Barbara.

Sanborn Fire Insurance Maps 1920 and 1929.

Other Sources

1920 United States Census

Maps and Figures

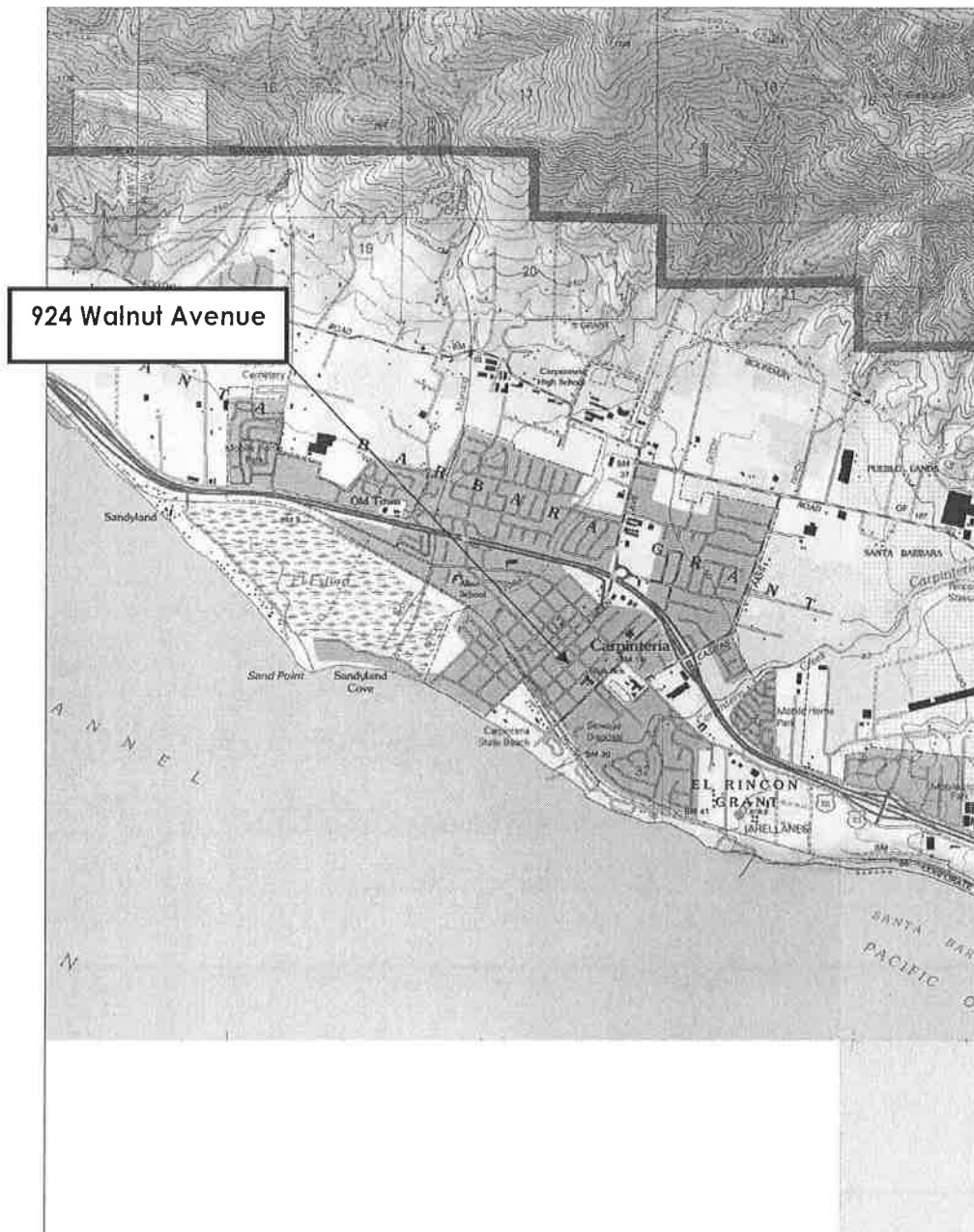


Figure 1
Location Map
924 Walnut Avenue, Carpinteria

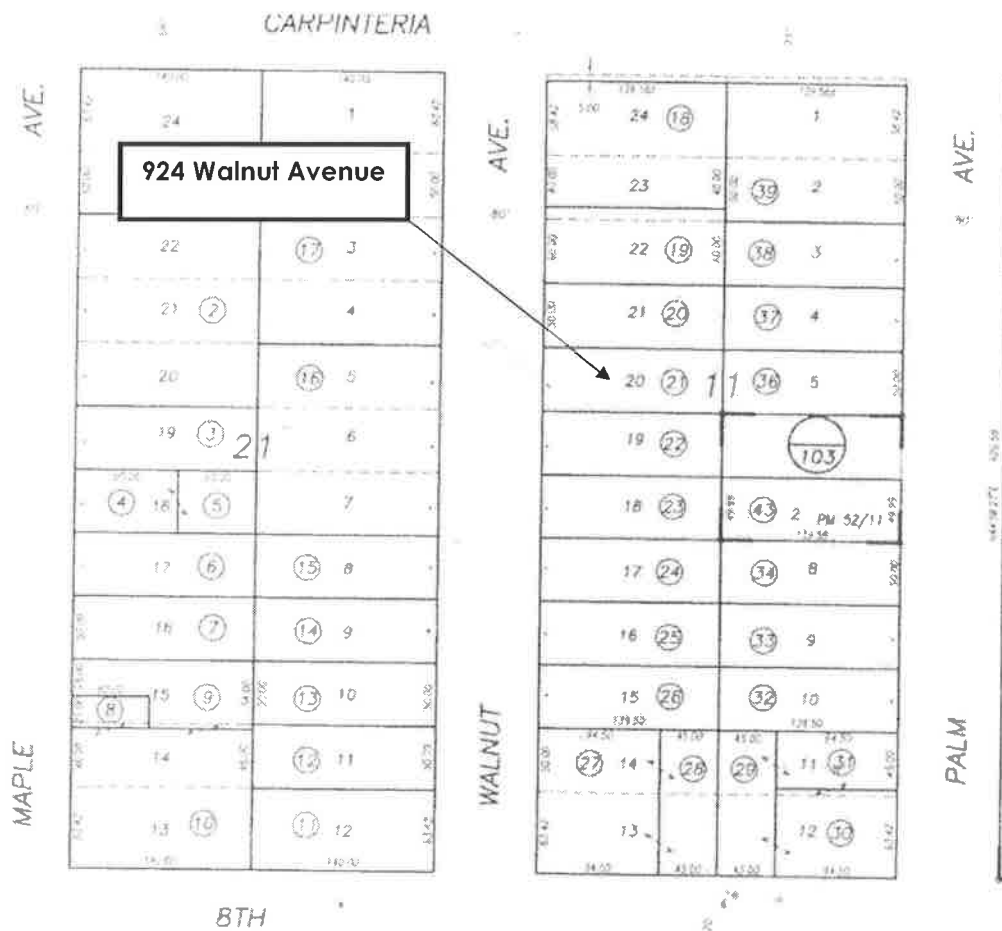


Figure 2
Assessor Parcel Map
924 Walnut Avenue, Carpinteria

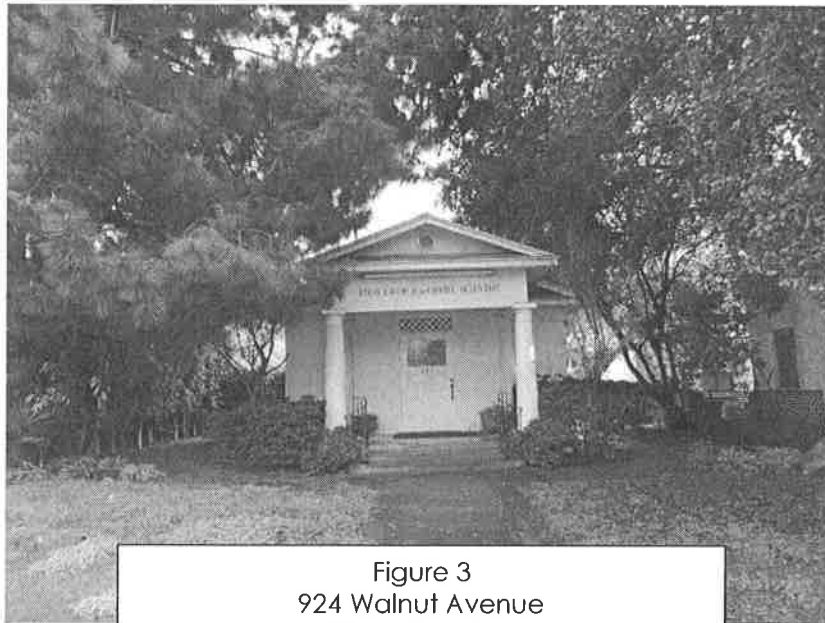


Figure 3
924 Walnut Avenue
West Elevation



Figure 4
924 Walnut Avenue
West Elevation, detail of porch



Figure 5
924 Walnut Avenue
South Elevation, detail of fenestration on rear
wing



Figure 6
924 Walnut Avenue
North Elevation, detail of fenestration on
front wing

Post/Hazeltine Associates Architectural Historians

2607 Orella Street
Santa Barbara, CA 93105
Tel: (805) 682-5751
e-mail: posthazeltine@cox.net

May 31, 2017 (revised June 2, 2017)

Geoff Wells

c/o Brian Banks
Siemens Land Use and Planning
brian@siemensplanning.com

Phase 2 Historic Resources Letter Reviewing Proposed Plans for 924 Walnut Avenue, Carpinteria, California.

Introduction and Summary of Findings

This Phase 2 Historic Resources Letter reviewed a proposed remodeling plan for 924 Walnut Avenue, Carpinteria, California and determined its implementation would result in a less than significant impact to significant historic resources.

Previous Studies

The project parcel was the focus of a Phase 1 Historic Resources Report prepared by Post/Hazeltine Associates in February of 2017. The report determined that the existing building on the property which was built in 1923 as the Christian Science Meeting Hall met Criteria 3: *Is associated with a particular architectural style, or building important to the community, state or nation*, because the building is a rare example in Carpinteria of a reductive interpretation of the Classical Revival Style (Post/Hazeltine Associates 2017: 13). The building also met Criterion 6: *Illustrates broad patterns of*

cultural, social political, economic, or industrial history, because the building has a direct association with the early 20th century development of Carpinteria's middle and working class neighborhoods which often featured churches and small commercial buildings set amongst modest homes (Post/Hazeltine Associates 2017: 13). Because the building was found eligible for listing at the local level it was considered a significant historic resource for the purposes of Environmental Review (Post/Hazeltine Associates 2017: 15).

Evaluation of the Proposed Project

Regulatory Setting

The following section of the report will evaluate the impact of the proposed project on the significant resources identified in the Phase 1 Historic Resources Report. Potential adverse impacts include alterations or changes that result in changes to a resource or its setting that diminish those qualities that justify its potential listing as a significant historic resource at the local, state and national levels.

State CEQA Guidelines #15064.5 for determining the significance of impacts to historic resources:

An adverse effect is defined as an action that will diminish the integrity of those aspects of the property that make it eligible for listing in a local, State or National register of historic resources. CEQA defines adverse effect in the following manner: *A project with an effect that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment* (Public Resource Code 15064.5 (b)). *Substantial adverse change in the significance of an historical resource means physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired* (Public Resource Code 15064.5 (b1)).

CEQA defines material impairment of a historic resource as follows:

- A. *Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;*
- B. *Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or*

- C. Demolishes or materially alters in an adverse manner those physical characteristics of a historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA. (Public Resources Code 15064.5 (b2)).
- D. Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995) shall be considered as mitigated to a level of less than significant.
- E. A lead agency shall identify potentially feasible measures to mitigate significant adverse changes in the significance of an historical resource. The lead agency shall ensure that any adopted measures to mitigate or avoid significant adverse changes are fully enforceable through permit conditions, agreements, or other measures.

Secretary of the Interior's Standards (Standards):

The project proposes alterations to the building including alterations to the south elevation and a proposed landscape plan including off-street parking. Under the Standards this project is defined as rehabilitation. The Standards define rehabilitation as follows:

Rehabilitation is defined as the act or process of making possible a compatible use for property through repair, alterations, and additions while preserving those portions or features which convey its historical, cultural or architectural values
<http://nps.ov/history/hps/tps/standards/rehabilitation.htm>.

The following standards developed by the National Park Service to evaluate rehabilitation projects will guide the evaluation of the proposed project:

Secretary of the Interior's Standards for Rehabilitation

- 1) A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.
- 3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- 4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- 5) Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6) *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

7) *Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

8) *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

9) *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

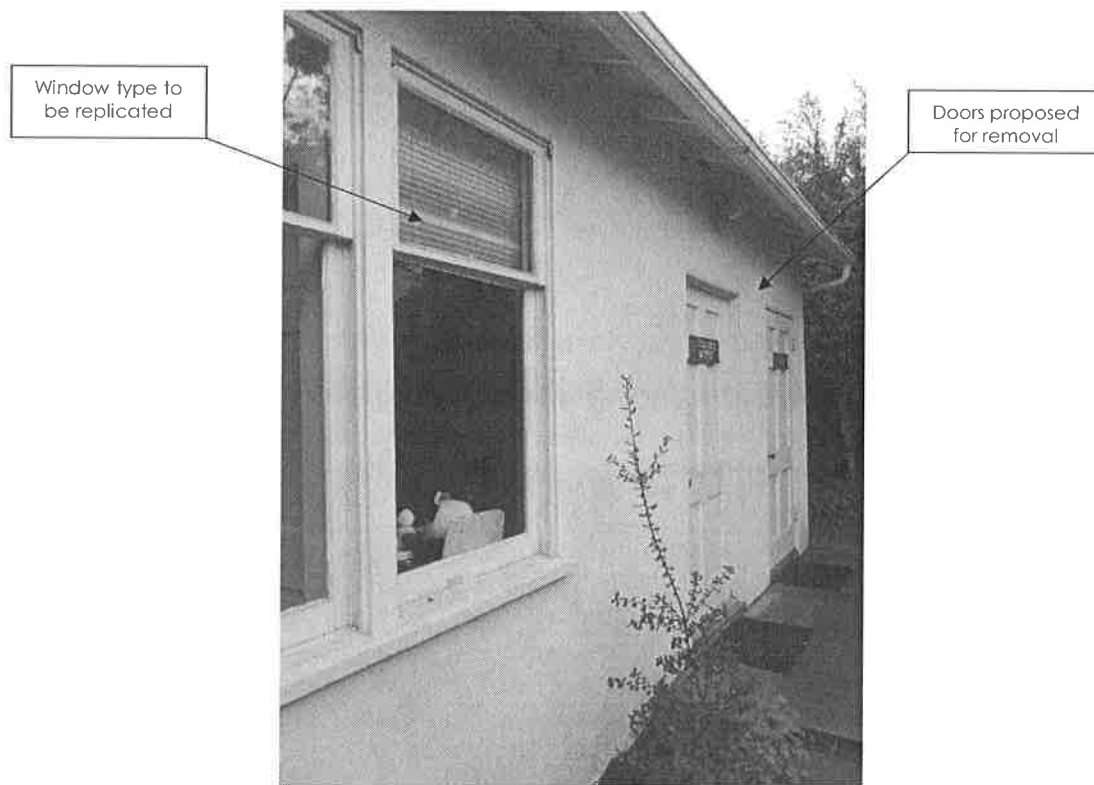
10) *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).*

Analysis of the Proposed Project

This analysis will apply the Secretary of the Interior's Standards for Rehabilitation to the project to determine the project's impacts to potential significant historic resources.

Alterations to the Building and Proposed Parking Plan:

The applicant proposes to remove two existing doors and window at the east end of the south elevation and replace them with a window matching the dimensions, appearance and glazing pattern of the elevation's existing windows. The new landscaping plan proposes off-street parking along the north side of the property which would maintain the location of a central walkway leading to the front door. The designer for the project is Sophie Calvin of Calvin Design and the landscape architect is Scott Menzel (See Appendix A, Plans).



South Elevation

[illegible]

Analysis:

Application of the Secretary of Interior's Standards to the Preliminary Plans

The following Standards apply to the project as a whole:

Standard 1: *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The transformation of the building to residential use proposes very few changes to the existing building which would retain its existing configuration, design and almost all of its building materials. The insertion of parking set on the north side of the front yard would not impair public views towards the building or substantially alter the setting of the resource. Therefore, the proposed project meets Standard 1.

Standard 2: *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*

The project would retain almost all of the historic building materials in place and would retain the existing street façade, which would retain the existing setback from the street. The proposed parking plan would not remove historic plantings or the location of a central walkway that contribute to the setting of the building (please note that only the linear configuration of the walkway and not its materials contribute to the setting of the building). Therefore, the proposed project meets Standard 2.

Standard 3: *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The project does not propose the addition of conjectural features or architectural or decorative elements from other historic properties. Therefore, the proposed project meets Standard 3.

Standard 4: *Changes to a property that have acquired historic significance in their own right will be retained and preserved*

The project does not propose changes to features that have acquired historic significance in their own right. Therefore, the proposed project meets Standard 4.

Standard 5: *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The proposed project would retain, with the exception of two doors at the east (rear) of the south elevation, the building's historic building materials. This portion of the building, which is not visible from the street, does not make a substantial contribution to

the streetscape or the building's integrity of design or materials. The proposed parking plan would not remove distinctive landscape features or plantings. Therefore, the proposed project meets Standard 5.

Standard 6: *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The project proposes to retain and repair historic materials with the exception of two panel doors on the south elevation which would be removed. Because the project would retain the majority of building's historic materials, the proposed project would meet Standard 6.

Standard 7: *Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

At this time, the project does not propose the chemical or physical treatment of historic materials. Therefore, Standard 7 does not apply.

Standard 8: *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

The application of this criterion to archaeological deposits is beyond the purview of this report.

Standard 9: *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

The proposed removal of two doors at the rear of the south elevation and their replacement by a new window designed to match the existing fenestration would not destroy or remove historic fabric that form a critical element of the building's architectural style. Moreover, the new fenestration will maintain the overall design integrity of the building. The proposed parking plan which would maintain the existing setback and a central walkway would not impair the spatial relationship of the building to the streetscape. Therefore, Standard 9 is met.

Standard 10: *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired.*

No additions are proposed to the building and the proposed parking could be removed in the future with not impact to the significant historic resource. Therefore,

Standard 10 is met.

Conclusions

This Phase 2 Historic Resources Letter Report has determined that proposed project meets the Secretary of the Interior's Standards for Rehabilitation. Therefore, implementation of the proposed project would have a less than significant impact on significant historic resources (Class III).

Sincerely,

A handwritten signature in black ink, appearing to read "Pamela Post".

Pamela Post, Ph.D., senior partner
Post/Hazeltine Associates

References

National Park Service

1995 *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. United States Department of the Interior, National Park Service, Cultural Resources Preservation Assistance Division. Washington D.C.

2017 Post/Hazeltine Associates

Phase 1 Historic Resources Report for 924 Walnut Avenue Carpinteria, California (APN 004-047-021). February 13, 2017.

Appendix A

Plans

Site Plan

April 14, 2017

A1

Vicinity Map



Scope of work:

Convert church to single family residence

No grading

Square Footage:

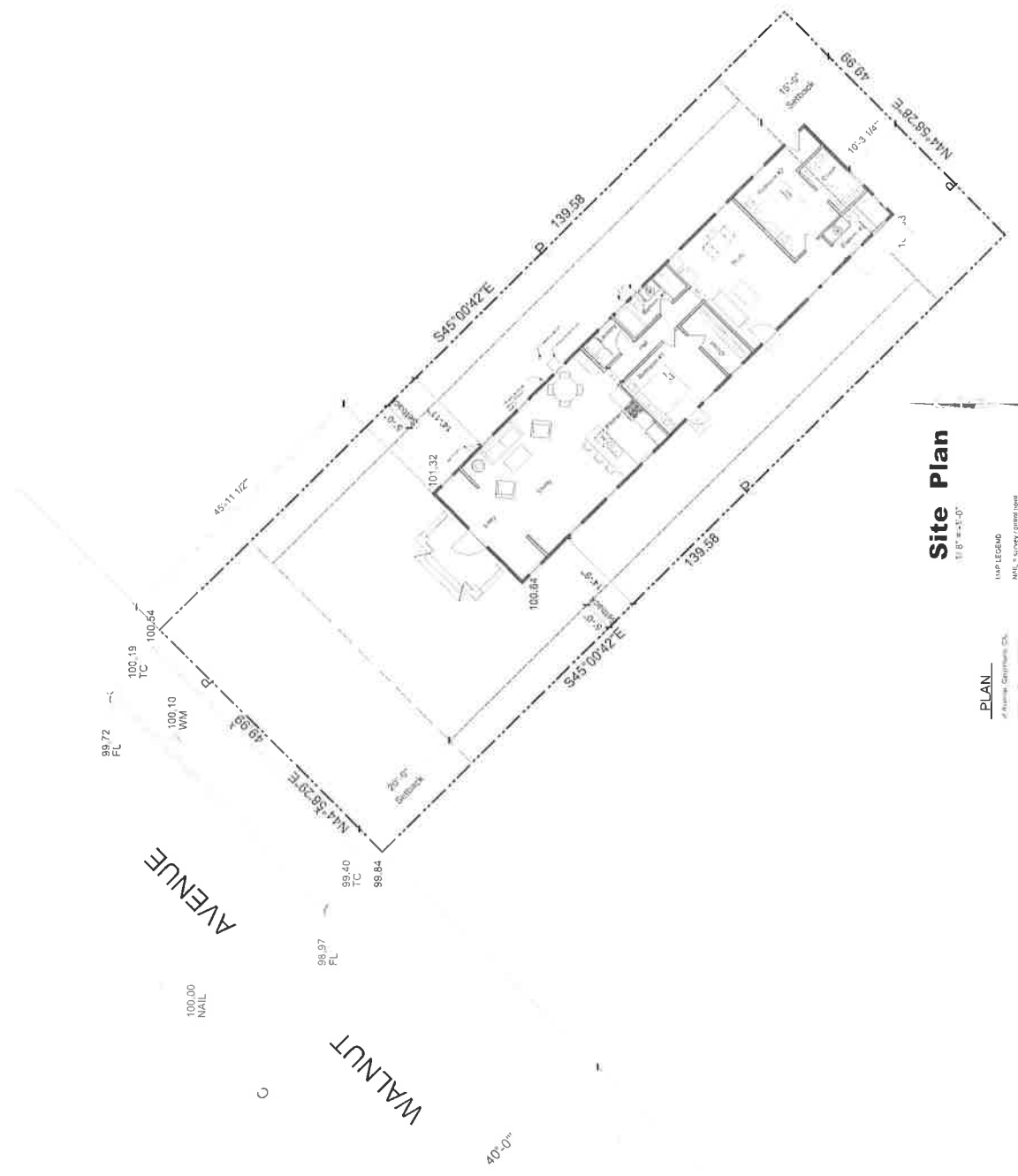
NET **GROSS**

Church sanctuary
 Church classrooms

Contacts:

Owner:
 Mr. and Mrs. Geoff Wells
 Ojai, CA
 (805) 895-5365
 Residential Designer:
 Calvin Design / Sophie Calvin
 P.O. Box 50716
 Santa Barbara, CA 93150
 (805) 949-6559
 sophiecalvin@gmail.com

APN: 009-170-080
 Lot Size (net): acres
 Zone:
 Construction type: Single family residence
 Year built:
 Occupancy: R3
 Coastal Zone
 Stories: One
 High fire hazard area:
 Fire sprinklers:



Site Plan

1/8" = 1'-0"

PLAN

of Record, Capitola, CA

owner: Mr. and Mrs. Geoff Wells

date: 04/14/2017

sheet: 1 of 1

scale: 1/8" = 1'-0"

project: 924 Walnut Ave.

site: 924 Walnut Ave.

owner: Mr. and Mrs. Geoff Wells

date: 04/14/2017

sheet: 1 of 1

scale: 1/8" = 1'-0"

project: 924 Walnut Ave.

site: 924 Walnut Ave.

owner: Mr. and Mrs. Geoff Wells

date: 04/14/2017

sheet: 1 of 1

scale: 1/8" = 1'-0"

project: 924 Walnut Ave.

site: 924 Walnut Ave.

MAP LEGEND

MAN: 1' contour (solid line)

MAN: 2' contour (dashed line)

MAN: 3' contour (dotted line)

MAN: 4' contour (dash-dot line)

MAN: 5' contour (long-dash line)

MAN: 6' contour (short-dash line)

MAN: 7' contour (dash-dot-dot line)

MAN: 8' contour (long-dash-dot line)

MAN: 9' contour (short-dash-dot line)

MAN: 10' contour (dash-dot-dot-dot line)

MAN: 11' contour (long-dash-dot-dot line)

MAN: 12' contour (short-dash-dot-dot line)

MAN: 13' contour (dash-dot-dot-dot-dot line)

MAN: 14' contour (long-dash-dot-dot-dot line)

MAN: 15' contour (short-dash-dot-dot-dot line)

924 Walnut Ave. (N. Highway 17) to the West

924 Walnut Ave. (N. Highway 17) to the East

924 Walnut Ave. (N. Highway 17) to the South

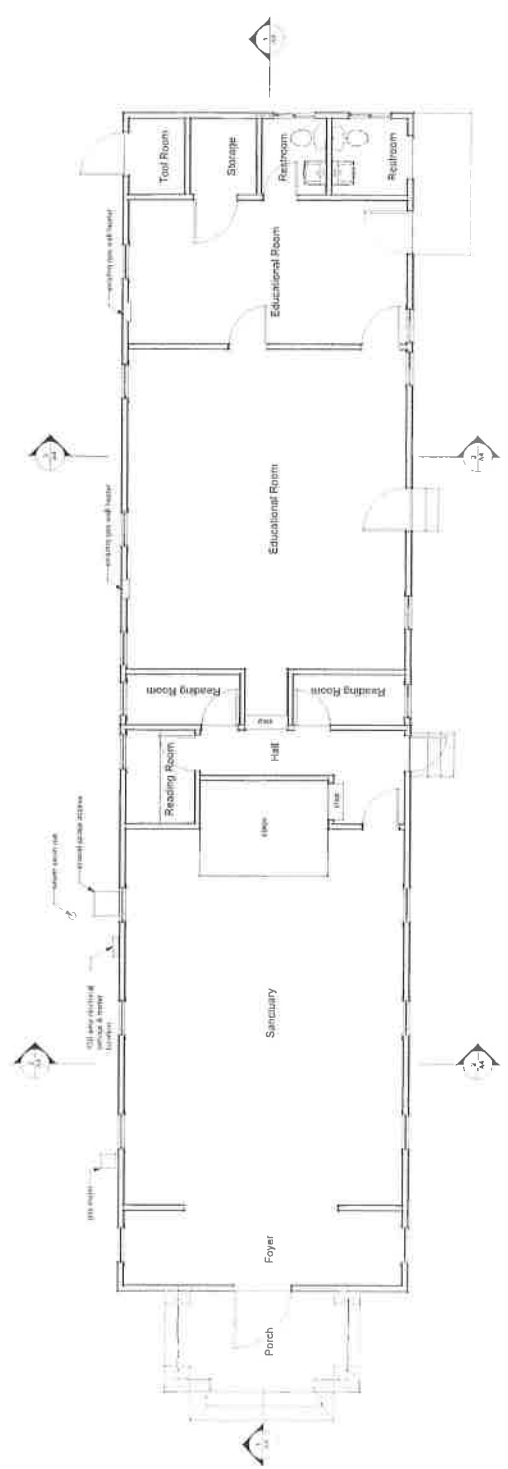
924 Walnut Ave. (N. Highway 17) to the North

924 Walnut Ave. (N. Highway 17) to the West

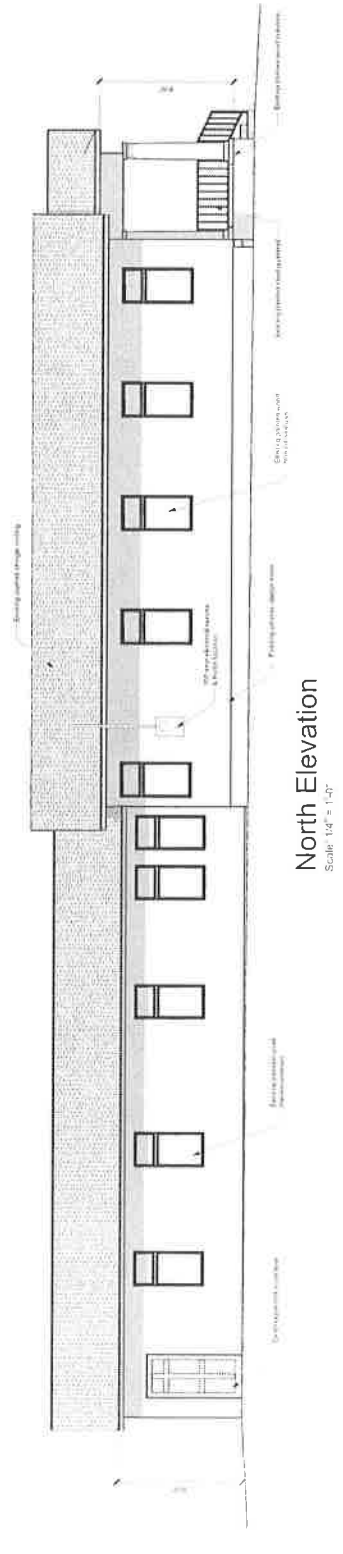
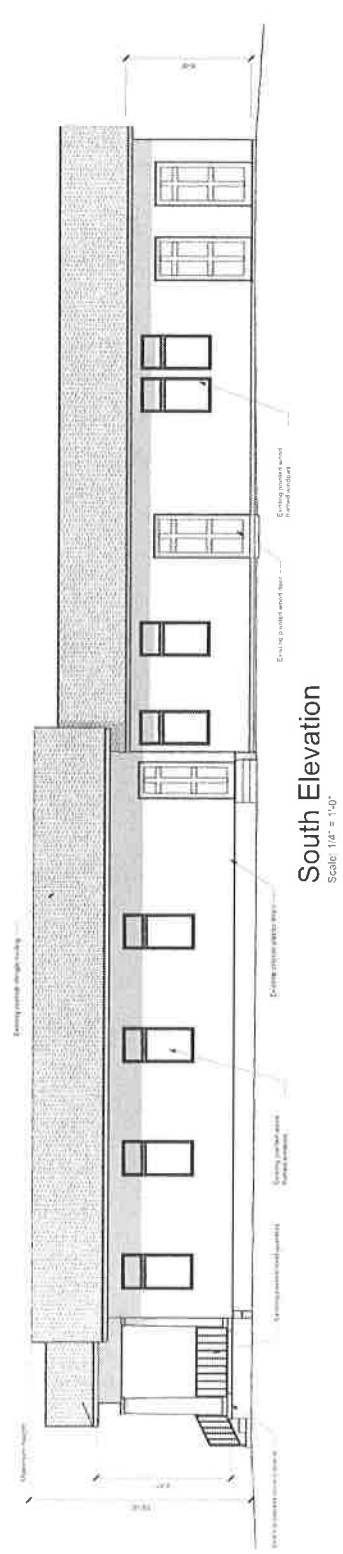
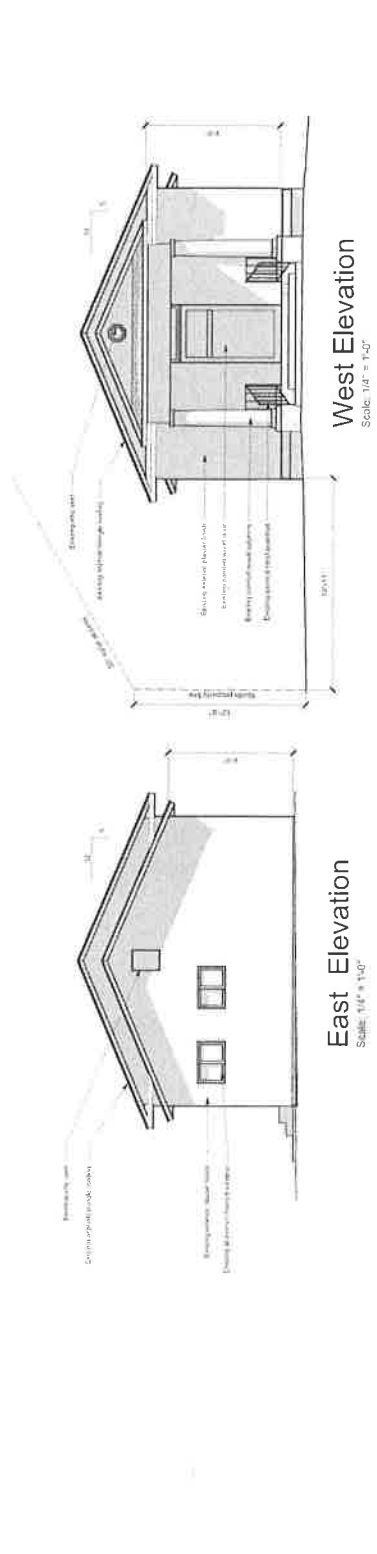
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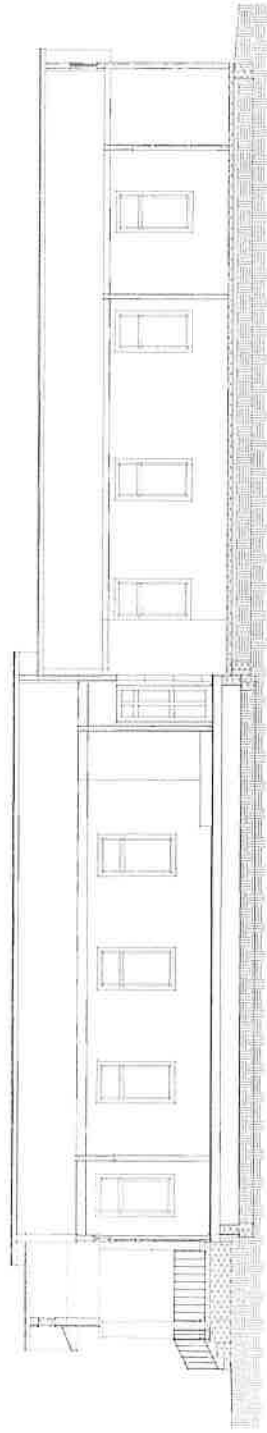
924 Walnut Ave. (N. Highway 17) to the South

924 Walnut Ave. (N. Highway 17) to the North

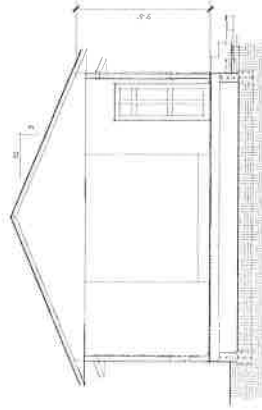


Existing Floor Plan
 Scale: 1/4" = 1'-0"

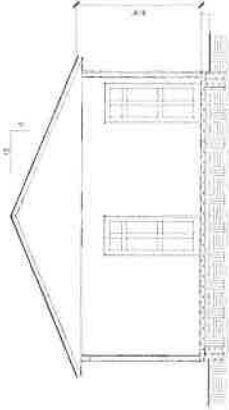




1 section
Scale: 1/4" = 1'-0"



2 section
Scale: 1/4" = 1'-0"

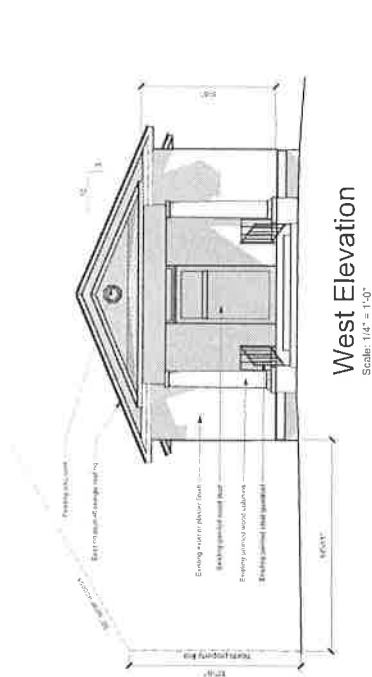


3 section
Scale: 1/4" = 1'-0"

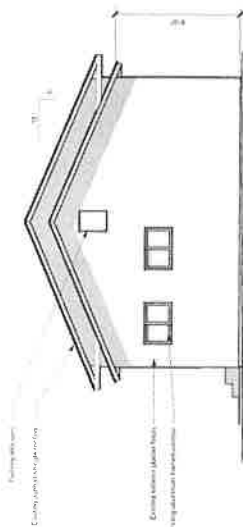


Proposed Floor Plan

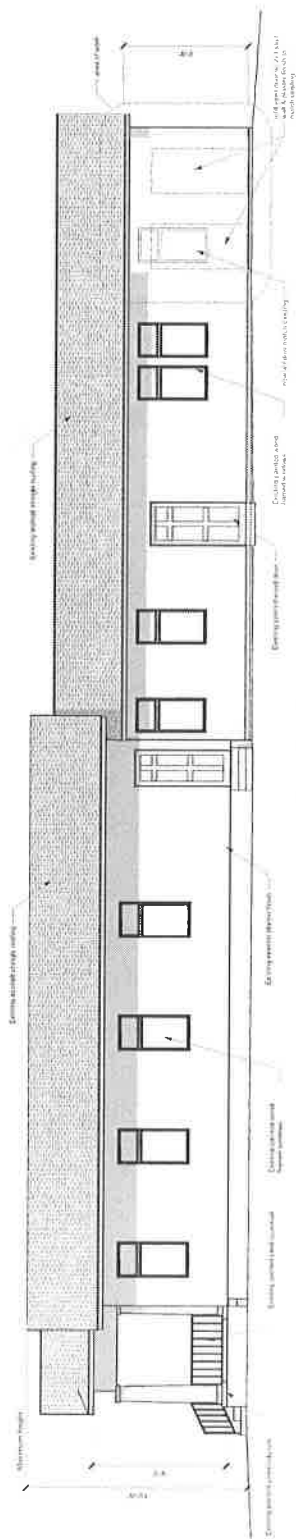
Scale: 1/4" = 1'-0"



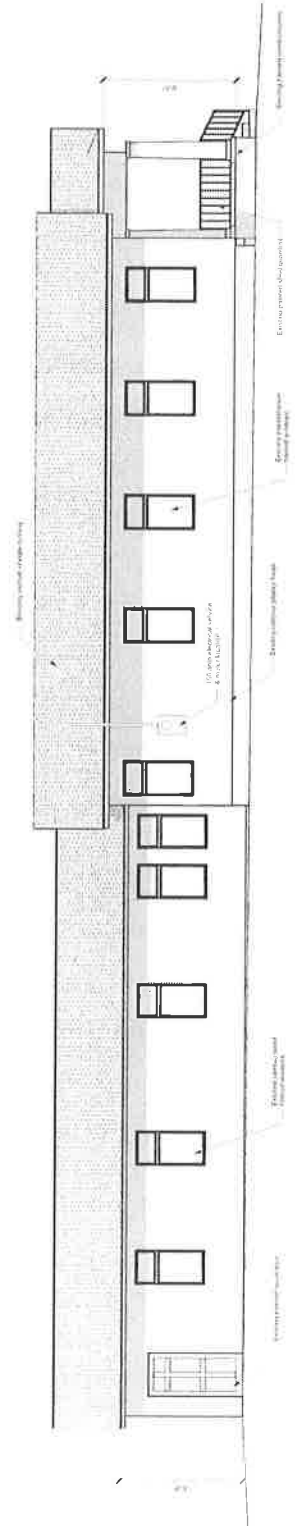
West Elevation
Scale: 1/4" = 1'-0"



East Elevation
Scale: 1/4" = 1'-0"



South Elevation
Scale: 1/4" = 1'-0"



North Elevation
Scale: 1/4" = 1'-0"

Exhibit 3
June 29, 2017 ARB Meeting Minutes

**Wells Residence
924 Walnut Avenue**

PC Hearing, August 7, 2017

Public Comment: None.

Boardmember Discussion:

Boardmembers expressed overall approval for the project as proposed as it would enhance the front elevation of the residence. No comments about the variety of materials proposed.

Boardmember Cox recommended that a treatment be applied to the small columns at the fence line that would help the fence relate better to the color and materials proposed for the improvements on the front of the residence.

Boardmember Johnson recommended the applicant consider widening the width of the two columns defining the porch, consider applying stucco to the columns as opposed to leaving it as a wood column, and consider reducing the height of the stone veneer on the columns.

ACTION: Motion by Boardmember Chappell, seconded by Boardmember Cox to recommend preliminary/final approval with their comments attached.

VOTE: 3-0

PROJECT REVIEW

- 4) Applicant: Brian Banks, Siemens Planning, LLC for Geoff Wells
Project: 17-1879-DP/CDP
Planner: Nick Bobroff
Project Location: 924 Walnut Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Brian Banks, Siemens Planning, LLC, agent for Geoff Wells to consider Project 17-1879-DP/CDP for preliminary review of a Development Plan and Coastal Development Permit to allow a former church building to be converted to a private single family residence. The project entails an interior remodel of the structure, provision of a new driveway and uncovered, tandem parking area, and new front yard landscaping. The property is a 7,000 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 004-047-021, addressed as 924 Walnut Avenue.

Staff presented the project, explained the historical significance of the property and asked for specific feedback from the Board concerning the proposed parking arrangement and front yard landscaping.

Brian Banks, Scott Menzel and Sophie Calvin, project agent and designers, presented the project to the Board, explained their efforts to date to create an appropriate parking solution, and answered questions for the Board.

Public Comment: None.

Boardmember Discussion:

Boardmember Cox suggested a different plant palette be considered that would better preserve the open and useable nature of the front yard. Various alternative groundcovers were discussed. In response to a question from the owners about possible alternative driveway materials, Boardmember

Cox explained that he would not be in support of decomposed granite or gravel. Staff also noted such materials may not be favored by Public Works unless they could be suitably stabilized so as to not track out into the street.

In response to a question from Boardmember Johnson, the applicant explained the intent was to keep roof and paint colors similar to existing.

Boardmember Chappell asked why the parking spaces were not pushed farther back into the lot, outside of the front yard. Brian Banks explained the intent was to avoid impacting some of the existing landscaping (camellias) that the owners were hoping to save.

ACTION: Motion by Boardmember Chappell, seconded by Boardmember Johnson to recommend preliminary/final approval with their comments attached.

VOTE: 3-0

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held June 15, 2017.

ACTION: Motion by Boardmember Chappell, seconded by Boardmember Johnson, to approve the minutes as presented.

VOTE: 3-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF: At the request of the Board, staff provided a brief update on the Via Real Hotel project.

ADJOURNMENT

Chair Johnson adjourned the meeting at 6:50 p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, July 13, 2017.

All Boardmembers present indicated they would be in attendance.

Secretary, Architectural Review Board

ATTEST:

Chair, Architectural Review Board

Exhibit 4
Notice of Exemption

**Wells Residence
924 Walnut Avenue**

PC Hearing, August 7, 2017

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara
105 E Anapamu Street, Rm 407
Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

(Address)

Project Title: Wells Residence

Project Applicant: Geoff Wells, 1017 Sunset Place, Ojai, CA 93023

Project Location - Specific:
924 Walnut Avenue. Located on the east side of the 900 block of Walnut Ave in-between Carpinteria Ave and Eighth St (APN: 004-047-021).

Project Location - City: Carpinteria Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:
Convert existing historic church building into a two-bedroom, two-bath single family residence. Proposed improvements include an interior remodel of (e) structure and minor, limited exterior improvements to the structure. Site improvements include new landscaping, driveway and uncovered parking area.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Geoff Wells

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. State type and section number: Sections 15301/15303/15304
☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

Project involves interior conversion of (e) structure and limited exterior improvements. Remodel to be completed in compliance with U.S. Secretary of the Interior Standards for Rehabilitation of Historic Structures and not result in significant impact upon the building's historical integrity. Property is located in an urbanized area of City with no potential for significant effects upon environment.

Lead Agency

Contact Person: Nick Bobroff, Senior Planner Area Code/Telephone/Extension: 805/7554407

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: _____ Date: 08/07/2017 Title: Senior Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____



AUGUST 2017



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
		1 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm	2 10am Parks/Rec Staff Mtg– Side Conf Rm 5:30pm Fire District Board Mtg – CC	3 8:45am Carpinteria First – Side Conf Rm 2pm Water Dist. Board Mtg. - CC 2pm All CDD Staff Mtg – Blue Rm 2pm Labor Negotiations – Side Conf Rm 2pm Water District Board Mtg – CC	4 5pm – 8pm 1 st Friday Events – Downtown	5
6	7 9am Large Proj. Cord. Mtg – Blue Rm 5:30pm Planning Commission–CCTV	8 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Cf Rm 4:30pm School Board Closed Session – – CC & Side Conf Rm 5:30pm School District Board Mtg – CCTV	9 10am Parks/Rec Staff Mtg–Side Conf Rm 5:30pm Water District Board Mtg – CC TV	10 2:30pm Code Compliance – Blue Rm 3pm Quarterly CIP Mtg – Side Conf Rm	11	12 10am 2pm ABOP – PW Yard
13 Happy Birthday Kevin!	14 3pm Council Closed Session – CC & Blue Conf Rm 5:30pm City Council Mtg – CC TV	15 10am Staff Mtg – Blue Conf Rm 10am Franklin Creek Nutrient TMDL Mtg – CC 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Cf Rm	16 10am Parks/Rec Staff Mtg – Side Conf Rm 2pm Labor Negotiations – Side Conf Rm 2:30pm C3H Homelessness Mtg – CC	17 9:30am – 5:30pm Arlene – Blue Rm 10am Franklin Creek Nutrient TMDL Mtg – CC (Tentative) 10:30am IDAG – Blue Conf Rm 2:30pm Code Compliance – Side Cf Rm 5:30pm ARB Mtg – CC	18	19
20	21 9am Large Projects Coordination Mtg – – CC 5:30pm General Plan Update Mtg– – CCTV	22 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff – Side Conf Rm 4:30pm School Board Closed Session – – CC & Side Conf Rm 5:30pm School District Board Mtg – CCTV	23 10am Parks/Rec Staff Mtg – Side Conf Rm 2pm Labor Negotiations – Side Conf Rm 5:30pm Water District Board Mtg – CCTV	24 9am Creative Housing Solutions Mtg – – Blue Conf Rm 11am Staff Homeless Population Mtg – – Blue Conf Rm 2:30pm Code Compliance Mtg – Blue Rm 5:30pm Tree Advisory Board – CC	25	26 10am 2pm ABOP – PW Yard
27	28 3pm Council Closed Session – CC & Blue Conf Rm 5:30pm City Council Mtg – CC TV	29 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff – Side Conf Rm	30 10am Parks/Rec Staff Mtg – Side Conf Rm 2pm Labor Negotiations – Side Conf Rm	31 1pm Work Harassment Training Prep–CC 2pm Harassmnt Trng Elected Officials–CC 2:30pm Code Compliance Mtg – Blue Rm 5:30pm ARB Mtg – CC		

City of Carpinteria
Planning Activity Summary

July 2017

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|-----------------------------|--------------------|---------------------------|------------------------|
| 1. In 30-day review process | 5. Schedule for PC | 9. Schedule for final ARB | 13. BP issued |
| 2. Incomplete | 6. PC approved | 10. Final ARB Approval | 14. Under construction |
| 3. Schedule for ARB | 7. Schedule for CC | 11. Schedule for CCC | 15. C of O issued |
| 4. Director's Decision | 8. CC Approved | 12. In plan check | |

Last Edited 07/31/2017

Project #	Owner / Applicant	Address	Street	Project Description	Activity	Planner	Status	Code Violation
17-1883-DP/CDP/TPM	Bob Gobuty	4716	Seventh St	remodel (E) SFD, construct carport, construct 2 (N) 2-story residential units, subdivide property for condominium purposes.	Submitted 6/22/17. Incomplete 7/20.	Nick	2	
17-1882-DP/CDP	CUSD	4810	Foothill Road	High School Improvements	Submitted 6/9/17. Inc. Ltr. 7/7/17	Steve	2	
17-1881-DP/CDP	CUSD	1480	Linden Avenue	Canalino School Improvements	Submitted 6/8/17. Inc. Ltr. 7/7/17	Steve	2	
17-1880-DP/CDP	CUSD	5351	Carpinteria Avenue	Middle School Improvements	Submitted 6/8/17. Inc. Ltr. 7/7/17	Steve	2	
17-1877-DP/CDP	Phari, LLC	1112	Linden Ave	Create 2 additional units & new covered carports	Submitted 5/26/2017. Incomplete 6/26/17. Resubmitted 7/21/17, under review.	Lucy/Nick	2	
17-1876-DP/CDP/TM	MAC Partners	6380	Via Real	Lagunitas six 2-story commercial buildings and 1 building for retail and restaurant	Submitted 5/26/2017. Incomplete 6/16/2017.	Steve	2	
17-1868-DP/CDP	Carpinteria Sanitary District	5300	Sixth Street	Demolition of existing modular offices and the construction of a new 4,118 square foot one-story office building.	Submitted 4/12/2017. IDAG 4/20/2017. Incomplete 5/12/2017.	Marysol	2	
17-1867-EMP	Venoco, Inc.	5661	Carpinteria Ave.	Emergency fence at Sealwatch Overlook, along public trail and parking lot	Submitted 4/4/17. Request for additional information 4/24/17. Letter to applicant 6/20/17 indicating a DP/CDP is required to install the fence.	Steve	2	
17-1850-CDP17-1850-CDP	CA Dept. of Parks and Recreation	205	Palm Avenue	State Beach Phase II ADA Improvements	Submitted 1/3/2017. Incomplete 1/31/2017. Resubmittal 5/22/2017. Complete 6/15/2107.	Marysol	2	
16-1849-CUPR/TTM/CDP	Faith Lutheran Church	1335	Vallecito Place	8-lot subdivision & 6 (N) SFDs	Submitted 12/22/16. Incomplete 1/20/2017; waiting for additional materials from applicant. Additional materials submitted 6/9/17 and 6/22/17. Incomplete 7/10/17. Resubmittal 7/12/17 & 7/21/17- under review.	Lucy	2	
16-1836-CUP/CDP	Rafael Hernandez	4954	Fifth Street	remodel (e) apartments	Submitted 7/13/16. Incomplete 7/25/16.	Nick	2	
16-1812-ARB16-1812-ARB	Dave Moore	5550	Calle Ocho	Convert (E) garage to bedroom; construct (N) detached garage	Submitted 2/29/16. Incomplete 03/11/16.	Nick	2	
16-1811-DP/CDP	Jose Martinez	1061	Cramer Road	Demo (E) SFD; construct 3 (N) Units	Submitted 2/26/16. Incomplete 3/24/16.	Nick	2	
15-1804-CDP15-1804-CDP	Hawkins	5567	Calle Arena	Construct (N) SFD w/ attached two-car garage	Submitted 12/29/15. Incomplete 1/28/16. Meeting w/ new agent 6/26/17. To Concept ARB 8/17/17.	Nick	2	

15-1799-CDP15-1799-CDP	6155 Carpinteria Avenue LLC	6155	Carpinteria Avenue	Landscape improvements & new pedestrian pathway	Submitted 11/17/15. Incomplete 12/16/15.	Nick	2	
15-1783-SIGN/FENCE	Arbor Trailer Park	4677	Carpinteria Avenue (Ninth Street)	New frontage fences and signage	Submitted 08/05/15. Need survey from PW. Incomplete 08/17/15. See Matt M for PW status.	Marysol	2	
15-1781-DP/CDP	Cruz Mixed Use	4675	Carpinteria Avenue	(N) Mixed Use bldg. 500 sq ft commercial and two one bedroom apts	Submitted 7/9/15. Incomplete 8/6/15.	Nick	2	
15-1777-DP/CDP	R.P. Enterprises	6155 and 6175	Carpinteria Avenue	Industrial Research Mixed-use Campus	Submitted 6/24/15. Incomplete 7/22/15. Resubmitted plans 11/10/15. Second incomplete 12/3/15.	Steve	2	
17-1855-ARB17-1855-ARB	Judy Sirianni	1150	Vallecito Road	Remodel and addition	Submitted 2/8/2017. IDAG 3/16/2017. Complete 3/9/2017. Prelim ARB approval 3/30/2017. Resubmitted 6/28/2017. Revisions. Resubmitted 07/24/2017. Under Review.	Marysol	3	
16-1847-CUP/CDP	Zerlin	5305	Eighth Street	Abate Zoning/Building Violations & construct (N) 2nd floor addition.	Submitted 11/15/2016. Incomplete 12/15/2016. Resubmittal 2/3/2017. Incomplete 2/15/2017. Resubmittal 4/24/2017. Complete 5/24/2017. To Prelim ARB 06/15/2017; cont'd with direction for redesign. Pending resubmittal.	Marysol	3	Yes
16-1840-DP/CDP	Cravens Lane, LLC	1300	Cravens Lane	Green Heron Springs Project- Demo (E) SFD; construct 30 new condominium units	Submitted 8/24/16. Incomplete 9/14/16. To Concept ARB 11/17/16. Resubmitted 1/12/17, under review. Incomplete 2/10/17. Concept ARB 3/16/17. Resubmittal 6-02-17. Incomplete 6/30/17. Resubmittal 8/1/17. To Prelim ARB 8/17/17.	Nick	3	
16-1822-DP/CDP	Via Real Hotel	4110	Via Real	New 110-room hotel	Submitted 4-19-16. Incomplete 5-18-16. Resubmittal 7/14/16. Incomplete 8/11/16. Resubmittal 9-12-16. Incomplete 10/11/16. Resubmitted 10/31/16. Complete 11/30/16. Prelim ARB 12/15/16, cont'd to future meeting. In-progress ARB review 2/16/17. Prelim ARB approval 3/30/17. Env. review underway. Awaiting updated biological/wetland reports.	Nick	3	
15-1767-CDP15-1767-CDP	Wood	650	Concha Loma Drive	New Single Family Residence	Submitted 4/28/15. Incomplete 5/27/15. Resubmitted 7/13/15. Complete 8/10/15. CEQA Initial Study underway. ARB concept review 10/15/15. Draft MND public review period 7/15- 8/15/16. To ERC 8/4/16. Prelim ARB 8/11/16, continued with revisions. Revised plans submitted; to Prelim ARB 8/31/17.	Nick	3	
17-1871-ARB17-1871-ARB	Carpinteria Beautiful	4954	Carpinteria Avenue	new public mural	Submitted May 1, 2017. ARB approved 05/25/17. CDP approved 6/5/17. Mural to be installed late Sept.	Nick	4	

17-1870-ARB17-1870-ARB	Gary Feramisco	1241	La Brea Lane	Front portico and exterior improvements	Submitted 5/1/2017. Incomplete 5/25/2017. Complete 6/15/2017. Prelim/Final ARB approval 6/29/2017. Approved 8/02/2017. In 10-day appeal period.	Marysol	4	
17-1865-CON17-1865-CON	Arvand Sebatian	751	Olive Street	Rehab burnt SFD and 328 s.f. addition	Submitted 3/29/2017. Incomplete 4/26/2017. Complete 5/22/2017. To Prelim ARB 6/15/2017. Preliminary ARB approval 6/29/2017. Approved 7/26/2017. Pending resubmittal for Final ARB review.	Marysol	4	
16-1832-SIGN16-1832-SIGN	Gran Vida	5464	Carpinteria Ave	Sign Permit	Submitted 06/21/16. ARB 07/14/16. Director approved Carpinteria Avenue ground sign. Freeway sign to ARB 5/11/17, likely to be withdrawn.	Steve	4	
15-1788-CDP15-1788-CDP	Gobbell	5398	Star Pine Road	Convert (E) accessory building into a second dwelling unit	Submitted 8/19/15. Incomplete 9/4/15. Resubmittal 9/11/15. Complete 9/28/15. Prelim/Final ARB 10/15/15. CDD Director approved 10/29/15. 1-year time extension approved 10/11/16.	Nick	4	
17-1879-DP/CDP	Geoff Wells	924	Walnut Avenue	convert (E) church to SFD, construct new uncovered parking area & driveway.	Submitted 5/31/17. Complete 6/28/17. Prelim ARB approved 6/29/17. To PC 8/7/17.	Nick	5	
17-1856-TPM/VAR/CDP	De Alba Family Trust	5031	Foothill Road	Lot Split	Submitted 2/9/17. Incomplete 3/6/17. Site visit on 3/30/17 with Building Inspector. Letter issued 4/20/17 re: Building Code issues to be addressed. Resubmittal 6/13/17. Comments back to applicant 6/27/17. Resubmitted 7/27/17. Tentative to PC 9/5/17.	Nick	5	
16-1816-DP/CDP	William Ryan - Green Valley Corporation	4610	Fourth Street	Demolish SFD - construct four condos: Formerly 12-1612-DP/CDP/TPM	Application resubmitted 3/6/2016. Inc Letter 3/4/16. Resubmittal 4/16/16. PC approved original project 3/4/13. Final ARB 6/12/14. TE approved by PC 4/6/15 and still alive, DP and CDP expired. In Building Permit review. Needs Final Map Clearance. Complete 9/2/16. Purchased, awaiting for confirmation that new owner does not want to pursue plans.	Steve	5	
05-1210-ZTA/LCPA	City of Carpinteria		Citywide	Zoning Code Update	Kick-off meeting 4/20/05. Joint Study Session 5/16/05. All administrative draft chapters delivered 5/12/06. Final Draft meeting with consultant 9/14/07. Public draft to be released in summer 2017.	Steve	5	

04-1175-DP/CDP/LCPA	Venoco, Inc.	5675	Carpinteria Avenue	Paredon Oil and Gas Extended Reach Drilling	Complete 9/11/14. MRS EIR contract approved 1/26/15. MOU for JRP approved 1/26/15. Venoco request to defer EIR rec'd 1/29/15. On hold at Applicant's request.	Steve	5	
16-1841-DPR/CDP	Carpinteria Valley Arts Council	855-865	Linden Avenue	Art Center expansion and remodel. Interior remodel; exterior: wrap-around awning, sign, façade	Submitted 9/1/16. IDAG routing 9/13/16. IDAG meeting 9/15/16. Incomplete 9/27/16. To Prelim ARB 10/13/16. Preliminary ARB approval 10/13/16. Complete 11/2/2016. PC approved 4/3/2017. Pending resubmittal of materials for Final ARB.	Marysol	6	
14-1722-TPM/CDP	Godfrey	1056	Eugenia Place	Subdivide (e) mixed use building into three condominiums	Submitted 6/19/14. Incomplete 7/17/14. Resubmitted 10/20/14. Complete 10/29/14. PC approved 11/3/14. FLAN sent 11/18/14.	Nick	6	
14-1719-CUP/CDP	City of Carpinteria		Carpinteria Ave Bridge	Replace Carpinteria Ave Bridge over Carpinteria Creek	NOP & Scoping Document released 7/3/14. Scoping Hearing 7/22/14. Project overview to PC 9/2/14. Project update to CC 11/10/14. ARB CON 2/12/15. EIR released for public comment 3/25/16. ERC 4-26-16. Public Comment Period closed 5-9-16. Prelim ARB approval 9/15/16. PC approved 11/7/16. Sent to CCC 11/18/16. PW completing 65% drawings 3/17. Utility relocation coordination underway 3/17.	Nick	6	
09-1534-DP/CDP	Carpinteria Valley Arts Council	855	Linden Avenue	Community arts building	Submitted 11/19/09. Incomplete 12/17/09. Resubmitted 4/22/10. Incomplete 5/10/10. Resubmitted 9/29/10. Complete 10/28/10. Prelim ARB 1/27/11. ERC hearing 4/21/11. PC approved 6/6/11. PC granted four-year time extension 6/1/15.	Nick	6	
17-1858-DP/CDP	Anthony Segall & Deborah Dentler	5157	Eighth Street	SFR Demo/Rebuild	Submitted 2/13/2017, Complete 3/7/17, ARB Preliminary approval 3/30/17. PC approved 7/3/17. Appeal of PC decision filed 7/13/17. Schedule CC Appeal Hearing Oct. 2017.	Lucy	7	
17-1863-CUP/CDP	Selfridge	5596	Calle Arena	Add'n to SFD, garage	Submitted 3/22/17. Complete 4/20/17, ARB Preliminary approved 5/11/17. PC approved 6/5/17. Waiting for working drawings to schedule for Final ARB.	Lucy	9	
17-1853-CUP/ARB	Julie A. Castiglia	946	Concha Loma Drive	SFR Addition/Remodel	Submitted 2/1/2017, ARB Preliminary Approval 3/16/17. Additional materials rec'd from applicant 4/26/17. Complete letter 5/26/17. PC approved 6/5/17. Waiting for hedge photos and working drawings to schedule for Final ARB.	Lucy	9	
16-1844-DP/CDP	Sunburst Wines	5080	Carpinteria Ave	New retail wine bar	Submitted 10/13/16. Incomplete 11/4/16. Prelim ARB 3/16/17, cont'd to 3/30/17. ARB preliminary approval 4/13/17. PC approved 5/1/17. Schedule for Final ARB.	Nick	9	

15-1760-CUP/CDP	City of Carpinteria		East end of Carpinteria Avenue	Rincon Trail	MND to ERC 6/27/12. Submitted 3/11/15. Complete 4/14/15. PC approved 5/4/2015. Needs County P&D application and approval. Tied to Linden/Casitas interchanges and Via Real extension Caltrans project.	Steve	9	
15-1751-DPR/CDP	City of Carpinteria	5775	Carpinteria Avenue	City Hall foyer add'n and landscape	Submitted 1/26/15. Complete 2/3/15. ARB Prelim 2/12/15. PC approved 3/2/15. CCC appeal period ended 3/30/15. Project to be phased.	Steve	9	
14-1733-DP/CDP/TPM	Sanctuary Beach Condominiums (Norman's Tennis Court)	4925	Carpinteria Avenue	Four residential condominiums	Submitted 8/21/14. Incomplete 9/19/14. Complete 12/30/14. ARB Prelim 2/12/15 continued to 4/16/15, then 5/14/15. To PC 8/3/15; continued to 10/5/15 for redesign. ARB revised preliminary 9/17/15. Planning Commission 10/5/15, and Approved 11/2/15. CCC Appeal Period ends 12/3/15. Final ARB. DP/CDP Time Extension approved 12/5/16. Final Map under review.	Steve	9	
17-1852-CPD17-1852-CPD	City of Carpinteria	1400	Santa Ynez Ave	Phase II Park Improvements	Submitted 1/19/2017. ARB approved 2/16/2017. Complete 2/17/2017, Director Approval 3/6/2017. Pending submittal of BP application.	Marysol	10	
16-1837-DP/CDP	Omni Catering	4835	Carpinteria Ave	New storage buildings & fencing	Submitted 8/4/16. Incomplete 8/31/16. Resubmitted 10/25/16. Incomplete 11/16/16. Prelim ARB Cont'd 12-15-16. Revised plans submitted 1-19-17. Prelim ARB approval 3/16/17. PC approved 6/5/17. Final ARB approved 6/29/17.	Nick	10	Yes
16-1829-ARB16-1829-ARB	Cluderay, Suzan and Ian	5643	Fiesta Drive	Addition of ~450 feet and remodel of exiting residence	Submitted 06/13/16. ARB 07/14/16. Incomplete 07/08/16. ARB recommended preliminary approval. Director Approval 10/5/16. Final ARB approved 10/13/16.	Nick	10	
05-1204-DPCDP05-1204-DPCDP	Venoco, Inc.	5663	Carpinteria Avenue	Dump Road Gate and Signs	PC Hearing 1/3/06. Cont'd to 2/6/06. PC Approved. Neighbor appeal to CC. CC conceptually granted appeal; cont'd to 5/8/06. Gate withdrawn by applicant. CC approved sign program 5/8/06. Appealed to CCC.	Steve	11	
16-1835-CUP/CDP	Rafael Hernandez	520	Elm Avenue	remodel 3 (E) apartments	Submitted 7/13/16. Incomplete 7/25/16. Resubmitted 10/10/16. Complete 11/4/16. Prelim ARB approval 11/17/16. PC approved 2/6/17. FLAN sent to CCC 2/21/17. Final ARB approved 6/15/17. BP submitted 7/20/17- in plan check.	Nick	12	

16-1826-CUP/CDP	Swinford	710	Palm Avenue	Demolish (E) SFD & garage, construct (N) SFD & attached garage	Submitted 5/5/16. Incomplete 6-3-16. Prelim ARB approval 6-16-16. Complete 8/26/16. To PC 9/6/16, continued to 11/7/16. PC Approved 11/7/16. Final ARB approval 4/13/17. BP submitted 4/18/17, in plan check.	Nick	12	
13-1683-CDP13-1683-CDP	Schildknecht	4634	Ninth Street	New Single Family Residence	Submitted 10/17/13. Prelim ARB 11/14/13. Continued to future ARB. Inactive. Sent warning to close letter 041416. Resubmittal info 04/25/16 and 05/31/16, in review for completeness. Director Approval 07/6/16. Final ARB 08/25/16. BP submitted 12/21/16, in plan check.	Nick	12	
13-1650-DP/CDP	M3 Multifamily, LLC	4819	Carpinteria Avenue	6,000 square foot commercial building and two 600 square foot apartments	Submitted 1/9/13. Incomplete 2/7/13. Prelim ARB 10/17/13. PC approved 12/2/13. ARB "in-progress" 3/27/14. PC approved 36-month TEX 12/1/14. Minor height revision considered by ARB 4-14-16. Final ARB approval 11/17/16. BP submitted 12/6/16, in plan check.	Nick	12	
05-2002-DP/CDP	Venoco, Inc.	5663	Carpinteria Avenue	Parking Lot Fence & Signs	ARB Prelim 9/15/05. PC approved 1/3/06. Venoco appealed. CC granted appeal and approved 48" fence on 2/13/06. Appealed to CCC.	Steve	12	
17-1875-SIGN17-1875-SIGN	Vogue Signs/Procore	6305	Carpinteria Avenue	Signs	Submitted 5/3/2017. Director Approval 5/30/2017. Building Permit application submitted 5/31/2017. Building Permit issued 6/7/2017.	Marysol	13	
17-1874-SIGN17-1874-SIGN	Mike Reese / Silver Sands	349	Ash Avenue	New sign	Submitted 5/16/2017. Approved 6/5/2017. Building Permit issued 6/21/17.	Marysol	13	
17-1869-SIGN17-1869-SIGN	Vogue Signs / Continental Advanced Lidar Solution	6307A	Carpinteria Avenue	Monument sign and wall signs	Submitted 4/21/2017. Director Approval 5/30/2017. Building Permit application submitted 5/31/2017. Building Permit issued 6/7/2017	Marysol	13	
17-1860-CUP/CDP	Thom Vernon	502	Maple Avenue	Structural repairs to nonconforming garage structures	Submitted 3/13/17. Incomplete 4/12/17. Resubmitted 4/20/17. Complete 4/26/17. PC denied 5/1/17. Appeal period ended 5/11/17; no appeals filed. BP for demo submitted 6/26/17. BP issued 7/6/17.	Nick	13	yes

15-1786-CUP/CDP	Verizon Wireless	6267	Carpinteria Avenue	Wireless Telecommunications Facility	Submitted 08/14/15. Incomplete 08/31/15. Complete 11/112/15. PC 12/07/15. PC Action letter 12/8/15. Appeal period ends 12/17/15. CCC appeal period ends 1/8/16. In Building Review 02/25/16. BP Issued 04/20/16.	Shanna	13	
17-1864-ARB17-1864-ARB	City of Carpinteria		Linden Ave & Carpinteria Ave	Downtown "T" landscape retrofit	Submitted 3/29/17, under review. ARB approved 4/13/17. To CC for awarding of contract. Under construction.	Nick	14	
17-1857-FENCE17-1857-FENCE	Tom Kenny	4292	Carpinteria Ave	New Fence (wall)	Submitted 2/10/2017, "Incomplete" 2/23/2017; add'l materials submitted 4/26/17. Fence permit issued 5/17/17. Construction on hold until CVWD approves construction plans around water meters.	Lucy	14	Yes
16-1839-CDP16-1839-CDP	Thom Vernon	500	Maple Avenue	Install new windows & replacement roll-up doors	Submitted 8/12/16. Incomplete 9/8/16. Complete 9/14/16. To ARB 9/15/16, continued to 10/13/16. ARB approved 10/13/16. Director Approved 10/21/16. FLAN sent to CCC 11/1/16. BP application submitted 10/20/16. BP issued 2/2/17, under construction.	Nick	14	
16-1814-CUP/CDP	Hathaway	4740	Fourth Street	Comprehensive remodel	Submitted 3/7/16. Incomplete 3/31/16. Resubmittal 4-7-16; deemed insufficient 4-20-16. Prelim/Final ARB 3/31/16. Complete 5-25-16. PC approved 6-6-16. NTPO recorded 6/28/16. BP submitted 7/27/16. BP issued 10/6/16. Under construction.	Nick	14	
16-1808-DP/CDP	City of Carpinteria Parks & Recreation Dept	4855	Fifth Street	Community Garden	Submitted 2/3/16. Incomplete 2/25/16. Resubmitted 3/23/16. Prelim ARB approval 3/31/16. In-progress review 4/14/16. Complete 4-25-16. PC approved 5-2-16. FLAN sent 5-18-16. Final ARB approval 10/13/16. BP application submitted 10/20/16. BP issued; Site improvements underway.	Nick	14	
15-1800-DP/CDP	Sinclair	607	Walnut Avenue	47 sq ft bathroom addition & new 2nd floor dormers	Submitted 11/30/15. Incomplete 12/10/15. Resubmitted 12/28/15. Prelim ARB Approval 1/14/16. Complete 1/21/16. PC approved 2/1/16. Final ARB approval 3/31/16. BP approved & issued. Under construction.	Nick	14	

15-1798-DP/PM/CDP	Habitat for Humanity	4949	Sawyer Avenue	Three residential condominiums	Submitted 11/5/15. IDAG Routing 11/10/15. Incomplete 11/17/15. IDAG 11/19/15. Complete 11/25/15. Prelim ARB 1/14/16. PC scheduled 03/07/16. Cont. PC 04/04/16. PC approved 04/04/16. PC Action Letter 04/05/16. NOE sent 04/05/16. 10 day appeal period ends on 04/14/16. Final ARB 08/25/16. BP submitted 8/10/16. CC approved Final Map acceptance 4/24/17. Parcel Map Recorded 5/24/17. Building Permits ready to issue 5/31/17. BP issued 6/28/17. Under construction.	Nick	14	
15-1791-ARB15-1791-ARB	Bush	4310	La Quinta Drive	211 sf addition to, and remodel of, (E) 2-story SFD	Submitted 9/10/15. Incomplete 9/23/15. Prelim ARB 10/15/15. CDD Director approved 10/29/15. Final ARB approval 3/17/16. BP submitted 4-13-16. BP issued 5-16. Under construction.	Nick	14	
15-1785-LCPA/ORD	City of Carpinteria		Citywide / residential Zones	Short-term Vacation Rental Ordinance	Initiated by CC 08/10/15. Moratorium 10/26/15. Memo to CC 11/12/15. Discussion at PC 12/07/15. Draft Ord to PC 01/04/16. PC rec Approval to CC 01/04/16. CC 02/08/16. PC Special Meeting 03/02/16. PC Special Meeting 03/21/16. To CC 4/25/16. CC 1st reading 04/25/16. CCC submittal for LCPA to be sent 05/16/16. Replied to CCC on 8/1/16. Met with CCC on 8/29/16, pending extension from CCC. Moratorium extension approved Ord. 711 09/26/16. CCC approved 12/8/16. Admin Regs presented to CC 4/10/17. CC approved Ordinance via Second Read 4/24/17. Applications being reviewed, licenses issued, and totals tallied.	Lucy Steve	14	
15-1776-ARB 15-1776-ARB	Millhollin	5481	El Carro Lane	Addition to SFD; new two-car garage	Submitted 06/23/15. Complete 07/06/15. Prelim/Final ARB 07/30/15. Director approved 08/12/15. BP issued, under construction.	Shanna	14	
14-1748-CDP 14-1748-CDP	Lundin	5380	Ogan Road	SFD addition	Submitted 12/23/14. Director approved 01/05/15. NTPO recorded. BP issued, under construction.	Shanna	14	
13-1695-CUPR/CDP	Island Brewing Company	5049	Sixth Street	Expansion of brewery and tasting room	Submitted 12/17/13. Complete 1/29/14. PC approved 2/3/24. BP for interior improvements issued 5/6/15. Under construction.	Nick	14	
13-1677-ARB13-1677-ARB	Olson	1477	Santa Ynez Ave	Remodel and addition	Submitted 7/26/13. Prelim/Final ARB 8/15/13. Complete 8/20/13. Director approved 8/21/13. BP issued; under construction. Last inspection 8/19/15. Awaiting final inspection.	Nick	14	

12-1649-DPR/CDP	Pini	5585	Carpinteria Avenue	Casa del Sol Motel and Apartment Renovation	Submitted 11/2/12. Complete 11/29/12. Preliminary ARB 12/13/12; continued to 1/17/13. PC approved 2/4/13. ARB Final 9/12/13. PC approved TEX 3/3/14. BP issued 1/26/15. Revisions to BP submitted 5/11/15 and issued 5/26/15. Under construction.	Steve	14	
09-1522-CUP/CDP/LCPA/ORD	Caltrans		Linden-Casitas Interchanges and Via Real Extension	Reconstruct overcrossings and extend Via Real across Carpinteria Creek	Submitted 2009. PC recommended approval 05/18/15. CC first reading and recommended approval of ORD and LCPA 06/22/15 and 07/27/15. Submitted to CCC 08/21/15. CCC hearing in October in Orange County. CC approved CUP/CDP 11/23/15. FLAN sent to CCC 12/1/15. No appeal. ARB Final 3/17/16. Construction underway 9/12/16.	Steve	14	
08-1483-CDP08-1483-CDP	Salzgeber	447	Concha Loma Drive	Install water well and storage tank for agricultural purposes	Submitted 12/18/08. Incomplete 1/16/09. Resubmitted 3/20/09. Incomplete. Resubmitted 9/1/09. Director approved 5/7/10. Permit issued 10/19/10. Well constructed and sealed 11/10. Awaiting installation of pump and storage tank.	Nick	14	
04-1172-DP/CDP	Franssen	750	Palm Avenue	Construct one new SFD and create two condominiums	Revised plans submitted 9/15/06. Incomplete 10/9/06. Resubmitted 10/30/06. Prelim ARB 11/30/06. Complete 12/21/06. To PC 1/2/07. Revised Prelim ARB 1/25/07. PC approved 2/5/07. CC approved map clearance 12/10/07. PC approved one year TEX 2/4/08. Grading Permit issued 2/4/09. Final ARB for Unit 2 10/1/09. BP issued, under construction. CofO issued on rear unit.	Nick	14	
17-1872-TUP17-1872-TUP	St. Joseph's Church	1532	Linden Avenue	Annual Festival	Submitted 05/05/2017. Incomplete 05/26/2017. Complete 6/15/2017. Approved 6/28/2017.	Marysol	15	



Permit Report

07/03/2017 - 07/31/2017

Permit #	Permit Date	Site Address	Owner Name	Project Description	Valuation	Status	Issued Date	Code Compliance Violation	Fire Permit Required
12113	7/31/2017	1241 La Brea	FERAMISCO, GARY	(N) front entry cover, trellis, front entry step & driveway replacement	5,000	In Review Building			
12112	7/28/2017	1484 Manzanita Street	GARIBAY FAMILY TRUST 7/19/05	Skin roof - facia boards like for like (termites), re-roof (29 squares)	5,000	Issued	7/28/2017		
12111	7/27/2017	4650 Carpinteria Ave	LAVENDER BLUE, LP	Tenant Improvements - Unit 4650	5,000	In Review Building			Yes
12110	7/27/2017	1565 Meadow Circle	WILLENS, BABETTE TRUST	Strengthen (e) deck joist that were previously repaired	6,000	In Review Building			
12109	7/26/2017	1340 Vallecito Place	GOMEZ, MARIA ESTELLA	Repair minor damage to brick wall of SFD	1,600	Issued	7/26/2017		
12108	7/24/2017	5384 Star Pine Road	PRESTON, ROBERT S III & SARAH C REVOCABLE TRUST 03/07/14	Construct a small masonry block, outside fireplace to be located 6 1/2 feet away from the side yard setback.	5,000	In Review Planning			
12107	7/20/2017	6395 Cindy Lane	BROUDY CINDY LANE, LLC	Interior demolition to include non-bearing walls, accoustical ceiling. Drywall ceilings, HVAC ducting remove/replace existing plumbing fixtures and floor finishes. Exterior north and lean-tos and cout buildings/sheds.	75,000	In Review Building			

12106	7/20/2017	520 Elm Street	HERNANDEZ, RAFAEL TRUST 6/19/15	Interior remodel & exterior renovation of 594 sq ft one-story sfr on a 5,277 sf lot zoned PRD (no new suare footage proposed). 2 exerior renovation of 1,412 sq ft. one-story duplex (no new sq footage proposed).	100,000	In Review Building			
12105	7/20/2017	4933 Nipomo Drive	DONOVAN, JACK J	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		
12104	7/20/2017	4921 Nipomo Drive	RODRIGUEZ LIVING TRUST 10/05/06	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		
12103	7/20/2017	4911 Nipomo Drive	VILLEGAS, FELIPE	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		
12102	7/20/2017	4901 Nipomo Drive	CASTEEN, MARSDEN CARTER II	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		

12101	7/20/2017	4895 Nipomo Drive	FRANCO, MARTIN & ILSE REVOCABLE TRUST 3/7/12	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		
12100	7/20/2017	4857 Nipomo Drive	ROSSO, DAVID A	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		
12099	7/20/2017	4841 Nipomo Drive	REYES, DANIEL J	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		
12098	7/20/2017	4825 Nipomo Drive	VALDOVINOS, GUSTAVO G	Relocate existing overhead electrical service to under ground excavate, Intall underground conduit to relocate electrical, phone and cable TV utilities SCE SR# 2355606.	8,000	Issued	7/20/2017		
12097	7/20/2017	5647 Canalino Drive	NEWMAN, STANLEY	Re-roof with composition shingles, 32 squares.	13,000	Issued	7/21/2017		
12096	7/20/2017	5596 Canalino Drive	Barbara Stevens	Replace existing water heater, termite repair and small drywall patches and exterior windows and walls.	1,500	Issued	7/20/2017		
12095	7/19/2017	1533 Jay Street	Helen Carrie Reid and Jonathan Wayne Reid	Permit the installation of a prefab patio cover.	0	Issued	7/19/2017	Yes	

12094	7/18/2017	4949 Sawyer Avenue	HABITAT FOR HUMANITY OF SOUTHERN SANTA BARBARA COUNTY, INC	Install a temporary power pole.	400	Issued	7/18/2017		
12093	7/18/2017	1165 Vallecito Road	Jose Miguel Pinilla Burgos	Install 200 amp panel, ground rod & cold water bond. Install 1 1/4 inch conduit from new panel to old, pull wire & install breakers and make connections in old panel. Bond hot, cold & gas pipes at hot water heater with ground wire & clamps. Label breakers in new panel.	4,000	Issued	7/18/2017		
12092	7/18/2017	1413 Sterling Avenue	THURSTON, TERRIE	Create a new 10" inch deep tray ceiling in living room with crown molding and ambient lighting. Existing window to be centered on room and replaced with new low E vinyl window.	8,000	Issued	7/18/2017		
12091	7/17/2017	4495 Mesa	WEST BLUFF CAPITAL, INC	A new 22 s.f.deck off the Master Bedroom and a 36 s.f. stairs from the existing patio. No new square footage is being added to the structure.	10,000	In Review Planning			
12090	7/17/2017	4558 Carpinteria Ave	CARPINTORIA MOTOR INN, INC	Replace existing monument cabinet and replace existing pylon sign cabinet.	7,500	Issued	7/27/2017		
12089	7/17/2017	1474 La Jolla Place	CHOY, CHRISTOPHER/LAUREN	Re-roof with a 40 year asphalt shingle to match existing color.	16,488	Issued	7/17/2017		
12088	7/13/2017	6430 Via Real	SCHAFF, VICTOR WILLIAM & SUSAN MARIE REVOCABLE TRUST	Tenant Improvement office space, new ADA restrooms, new HVAC system	900,000	In Review Building			Yes
12087	7/13/2017	4775 Seventh Street	FINNIGAN, TIMOTHY M	Install a temporary power pole.	0	Issued	7/13/2017		

12086	7/13/2017	4905 Dorrance Way	DAMBACH, FRANK	Tear off existing composition, install lifetime composition (23 squares)	10,000	Issued	7/13/2017		
12085	7/11/2017	5041 Foothill Rd	MARY LOUISE SANCHEZ TRUST 5/31/01	New roof	3,000	Issued	7/11/2017		
12084	7/10/2017	4871 Nipomo Drive	MEDEL, MICHAEL LUCIO	Upgrade the existing main service to a 200 amp panel and install required underground conduit to the existing utility at the street for utility connection.	3,000	Issued	7/10/2017		
12083	7/7/2017	1533 Jay Street	Helen Carrie Reid and Jonathan Wayne Reid	Remove non-bearing walls of existing interior area. Existing trusses to remain - span entire area of remodel)	4,000	Issued	7/20/2017		
12082	7/7/2017	1042 Palmetto Way Unit F	LAYMAN FAMILY TRUST 3/11/06	Structural wall to be removed, rerouting of minor electrical, slider to be removed, 2/8 door with window in its place, stucco to be installed in 3 coats.	6,000	Issued	7/26/2017		Yes
12081	7/6/2017	1493 Chapparral Drive	GANDRUD, GREGORY FAMILY TRUST 12/10/92	Convert shower tub to shower with glass door & enclosure	17,000	Issued	7/20/2017		
12080	7/6/2017	4825 Sandyland Road	Sandyland Co-Op	Shoring for steel columns	0	In Review Building			
12079	7/5/2017	4813 Nipomo Drive	PEREA, GABRIEL T	Relocate electric service from backyard to front. Relocate service drop from overhead to underground.	10,000	Issued	7/5/2017		
12078	7/5/2017	4801 Nipomo Drive	ARELLANES REVOCABLE LIVING TRUST 11/19/13	Remove existing overhead 100 amp service, relocate to side of garage and install a new 200 amp underground service.	23,000	Issued	7/5/2017		

12077	7/5/2017	5446 Eighth Street # 1	HOGAN, ROBERT N/JAYE DEANE 1998 REVOCABLE TRUST 1/16/98	Remove the dry rotted and insect infested fascia and ledger boards. Replace the fascia and ledger flashing and re-surface the repaired areas with walkway sealer Tufflex. damaged fascia and	3,700	Issued	7/13/2017		
12076	7/5/2017	5446 Eighth Street # 20	CULLER, RANDALL K REVOCABLE TRUST	Remove the dry rotted and insect infested fascia and ledger boards. Replace the fascia and ledger flashing and re-surface the repaired areas with walkway sealer Tufflex. damaged fascia and	3,700	Issued	7/13/2017		
12075	7/5/2017	5446 Eighth Street # 8	LIPPS, NATHAN	Remove the dry rotted and insect infested fascia and ledger boards. Replace the fascia and ledger flashing and re-surface the repaired areas with walkway sealer Tufflex. damaged fascia and	3,700	Issued	7/13/2017		
12074	7/5/2017	5596 Canalino Drive	Barbara Stevens	Remove and replace existing composition roof. Upgrade existing electrical panel to a 200 amp. Patch stucco, paint, flooring.	4,500	Issued	7/10/2017		
12073	7/3/2017	1483 Alva Street	MOORHOUSE, JEFF TRUST 2/8/2016	Gazebo with barbeque and sink in backyard. Relocated tuff shed from southside to northside.	500	Issued	7/17/2017	Yes	

Total Records: 41

8/2/2017