

CITY OF CARPINTERIA PLANNING COMMISSION AGENDA

**David Allen
Jane L. Benefield
John Callender, Vice-Chair
Glenn La Fevers
John Moyer, Chair**



**City Council Chamber
5775 Carpinteria Avenue
Carpinteria, CA 93013
Time: 5:30 p.m.
Agenda Posted: 06/01/17**

JUNE 5, 2017

THE PLANNING COMMISSION RESERVES THE RIGHT TO CHANGE THE ORDER IN WHICH ITEMS ARE HEARD. APPLICANTS NOT IN ATTENDANCE WHEN THEIR ITEM IS CALLED MAY HAVE THEIR ITEM CONTINUED TO THE NEXT REGULAR MEETING.

Any information presented to the Planning Commission by the public on any agenda item and during Public Comment using electronic media to be displayed on the overhead projector must be arranged with staff for review of materials in advance of the meeting and no later than Friday prior to the Planning Commission meeting.

Any written, printed or electronic material and/or exhibit presented at this meeting becomes the property of the City, and a copy must be provided to City staff.

This meeting will be broadcast live on Government Access Television Channel 21 and rebroadcast on Wednesday after the meeting at 8:00 p.m. and on Saturday at 5:00 p.m.

- 1. CALL TO ORDER and ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS**
- 4. PUBLIC COMMENT**

This time on the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Commission and not listed on other sections of the agenda. Please limit comments to no more than five minutes. Depending on the number of speakers wishing to make comments, the Chair may further limit the time available to each speaker to control the amount of time spent on this part of the agenda. If you wish to speak on a **CONSENT CALENDAR** item, please do so during this part of the meeting.

Please be advised that California law does not allow the Planning Commission to discuss or take action on any issue presented by the public during this portion of the meeting. The Commission may ask a question for clarification, provide a brief response to public comment, refer the matter to staff for review and a later report or direct staff to place an item on a future agenda.

The City is not responsible for the content of statements made during the public comment period or the factual accuracy of any such statements.

5. CONSENT CALENDAR

Items on the Consent Calendar are considered to be routine and are normally enacted by one unanimous vote of the Commission. Individual items may be removed and considered separately at the request of a Commissioner. Any item removed from the Consent Calendar will be added to another section of the agenda.

a. Minutes of the regular Planning Commission meeting held May 1, 2017.

6. NEW PUBLIC HEARING

**a. Castiglia Residence Addition/Remodel
Project 17-1853-CUP/CDP**

Planner: Lucy Graham

Hearing on the request of David Rhea of Residential Design Works, agent for Julie Castiglia, to consider Project 17-1853-CUP/CDP (application filed on February 1, 2017) for approval of a Conditional Use Permit and a Coastal Development Permit to allow an interior remodel and addition of approximately 750 square feet to a single-family residence and structural alterations to an existing nonconforming portion of the structure within the required rear yard setback under the provisions of the Single Family Residential (6-R-1) Zone District; and to approve an Exemption pursuant to §15301 and §15303 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 003-292-017, addressed as 946 Concha Loma Drive.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing
4. Planning Commission Action

**b. Selfridge Residence Addition/Remodel
Project 17-1862-CUP/CDP**

Planner: Lucy Graham

Hearing on the request of Martha Selfridge, owner and applicant, to consider Project 17-1862-CUP/CDP (application filed on March 22, 2017) for approval of a Conditional Use Permit and Coastal Development Permit to allow for an interior remodel and addition of approximately 185 square feet to an existing single-story single-family residence and nonconforming one-car garage under the provisions of the Single Family Residential (6-R-1) Zone District; and to approve an Exemption pursuant to §15301 and §15303 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 003-381-017, addressed as 5596 Calle Arena.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing

4. Planning Commission Action

**c. Omni Catering Storage Buildings
Project 16-1837-DP/CDP**

Planner: Nick Bobroff

Hearing on the request of Shawn Godkin, agent/architect for Sarah Dandona, Omni Catering, to consider Project 16-1837-DP/CDP (application filed August 4, 2016) for approval of a Development Plan and Coastal Development Permit to allow the construction of a screened equipment storage area comprised of three prefabricated “roll-off” containers under the provisions of the Central Business (CB) Zone District; and to approve an Exemption pursuant to §15303 and 15304 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 003-253-001, addressed as 4835 Carpinteria Avenue.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing
4. Planning Commission Action

7. OTHER BUSINESS

According to Section 2.32.040 of the Carpinteria Municipal Code, the Planning Commission shall elect a chair and vice-chair from among its members at its first regular meeting after July 1st.

8. MATTERS PRESENTED BY COMMISSIONERS

9. DIRECTOR’S REPORT

- a. Distributed Information
 - i. Action Minutes of the Architectural Review Board meetings of May 11, 2017 and May 25, 2017
 - ii. City calendar for the month of June 2017
 - iii. Community Development Project Status Report as of May 31, 2017
 - iv. Construction Permit Report as of May 31, 2017

10. ADJOURNMENT

Notes

All actions of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within 10 calendar days of the Commission's action. Appeal deadline for items on this agenda: 5:00 p.m., June 15, 2017. The next regular Planning Commission meeting will be held on Monday, July 3, 2017 at 5:30 p.m. in the Council Chamber.

If you challenge any of the Planning Commission's decisions related to the agenda items above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence to the Planning Commission prior to the public hearing.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact the Community Development Department by email at lorenae@ci.carpinteria.ca.us or by phone at (805) 755-4410 or the California Relay Service at (866) 735-2929. Notification two business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

CALL TO ORDER and ROLL CALL Chair Moyer called the meeting to order at 5:30 p.m. Commissioners Present: John Moyer, Chair John Callender, Vice-Chair Jane L. Benefield Commissioners Absent: David Allen Glenn La Fevers Others Present: Steve Goggia, Community Development Director Nick Bobroff, Senior Planner Approximately 5 interested persons	CALL TO ORDER & ROLL CALL
PLEDGE OF ALLEGIANCE - Chair Moyer called for the flag salute.	PLEDGE OF ALLEGIANCE
INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS - None	ANNOUNCEMENTS
PUBLIC COMMENT - None	PUBLIC COMMENT
CONSENT CALENDAR a. Minutes of the regular Planning Commission meeting held April 3, 2017 MOTION Upon a motion by Commissioner Callender, seconded by Commissioner Benefield, the Planning Commission voted 3-0 to approve the minutes of the regular Planning Commission meeting held April 3, 2017 as presented.	CONSENT CALENDAR
NEW PUBLIC HEARING a. Sunburst Winery Planner: Nick Bobroff Project 16-1844-DP/CDP Hearing on the request of Kevin Moore, architect/agent for Scott Smigel to consider Project 16-1844-DP/CDP (application filed on October 13, 2016) for approval of a Development Plan and a Coastal Development Permit to	NEW PUBLIC HEARING

allow a remodel and change of use from a former print shop to a retail wine sales business and wine bar; and to consider a modification to the onsite parking requirements under the provisions of the Commercial Planned Development (CDP) Zone District; and to approve an Exemption pursuant to §15301 and 15303 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 004-041-013, addressed as 5080 Carpinteria Avenue.

DISCLOSURE OF EX PARTE COMMUNICATIONS - None

Senior Planner Nick Bobroff presented the staff report and provided a project description, background information, and an analyses of the zoning, parking regulations and General Plan/Coastal Plan. He said staff was recommending approval of the project as submitted. He provided additional details about the project in response to commissioners' questions.

PUBLIC HEARING OPENED

Chair Moyer opened the public hearing at 5:51 p.m.

Applicant Ryan Moore said the wine bar would serve light food and not be a full-blown restaurant, but pop-up meals would be served for special occasions and become more regular as they get going. In response to a question about the hours of operation, he said it would be similar to the Island Brewery.

David Godfrey, 1056 Eugenia Place, an immediate neighbor to the property, expressed support for the project. He spoke about the parking problems on Eugenia, noting that parking opens up at about 3:30-4:00 p.m., and street parking is virtually full starting at 7:45 a.m. with very little turnover due to employees of the office buildings. In addition, commuters who take the bus or carpool park vehicles there. He said there is very little short-term parking available to the public for businesses that have visitors, and he is planning to appeal to the City to designate restricted 90-minute visitor parking spaces on the SE side of Eugenia for the first 100 yards (8-9 spaces). He said the existing businesses need help.

Phil Galentesis, 1140 Eugenia Place, echoed Mr. Godfrey's concerns and said turning onto Eugenia Place at night, with the traffic flow along Carpinteria Avenue, is a challenge. He added that the sidewalks are old and the crosswalk across Carpinteria Avenue to Rincon Brewery is not well lit. He said he was almost hit and has seen others almost hit.

PUBLIC HEARING CLOSED

Chair Moyer closed the public hearing at 6:02 p.m.

Commissioner Benefield said the winery idea is a good one but parking is an issue. She said it's difficult to drive through the area, as well as make a left turn out of Eugenia Place. She said Mr. Godfrey's visitor-serving parking idea is a good one and suggested he get the ball rolling, noting that it has to get through the Traffic Safety Committee. She added that the lighted crosswalk is a good idea, and she loves that the Sunburst sign is being used. She questioned what other use would not create the same parking problems and said the project is better than leaving the building vacant.

Commissioner Callender spoke about how the area is focusing on visitor-serving businesses and asked if there were any long-term plans for adding parking. He said the findings related to energy efficiency improvements were a stretch, but overall the project is a benefit to the community. He expressed support.

Chair Moyer expressed support and described the project as great. Regarding the parking lot behind Rincon Brewery, he said the parking spaces are 8-feet wide, and there is inadequate lighting and tree root damage. He said he had a fall there getting out of his vehicle.

Community Development Director Steve Goggia stated that he spoke to Public Works after the last meeting upon hearing about Chair Moyer's experience. With respect to adding parking, he said that more is being added closer to the beach area and adding more downtown is something several Department heads are talking about.

Chair Moyer commented that Lot 2 is too small for additional parking but the Parking Lot #1 could be restudied to accommodate more parking.

MOTION

Upon a motion by Commissioner Benefield, seconded by Commissioner Callender, the Planning Commission voted 3-0 to approve the Sunburst Winery as described in the report, including the requested modifications to the City's on-site parking requirements.

b. Vernon Garages Rehabilitation
Planner: Nick Bobroff
Project 17-1860-CUP/CDP

Hearing on the request of Dylan Chappell, architect/agent for Thom Vernon to consider Project 17-1860-CUP/CDP (application filed on March 13, 2017) for a Conditional Use Permit and a Coastal Development Permit to

allow structural repairs and alterations to an existing legal nonconforming garage/storage structure under the provisions of the Planned Residential Development (PRD-20) Zone District; and to approve an Exemption pursuant to §15301 and 15302 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APNs 004-105-005 and -009, addressed as 502 Maple Avenue.

DISCLOSURE OF EXPARTE COMMUNICATIONS

Commissioner Benefield disclosed that she visited the site.

Senior Planner Nick Bobroff presented the staff report. He presented a project description, background information and an analysis of the legal non-conforming uses and structures. He said staff was recommending denial of the CUP and would like the Planning Commission to encourage the applicant to explore other options for making the structure conform to current setback requirements and pursue options for repairing the remaining structures with building permits.

Commissioner Callender spoke about how the project is surrounded by residential and industrial uses and described its history as chaotic. He said he would withhold judgment until hearing from the applicant. He asked about its recent history, and Senior Planner Nick Bobroff explained that it's currently a zoning violation case. Mr. Bobroff said, among other things, that the applicant was presented with two options to address the zoning violation: pursue a CUP or demolish some or all of the structures to conform.

PUBLIC HEARING OPENED

Chair Moyer opened the public hearing at 6:40 p.m.

Thom Vernon, applicant, said he purchased cottages on 7th Street in 2011 and acquired more property on Maple Avenue, in what he refers to as Carpinteria's "funk zone" in 2014. He said there are various uses in that area and it will always be like that. He described the property as terrific and said he doesn't want it to be another sterile project. He asked for a period of three years in which to complete the various phases of the project that he has planned. Regarding tearing down "garage #3," he said it would not affect his vision of the property in three years.

Stella Andersen, direct neighbor, asked how Mr. Vernon's lack of a rear yard setback will affect her future plans to develop her property. She said she has the potential to add two more units. She commented that her property was zoned industrial when she bought it but was changed to residential.

PUBLIC HEARING CLOSED Chair Moyer closed the public hearing at 7:00 p.m. In response to Ms. Andersen's question, Senior Planner Nick Bobroff explained that the effects would be aesthetic and only a consideration if she were to place a parking structure right up to the rear property line, in which case some separation might be needed to address fire separation requirements. He said otherwise there is nothing to preclude her from her development plans. Chair Moyer said that he has been supportive of Mr. Vernon in the past but cannot support this project. He suggested that Mr. Vernon do things upfront and apply for permits. He expressed support for the denial. Commissioner Callender agreed with Moyer about supporting Mr. Vernon's past visions. He said the funk zone concept is neat but suggested Mr. Vernon find a way to work with the City. He said he is in support of staff's recommendations and does not see grounds for approving a CUP request. Commissioner Benefield agreed with Commissioner Callender and described the property as more of a junk zone than a funk zone, noting that Mr. Vernon has owned the property for three years and has not improved it. She agreed with staff that the findings cannot be made. She said she liked the overall vision but it's not moving in the right direction. She agreed with staff to deny the project. MOTION Upon a motion by Commissioner Callender, seconded by Chair Moyer, the Planning Commission voted 3-0 to adopt the resolution in the staff report, PC-17-004, thereby denying Project 17-1860-CUP/CDP as proposed and instead direct the applicant to go back to the City and work out something that is more workable going forward.	
OTHER BUSINESS - None	OTHER BUSINESS
MATTERS PRESENTED BY COMMISSIONERS Commissioner Benefield requested a briefing on parking. She asked about the plans for parking lots 1 and 2, as well as the net gain in parking that will result from the future parking lot near the railroad tracks. Commissioner Callender asked for a briefing on the Chevron pipeline. He noted Venoco declared bankruptcy and asked how it would affect the Bluffs 0 parcel and who would be responsible for its remediation. Community	MATTERS PRESENTED

Development Director Steve Goggia answered that the City has a list of things it's looking at, and it's in the City's interest to keep up with what is happening with the property. He said the property will probably be put up for sale. Commissioner Benefield asked how recent state legislation regarding second dwelling accessory units would be affecting the city, and Senior Planner Nick Bobroff explained that because Carpinteria is in the Coastal Zone, not all of the amendments will automatically take effect in Carpinteria. He and Mr. Goggia did note that the DIF program is being changed to conform with state law that is requiring DIFs to be reduced for accessory dwelling units.	
DIRECTOR'S REPORT a. Distributed Information i. Action Minutes of the Architectural Review Board meeting of March 30, 2017 and April 13, 2017 ii. City calendar for the month of May 2017 iii. Community Development Project Status Report as of April 27, 2017 iv. Construction Permit Report as of April 27, 2017 Community Development Director Steve Goggia reviewed the distributed information. He noted that the Via Real Hotel project was included in the March 30th ARB meeting minutes, and the Swinford residence (the bungalow on Palm) received recommendation for approval by the ARB at its April 13, 2017 meeting. Commissioner Benefield requested that when new state legislation affects planning, that it be brought up in the Director's Report. Chair Moyer stated that he would like to attend the upcoming Santa Barbara Housing Conference, if possible.	DIRECTOR'S REPORT
ADJOURNMENT - Chair Moyer adjourned the meeting at 7:20 p.m. _____ Secretary, Planning Commission ATTEST: _____ Chair, Planning Commission	ADJOURNMENT

PLANNING COMMISSION STAFF REPORT

MEETING DATE: June 5, 2017

ITEM FOR CONSIDERATION

Case 17-1853-CUP/CDP

Request to allow a comprehensive remodel and 753 square foot addition to an existing legal nonconforming single-family residence located partially in the required 15-foot rear setback.

Report prepared by: Lucy Graham, Associate Planner
Community Development Department



SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department



SIGNATURE

Owner: Julie Castiglia

Applicant/Agent: David Rhea, Designer

Project Location: 946 Concha Loma Drive

APN: 003-292-017

Zoning: Single Family Residential (6-R-1)

General Plan Designation: Low Density Residential (LDR)



I. RECOMMENDATION

Adopt the attached Resolution PC-17-006 (Exhibit 1), thereby approving Project 17-1853-CUP/CDP to allow a comprehensive remodel and 753 square foot addition to an existing legal nonconforming single-family residence located partially in the required 15-foot rear setback, and incorporate the revisions to the main entry and perimeter fencing/landscaping as recommended by the Architectural Review Board.

II. PROPOSED PROJECT DESCRIPTION

The proposed project entails a comprehensive remodel and 753 square foot addition to a single-family residence on a parcel of approximately 7,850 square feet. The proposed remodel will affect the kitchen, bathroom, and master bath; and the proposed addition would expand the kitchen, living room, master bedroom, and garage. The total square footage of the residence would increase from 1,345 square feet (1,052 square feet of living area and a 293 square foot one-car garage) to 2,015 square feet (comprised of 1,580 square feet of living area and a 435 square foot two-car garage). The maximum height of the residence would increase slightly from approximately 13 feet 8 inches to 14 feet 11 inches. The colors and materials proposed will match those of the existing structure.

Conditional Use Permit: Portions of the structure are considered legal nonconforming in terms of building setbacks and would be structurally altered in the proposed remodel. A Conditional Use Permit is required to allow for structural alterations to the existing nonconforming bedroom and pantry in the required rear setback.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics and Background

The project site is a corner lot, located at 946 Concha Loma Drive, on the southeast corner of the Concha Loma Drive and Arbol Verde Street intersection. The lot is approximately 7,850 square feet, with an existing single-family residence of 1,052 square feet, a single car garage of 293 square feet, and a porch of 143 square feet.

The property is located in the Concha Loma Neighborhood (Community Design Subarea 5), in the Carpinteria Park Estates Subdivision, which is a residential neighborhood composed of single family dwellings. Immediately adjacent to the subject property are single-family residences to the north, west, south and southeast, and a commercial building (on the corner of Carpinteria Avenue and Arbol Verde Street) to the northeast.

The site is zoned Single Family Residential (6-R-1) and has a Low Density Residential (LDR) land use designation.

Project History

The residence was originally built in 1950. A building permit was issued by Santa Barbara County in 1958 to allow the addition of a single car carport. In 1980, a building permit was issued to, among other things, enclose and slightly expand the previously constructed carport to create a one-car

garage. More recently upon the sale of the property, it was discovered during the Inspection on Sale process that the garage had been illegally converted into an unpermitted dwelling unit by a previous owner. The proposed remodel and addition project would correct the unpermitted garage conversion.

Architectural Review Board (ARB)

The project was reviewed by the ARB at a preliminary level on March 16, 2017. Boardmembers were supportive of the project overall but concurred that the hedges on Concha Loma Drive were too tall, that the main entrance should be enhanced, and that any exterior lighting should be night sky friendly.

In the end, the Board recommended preliminary approval of the project to the Planning Commission with the following comments:

- Reduce hedge/gate height on Concha Loma Drive frontage to approximately four feet;
- Provide a more pronounced entry statement (i.e., front porch); and
- Any new exterior lighting to be night sky friendly.

A copy of the Minutes from the March 16, 2017 ARB Meeting is attached as Exhibit 2.

The plans (Exhibit 1, Attachment B) included in this staff report do not reflect the changes requested by the ARB at the March 16th meeting. The applicant/agent has stated that the owner does not wish to revise the project. Staff recommends that the ARB's comments be incorporated into the project as a requirement of the project Conditions of Approval (Exhibit 1, Attachment D). If the project is approved by the Planning Commission, the project will also be conditioned to return to the ARB for final design review prior to building permit submittal.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to Sections 15301 [existing facilities] and 15303 [new construction or conversion of small structures] of the Guidelines for Implementation of the California Environmental Quality Act (CEQA). Class 1 Categorical Exemptions consist of projects involving repair, maintenance, or minor alteration of existing public or private structures, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Class 3 Categorical Exemptions consist of projects involving construction of limited numbers of new, small facilities or structures. As the project proposal includes alteration of an existing private dwelling as well as construction of new square footage to the structure, the project is consistent with these standards, and these exemptions are appropriate.

The requested project proposes to expand the existing residence to the north, south and west, which will require ground disturbances and the placement of new footings/foundation. As the Concha Loma neighborhood is recognized as an archaeologically sensitive area, a Phase I Archaeological Study was conducted for this project. The report indicated that no historical artifacts were found, although a requirement for archaeological monitoring during construction is included in the recommended Conditions of Approval in case of unanticipated discovery of human remains during construction.

For more detail, see the attached Notice of Exemption included as Exhibit 3.

V. ANALYSIS

The proposed project involves a remodel and addition to an existing legal nonconforming single family dwelling on a residentially-zoned property. As such, staff has reviewed the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code, and with the policies and objectives of the General Plan/Coastal Land Use Plan.

Zoning Code Requirements

Single Family Residential (6-R-1) District; CMC §14.12

The proposed project involves a remodel and addition to an existing single family residence on a 6-R-1 zoned lot. The proposed use/project is consistent with the applicable development standards for the R-1 zoning districts as described in the table below.

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	50 feet from centerline of street or 20 feet from property line, whichever is greater	50 feet from centerline of street or 20 feet from property line
Side (East)	9 feet min. (10% of the average lot width)	20 feet 7 inches
Side (West)	15 feet min. (15 feet or 25% of the lot width, whichever is less)	15 feet
Rear	15 feet min.	7 feet 2 inches*
Height	30 feet max.	14 feet 11 inches
Building Coverage	35% max. (2,747.5 square feet)	28% (2,155 square feet)
Density	1 unit	1 unit
Parking**	2 covered spaces in a garage	Existing: 1 covered space in a garage Proposed: 2 covered spaces in a garage

*The existing residence is legal nonconforming with respect to the required rear setback. The proposed project would retain the rear-yard nonconformity.

**The existing residence is currently legal nonconforming with respect to required parking. The proposed project would rectify the parking nonconformity and meet the parking requirement.

Fences, Walls and Hedges

Section §14.50.050(1) of the Carpinteria Municipal Code (CMC) allows for fences, walls and hedges up to three feet in height along street frontages. The street frontages on the front and street-side setbacks of this property, however, are dominated by tall hedges (over 10 feet) and fences (6 feet). Both the ARB and staff are recommending that the hedge and fence along Concha Loma Drive and around the corner of the lot be lowered to four feet (see recommended location on site plan, Exhibit

1, Attachment C) to better reflect that which is allowed by the code and encouraged by the General Plan/Coastal Plan.

Legal Nonconforming Structures

The existing residence is legal nonconforming with respect to the rear setback requirement for the R-1 zoning district. The applicant seeks permission to retain and structurally alter the portions of the residence that encroach into the required rear setback as part of the contemplated remodel/addition project. All new building square footage proposed to be added would meet required setbacks.

The R-1 zone district also requires a minimum of two covered parking spaces for the dwelling unit. Currently, the property does not meet the minimum number of required onsite parking spaces with the existing one-car garage. The project proposal will create a two-car garage, providing the required two parking spaces.

Given the legal nonconforming status of the portions of the residence within the rear-yard setback (a bedroom and pantry) and the request to structurally alter these portions of the house in the same location rather than meet the current setback requirements, the project must receive approval for a Conditional Use Permit in addition to a Coastal Development Permit.

Conditional Use Permit

Chapter 14.82 of the City's Municipal Code outlines the review process for projects involving a legal nonconforming use or structure. Section 14.82.010 of that Chapter sets out the general policy that extension, expansion or enlargement of an existing nonconforming use or structure is prohibited unless specifically authorized by the Municipal Code. Section 14.82.061 (Nonconformance of residential uses as to yards, height or parking) stipulates that improvements can be made to nonconforming residential structures that would prolong the life of the structure(s) subject to the approval of a Conditional Use Permit. The relevant section from Chapter 14.82 is provided below:

§14.82.061 Nonconformance of Residential Uses as to Yards, Height or Parking states:

1. *Notwithstanding any other provision of this code, if a residential use of four or fewer dwelling units is conforming as to use but nonconforming as to yards, height or parking, improvements which may result in prolonging the life of such nonconforming use may be authorized by the Planning Commission subject to a Conditional Use Permit.*
2. *In considering and issuing such a Conditional Use Permit, the Commission must find, at a minimum, the following:*
 - a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood;*
 - b. *The habitable capacity of the unit or units will not be increased beyond that previously existing; and*
 - c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

The Conditional Use Permit (CUP), as a planning tool, allows the Planning Commission to exercise broad discretion over a proposed use or project and in taking an action to approve or deny a project. Through the use of the CUP, the Commission can allow improvements which prolong the life of a nonconformity including structural repairs, remodels, additions and similar new construction to a residential unit or units (such as the proposed structural alterations to the existing residence within the required rear setback).

In order to grant such a CUP, the Commission must make three required findings. A discussion of the proposed development's consistency with these findings is provided for the Commission's consideration.

- a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood;*

The existing single family residence is legal nonconforming in terms of the rear setback requirement. The existing residence is located seven feet two inches from the rear property line rather than 15 feet from the property line as required by the Municipal Code. The proposed project would structurally alter (new walls and new floor) the existing portions of the residence in the same footprint/location within the required rear setback. A Conditional Use Permit is required to allow the structural repair/upgrade of the bedroom and pantry, pursuant to Municipal Code §14.82.061.

Although the project proposes a substantial addition to the residence, it will not affect the existing exterior of those portions within the rear setback, which will simply be remodeled. The project would not result in interior living areas encroaching closer to neighboring residences or significantly increasing in height. Over the approximately 65 years the structure has been present, it has become part of the existing residential setting for this property and its immediate neighbors, thus allowing it to remain is not expected to have an adverse impact on the surrounding neighborhood. For this reason, the Commission may find that the project would not result in an adverse effect on the surrounding neighborhood.

- b. *The habitable capacity of the unit or units will not be increased beyond that previously existing;*

The term "habitable capacity" is not defined in Chapter 14.82. However, reading that chapter in context, the Planning Commission has interpreted the restriction in CMC 14.82.061 on increasing habitable capacity to refer to a restriction on adding additional dwelling units. (See CMC 14.82.010(3).) The property is presently developed with one single family dwelling. The project would not result in a net increase to the number of units maintained on the property, therefore staff believes that the Commission can make this finding.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

This finding requires the Commission to make a policy decision that the beneficial purpose driving the continued existence of a nonconforming use or structure outweighs the purpose behind uniform application of the City's zoning regulations. CMC 14.82.061 authorizes structural alteration/repair/reconstruction of a nonconforming use if the improvement(s) will address the shortage of adequate housing in the City. The existing single family dwelling has provided one legal dwelling unit. Approval of the CUP would allow the owner to repair and improve the one dwelling unit. The Commission could find that the policy of promoting adequate housing is advanced when improvements result in safer, modernized and improved living conditions for the residents without imposing significant impacts on the community or environment.

Given the analysis provided here, staff believes that the Commission can make the required findings to grant a Conditional Use Permit to structurally alter the portions of the residence within the rear setback.

General Plan/Coastal Plan

The project site has a General Plan/Coastal Land Use Plan designation of Low Density Residential (LDR). The City's Community Design Element of the General Plan contains both general overarching policies and specific subarea policies. The project site is in Community Design Subarea 5 (Concha Loma Neighborhood).

Land Use Element

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City's edge.*

The proposed project is located in a developed part of the City on a lot that is currently improved with one single family dwelling. The project entails remodeling and expanding the existing residence and garage. The architectural style, materials and general layout of the property (including the legal nonconforming rear setback) are compatible with the surrounding neighborhood, and the proposed addition would retain and improve the architectural treatment/style of the existing structure. Overall, the existing character of the property would not noticeably change as a result of this project. With these improvements and features, the project preserves the small beach town character of Carpinteria and does not contribute to sprawl development.

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with principles established in the Community Design Element.*

The requested project proposes to remodel and expand the existing residence, resulting in an updated and improved appearance of the structure and the lot.

Community Design Element

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

The proposed addition/remodel would maintain the single-story character of the existing home and not dramatically alter the structure's overall size, height or scale. The addition would move the front entry and some of the living areas to a slightly more prominent location closer to the street. The addition would result in a lot coverage of 2,155 square feet which is approaching the maximum lot coverage allowed of 35% (or 2,275 square feet) but would be in keeping with that of adjacent lots with similar lot coverage. Overall, the residence is, and would continue to be, compatible with the surrounding development pattern.

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the City.*

The existing home exhibits a typical Ranch style of architecture, common throughout the City's single family neighborhoods. The proposed addition is in keeping with the structure's existing architectural style.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea.*

The proposed project would retain the existing single story character of the home and would increase the structure's height by approximately one foot to 14 feet 11 inches. As the existing home does not affect the public's view of the mountains, it is not anticipated that the new addition would have an effect on public mountain views either. Ocean views are not available from this location and therefore would not be affected by the project.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the "living rooms" of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

Policy CD-5b: *Garages should not dominate views from any public street.*

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas, which maintain and enhance the quality of Carpinteria's streetscape.*

The existing house is situated on a corner lot at Concha Loma Drive and Arbol Verde Street; its main entrance and porch are oriented towards that intersection, and the garage as proposed would face Concha Loma Drive at an angle without being overly prominent. The street frontages, however, are dominated by tall hedges and fences in the front and street-side setbacks, which staff and the ARB recommend be lowered to approximately four feet, consistent with what is encouraged by Policy CD-5c and the Concha Loma Residential Design Guidelines.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

No changes or additions to outdoor lighting and fixtures have been proposed at this time, but any outdoor lighting installed should be shown on future iterations of the plans and must comply with this section to minimize adverse effects to the night sky.

Subarea 5 Design Guidelines

Objective CDS5-2: *Preserve the existing residential neighborhoods and their unique characteristics, and ensure that new development enhances the neighborhood character.*

Objective CDS5-3: *Ensure that new development is sensitive to the scale and character of the existing neighborhoods, and consistent with the City's "small beach town" image.*

The proposed addition would generally maintain the scale and character of the existing single family home. The total height of the residence would not increase significantly beyond that of the existing structure and the new roof forms have been integrated into the overall building form. All applicable setbacks would be met by the new addition, except the rear setback which would be maintained at the existing nonconforming seven feet two inches instead of the required 15 feet (for the existing portions of the residence only). The enlarged residence would be within the maximum allowed lot coverage requirements. As such, the project would be consistent with the intent of these two Objectives.

Policy CDS5-b Implementation Policy 53: *The existing pattern of setbacks should be preserved. Additions to existing houses, or new houses, should match the front yard setbacks of the houses on adjacent lots, or the "stringline" between them in the case of differing setbacks.*

As this is a corner lot, the existing house is oriented slightly differently from the adjacent neighbors on both Concha Loma Drive and Arbol Verde Street. The project proposal would extend the existing house closer to the front and street-side setbacks, but it would generally match the nearby pattern of setbacks.

Concha Loma Neighborhood Residential Design Guidelines

Design Guideline 1: *Use of low landscaping elements is encouraged to define property boundaries. Tall hedges that limit visibility of the residence are discouraged.*

Design Guideline 2: *Native landscaping and permeable surfaces are encouraged to replace lawns, paving and other landscaped areas.*

Design Guideline 18: *Frontage elements should not interfere with the visibility of the property from the street.*

Design Guideline 26: *Attractive landscape frontage designs should be maintained. New development should be carefully planned with landscaping that maintains and enhances the quality of the streetscape.*

Design Guideline 28: *Permeable materials are encouraged for all driveways and parking areas and other hardscape areas to reduce runoff.*

The property is a single-family dwelling on a corner lot at the entrance to the Concha Loma neighborhood. The yards are mostly composed of brick pavers, which the project description does not propose to change beyond that which is required for the additions, but if such changes are proposed in the future, low landscape elements and native plantings/permeable hardscape materials should be considered. The street frontages are edged by tall hedges of over 10 feet in height and tall fences on each street; staff and the ARB recommend these elements be reduced to an approximate height of four feet. The ARB recommended enhancements to the main entry porch to improve the residence's street appeal as encouraged by these Guidelines.

Design Guideline 3: *Low roof heights should be preserved when additions or alterations are proposed. New roof styles and materials should be consistent with those existing in the neighborhood.*

Design Guideline 8: *The size, scale and form of buildings, and their placement on a parcel, should be sensitive to the scale of the predominantly one story character of the Concha Loma Neighborhood.*

Design Guideline 9: *Existing one story buildings should be preserved. Where second floors are proposed, they should be set back from the first floor façade and should include extensions of one story roof elements or other suitable architectural elements that reinforce the one story scale of the façade. Architectural components should feature articulated roof and wall planes as appropriate.*

The project proposes an interior remodel and a ground floor addition and would not include any second floor elements. The addition would result in 1,580 square feet of habitable space and a 435-square foot two-car garage. The maximum building height would increase approximately one foot to 14 feet 11 inches, and existing architectural styles, colors, and elements will be extended throughout. Therefore, the project meets the intent of these guidelines.

Design Guideline 6: *Entrances should be oriented toward the street through the use of porches, walkways and forward-facing front doors. Hedges and structures in front yards should be low in height and adequately set back to allow visibility of homes from the street. Front yard living spaces are encouraged.*

Design Guideline 19: *Main entrances should be oriented to the street. Porches, landings and walkways should be incorporated in the frontage design.*

Design Guideline 20: *Garages should not be the focal point of the residence. Garages should be placed at the rear of the lot where feasible.*

As discussed earlier, the main entrance and porch of the existing house are oriented towards the adjacent intersection, and the proposed garage would face Concha Loma Drive without being overly prominent. The street frontages, however, are dominated by tall hedges and fences in the front and street-side setbacks, which staff and the ARB recommend lowering to approximately four feet in height (along the street frontage and corner as shown on site plan, Exhibit 1, Attachment C). The ARB's recommendation to create a more prominent entry porch would further enhance the street appeal of the project.

Design Guideline 11: *Windows and doors should be consistent in design with the theme of a house and when appropriate should draw from elements in the existing neighborhood.*

Design Guideline 12: *The use of bay windows, dormers, balconies, covered porches and other decorative elements providing building articulation is encouraged when appropriate to the architecture, particularly when these elements are oriented toward a public street or break up a façade of more than 20 feet.*

Design Guideline 21: *Dwellings on corner lots should be designed with street-oriented facades on both street frontages.*

The property is a corner lot in the Concha Loma neighborhood, with the main entrance appropriately oriented toward the intersection of the adjacent streets. The proposed addition will include exterior finishes and architectural elements to match those of the existing house. A new front door and porch at the main entrance to the dwelling are also proposed, although it is the recommendation of the ARB and staff that the porch be modified so that it appears more prominent as viewed from the street.

Design Guideline 22: *Open fences, including split rail and picket types, are appropriate on frontage lines. Solid fences and walls should be limited to side and rear lot lines.*

Design Guideline 23: *Fences in the front yard should be constructed of decorative materials that emulate the architectural style of the house. Chain-link, wire and similar materials should be avoided.*

Design Guideline 24: *Fences should be set back a minimum of two feet from the back of the sidewalk or property line to allow for planting between the right-of-way and the fence.*

The front and street-side lot lines are edged by tall hedges and a solid fence. Staff recommends lowering these to approximately four feet in height per the comments received by the ARB.

Design Guideline 29: *Outdoor lighting should be low intensity and designed to minimize direct view of light sources.*

Design Guideline 30: *Outdoor lighting should include:*

- Fully shielded fixtures positioned so that light is not visible above the horizontal plane of the fixture;*
- Motion sensors and timers to keep lights off when not in use;*
- Energy efficient light types with low watts and lumens;*
- Fewest number of fixtures possible at minimum height necessary; and*
- Cutoffs for lighting fixtures that minimize glare to prevent spillover onto neighboring properties.*

No changes or additions to outdoor lighting and fixtures have been proposed at this time, but any outdoor lighting included as part of the project must be reviewed by staff and the ARB for compliance with these guidelines.

Open Space Element

Objective OSC-16: *Preserve Carpinteria's cultural resources.*

Policy OSC-16a: *Carefully review any development that may disturb important archaeological or historically valuable sites.*

The requested project proposes to expand the existing residence to the north, south and west, which will require ground disturbances and the placement of new footings/foundation. As the Concha Loma neighborhood is recognized as an archaeologically sensitive area, a Phase I Archaeological Study was conducted for this project. The report indicated that no historical artifacts were found, although a requirement for archaeological monitoring during construction is included in the recommended Conditions of Approval in case of unanticipated discovery of cultural resources, including but not limited to human remains, during construction.

Noise Element

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation have been included in the attached Conditions of Approval.

VI. DEVELOPMENT IMPACT FEES

As the project involves upgrades to an existing single family dwelling and would not result in a net increase of dwelling units, the project is exempt from payment of the City's Development Impact Fees. However, the project may still be subject to fees from other Special Districts including the Carpinteria-Summerland Fire Protection District, the Carpinteria Unified School District, the Carpinteria Valley Water District and/or the Carpinteria Sanitary District.

VII. ACTION OPTIONS

1. Adopt Resolution PC-17-006 thereby approving Project 17-1853-CUP/CDP to grant a Conditional Use Permit and Coastal Development Permit for a comprehensive remodel and 753 square foot addition to an existing nonconforming single-family residence, direct the applicant to revise the project per ARB's recommendations, and adopt the findings in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment D. (staff's recommendation)
2. Direct the applicant to prepare project revisions and return to the next Commission meeting.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-17-006
Attachment A – Findings
Attachment B – Preliminary Plan Set
Attachment C – Site Plan with ARB/Staff Recommendation for Lowered Hedge/Fence
Attachment D – Recommended Conditions of Approval

Exhibit 2 ARB Meeting Minutes of March 16, 2017

Exhibit 3 Notice of Exemption

Exhibit 1
Resolution PC-17-006

Castiglia Residence Addition/Remodel
946 Concha Loma Drive

Planning Commission Hearing
June 5, 2015

RESOLUTION NO. PC-17-006

**A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION
APPROVING THE CONDITIONAL USE PERMIT AND COASTAL
DEVELOPMENT PERMIT 17-1853-CUP/CDP TO ALLOW FOR A REMODEL
AND 753 SQUARE FOOT ADDITION TO AN EXISTING LEGAL
NONCONFORMING SINGLE-FAMILY RESIDENCE. THE PROJECT IS
LOCATED AT 946 CONCHA LOMA DRIVE (APN 003-292-017)**

REQUESTED BY JULIE CASTIGLIA

WHEREAS, the Carpinteria Planning Commission has considered an application for a Conditional Use Permit and Coastal Development Permit filed by David Rhea on February 1, 2017 to allow an interior remodel and 753 square foot addition to an existing legal nonconforming single-family residence; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on May 26, 2017; and

WHEREAS, the project was reviewed by and recommended for preliminary approval by the City's Architectural Review Board on March 16, 2017; and

WHEREAS, the Planning Commission has conducted a hearing and received evidence regarding the application for the Conditional Use Permit and Coastal Development Permit; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act pursuant to Sections §15301 and §15303 of the California Environmental Quality Act Guidelines; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

NOW THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Conditional Use Permit and Coastal Development Permit are approved, making the Findings outlined in Attachment A.
2. The Conditional Use Permit and Coastal Development Permit for the project shown in Attachment B are approved subject to the conditions set forth in Attachment D.

PASSED, APPROVED AND ADOPTED this 5th day of June 2017, by the following called vote:

AYES: COMMISSIONER(S):

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 5th day of June 2017.

Exhibit 1
Attachment A: Findings

Castiglia Residence Addition/Remodel
946 Concha Loma Drive

Planning Commission Hearing
June 5, 2017

ATTACHMENT A FINDINGS

PLANNING COMMISSION HEARING PROJECT 17-1853-CUP/CDP JUNE 5, 2017

CASTIGLIA RESIDENCE REMODEL/ADDITION

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Conditional Use Permit and Coastal Development Permit was submitted on February 1, 2017, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on May 26, 2017. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemptions §15301 [replacement or reconstruction] and §15303 [new construction or conversion of small structure]. Class 1 Categorical Exemptions (§15301) allow replacement of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Class 3 Categorical Exemptions (§15303) consist of projects involving construction of limited numbers of new, small facilities or structures

1.3 Conditional Use Permit Findings

- a. *The site for the proposed use is adequate in size and shape to accommodate the use.*

The proposed project entails a comprehensive remodel and 753 square foot addition to a single-family residence on a parcel of approximately 7,850 square feet. The proposed remodel will affect the kitchen, bathroom, and master bath; and the proposed addition would expand the kitchen, living room, master bedroom, and garage. The total square footage of the residence would increase to 2,015 square feet (comprised of 1,580 square feet of living area and a 435 square foot two-car garage), which remains below the maximum lot coverage allowed of 35% (or 2,275 square feet). The maximum height of the residence would increase to 14 feet 11 inches, which is below the maximum allowed height of 30 feet. Portions of the structure which are considered legal nonconforming in terms of the building's rear setback would be structurally altered in the proposed remodel, and therefore a Conditional Use Permit is required to allow the structural alterations.

As this is a corner lot, the existing house is oriented slightly differently from the adjacent neighbors and other homes in the established neighborhood. However, the project is consistent with all other aspects of the Zoning Code with the approval of a Conditional Use Permit to allow the requested structural alterations to the portions of the residence within the required rear setback pursuant to CMC §14.82.060.

- b. *The site for the proposed use is served by streets and highways that are properly designed to carry the type and quantity of traffic generated by the subject use.*

The proposed addition and remodel will not generate any new traffic or parking demands as no new dwelling units are proposed. The project would therefore be adequately served by existing streets and highways.

- c. *The granting of the permit will not materially adversely affect such necessary community services as sewage disposal, fire protection, water supply, and police protection.*

Local service providers were notified of project information regarding the proposed remodel and addition to the residence and garage. The Public Works Department requires street frontage improvements, the Water District stipulated that the applicant will be responsible for the costs of relocating the existing water meter, and the Sanitary District advised that all sewer construction must be permitted and inspected. The project would not change the intensity of the existing use, nor would it negatively impact such existing services as sewage disposal, fire protection, water supply or police protection.

- d. *The granting of the permit will not be detrimental to the health, safety and general welfare of the neighborhood.*

The proposed project consists of a remodel and addition to an existing single family residence with a legal nonconforming rear setback and a legal nonconforming one-car garage. The project would not increase the habitable capacity of the residence and will rectify the parking nonconformity of the lot. Municipal Code §14.82.061 requires a Conditional Use Permit to allow structural alterations within the required rear setback. The project therefore would not impact the health, safety and general welfare of the neighborhood as the existing use or intensity will not be affected.

- e. *The proposed use is consistent with the Coastal Plan, General Plan, and applicable specific plan.*

The project includes a remodel and addition of 753 square feet to an existing single family residence with a legal nonconforming rear setback. The existing garage is currently nonconforming as to the covered parking requirements, but it will be enlarged to provide the required two covered parking spaces in a garage. Structural alterations are proposed in the portions of the residence which are within the required rear setback. As discussed in the Planning Commission staff report dated June 5, 2017 and hereby incorporated by reference, the project is consistent with the General Plan's applicable Land Use, Community Design Element and Noise Element Objectives and Policies in that the project involves structural alterations to a legal nonconforming structure which fits within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale. The use of the dwelling will not change.

- f. *The proposed use will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The proposed project includes a remodel and addition to an existing single family residence in a developed urban area and does not impact natural environments, habitat areas or wildlife. As the Concha Loma neighborhood is recognized as an archaeologically sensitive area, a Phase I Archaeological Study was conducted for this project. The report indicated that no historical artifacts were found, although the report recommended archaeological monitoring during construction. The construction activities have been conditioned to avoid

water runoff, dust, noise and other impacts to the surrounding neighborhood and to require an archaeologist and Chumash monitor to be present during periods of ground disturbance. Conditions of Approval are attached as Exhibit 1, Attachment D. The project therefore would not cause a substantial impact to the environment.

- g. The proposed development will not conflict with recorded easements acquired by the public-at-large for access through or use of the property within the proposed development or any easements granted to any public agency or required as a condition of approval.*

There are no known recorded easements on the property for public access or to any public agency. No such easements are required as a condition of approval.

1.4 Nonconforming Structure Findings

- a. Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood.*

The existing single family residence is legal nonconforming in terms of the rear setback requirement. The existing residence is located seven feet two inches from the rear property line rather than 15 feet from the property line as required by the Municipal Code. The proposed project would structurally alter (new walls and new floor) the existing portions of the residence in the same footprint/location within the required rear setback. A Conditional Use Permit is required to allow the structural repair/upgrade of the bedroom and pantry, pursuant to Municipal Code §14.82.061.

Although the project proposes a substantial addition to the residence, it will not affect the existing exterior of those portions within the rear setback, which will simply be remodeled. The project would not result in interior living areas encroaching closer to neighboring residences or significantly increasing in height. Over the approximately 65 years the structure has been present, it has become part of the existing residential setting for this property and its immediate neighbors, thus allowing it to remain is not expected to have an adverse impact on the surrounding neighborhood. For this reason, the Commission finds that the project would not result in an adverse effect on the surrounding neighborhood.

- b. The habitable capacity of the unit or units will not be increased beyond that previously existing.*

The term “habitable capacity” is not defined in Chapter 14.82. However, reading that chapter in context, the Planning Commission has interpreted the restriction in CMC 14.82.061 on increasing habitable capacity to refer to a restriction on adding additional dwelling units. (See CMC 14.82.010(3).) The property is presently developed with one single family dwelling. The project would not result in a net increase to the number of units maintained on the property, therefore the project is consistent with this finding.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

The Planning Commission finds that the continued existence of a nonconforming structure outweighs the purpose behind uniform application of the City's zoning regulations. CMC 14.82.061 authorizes structural alteration/repair/reconstruction of a nonconforming use if the improvement(s) will address the shortage of adequate housing in the City. The existing single family dwelling has provided one legal dwelling unit. Approval of the CUP would allow the owner to repair and maintain the one dwelling unit. The Commission finds that the policy of promoting adequate housing is advanced when improvements result in safer, modernized and improved living conditions for the residents without imposing significant impacts on the community or environment.

1.5 Coastal Development Permit Finding

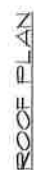
- a. *The proposed development is in conformity with the City's certified Local Coastal Program.*

The project includes a remodel and addition of 753 square feet to an existing single family residence with a legal nonconforming rear setback. The existing garage is currently nonconforming as to the covered parking requirements, but it will be enlarged to provide the required two covered parking spaces in a garage. Structural alterations are proposed in the portions of the residence which are within the required rear setback. As discussed in the Planning Commission staff report dated June 5, 2017 and hereby incorporated by reference, the project is consistent with the General/Coastal Plan's applicable Land Use Element, Community Design Element and Noise Element Objectives and Policies in that the project involves structural alterations to a legal nonconforming structure which fits within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale. The use of the dwelling will not change.

Exhibit 1
Attachment B: Preliminary Plan Set

Castiglia Residence Addition/Remodel
946 Concha Loma Drive

Planning Commission Hearing
June 5, 2017



4:12± TYPICAL
PITCH TO MATCH
EXISTING

EAVE DETAIL:

RAKE DETAIL

[illegible]

ROOF MATERIAL
The new 2000 Series of roof materials is designed to be installed on a 1/2" thick gypsum board. The 2000 Series is available in a variety of colors and textures. The 2000 Series is designed to be installed on a 1/2" thick gypsum board. The 2000 Series is designed to be installed on a 1/2" thick gypsum board.

FRANKLIN NOTES
The Franklin 2000 Series of roof materials is designed to be installed on a 1/2" thick gypsum board. The 2000 Series is available in a variety of colors and textures. The 2000 Series is designed to be installed on a 1/2" thick gypsum board.

ROOF ASSEMBLIES
The Franklin 2000 Series of roof materials is designed to be installed on a 1/2" thick gypsum board. The 2000 Series is available in a variety of colors and textures. The 2000 Series is designed to be installed on a 1/2" thick gypsum board.

ROOF VENTILATION
The Franklin 2000 Series of roof materials is designed to be installed on a 1/2" thick gypsum board. The 2000 Series is available in a variety of colors and textures. The 2000 Series is designed to be installed on a 1/2" thick gypsum board.

5
DATE: 07/10/17
PROJECT: 17-001
SCALE: 1/8" = 1'-0"
BY: JLD
CHECKED: JLD



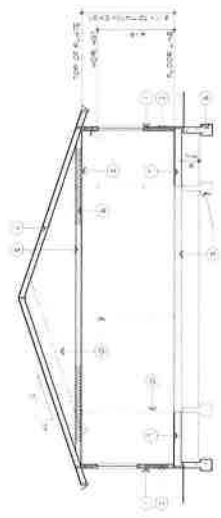
Sections A / B / C

Castiglia Residence
 946 Central Express Dr. / Campbell, California 95008
 APN: 009-02-017 / Lot 17

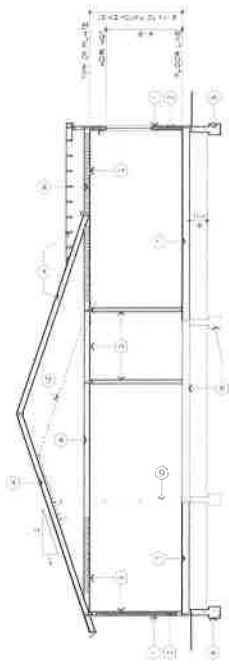
Design Works, Inc.
 10000 E. 1st Ave. Suite 100
 Denver, CO 80231
 303.755.1111

REVISIONS

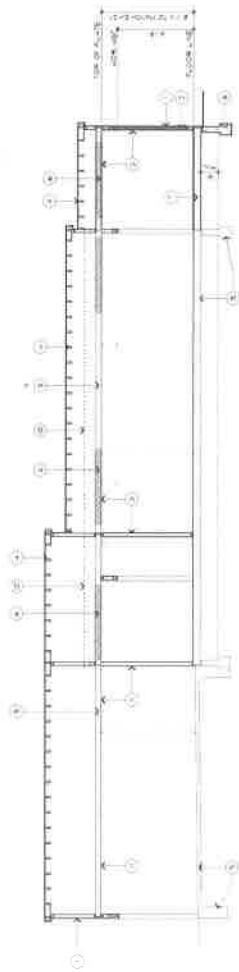
- SECTION NOTES**
1. ALL ROOFING SHALL BE 30 YEAR WARRANTEED ASPH/FLT SHINGLES - 1/2" MINIMUM THICKNESS.
 2. ROOF DRAINAGE SHALL BE TO EXISTING DRAINAGE SYSTEM.
 3. ROOF FLASHING SHALL BE 30 YEAR WARRANTEED.
 4. ROOF VENTING SHALL BE 30 YEAR WARRANTEED.
 5. ROOF GUTTERS SHALL BE 30 YEAR WARRANTEED.
 6. ROOF DOWNSPOUTS SHALL BE 30 YEAR WARRANTEED.
 7. ROOF TRIM SHALL BE 30 YEAR WARRANTEED.
 8. ROOF BRACKETS SHALL BE 30 YEAR WARRANTEED.
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 18. ROOF BRACKETS SHALL BE 30 YEAR WARRANTEED.
 19. ROOF BRACKETS SHALL BE 30 YEAR WARRANTEED.
 20. ROOF BRACKETS SHALL BE 30 YEAR WARRANTEED.



SECTION 'A'



SECTION 'B'



SECTION 'C'



Proposed
Exterior Elevations

Castiglia Residence
946 Concha Vista Dr / Capitola, California 95013
APN: 009-292-017 / Lot 17



1777 Hillside Drive, Suite 100
San Jose, CA 95128
Tel: (408) 292-1000
Fax: (408) 292-1001
www.residentialdesignworks.com

- ELEVATION NOTES**
1. ELEVATIONS SHOWN ARE FOR THE PROPOSED EXTERIOR FINISHES.
 2. ELEVATIONS SHOWN ARE FOR THE PROPOSED EXTERIOR FINISHES.
 3. ELEVATIONS SHOWN ARE FOR THE PROPOSED EXTERIOR FINISHES.
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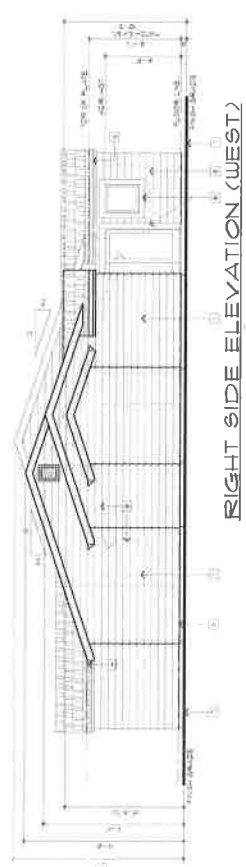
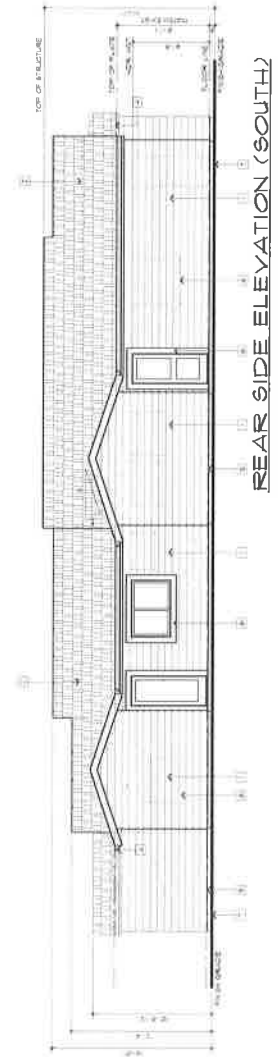
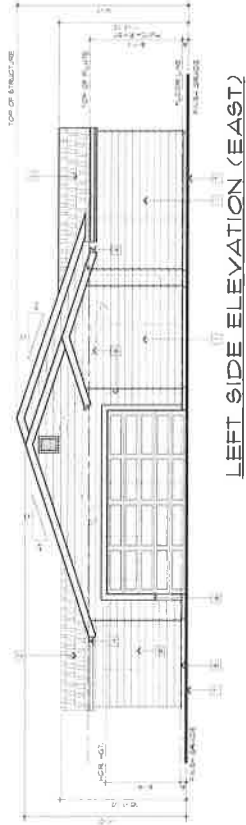
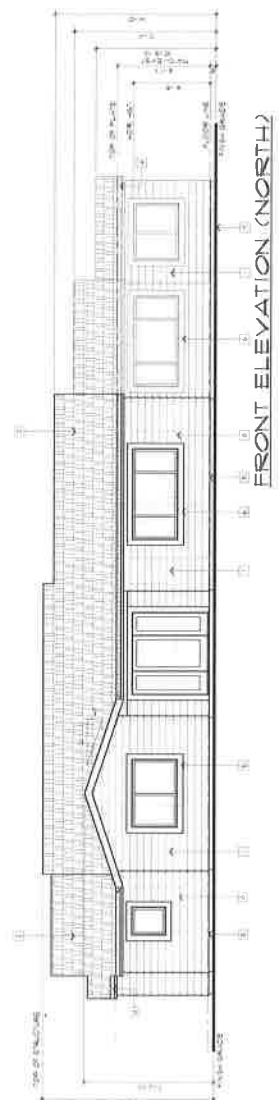


Exhibit 1
Attachment C: Site Plan with ARB/Staff
Recommendation for Lowered Hedge/Fence

Castiglia Residence Addition/Remodel
946 Concha Loma Drive

Planning Commission Hearing
June 5, 2017

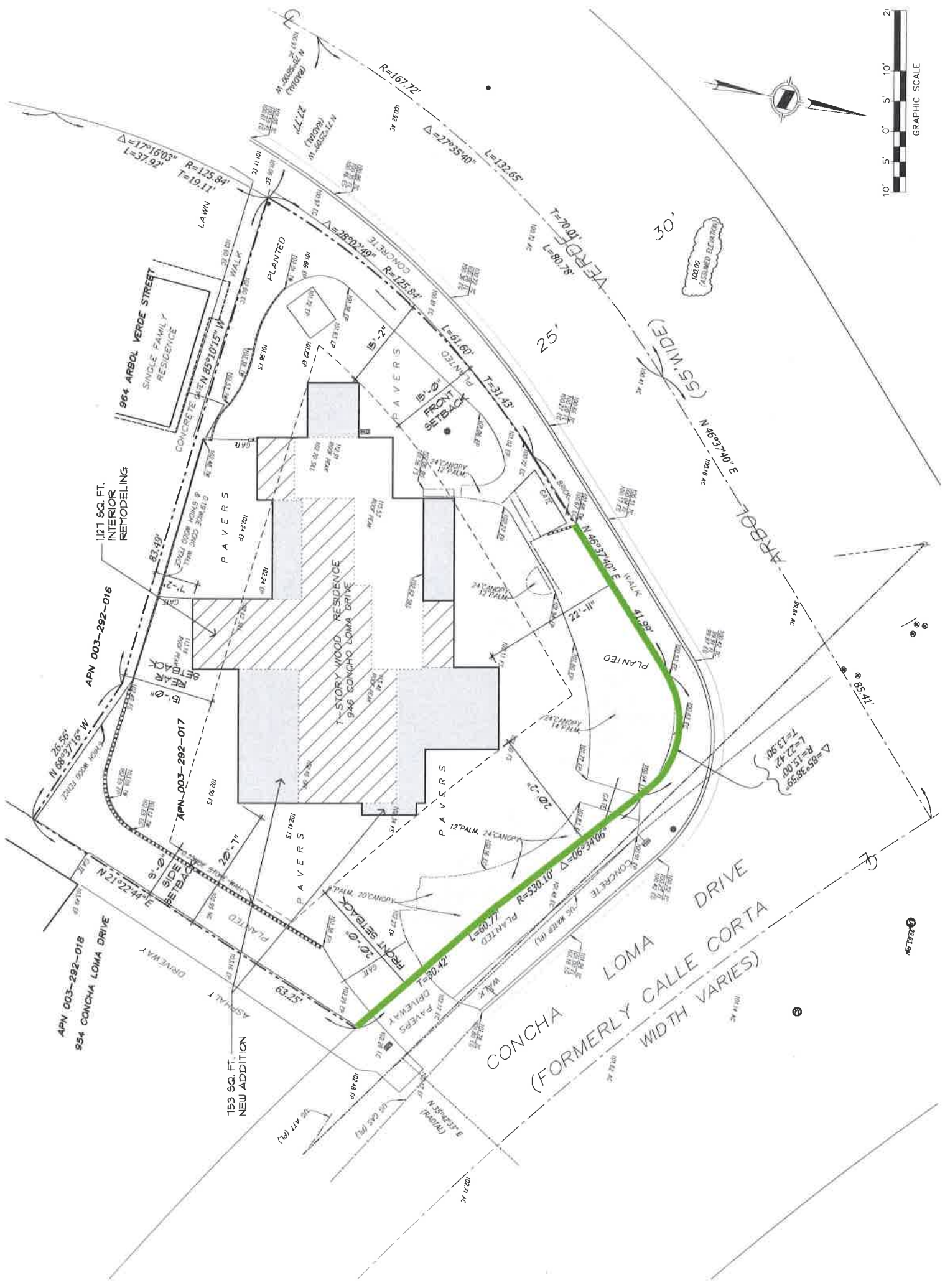


Exhibit 1
Attachment D: Recommended
Conditions of Approval

Castiglia Residence Addition/Remodel
946 Concha Loma Drive

Planning Commission Hearing
June 5, 2017

**PLANNING COMMISSION HEARING
PROJECT 17-1853-CUP/CDP
946 CONCHA LOMA DRIVE (APN 003-292-017)
JUNE 5, 2017**



**ATTACHMENT C: CONDITIONS OF APPROVAL
CASTIGLIA RESIDENCE ADDITION/REMODEL**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Conditional Use Permit and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated June 5, 2017) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows:

A request for a comprehensive remodel and 753 square foot addition to a single-family residence. The proposed remodel will affect the kitchen, bathroom, and master bath; and the proposed addition would expand the kitchen, living room, master bedroom, and garage. The total square footage of the residence would increase from 1,345 square feet (1,052 square feet of living area and a 293 square foot one-car garage) to 2,015 square feet (comprised of 1,580 square feet of living area and a 435 square foot two-car garage). The maximum height of the residence would increase slightly from approximately 13 feet 8 inches to 14 feet 11 inches. The colors and materials proposed will match those of the existing structure.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this

project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. The applicant shall obtain final review from the Architectural Review Board prior to issuance of a Building Permit. Plans shall be submitted for final ARB review and shall include complete working drawings including but not limited to lighting, colors, exterior materials, landscaping and irrigation, as applicable. The final plans shall include a reduction to the front hedges/fences to approximately four feet in height, and a more prominent entry porch design. The ARB shall provide comments specifically on the lowered hedge along the Concha Loma street frontage and the enhanced main entrance to the residence.
3. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. **Monitoring:** CDD shall review proposed lighting on plans prior to the Building Permit approval. CDD shall site inspect prior to occupancy clearance.
4. All materials and colors used in construction and all landscape materials shall be as represented to the Architectural Review Board and any deviation will require the express review of the Board.
5. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.
6. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site by following the dust control measures listed below. During clearing, grading, earth moving, excavation or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this shall include wetting down such areas in the late

morning and after work is completed for the day. Increased watering frequency shall be required whenever the winds speed exceeds 15 miles per hour. Reclaimed water should be used whenever possible.

- b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
- c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
- d. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.

Plan Requirements: All requirements shall be shown on the grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction activities. **Monitoring:** CDD shall ensure measures are on plans. Grading and Building Inspectors shall spot check and ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

- 7. All earth disturbances involving excavation shall be monitored by a CDD-qualified archaeologist and a Native American representative pursuant to City Archaeological Guidelines. **Plan Requirements and Timing:** Prior to Building Permit issuance, a contract or Letter of Commitment between the applicant and the archaeologist, consisting of a project description and scope of work, shall be prepared. The contract must be executed and submitted to CDD for review and approval prior to issuance of a Building Permit. Copies of any reports prepared concerning project monitoring shall be submitted to the City prior to final permit sign-off. **Monitoring:** CDD shall confirm monitoring by archaeologist and Native American representative; Building Inspector shall spot check field work.
- 8. In the event archaeological remains are encountered during excavation, work shall be stopped immediately or redirected until a CDD-qualified archaeologist and Native American representative are able to evaluate the significance of the find pursuant to Phase 2 investigations of the City Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 2 mitigation program consistent with City Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all final building and grading plans. **Monitoring:** CDD shall check in the field.
- 9. If human remains are unearthed, State of California Health and Safety Code Section 7050.5 requires that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and disposition pursuant to Public Resources Code Section 5097.98. If the remains are determined to be of Native American descent, the coroner has 24 hours to notify the Native American Heritage Commission. **Plan Requirements and Timing:** Construction plans shall contain

the above measures as specifications prior to issuance of Building Permits.

Monitoring: CDD staff shall confirm this requirement is printed on the final construction plans.

10. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.
11. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
12. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
13. Sixty five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by the California Green Building Code and Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During grading and construction, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on grading and construction plans. Applicant shall complete the Post-Construction Waste Reduction and Recycling Summary Report and submit it to Public Works for review and approval. **Timing:** Materials shall be recycled as necessary throughout construction. All materials shall be recycled prior to occupancy clearance. **Monitoring:** Public Works shall review and approve the Post-Construction Waste Reduction and Recycling Summary Report prior to occupancy clearance.

14. Best available erosion and sediment control measures shall be implemented during grading and construction. Best available erosion and sediment control measures may include but are not limited to use of sediment basins, gravel bags, silt fences, geo-bags or gravel and geotextile fabric berms, erosion control blankets, coir rolls, jute net and straw bales. Storm drain inlets shall be protected from sediment-laden waters by use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters, and excavated inlet sediment traps. Sediment control measures shall be maintained for the duration of the construction period. Construction entrances and exits shall be stabilized using gravel beds, rumble plates, or other measures to prevent sediment from being tracked onto adjacent roadways. Any sediment or other materials tracked off site shall be removed the same day as they are tracked using dry cleaning methods. **Plan Requirements:** An erosion and sediment control plan shall be submitted to and approved by Public Works prior to issuance of a Grading or Building Permit. The plan shall be designed to address erosion and sediment control during all phases of development of the site. **Timing:** The plan shall be implemented prior to the commencement of construction. **Monitoring:** Public Works shall perform site inspections throughout construction.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

15. No permits for development shall be issued except in conformance with the approved Conditional Use Permit. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Exhibit 1, Attachment B, dated June 5, 2017. Substantial conformity shall be determined by the Community Development Department Director.
16. This Conditional Use Permit is not valid until a Building Permit for the development has been obtained. Failure to obtain said Building Permit shall render this Conditional Use Permit null and void. Prior to the approval of the Building Permit, all of the conditions listed in this Conditional Use Permit that are required to be satisfied prior to approval of a Building Permit must be satisfied. Upon issuance of the Building Permit, the Conditional Use Permit shall be valid. The effective date of this Permit shall be the date of expiration of the appeal period, or if appealed, the date of action by the City Council.
17. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
18. Within one year after the effective date of this permit, construction shall commence. Construction cannot commence until a Building Permit has been issued. Failure to commence the construction pursuant to a valid Building Permit shall render the Conditional Use Permit null and void.

19. All time limits may be extended by the Planning Commission for good cause shown, provided a written request, including a statement of reasons for the time limit extension request is filed with Community Development prior to the expiration date.
20. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
21. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of grading/construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
22. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions or Approval on a form acceptable to Community Development. Such form may be obtained from the CDD office.
23. The applicant shall complete a School District sign-off form, which may include payment of applicable School Mitigation Fees, prior to issuance of building permit.
24. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
25. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full.
26. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
27. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
28. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Conditional Use Permit and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that

were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

29. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.
30. Compliance with the attached Departmental and District letters is required as follows:
 - a. Carpinteria Public Works Department letter dated May 4, 2017
 - b. Carpinteria Sanitary District letter dated February 8, 2017
 - c. Carpinteria Summerland Fire District letter dated February 16, 2017
 - d. Carpinteria Valley Water District letter dated February 17, 2017

Approved by the Planning Commission on June 5, 2017

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant/Property Owner

Date

CITY OF CARPINTERIA, CALIFORNIA



Department of Public Works Memorandum

To: Lucy Graham
Associate Planner

From: Matt Maechler
Department of Public Works

Date: May 4, 2017

Subject: 946 Concha Loma Dr, 17-1853

The Department of Public Works has reviewed the project and has the following Conditions of Approval.

PROJECT SPECIFIC CONDITIONS

1. Plans shall be submitted for frontage improvements on the corner of Arbol Verde St. and Concha Loma Dr. prior to issuance of Engineering Permits for review by the City Engineer. Frontage improvements, including driveway apron, sidewalk, street signs, street trees, and other facilities as determined by the City Engineer, are to be installed in conformance with the standards, specifications, and policies of the City at the locations shown on the improvement plans. Unless otherwise specified, the City utilizes the County of Santa Barbara Engineering Standards.
2. Frontage improvements shall include reconstructing the driveway apron on Concha Loma and include a curb ramp (meeting current ADA standards) at the corner of Arbol Verde St. and Concha Loma Dr. Unless otherwise specified, the City utilizes the County of Santa Barbara Engineering Standards.
3. Paving and driveway aprons shall transition into existing public improvements as required by the City Engineer. Plans shall be submitted prior to issuance of building permits for review by the City Engineer. Construction shall be completed prior to issuance of Certificate of Occupancy.
4. An Engineering Permit for the project will be required for any work within the public right-of-way and drainage improvements (outside of the building). The deposit for the Permit will be determined based on the estimated construction cost of the work being performed. A standard indemnification form will also be required.

5. Landscaping proposed within the City right-of-way shall be reviewed and approved by the Department of Public Works prior to issuance of an Engineering Permit.
6. The applicant shall submit a set of improvement plans prepared by a California Registered Civil Engineer. Said plans shall include but not be limited to any street, utility, grading, retaining wall/fence and/or storm drain improvements and shall be submitted to the Department of Public Works for review and approval prior to issuance of an Engineering Permit. The current plans do not have legible callouts for frontage improvements.
7. Prior to performing any grading, the applicant shall obtain an Engineering Permit from the Public Works Department, in accordance with Chapter 8.36 of the Carpinteria Municipal Code, and pay the required permit deposits/fees.

UTILITY CONDITIONS

1. Prior to occupancy of the project, all new utility services to the house shall be placed underground and completed prior to any paving required for the project. No new utility poles shall be installed.
2. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of engineering/building permits.

STORMWATER MANAGEMENT

1. Applicant shall submit an erosion and sediment control plan prior to project approval. The plan shall contain site-specific best available erosion and sediment control measures to be implemented before demolition or construction activities occur. All erosion and sediment control plans shall be reviewed and approved by Public Works prior to start of work.
2. This project is subject to the requirements of the County of Santa Barbara Technical Guide for Low Impact Development for the project site, which shall include any frontage or right-of-way improvements. The applicant shall submit a Storm Water Control Plan (SWCP) complying with the Technical Guide that includes the following elements: identification of potential pollutant sources that may affect the quality of the storm water discharges; the proposed design and placement of structural and non-structural PCRs to address identified pollutants; a proposed Operation and Maintenance Plan; a method for ensuring maintenance of all PCRs over the life of the project; and certification by a licensed civil engineer, architect, or landscape architect.

SOLID WASTE

1. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates.

End of Conditions of Approval



CARPINTERIA
Sanitary District

5300 Sixth Street
Carpinteria, CA 93013

Phone (805) 684-7214 • Fax (805) 684-7213

RECEIVED

FEB 09 2017

CITY OF CARPINTERIA

February 8, 2017

Lucy Graham
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, California 93013

Subject: Project No. 17-1853-CUP/ARB
Castiglia Remodel/Addition
946 Concha Loma Drive (APN: 003-292-017)
Applicant: David Rhea

Dear Ms. Graham:

Thank you for the opportunity to provide comments on the subject project. The project applicant proposes to add approximately 750 square and remodel the interior of an existing single-family residence. The Carpinteria Sanitary District (District) recommends that the following conditions be incorporated into the review/approval process to address sewer system improvements:

1. All sewer improvements shall conform to approved District construction standards for materials and methods.
2. A sewer construction permit is required for any and all work on the building sewer and lateral sewer that will serve the residence. The permit shall be procured and applicable fees paid prior to issuance of Building Permits. The applicant shall submit an engineered drawing or sketch to the District showing any proposed sewer connections, alterations or additions. During the construction phase, it is the applicant's and contractor's responsibility to notify the District of any sewer improvements or modifications not noted on the approved plans.
3. During construction, all installed sewer pipes and fittings shall be inspected by the District prior to placing trench backfill. Failure to request or obtain an inspection will require complete re-excavation and reconstruction of the work. All sewer improvements shall be pressure tested in accordance with District standard procedures prior to final acceptance.
4. If you have any questions regarding the comments provided by the District, please contact me at (805) 684-7214, ext. 13.

Sincerely,
CARPINTERIA SANITARY DISTRICT

A handwritten signature in black ink, appearing to read "Lance Lawhon", written over the printed name.

Lance Lawhon
Engineering Technician

C: David Rhea



CARPINTERIA~SUMMERLAND FIRE PROTECTION DISTRICT

February 16, 2017

RECEIVED

FEB 21 2017

Lucy Graham
Associate Planner
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

CITY OF CARPINTERIA

RE: Project 17-1853-CUP/ ARB, Addition and Remodel
APN 003-292-017 / 946 Concha Loma Dr.ADDRESS

Dear Lucy Graham:

The following items are necessary for fire protection:

1. The installation of an automatic fire sprinkler system is highly recommended. Prior to installation, plans for a proposed fire sprinkler system shall be designed by a qualified person and submitted to the prevention bureau for approval.
2. Smoke detectors and Carbon Monoxide Alarms must be installed in all residences in accordance with the provisions of the 2016 California Building and Fire Codes.
3. Address numbers must be posted at the driveway and on the buildings such that they are visible from the street. Numbers shall be a minimum 4 inches high on a contrasting background.
4. Public fire hydrants supplying the required fire flow within the required driving distance from the structures shall be provided. Plans submitted for a building permit must indicate the location of the fire hydrant nearest to the project address.

"Pride in Service"

5. Per Carpinteria-Summerland Fire District Ordinance No. 2003-01 pertaining to fees and service charges, a permit application fee is assessed on all plans reviews.
6. Pursuant to C.S.F.P.D. Ordinance No. 92-02 and Carpinteria City Ordinance No. 599, prior to issuance of a "Certificate of Occupancy", the Carpinteria-Summerland Fire Protection District mitigation fee must be paid.
7. Any future changes, including further division, intensification of use, or increase in hazard classification, may require additional conditions in order to comply with applicable fire district development standards.

If you need additional information on Fire District conditions, please contact me at 566-2451.

Sincerely,

A handwritten signature in cursive script that reads "Ed Foster". The signature is written in dark ink and has a long, horizontal flourish extending to the right.

Ed Foster
Fire Marshal
Fire Prevention Bureau



Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

BOARD OF DIRECTORS

Polly Holcombe
President
Matthew Roberts
Vice President
Shirley L. Johnson
Alonzo Orozco
Case Van Wingerden

February 17, 2017

Julie Castiglia
946 Concha Loma Drive
Carpinteria CA. 93013

GENERAL MANAGER

Robert McDonald, P.E. MPA

SUBJECT: 946 CONCHA LOMA DR. APN 003-292-017, ACCOUNT# 02-020344-09: CONDITIONS LETTER

Hello Mrs. Castiglia

Please be advised, this parcel is within the Carpinteria Valley Water District and therefore is entitled to District water service in accordance with District Rules and Regulations. Currently the District is in a Stage II Drought Emergency for more information on Ordinance 15-2, please visit the District website www.cvwd.net.

Based on the review of the project at the February 16, 2017 IDAG meeting (Inter Departmental Agency Group) listed are the Carpinteria Valley Water District conditions of approval for the project.

- The owner will be required to pay a construction deposit to the District to relocate the existing water meter and box out of the sidewalk if the owner is conditioned by the City to make sidewalk improvements that impact the existing meter.
- The owner will be responsible to make the reconnection to the customer side of the meter if the meter is relocated.
- The District will not sign-off on the building permit route sheet until the owner has supplied to the District a signed copy of the Street Improvement plan.
- All deposits will be required to be paid to the District prior to signing off on the building permit routing sheet.

If you have any questions, please feel free to contact me at Brian@cvwd.net or 805-684-2816x107.

Thank you,
Carpinteria Valley Water District

Brian King, P.E.
District Engineer

C: File Copy
LucyG@ci.carpinteria.ca.us
dave@rdworks.com

Exhibit 2
ARB Meeting Minutes of March 16, 2017

Castiglia Residence Addition/Remodel
946 Concha Loma Drive

Planning Commission Hearing
June 5, 2017

ACTION MINUTES

The meeting was called to order at 5:37 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Scott Ellinwood
Jim Reginato

Boardmembers absent: Dylan Chappell
Rachelle Gahan

OTHERS PRESENT: 10 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: David Rhea for Julie Castiglia
Planner: Lucy Graham
Project: 17-1853-CUP/CDP
Project Location: 946 Concha Loma Drive
Zoning: Single Family Residential (6-R-1)

Request of David Rhea of Residential Design Works, agent for Julie Castiglia, to consider Project 17-1853-CUP/CDP for preliminary review of a single-family residence remodel and addition of approximately 750 square feet. The property is a 7,850 square foot parcel and shown as APN 003-292-017 addressed as 946 Concha Loma Dr.

Staff presented the proposed project and highlighted key elements of the project for the Board to consider. The Board asked questions regarding the proposed windows and paint colors. The project architect explained that the entire house would be repainted to match existing colors and that the windows would be replaced with a uniform style of vinyl window.

Public Comment: None.

Boardmember Discussion:

Boardmembers agreed that the proposed project was reasonable. Boardmember Ellinwood suggested that the hedges on Concha Loma Drive be lowered. Boardmember Reginato agreed that the hedges should be lowered to four feet and commented that the main entrance should be improved and highlighted given that the hedge height will be lowered; he also noted that any lighting should be night sky friendly.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Ellinwood to recommend preliminary approval of the project to the Planning Commission with the following comments:

- Reduce hedge/gate height on Concha Loma Drive frontage to approximately four feet;
- Provide a more pronounced entry statement (i.e., front porch); and
- Any new exterior lighting to be night sky friendly.

VOTE: 3-0

Exhibit 3
Notice of Exemption

Castiglia Residence Addition/Remodel
946 Concha Loma Drive

Planning Commission Hearing
June 5, 2017

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044
County Clerk
County of: Santa Barbara
105 E Anapamu Street, Rm 407
Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

(Address)

Project Title: Castiglia SFR Remodel/Addition

Project Applicant: David Rhea, Res. Design Works, 3475 Old Conejo #C-3, Newbury Park, CA 91320

Project Location - Specific:

946 Concha Loma Dr. Located on the SE corner of Concha Loma Dr and Arbol Verde St (APN 003-292-017)

Project Location - City: Carpinteria Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

Modifications to an existing single-family residence, including a remodel which will affect the kitchen, bathroom, and master bath and 753 square foot addition which will expand the kitchen, living room, master bedroom, and garage.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Julie Castiglia

Exempt Status: (check one):

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: Sections 15301 and 15303
- ☐ Statutory Exemptions. State code number:

Reasons why project is exempt:

This project involves a remodel and addition to an existing single family dwelling. The proposal is located within an urbanized part of the City on a developed property that has no habitat value for endangered, rare or threatened species. The improvements would not result in an increased demand on existing public services, and the site has been found to not be archaeologically significant.

Lead Agency
Contact Person: Lucy Graham, Associate Planner Area Code/Telephone/Extension: 805-755-4405

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: Date: 6/5/17 Title: Associate Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR:

PLANNING COMMISSION STAFF REPORT

MEETING DATE: June 5, 2017

ITEM FOR CONSIDERATION

Case 17-1862-CUP/CDP

Review of a request for a Conditional Use Permit and Coastal Development Permit for an interior remodel and addition of approximately 185 square feet to an existing single-story single-family residence and nonconforming one-car garage. The expanded garage would maintain the existing legal nonconforming one-car parking configuration.

Report prepared by: Lucy Graham, Associate Planner
Community Development Department



SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department



SIGNATURE

Applicant/Agent: Martha Selfridge

Project Location: 5596 Calle Arena

APN: 003-381-017

Zoning: Single Family Residential (6-R-1)

General Plan Designation: Low Density Residential (LDR)



I. RECOMMENDATION

Adopt the attached Resolution PC-17-007 (Exhibit 1), thereby approving Project 17-1862-CUP/CDP to allow for an interior remodel and addition of approximately 185 square feet to an existing single-story single-family residence and nonconforming one-car garage; the new garage would maintain the legal nonconforming one-car parking configuration.

II. PROPOSED PROJECT DESCRIPTION

The proposed project entails an interior remodel, an addition of 49 square feet to the existing single-family residence, and an addition of 136 square feet to the attached one-car garage on a parcel of

approximately 7,850 square feet. The proposed remodel would enlarge the dining room, and the proposed addition would expand the office and one-car garage. The total square footage of the residence would increase from 1,540 square feet (1,340 square feet of living area and a 200 square foot garage) to 1,725 square feet (comprising 1,389 square feet of living area and a 336 square foot one-car garage). A new porch element is proposed over an entry door on the eastern elevation of the residence, and a new gable roof would be constructed over the remodeled interior and expanded garage to create a uniform roofline. The maximum height of the residence would increase slightly from approximately 12 feet to 13 feet six inches.

Conditional Use Permit: The existing one-car garage is considered legal nonconforming in terms of covered parking (the R-1 zone districts require a two-car garage). The proposed project would enlarge the garage but maintain this nonconformity. A Conditional Use Permit is required to allow the structural alterations and an addition to the existing nonconforming garage.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics

The subject property is located on a corner lot at the intersection of Calle Arena and Calle Ocho in the Concha Loma Neighborhood. The 7,850 square foot parcel is presently improved with a one-story 1,340 square foot single family dwelling and an attached 200 square foot one-car garage.

The surrounding neighborhood is developed with single family residences of a similar scale and era. The neighborhood is developed in a semi-rural fashion in terms of street improvements; Calle Arena and Calle Ocho are narrow paved roads with unfinished shoulders that are typically landscaped by the adjoining property owners. There are no curbs, gutters or sidewalks along the street.

The site is zoned Single Family Residential (6-R-1) and has a General Plan/Coastal Plan land use designation of Low Density Residential (LDR).

Project History

The residence was originally built in the 1950s. A building permit (no. 0424) was issued in 1973 to legalize an unpermitted conversion of 321 square feet. In 1994, a remodel request was filed with the Architectural Review Board to expand the garage into the rear yard setback to accommodate two cars and to enclose a patio area as a dining room; the proposal was reviewed at two ARB meetings but was not further pursued by the owner. A 1995 request to add a circular driveway between Calle Ocho and Calle Arena was submitted but ultimately withdrawn by the applicant.

Architectural Review Board

The proposed project was reviewed by the ARB at a preliminary level on May 11, 2017. The Board was pleased with the project as submitted, and preliminary approval of the project was recommended to the Planning Commission with no comments.

Minutes from the May 11, 2017 meeting are attached as Exhibit 2.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to Sections §15301 [existing facilities] and §15303 [new construction or conversion of small structures] of the Guidelines for Implementation of the California Environmental Quality Act (CEQA). Class 1 Categorical Exemptions consist of projects involving repair, maintenance, or minor alteration of existing public or private structures, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Class 3 Categorical Exemptions consist of projects involving construction of limited numbers of new, small facilities or structures. As the project proposal includes alteration of an existing private dwelling as well as construction of new square footage to the structure, the project is consistent with these standards, and these exemptions are appropriate.

The requested project proposes to expand the existing residence to the north and east, which will require minor ground disturbances and the placement of new footings/foundation. As the Concha Loma neighborhood is recognized as an archaeologically sensitive area, a Phase I Archaeological Study was conducted for this project. The report indicated that no historical artifacts were found, although a requirement for archaeological monitoring during construction is included in the recommended Conditions of Approval (Exhibit 1, Attachment C) in case of unanticipated discovery of cultural and/or human remains during construction.

For more detail, see the attached Notice of Exemption included as Exhibit 3.

V. ANALYSIS

The proposed project involves an interior remodel, an addition of 49 square feet to the existing single-family residence, and an addition of 136 square feet to the attached one-car garage. As such, staff has reviewed the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code, and with the policies and objectives of the General Plan/Coastal Land Use Plan.

Zoning Code Requirements

Single Family Residential (6-R-1) District; CMC §14.12

The proposed project involves a remodel and addition to an existing single family residence on a 6-R-1 zoned lot. The proposed use/project is consistent with the applicable development standards for the R-1 zoning districts as described in the table below.

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	50 feet from centerline of street or 20 feet from property line, whichever is greater	50 feet from centerline of street and 25 feet from property line
Side (West)	8 feet min. (10% of the average lot width)	17 feet 6 inches
Street Side (East)	15 feet min. (15 feet or 25% of the lot width, whichever is less)	21 feet
Rear	15 feet min.	15 feet
Height	30 feet max.	13 feet 6 inches
Building Coverage	35% max. (2,747.5 square feet)	22% (1,725 square feet)
Density	1 unit	1 unit
Parking*	2 covered spaces in a garage	1 covered space in a garage

**The existing residence is considered legal nonconforming with respect to the required garage parking. The proposed project would retain this nonconformity as discussed below.*

Legal Nonconforming Structures

The existing residence is legal nonconforming with respect to the covered parking requirements. The R-1 Single Family Residential zone district requires two parking spaces to be provided in a garage. The existing residence has a one-car garage rather than a two-car garage. The proposed project would expand the existing one-car garage but not by enough to accommodate a second garage space.

Given the legal nonconforming status of the existing garage and the request to retain the number of provided parking spaces for the new garage rather than meet the current requirements, the project must receive a Conditional Use Permit in addition to a Coastal Development Permit.

Conditional Use Permit

Chapter 14.82 of the City's Municipal Code outlines the review process for projects involving a legal nonconforming use or structure. Section 14.82.010 of that Chapter sets out the general policy that extension, expansion or enlargement of an existing nonconforming use or structure is prohibited unless specifically authorized by the Municipal Code. Section 14.82.061 (Nonconformance of residential uses as to yards, height or parking) stipulates that improvements can be made to

nonconforming residential structures that would prolong the life of the structure(s) subject to the approval of a Conditional Use Permit. The relevant section from chapter 14.82 is provided below:

§14.82.061 Nonconformance of Residential Uses as to Yards, Height or Parking states:

1. *Notwithstanding any other provision of this code, if a residential use of four or fewer dwelling units is conforming as to use but nonconforming as to yards, height or parking, improvements which may result in prolonging the life of such nonconforming use may be authorized by the Planning Commission subject to a Conditional Use Permit.*
2. *In considering and issuing such a Conditional Use Permit, the Commission must find, at a minimum, the following:*
 - a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood;*
 - b. *The habitable capacity of the unit or units will not be increased beyond that previously existing; and*
 - c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

The Conditional Use Permit (CUP), as a planning tool, allows the Planning Commission to exercise broad discretion over a proposed use or project and in taking an action to approve or deny a project. Through the use of the CUP, the Commission can find that allowing improvements which prolong the life of a nonconformity can include structural repairs, remodels, and additions.

In order to grant such a CUP, the Commission must make three required findings. A discussion of the proposed development's consistency with these findings is provided for the Commission's consideration.

- a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood;*

The existing garage is legal nonconforming in terms of the onsite covered parking. The existing residence only provides one garage parking space rather than two spaces enclosed within a garage as required in the R-1 zone district. The proposed project would expand the nonconforming garage but would continue to provide only one covered space. A Conditional Use Permit is required to allow the single car garage to be enlarged without meeting the required parking, pursuant to Municipal Code §14.82.061.

The proposed development enlarges an attached garage matching the architectural style of the single family residence as seen from the street. The garage will provide improved conditions for the property owners to park a car and store items in the garage. Additional uncovered off-street parking would continue to be provided within the property's semi-circle driveway. The expanded garage would maintain the minimum required 15-foot rear setback from the property line and would not significantly alter the height of the existing residence. In addition, the proposed remodel/addition would improve the overall appearance of the residence, which is an enhancement to the neighborhood. For these reasons, the Commission may find that the project would not result in an adverse effect on the surrounding neighborhood.

- b. *The habitable capacity of the unit or units will not be increased beyond that previously existing;*

The term “habitable capacity” is not defined in Chapter 14.82. However, reading that chapter in context, the Planning Commission has interpreted the restriction in CMC 14.82.061 on increasing habitable capacity to refer to a restriction on adding additional dwelling units. (See CMC 14.82.010(3).) The property is presently developed with one single family dwelling. The project would not result in a net increase to the number of units maintained on the property, therefore staff believes that the Commission can make this finding.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

This finding requires the Commission to make a policy decision that the beneficial purpose driving the continued existence of a nonconforming use or structure outweighs the purpose behind uniform application of the City’s zoning regulations. CMC 14.82.061 authorizes structural alteration of a nonconforming use if the expansion will address the shortage of adequate housing in the City. The existing single family dwelling is currently owner-occupied and is intended to remain that way at this time. Approval of the CUP would allow the owners to make improvements to upgrade the parking situation by providing an enlarged garage of adequate size to park a vehicle and provide private storage space. The Commission could find that the policy of promoting adequate housing is advanced when minor alterations such as this one result in a modernized and improved living conditions for the residents without imposing significant impacts on the community or environment.

Given the analysis provided here, staff believes that the Commission can make the required findings (Exhibit 1, Attachment A) to grant a Conditional Use Permit to improve the existing residence.

General Plan/Coastal Plan Policies

The project site has a General Plan/Coastal Plan designation of Low Density Residential (LDR). The City’s Community Design Element of the General Plan contains both general overarching policies and specific subarea policies. The project site is in Design Subarea 5 (Concha Loma Neighborhood).

Land Use Element

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City’s edge.*

The proposed project is located within an urbanized part of the City on a lot that is currently improved with a single family dwelling. The project entails modestly expanding the residence and attached one car garage.

The architectural style, materials and general layout of the property are compatible with the surrounding neighborhood. The proposed addition would mimic the architectural treatment/style of the existing structure and only subtly change the size, bulk and scale of the residence as viewed from

the street or neighboring properties. With these improvements and features, the project preserves the small beach town character of Carpinteria.

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with the principles established in the Community Design Element.*

The project involves updating and expanding an existing residence and attached one-car garage. The expanded garage would mimic the styling and detailing of the existing residence. The project would result in an upgrade to the property and existing living conditions.

The project was reviewed by staff and the Architectural Review Board for consistency with the principles established in the Community Design Element. The ARB voiced their support for the project in their recommendation for preliminary approval on May 11, 2017. Staff also believes the current proposal is consistent with the objectives and policies of the Community Design Element of the City's General Plan/Coastal Plan, as discussed below.

Community Design Element

Objective CD-1: *The size, scale and form of buildings on a parcel should be compatible with the adjacent nearby properties and with the dominant neighborhood or district development pattern.*

The proposed addition/remodel would maintain the single story character of the existing home and not dramatically alter the structure's overall size, height or scale. The addition would enhance the front entry and move some of the living areas to a slightly more prominent location closer to the street. The addition would result in a lot coverage of 1,725 square feet which is well below the maximum lot coverage allowed of 35% (or 2,748 square feet), and the existing residence is of a similar scale and style to the surrounding homes. Therefore, the project can be found consistent with this Objective.

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the City.*

The existing house is a single-story single family dwelling. The proposed addition is in keeping with the architectural style found in the surrounding neighborhood and would improve the quality and design of the subject building's frontage.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

The proposed project would retain the existing single story character of the home and would increase the structure's height by 1.5 feet to 13 feet six inches. As the existing home does not affect the public's view of the mountains, it is not anticipated that the new addition would have an effect on public mountain views. Ocean views from this location would not be affected by the project.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the "living rooms" of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

The proposed project would improve the residence's street frontage appeal by updating and enlarging the existing garage which will be architecturally integrated into the existing residence. A high quality, decorative garage door is proposed for the new garage and would face the street. A new roofed entry porch would draw attention to the residence's entry and would be visible from the street.

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

Policy CD-5b: *Garages should not dominate views from any public street.*

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

The existing house is situated on a corner lot at the intersection of Calle Arena and Calle Ocho; its main entrance is located near the corner of the residence toward the intersection of the two streets. The proposed porch is designed to integrate with the roof style and architectural detailing found on the existing residence. The garage would remain in approximately the same location facing Calle Ocho, although it would be widened by four feet to the north.

The frontage along the corner is lined with mature vegetation, while the frontages along Calle Arena and Calle Ocho are lined with segmented hedges about six feet in height, which are taller than the neighborhood design guidelines recommend. The project does not propose to change the house's architectural style or landscaping, and the ARB recommended the segmented hedges be left as is, although staff would prefer that the hedges along the street be lowered to approximately three feet to meet that allowed by the Zoning Code and encouraged by the City and Concha Loma Neighborhood design guidelines. Traditionally, staff has not required the removal, or reductions in height, of existing hedges in front yards unless they pose a safety hazard and/or complaints are received from surrounding neighbors. In this case, however, the Public Works department is requiring that the existing hedge be lowered and maintained to meet Municipal Code Sections 14.50.060 (vision clearance) and 14.50.070 (general yard regulations) to avoid a safety hazard and provide vision clearance from the nearest edge of the driveway. (see Recommended Conditions of Approval in Exhibit 1, Attachment C).

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

Objective CD-10: *Areas with attractive frontages designs should be maintained. New development should be carefully planned with frontage areas, which maintain and enhance the quality of Carpinteria's streetscape.*

Policy CD-10a: *Minor variations in front yard building alignments within a block are encouraged. Relatively steady setback patterns clearly define the public space of the street and reinforce small town character.*

As noted elsewhere in this report, expanding the residence and garage would not significantly change the scale of the existing residence, and no changes are proposed to the existing landscaping. The residence would also utilize a new gable roof that unifies the roof style on the existing residence. The project proposal reduces the front yard by four feet but will be in keeping with surrounding properties, and the expanded garage would have a roofline to match that of the existing residence. Paint colors at this time are proposed to match existing; however, the applicant may present a new color scheme to the ARB during final review.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity, and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

The outdoor lighting proposed complies with regulations as they are low wattage and downward-facing to minimize adverse effects to the night sky.

SUB AREA 5 OBJECTIVES & POLICIES

Objective CDS5-1: *Preserve and strengthen the visual and physical connections between the subarea, the beach, the downtown and other neighborhoods and districts in the city.*

Objective CDS5-2: *Preserve the existing residential neighborhoods and their unique characteristics, and ensure that new development enhances the neighborhood character.*

Objective CDS5-3: *Ensure that new development is sensitive to the scale and character of the existing neighborhoods, and consistent with the City's "small beach town" image.*

The proposed addition would not affect ocean views from this location and would maintain the scale and character of the existing single family home. The total height of the residence would increase modestly one foot six inches beyond that of the existing structure, and the project will create a new uniform roof line for the residence. The enlarged residence would be within the maximum allowed lot coverage requirements. As such, the project would be consistent with the intent of these Objectives.

Implementation Policy 53: *The existing pattern of setbacks should be preserved. Additions to existing homes, or new houses, should match the front yard setbacks of the houses on adjacent lots, or the "stringline" between them in the case of differing setbacks.*

The proposed addition is along the Calle Ocho frontage, and although it would extend the existing house and roofline closer to the street-side setback, it would generally match the nearby established pattern of setbacks.

Concha Loma Neighborhood Residential Design Guidelines

DG 5: *As properties are remodeled, efforts should be made to remove landscaping, fences and other structures from the right-of-way to allow for on-street parking and safe pedestrian access.*

DG 6: *Entrances should be oriented toward the street through the use of porches, walkways and forward-facing front doors. Hedges and structures in front yards should be low in height and adequately set back to allow visibility of homes from the street. Front yard outdoor living spaces are encouraged.*

DG 17: *The semi-rural charm of the neighborhood should be preserved.*

DG 18: *Frontage elements should not interfere with the visibility of the property from the street.*

DG 19: *Main entrances should be oriented to the street. Porches, landings and walkways should be incorporated in the frontage design.*

DG 20: *Garages should not be the focal point of the residence. Garages should be placed at the rear of the lot where feasible.*

DG 26: *Attractive landscape frontage designs should be maintained. New development should be carefully planned with landscaping that maintains and enhances the quality of the streetscape.*

The front corner of the property at the street intersection is composed of drought tolerant vegetation which obscures the main entrance and corner of the house, and both street-side frontages are lined with well-maintained segmented hedges approximately six feet in height. The project proposes an interior remodel, a ground floor addition and a new covered porch and would not include any second floor elements. No changes are proposed to the landscaping or frontage elements, although the existing vegetation is taller than that which is encouraged in this neighborhood, and the Public Works department is requiring that the existing hedge be lowered and maintained to meet Municipal Code Sections 14.50.060 (vision clearance) and 14.50.070 (general yard regulations) to avoid a safety hazard and provide vision clearance from the nearest edge of the driveway. The existing garage is the most visible element of the house from the street and is proposed to be widened about four feet to the north (toward the rear property line).

DG 8: *The size, scale and form of buildings, and their placement on a parcel, should be sensitive to the scale of the predominantly one story character of the Concha Loma Neighborhood.*

DG 9: *Existing one story buildings should be preserved. Where second floors are proposed, they should be set back from the first floor façade and should include extensions of one story roof elements or other suitable architectural elements that reinforce the one story scale of the façade. Architectural components should feature articulated roof and wall planes as appropriate.*

DG 11: *Windows and doors should be consistent in design with the theme of a house and when appropriate should draw from elements in the existing neighborhood.*

DG 28: *Permeable materials are encouraged for all driveways and parking areas and other hardscape areas to reduce runoff.*

The property is a corner lot with a one-story single family dwelling with materials and stylistic design typical of the Concha Loma neighborhood. The current residence is consistent with the surrounding

development pattern. The addition would result in a total of 1,389 square feet of habitable space and a 336-square foot one-car garage. The maximum building height would increase approximately one foot six inches to 13 feet six inches but would remain single story, and existing architectural styles, colors, and elements will be extended throughout. The existing semi-circle driveway along Calle Ocho is mostly composed of permeable pavers. Therefore, the project meets the intent of these guidelines.

DG 12: *The use of bay windows, dormers, balconies, covered porches and other decorative elements providing building articulation is encouraged when appropriate to the architecture, particularly when these elements are oriented toward a public street or break up a façade of more than 20 feet.*

DG 21: *Dwellings on corner lots should be designed with street-oriented facades on both street frontages.*

The property is a corner lot in the Concha Loma neighborhood, with the main entrance oriented toward Calle Ocho and a secondary entrance toward Calle Arena. The proposed addition will include exterior finishes and windows and doors to match those of the existing house, as well as an improved porch design.

DG 29: *Outdoor lighting should be low intensity and designed to minimize direct view of light sources.*

DG 30: *Outdoor lighting should include:*

- Fully shielded fixtures positioned so that light is not visible above the horizontal plane of the fixture;
- Motion sensors and timers to keep lights off when not in use;
- Energy efficient light types with low watts and lumens;
- Fewest number of fixtures possible at minimum height necessary; and
- Cutoffs for lighting fixtures that minimize glare to prevent spillover onto neighboring properties.

The outdoor lighting fixtures proposed as part of the project comply with these guidelines.

Open Space, Conservation and Recreation Element

Objective OSC-16: *Preserve Carpinteria's cultural resources.*

Policy OSC-16a: *Carefully review any development that may disturb important archaeological or historically valuable sites.*

The requested project proposes to expand the existing residence to the north and east, which will require ground disturbances and the placement of new footings/foundation. As the Concha Loma neighborhood is recognized as an archaeologically sensitive area, a Phase I Archaeological Study was conducted for this project. The report indicated that no historical artifacts were found, although a requirement for archaeological monitoring during construction is included in the recommended Conditions of Approval (Exhibit 1, Attachment C) in case of unanticipated discovery of cultural and/or human remains during construction.

Noise Element

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation have been included in the attached Conditions of Approval.

VI. DEVELOPMENT IMPACT FEES

As the project involves the remodel and construction of an addition to an existing single family dwelling and would not result in a net increase of dwelling units, the project is exempt from payment of the City's Development Impact Fees. However, the project may still be subject to fees from other Special Districts including the Carpinteria-Summerland Fire Protection District, the Carpinteria Valley Water District and the Carpinteria Sanitary District.

VII. ACTION OPTIONS

1. Adopt Resolution PC-17-007 thereby approving Project 17-1862-CUP/CDP to grant a Conditional Use Permit and Coastal Development Permit for a remodel and addition to an existing residence and one-car garage and adopt the findings in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C. (staff's recommendation)
2. Direct the applicant to prepare project revisions and return to a future Commission meeting.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-17-007
Attachment A: Findings
Attachment B: Preliminary Plan Set
Attachment C: Recommended Conditions of Approval

Exhibit 2 ARB Meeting Minutes of May 11, 2017

Exhibit 3 Notice of Exemption

Exhibit 1
Resolution PC-17-007

Selfridge Residence Addition/Remodel
5596 Calle Arena

Planning Commission Hearing
June 5, 2017

RESOLUTION NO. PC-17-007

**A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION
APPROVING THE CONDITIONAL USE PERMIT AND COASTAL
DEVELOPMENT PERMIT 17-1862-CUP/CDP TO ALLOW FOR AN INTERIOR
REMODEL AND ADDITION OF APPROXIMATELY 185 SQUARE FEET TO
AN EXISTING SINGLE-FAMILY RESIDENCE AND NONCONFORMING ONE-
CAR GARAGE. THE PROJECT IS LOCATED AT 5596 CALLE ARENA
(APN 003-381-017)**

REQUESTED BY MARTHA SELFRIDGE

WHEREAS, the Carpinteria Planning Commission has considered an application for a Conditional Use Permit and Coastal Development Permit filed by Martha Selfridge on March 22, 2017 to allow the interior remodel and addition of approximately 185 square feet to an existing single-story single-family residence and nonconforming one-car garage; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on April 21, 2017; and

WHEREAS, the project was reviewed by and recommended for preliminary approval by the City's Architectural Review Board on May 11, 2017; and

WHEREAS, the Planning Commission has conducted a hearing and received evidence regarding the application for the Conditional Use Permit and Coastal Development Permit; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act pursuant to Sections §15301 and §15303 of the California Environmental Quality Act Guidelines; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

NOW THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Conditional Use Permit and Coastal Development Permit are approved, making the Findings outlined in Attachment A.
2. The Conditional Use Permit and Coastal Development Permit for the project shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 5th day of June 2017, by the following called vote:

AYES: COMMISSIONER(S):

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 5th day of June 2017.

Exhibit 1
Attachment A: Findings

Selfridge Residence Addition/Remodel
5596 Calle Arena

Planning Commission Hearing
June 5, 2017

ATTACHMENT A FINDINGS

PLANNING COMMISSION HEARING PROJECT 17-1862-CUP/CDP JUNE 5, 2017

SELFRIDGE RESIDENCE ADDITION/REMODEL

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Conditional Use Permit and Coastal Development Permit was submitted on March 22, 2017, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on April 21, 2017. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemptions §15301 [replacement or reconstruction] and §15303 [new construction or conversion of small structure]. Class 1 Categorical Exemptions (§15301) allow replacement of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. Class 3 Categorical Exemptions (§15303) consist of projects involving construction of limited numbers of new, small facilities or structures

1.3 Conditional Use Permit Findings

- a. The site for the proposed use is adequate in size and shape to accommodate the use.*

The proposed project entails an interior remodel, an addition of 49 square feet to the existing single-family residence, and an addition of 136 square feet to the attached one-car garage on a parcel of approximately 7,850 square feet. The proposed remodel will enlarge the dining room, and the proposed addition would expand the office and one-car garage. The total square footage of the residence would increase from 1,540 square feet (1,340 square feet of living area and a 200 square foot garage) to 1,725 square feet (comprising 1,389 square feet of living area and a 336 square foot garage), which is well below the maximum lot coverage allowed of 35% (or 2,748 square feet). The maximum height of the residence would increase slightly to 13 feet six inches which is below the maximum height of 30 feet. The existing one-car garage is legal nonconforming with respect to parking, but the project is consistent with all other aspects of the Zoning Code with the approval of a Conditional Use Permit and Coastal Development Permit to allow structural alterations to and expansion of the nonconforming garage pursuant to CMC §14.82.061.

- b. The site for the proposed use is served by streets and highways that are properly designed to carry the type and quantity of traffic generated by the subject use.*

The proposed addition and remodel will not generate any new traffic or parking demands as no new dwelling units are proposed. The project would therefore be adequately served by existing streets and highways.

- c. The granting of the permit will not materially adversely affect such necessary community services as sewage disposal, fire protection, water supply, and police protection.*

Local service providers were notified of project information regarding the proposed remodel and addition to the residence and garage. The service providers did not specify any concerns regarding the project. The project would not change the intensity of the existing use, nor would it negatively impact such existing services as sewage disposal, fire protection, water supply or police protection.

- d. *The granting of the permit will not be detrimental to the health, safety and general welfare of the neighborhood.*

The proposed project consists of a remodel and addition to an existing single family residence and a nonconforming one-car garage. Municipal Code §14.82.061 requires a Conditional Use Permit to allow expansion of the nonconforming garage which will maintain the legal nonconforming garage parking arrangement to continue. The project would not increase the habitable capacity of the residence or result in a significant change to the intensity or character of the existing use. Sufficient uncovered off-street parking remains available in the subject property's existing circular driveway. The project therefore would not impact the health, safety and general welfare of the neighborhood as the use or intensity will not be affected.

- e. *The proposed use is consistent with the Coastal Plan, General Plan, and applicable specific plan.*

The project includes a remodel and addition of 185 square feet to an existing single family residence with a legal nonconforming one-car garage. The existing garage is currently nonconforming as to the covered parking requirements, and the proposed expansion of the garage will maintain this nonconformity. As discussed in the Planning Commission staff report dated June 5, 2017 and hereby incorporated by reference, the project is consistent with the General Plan's applicable Land Use, Community Design, Open Space/Conservation/Recreation and Noise Elements Objectives and Policies in that the project involves structural alterations to a legal nonconforming structure which fits within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale. The use of the dwelling will not change.

- f. *The proposed use will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The proposed project includes a remodel and addition to an existing single family residence in a developed urban area and does not impact natural environments, habitat areas or wildlife. As the Concha Loma neighborhood is recognized as an archaeologically sensitive area, a Phase I Archaeological Study was conducted for this project. The report indicated that no historical artifacts were found, although the report recommended archaeological monitoring during construction. The construction activities have been conditioned to avoid water runoff, dust, noise and other impacts to the surrounding neighborhood and to require an archaeologist and Chumash monitor to be present during periods of ground disturbance. Conditions of Approval are attached as Exhibit 1, Attachment C. The project therefore would not cause a substantial impact to the environment.

- g. *The proposed development will not conflict with recorded easements acquired by the public-at-large for access through or use of the property within the proposed development or any easements granted to any public agency or required as a condition of approval.*

There are no known recorded easements on the property for public access or public agencies, nor are any such easements required as a project condition of approval.

1.4 Nonconforming Structure Finding

- a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood.*

The existing garage is legal nonconforming in terms of the onsite covered parking. The existing residence only provides one garage parking space rather than two spaces enclosed within a garage as required in the R-1 zone district. The proposed project would expand the nonconforming garage but would continue to provide only one covered space. Additional uncovered onsite parking is provided in the semicircle driveway. A Conditional Use Permit is required to allow the single car garage to be enlarged without meeting the required parking, pursuant to Municipal Code §14.82.061.

The proposed development enlarges an attached garage matching the architectural style of the single family residence as seen from the street. The garage will provide improved conditions for the property owners to park a car and store items in the garage. The expanded garage would maintain the minimum required 15-foot rear setback from the property line and would not significantly alter the height of the existing residence. In addition, the proposed remodel/addition would improve the overall appearance of the residence, which is an enhancement to the neighborhood. For these reasons, the Commission finds that the project would not result in an adverse effect on the surrounding neighborhood.

- b. *The habitable capacity of the unit or units will not be increased beyond that previously existing.*

The term “habitable capacity” is not defined in Chapter 14.82. However, reading that chapter in context, the Planning Commission has interpreted the restriction in CMC 14.82.061 on increasing habitable capacity to refer to a restriction on adding additional dwelling units. (See CMC 14.82.010(3).) The property is presently developed with one single family dwelling. The project would not result in a net increase to the number of units maintained on the property, therefore the project is consistent with this finding.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

The Planning Commission finds that the continued existence of a nonconforming structure outweighs the purpose behind uniform application of the City’s zoning regulations. CMC

14.82.061 authorizes structural alteration of a nonconforming use if the expansion will address the shortage of adequate housing in the City. The existing single family dwelling is currently owner-occupied and is intended to remain that way at this time. Approval of the CUP would allow the owners to make improvements to upgrade the parking situation by providing an enlarged garage of adequate size to park a vehicle and provide private storage space. The Commission finds that the policy of promoting adequate housing is advanced when minor alterations such as this one result in a modernized and improved living conditions for the residents without imposing significant impacts on the community or environment.

1.5 Coastal Development Permit Finding

- a. *The proposed development is in conformity with the City's certified Local Coastal Program.*

The project includes a remodel and addition of 185 square feet to an existing single family residence with a legal nonconforming garage. The existing garage is currently nonconforming as to the covered parking requirements, and the requested project proposes to maintain this nonconformity through a Conditional Use Permit pursuant to the Nonconforming structures provisions in CMC §14.82.061. As discussed in the Planning Commission staff report dated June 5, 2017 and hereby incorporated by reference, the project is consistent with the General Plan's applicable Land Use, Community Design, Open Space/Conservation/Recreation and Noise Elements Objectives and Policies in that the project involves expansion of a legal nonconforming structure which fits within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale, and the project would not result in any significant adverse effects to the environment. The use of the dwelling will not change.

Exhibit 1
Attachment B: Preliminary Plan Set

Selfridge Residence Addition/Remodel
5596 Calle Arena

Planning Commission Hearing
June 5, 2017

MAR 22 2017

RECEIVED

MARTHA SELFIDGE
5596 CALLE ARENA
CARPINTERIA CA 93013

PAGE #
1 OF 6
FEB. 2017

DRAFTING
C.K. LORD

GENERAL DATA

OWNER: MARTHA SELFIDGE
5596 CALLE ARENA
CARPINTERIA CA 93013
805 566 2156

ENGINEER: DARKMOON ENGINEERING
JOVANNIN VILLEGAS, P.E. MASCE
P.O. BOX 30484 SB CA 93130

DESIGN & DRAFT: C.K. LORD
5588 CALLE OCHO
CARPINTERIA CA 93013
805 684 2244

CONTRACTOR: JOEL GARY
CITY CONTRACTORS
P.O. BOX 39 CARP. CA 93014
805 875-3845

APN 003-381-017

ZONING 6-R-1

OCCUPANCY R-3 & U-1

ONE STORY

BUILDING HEIGHT

12'0" EXISTING

13'6" REMODEL

ADDITION

BUILDING AREA

E HOUSE 1340 SF

E GARAGE 200 SF

ADDITION TO HOUSE 49 SF

ADDITION TO GARAGE 136 SF

TOTAL: 1725 SF

LOT SIZE 7,850 SF

LOT COVERAGE 100%

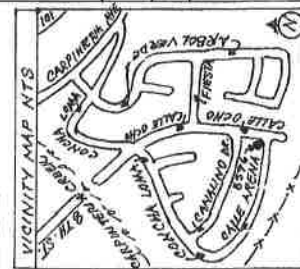
BUILDING FOOTPRINT 22%

DRIVEWAY 20%

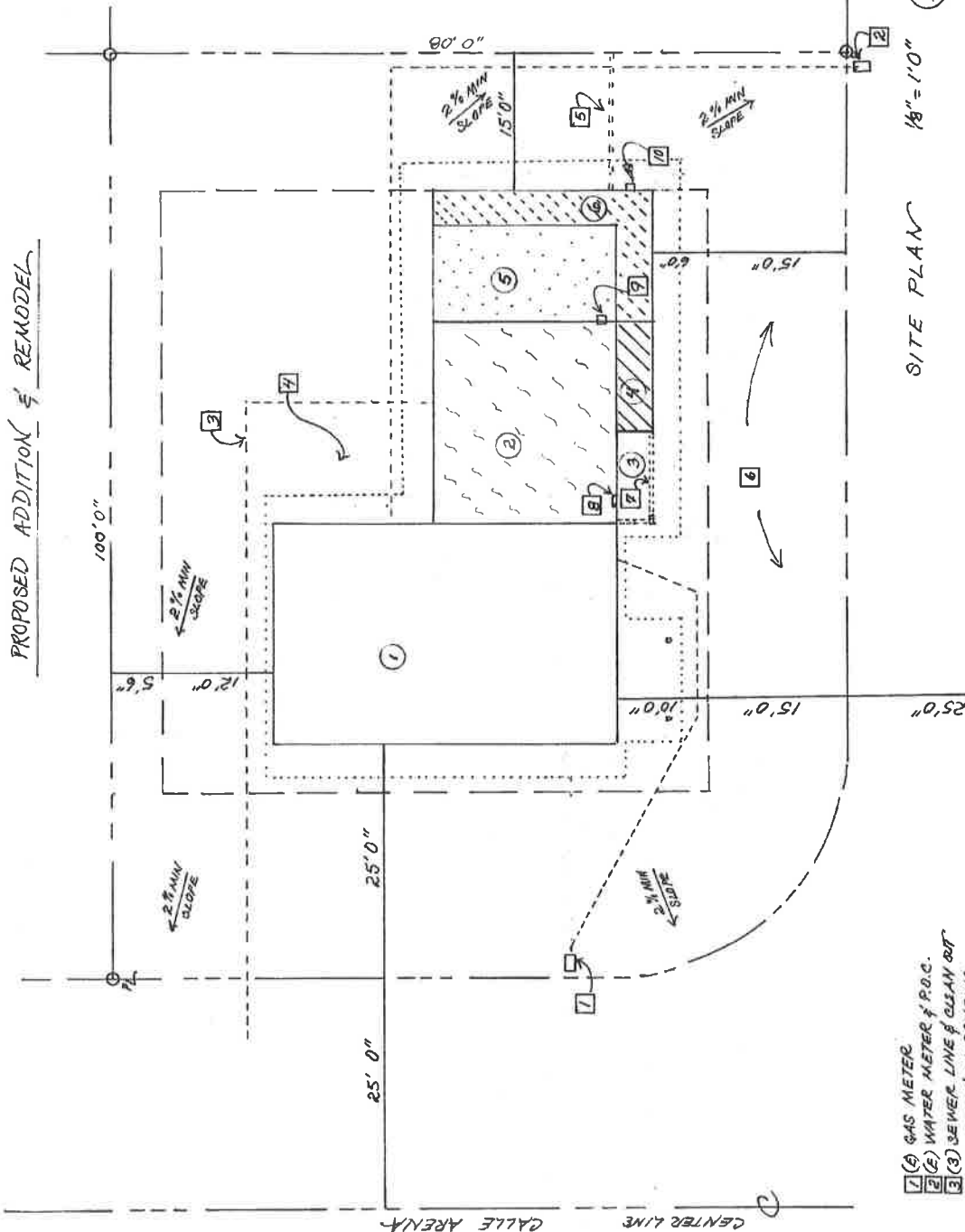
PATIOS & PATHS 10%

LANDSCAPE 48%

- 1 E HOUSE - NO CHANGE
- 2 E HOUSE - REMODEL
- 3 NEW COVERED PORCH
- 4 ADDITION TO HOUSE
- 5 E GARAGE
- 6 ADDITION TO GARAGE



PROPOSED ADDITION & REMODEL



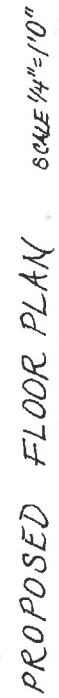
- 1 (A) GAS METER
- 2 (E) WATER METER & P.O.C.
- 3 (3) SEWER LINE & CLEAN OUT
- 4 (E) PATIO & LANDSCAPING
- 5 (E) WOOD FENCE
- 6 (E) DRIVEWAY
- 7 NEW WOOD FENCE
- 8 (E) ELECTRIC PANEL
- 9 (E) ELECTRIC METER
- 10 NEW LOCATION ELECTRIC METER

SITE PLAN

CENTER LINE CALLE OCHO

CENTER LINE CALLE ARENA

2
L. 10/13/17
FEB. 2017



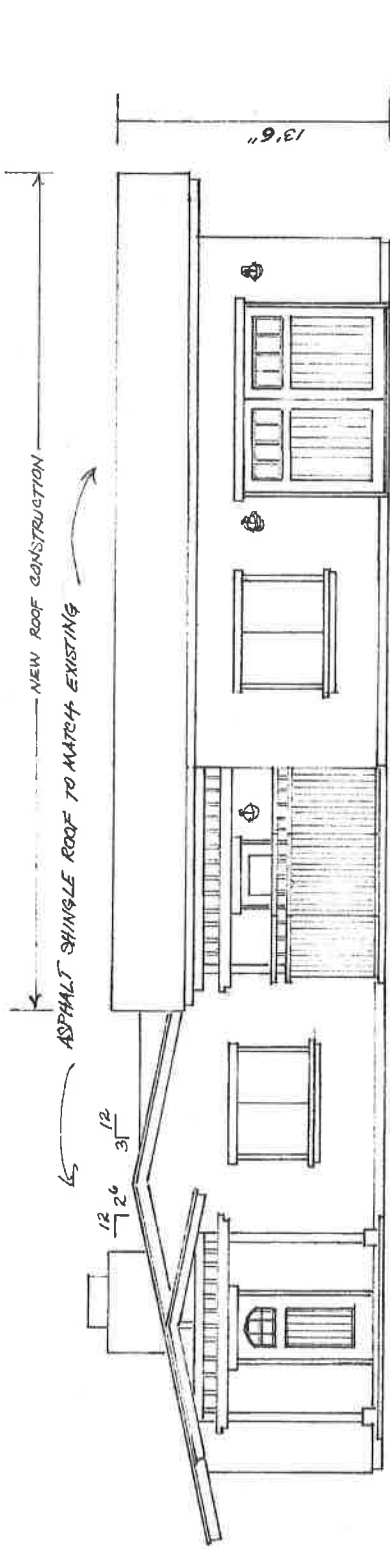
KEY

=====	EXISTING WALLS	(E) EXISTING
-----	REMOVE WALLS	
=====	NEW WALLS	
=====	OVERLAYING	

MARTHA SELFIDGE
5596 GALLE ARENA
CARPINTERIA CA 93013

DRAFTING
CK LORD

DATE
3
06
FEB. 2017

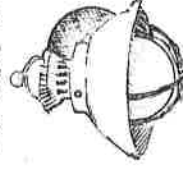


24' 0" EXISTING
10' 4" NEW
11' 5" NEW
10' 3" NEW
4' 0" NEW
13' 6"

PROPOSED - EAST ELEVATION
FACING CALLE OCHO

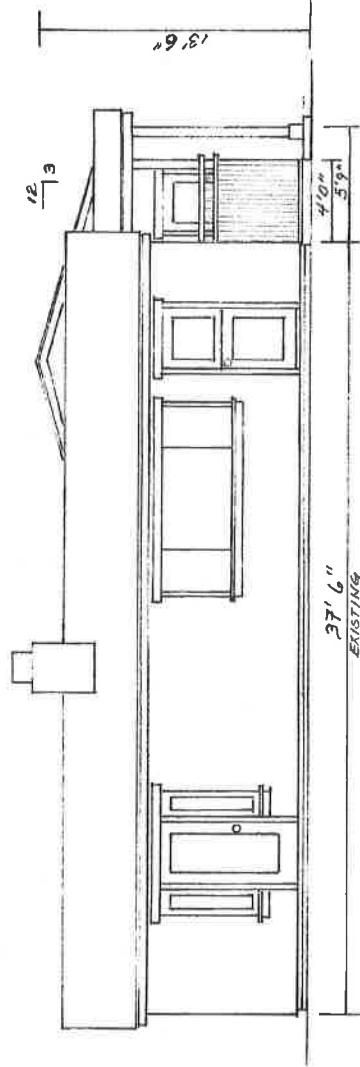
NEW EXTERIOR TO MATCH EXISTING
IN COLORS & MATERIALS -
WALLS - STUCCO WITH FINISH
& COLOR TO MATCH EXISTING
TRIM - WOOD PAINTING WHITE
EXISTING -

NEW EXTERIOR LIGHTS
TO MATCH EXISTING:
NIGHT SKY FRIENDLY
LOW WATTAGE
NO SPILL OVER
DIRECTED DOWNWARD
9" H x 8 1/2" W



NEW GARAGE DOOR
& LIGHT WINDOWS AT TOP
WOOD DOORS PAINTED
WHITE TO MATCH
EXTERIOR TRIMS

NEW FENCE NATURAL
REDWOOD TO MATCH
EXISTING

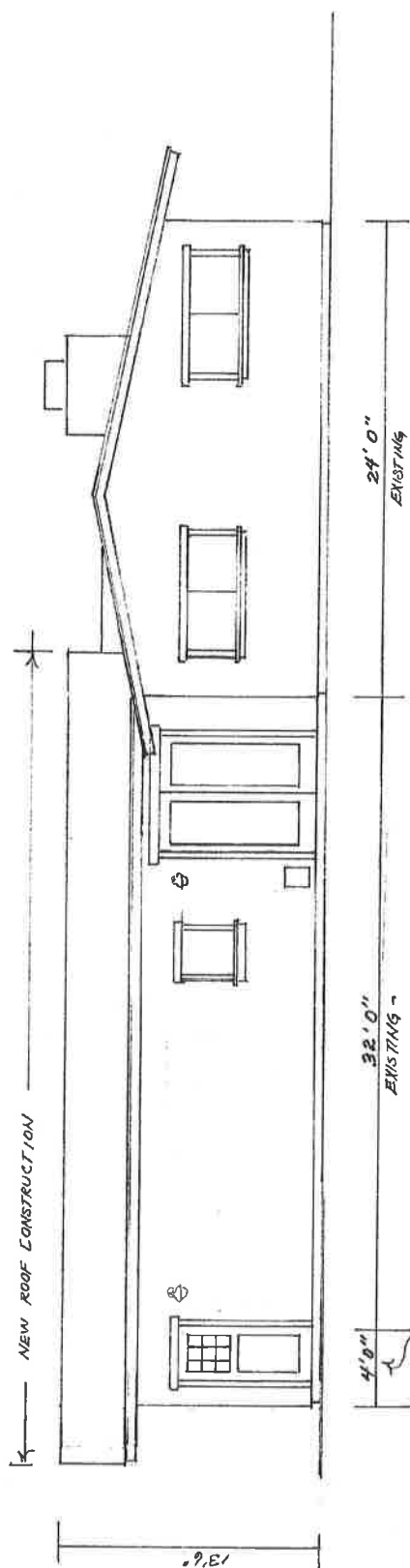


37' 6" EXISTING
PROPOSED - SOUTH ELEVATION
FACING CALLE ARENA

2103 434
9-0
77
720

DRAFTING
CKLORD

MARTHA SELF RIDGE
5596 GALLE ARENA
CARPINTERIA CA, 93013



NEW ROOF CONSTRUCTION

41.0"

GARAGE ADDITION

32' 0" EX/STANG -

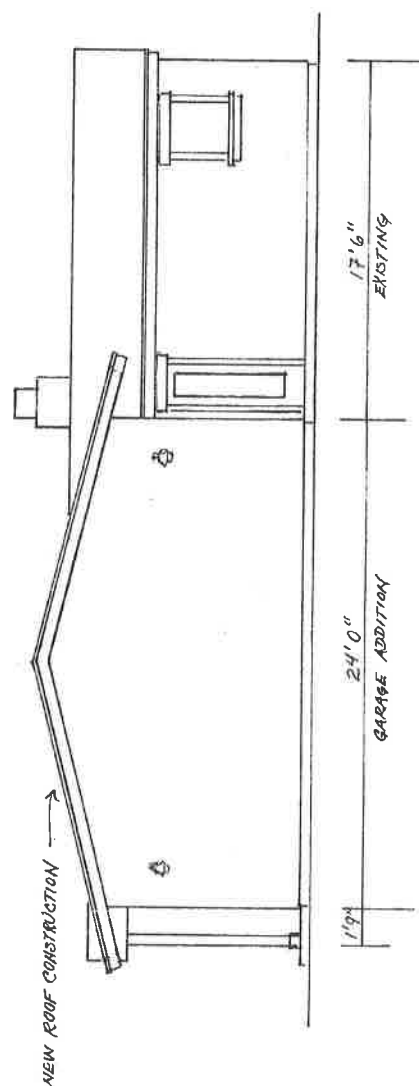
EX/STING -

PROPOSED ~ WEST ELEVATION

24' 0" EXISTING

EXISTING

SCALE $1/4" = 1'0"$



"O, the"

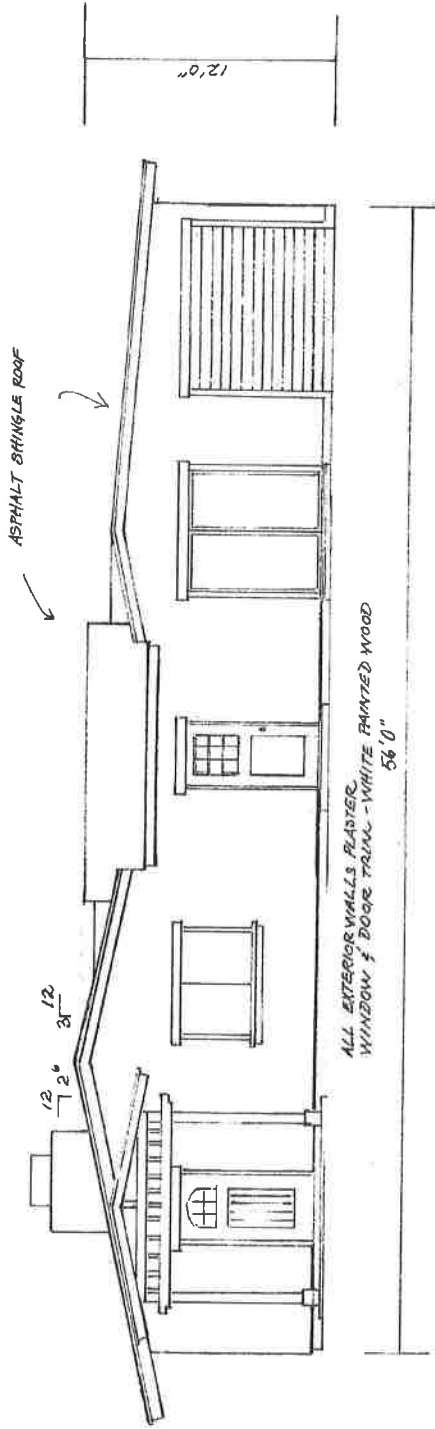
GARAGE ADDITION

1500

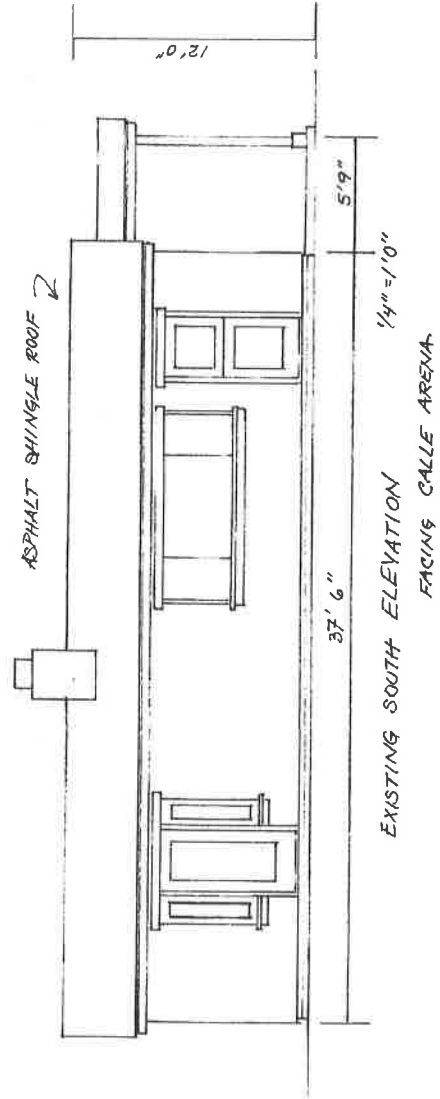
EXISTING

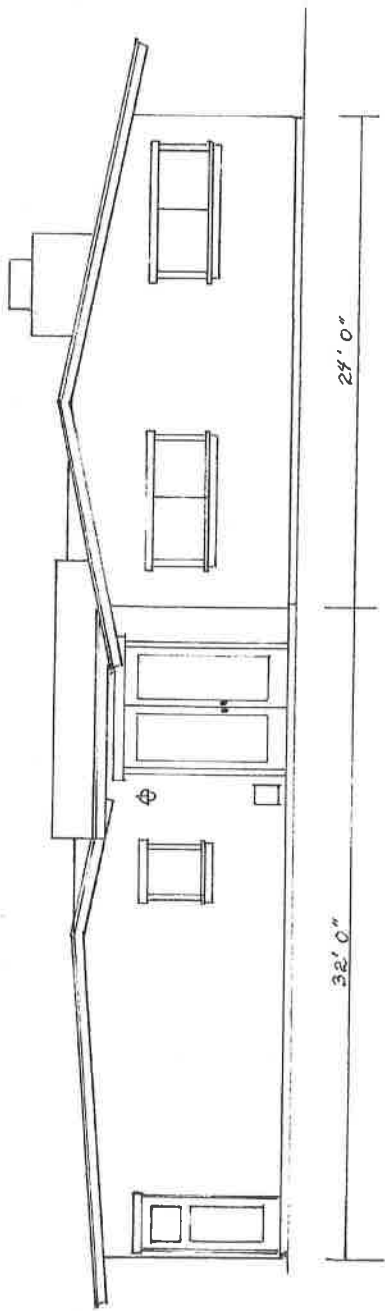
SCALE 1/4" = 1' 0"

PROPOSED NORTH ELEVATION



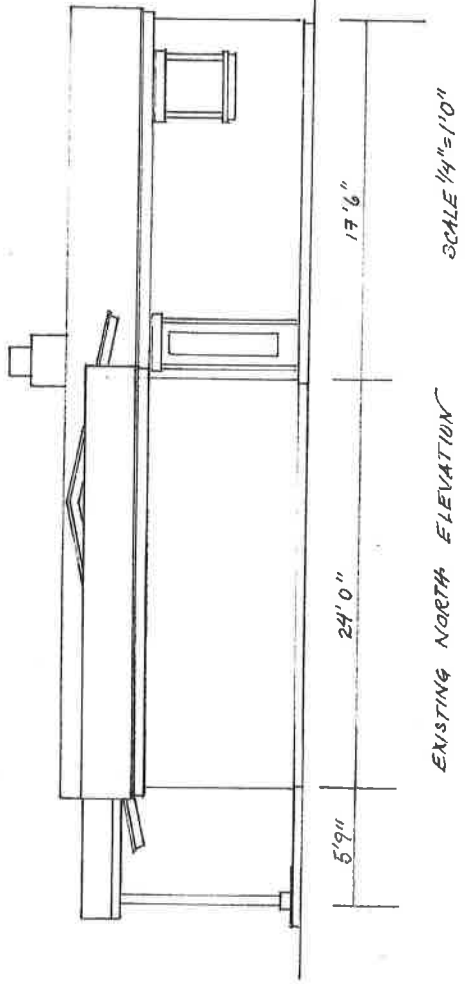
EXISTING EAST ELEVATION
 1/4" = 1'0"
 FACING CALLE OCHO





SCALE 1/4" = 1' 0"

EXISTING WEST ELEVATION

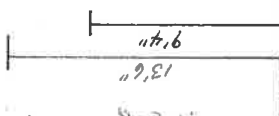
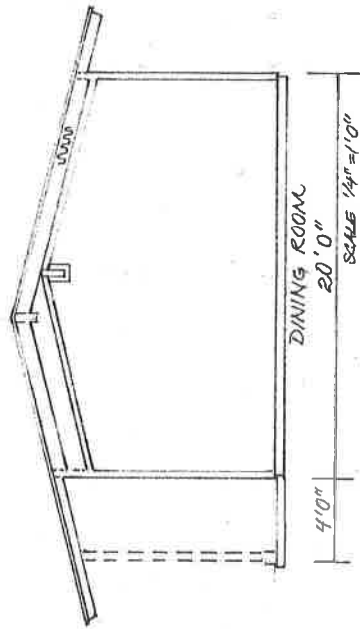
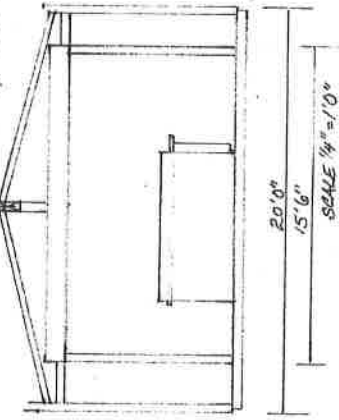


SCALE 1/4" = 1' 0"

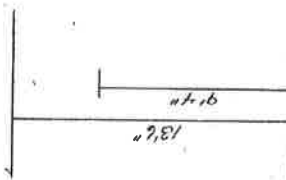
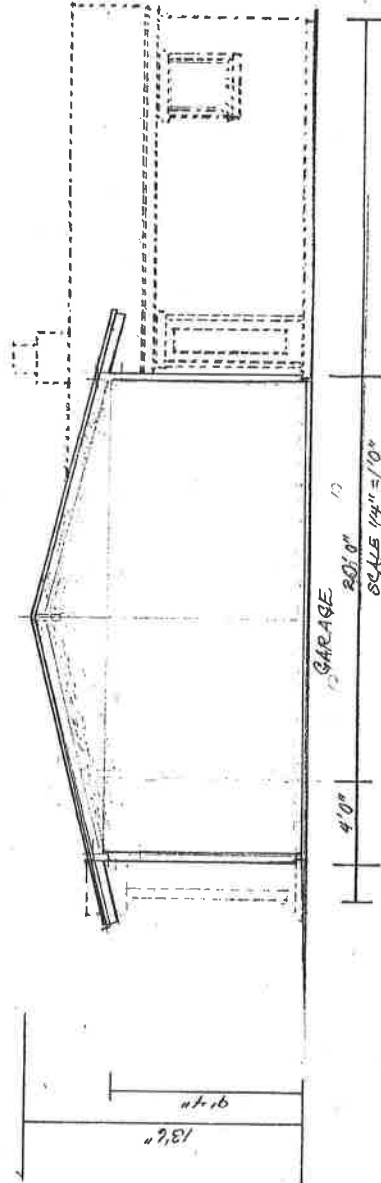
EXISTING NORTH ELEVATION

MARTHA SELFIDGE
5596 GALLE ARENA
CARPINTERIA CA 93013

NEW OPENING KITCHEN/DINING WALL -



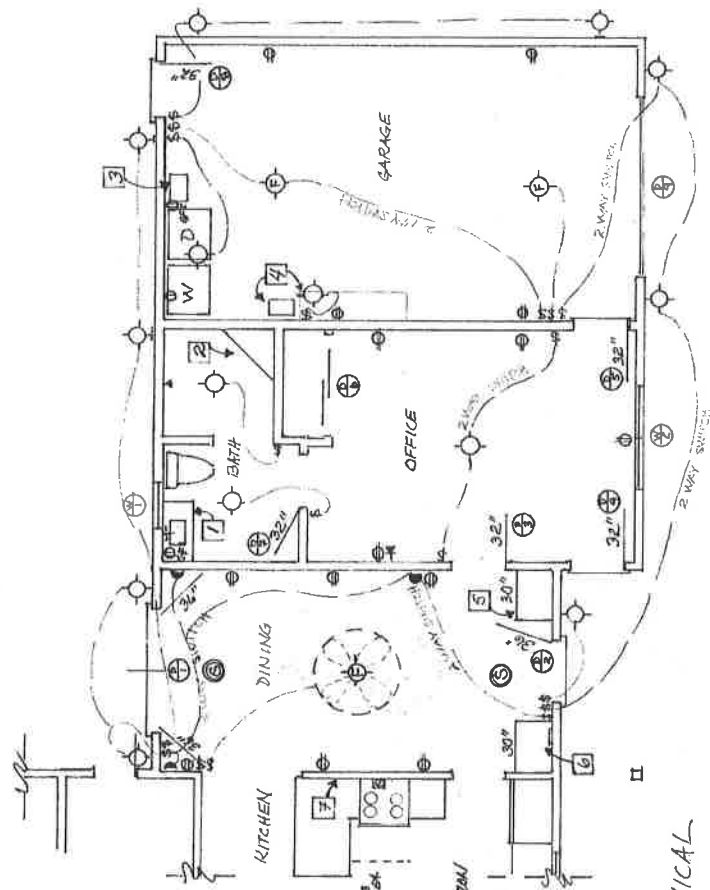
DINING ROOMS
OPEN BEAM CEILING
PROVIDING FOR FUTURE
TO FAN'S RAIL LIGHT
WITH SPOKE CHAIRS
& DINING SWINGS
MATERIALS TO MATCH
FINISHES TO MATCH
THOSE OF OPEN BEAM
CEILING EXISTING IN
THE LIVING & KITCHEN



GARAGE
RAISED SYSTEM

FLOOR PLAN KEY NOTES

- 1 REMOVE EXISTING BATH TUB - INSTALL SINK & BASE CABINET.
- 2 NEW WALK IN SHOWER WITH WOODEN CORNER BENCH SEAT.
- 3 ON DEMAND HOT WATER HEATER (RELOCATED FROM (E) LAUNDRY ROOM).
- 4 LAUNDRY SINK (RELOCATED FROM (E) LAUNDRY ROOM) WITH (E) LAUNDRY CABINETS REMOVED & RELOCATED TO NEW AREA.
- 5 NEW CABINETS (FLOOR TO CEILING)
- 6 EXISTING BASE DRAWER CABINETS TO REMAIN WITH NEW CABINETS ABOVE TO CEILING. REPAIR ACCESS TO ELECTRIC PANEL
- 7 NEW ISLAND OPENING WALL ABOVE STOVE WITH NEW PASTES. REMOVE TO CASE, FINISH ISLAND TOP WITH MASTER TO MATCH EXISTING.
- 8 ELECTRIC CARD CHARGING AREA



DOOR & WINDOW SCHEDULE

- 1 (E) PAIR OF FRENCH DOORS 3'x8' 6"
- 2 (E) DOOR TO BE RELOCATED TO GARAGE
- 3 NEW EXT. DUTCH DOOR 3'x6' 8"
- 4 (E) INT. WOOD DR. 32" x 6' 8"
- 5 NEW 32" x 6' 8" EXT. DR.
- 6 NEW 32" x 6' 8" SOLID CORE SELF CLOSING DR.
- 7 NEW PAIR OF SLIDING CLOSET DR. 2' x 6' 6"
- 8 (E) INT. WOOD DR. 32" x 6' 8"
- 9 32" x 6' 8" EXT. DR. RELOCATED TO GARAGE FROM (E) LAUNDRY RM. LOCATION
- 10 NEW WOOD GARAGE DR. 9' x 8' 6" DESIGN
- 11 (E) DUAL SLAZED CASEMENT WINDOW 28' x 28"
- 12 NEW DUAL SLAZED CASEMENT WINDOW 5'6" x 4' 6" (PRESENTLY STORED IN OWNER'S GARAGE)

ELECTRIC & MECHANICAL

- 1 OUTLET
- 2 LIGHT FIXTURE - FLOURESCEN LIGHT FIXTURE
- 3 SWITCH
- 4 SOLAR TUBE
- 5 FAN - PROVIDE DIMMER SWITCH FOR LIGHT FIXTURE
- 6 EXHAUST FAN
- 7 EXISTING & RELOCATED WALL SCONCE LIGHT FIXTURE

Exhibit 1
Attachment C: Recommended
Conditions of Approval

Selfridge Residence Addition/Remodel
5596 Calle Arena

Planning Commission Hearing
June 5, 2017

**PLANNING COMMISSION HEARING
PROJECT NO. 17-1862-CUP/CDP
5596 CALLE ARENA (APN 003-381-017)
JUNE 5, 2017**



**ATTACHMENT C: CONDITIONS OF APPROVAL
SELFRIDGE RESIDENCE ADDITION/REMODEL**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Conditional Use Permit and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated June 5, 2017) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows:

A request for a remodel and addition of 49 square feet to an existing single-family residence and an addition of 136 square feet to the attached one-car garage. The proposed remodel will enlarge the dining room, and the proposed addition would expand the office and one-car garage. The total square footage of the residence would increase from 1,540 square feet (1,340 square feet of living area and a 200 square foot garage) to 1,725 square feet (comprising 1,389 square feet of living area and a 336 square foot garage). A new porch element is proposed over an entry door on the eastern elevation of the residence, and a new gable roof would be constructed over the remodeled interior and expanded garage to create a uniform roofline. The maximum height of the residence would increase slightly from approximately 12 feet to 13 feet 6 inches.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description

above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. An informational Notice to Property Owner (NTPO) shall be recorded on the title of the property with the Santa Barbara County Clerk Recorder's Office. Said Notice shall state that the property is approved for one single family dwelling and that no room with direct access to the garage shall be used for sleeping purposes. **Plan Requirements:** The NTPO document shall be obtained from the Community Development Department. **Timing:** The NTPO document shall be recorded prior to issuance of any Building Permits. **Monitoring:** CDD staff shall verify recordation through the submittal of a conformed copy of the NTPO document and/or receipt of payment from the Clerk Recorder's Office.
3. The applicant shall obtain final review from the Architectural Review Board prior to issuance of a Building Permit. Plans shall be submitted for final ARB review and shall include complete working drawings including but not limited to lighting, colors, exterior materials, landscaping and irrigation, as applicable.
4. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. **Plan Requirements:** The type of all exterior lighting fixtures shall be depicted on plans to be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD shall review plans prior to the Building Permit approval. CDD shall site inspect prior to occupancy clearance.
5. All materials and colors used in construction and all landscape materials shall be as represented to the Architectural Review Board and any deviation will require the express review of the Board.
6. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday and 8:00 a.m. and 3:00 p.m. on Saturday. No construction shall occur on State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.

7. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site by following the dust control measures listed below. During clearing, grading, earth moving, excavation or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this shall include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency shall be required whenever the winds speed exceeds 15 miles per hour. Reclaimed water should be used whenever possible.
 - b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
 - c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
 - d. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.

Plan Requirements: All requirements shall be shown on the grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction activities. **Monitoring:** CDD shall ensure measures are on plans. Grading and Building Inspectors shall spot check and ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

8. All earth disturbances involving excavation shall be monitored by a CDD qualified archaeologist and a Native American representative pursuant to City Archaeological Guidelines. **Plan Requirements and Timing:** Prior to Building Permit issuance, a contract or Letter of Commitment between the applicant and the archaeologist, consisting of a project description and scope of work, shall be prepared. The contract must be executed and submitted to CDD for review and approval prior to issuance of a Building Permit. Copies of any reports prepared concerning project monitoring shall be submitted to the City. **Monitoring:** CDD shall confirm monitoring by archaeologist and Native American representative; Building Inspector shall spot check field work.
9. In the event archaeological remains are encountered during excavation, work shall be stopped immediately or redirected until a CDD-qualified archaeologist and Native American representative are able to evaluate the significance of the find pursuant to Phase 2 investigations of the City Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 2 mitigation program consistent with City Archaeological Guidelines and funded by the

applicant. **Plan Requirements/Timing:** This condition shall be printed on all final building and grading plans. **Monitoring:** CDD shall check in the field.

10. If human remains are unearthed, State of California Health and Safety Code Section 7050.5 requires that no further disturbance shall occur until the County Coroner has made the necessary findings as to origin and disposition pursuant to Public Resources Code Section 5097.98. If the remains are determined to be of Native American descent, the coroner has 24 hours to notify the Native American Heritage Commission. **Plan Requirements and Timing:** Construction plans shall contain the above measures as specifications prior to issuance of Building Permits. **Monitoring:** CDD staff shall confirm this requirement is printed on the final construction plans.
11. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.
12. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
13. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
14. Fifty percent (50%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by the California Green Building Code and Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During grading and construction, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:**

This requirement shall be printed on grading and construction plans. Applicant shall complete the Post-Construction Waste Reduction and Recycling Summary Report and submit it to Public Works for review and approval. **Timing:** Materials shall be recycled as necessary throughout construction. All materials shall be recycled prior to occupancy clearance. **Monitoring:** Public Works shall review and approve the Post-Construction Waste Reduction and Recycling Summary Report prior to occupancy clearance.

15. Best available erosion and sediment control measures shall be implemented during grading and construction. Best available erosion and sediment control measures may include but are not limited to use of sediment basins, gravel bags, silt fences, geo-bags or gravel and geotextile fabric berms, erosion control blankets, coir rolls, jute net and straw bales. Storm drain inlets shall be protected from sediment-laden waters by use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters, and excavated inlet sediment traps. Sediment control measures shall be maintained for the duration of the construction period. Construction entrances and exits shall be stabilized using gravel beds, rumble plates, or other measures to prevent sediment from being tracked onto adjacent roadways. Any sediment or other materials tracked off site shall be removed the same day as they are tracked using dry cleaning methods. **Plan Requirements:** An erosion and sediment control plan shall be submitted to and approved by Public Works prior to issuance of a Grading or Building Permit. The plan shall be designed to address erosion and sediment control during all phases of development of the site. **Timing:** The plan shall be implemented prior to the commencement of construction. **Monitoring:** Public Works shall perform site inspections throughout construction.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

16. This Conditional Use Permit is not valid until a Building Permit for the development has been obtained. Failure to obtain said Building Permit shall render this Conditional Use Permit null and void. Prior to the approval of the Building Permit, all of the conditions listed in this Conditional Use Permit that are required to be satisfied prior to approval of a Building Permit must be satisfied. Upon issuance of the Building Permit, the Conditional Use Permit shall be valid. The effective date of this Permit shall be the date of expiration of the appeal period, or if appealed, the date of action by the City Council.
17. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
18. Within one year after the effective date of this permit, construction shall commence. Construction cannot commence until a Building Permit has been issued. Failure to commence the construction pursuant to a valid Building Permit shall render the Conditional Use Permit null and void.

19. All time limits may be extended by the Planning Commission for good cause shown, provided a written request, including a statement of reasons for the time limit extension request is filed with Community Development prior to the expiration date.
20. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
21. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of grading/construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
22. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions or Approval on a form acceptable to Community Development. Such form may be obtained from the CDD office.
23. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
24. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full.
25. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
26. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
27. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Conditional Use Permit and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court

costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

28. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.
29. Compliance with the attached Departmental letter is required as follows:
 - a. Carpinteria Public Works Department letter dated May 31, 2017

Approved by the Planning Commission on June 5, 2017

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT.

Applicant/Property Owner

Date

CITY OF CARPINTERIA, CALIFORNIA



Department of Public Works Memorandum

To: Lucy Graham, Associate Planner

From: Matt Maechler
Department of Public Works

Date: May 31, 2017

Subject: 5596 Calle Arena, 17-1862

The Department of Public Works (DPW) has reviewed the project submittal and has prepared the following conditions of approval. Other City departments and agencies may have additional requirements.

PROJECT SPECIFIC CONDITIONS

1. Prior to issuance of building permits, the existing hedges along the roadway frontage must be trimmed and maintained to meet City Municipal Code (14.50.060 and 14.50.070) for both landscaping standards and vision clearance at the driveway entrances.

SOLID WASTE CONDITIONS

1. A minimum of sixty-five percent (65%) of all construction and demolition debris generated shall be diverted from the landfill, as mandated by the California Green Building Code and Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During grading and construction, separate bins for recycling of construction materials and landscape materials shall be provided onsite. Plan Requirements: This requirement shall be printed on construction plans. Applicant shall complete the Post-Construction Waste Reduction and Recycling Summary Report and submit it to Public Works for review and approval. Timing: Materials shall be recycled as necessary throughout construction. All materials shall be recycled prior to final inspection. Monitoring: Public Works shall review and approve the Post-Construction Waste Reduction and Recycling Summary Report prior to final inspection.

End of Conditions

Exhibit 2
ARB Meeting Minutes of May 11, 2017

Selfridge Residence Addition/Remodel
5596 Calle Arena

Planning Commission Hearing
June 5, 2017

ACTION MINUTES

The meeting was called to order at 5:35 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Dylan Chappell
Grant Cox
Scott Ellinwood
Jim Reginato

Boardmembers absent: None

OTHERS PRESENT: 5 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Martha Selfridge
Project Number: 17-1862-CUP/CDP
Planner: Lucy Graham
Project Location: 5596 Calle Arena
Zoning: Single Family Residential (6-R-1)

Hearing on the request of Martha Selfridge, owner and applicant, to consider Case No. 17-1862-CUP/CDP for preliminary review of a proposal for an interior remodel and addition to an existing Single Family Residence and one-car garage. Proposed improvements include an addition of 49 square feet to the residence and 200 square feet to the garage. The property is a 0.18 acre parcel zoned Single Family Residential (6-R-1) and shown as APN 003-381-017 located at 5596 Calle Arena.

Staff presented the project proposal, including describing the need for a Conditional Use Permit to allow for structural alterations to the nonconforming one-car garage, and explained that the existing hedges along the street frontages are higher than allowed by the Zoning Code. The project representative presented the project and explained the need to expand the garage to adequately accommodate parking a vehicle.

Public Comment: None.

Boardmember Discussion:

The Board was pleased with the project as submitted. Boardmember Chappell stated that the project is an improvement, and the other Boardmembers concurred. Boardmember Reginato stated that the hedges did not bother him, and Boardmember Ellinwood remarked that a Conditional Use Permit for this project seemed excessive.

ACTION: Motion by Boardmember Cox, seconded by Boardmember Chappell to recommend preliminary approval of the project to the Planning Commission with no comments.

VOTE: 5-0

Exhibit 3
Notice of Exemption

Selfridge Residence Addition/Remodel
5596 Calle Arena

Planning Commission Hearing
June 5, 2017

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara
105 E Anapamu Street, Rm 407
Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

(Address)

Project Title: Selfridge Residence Remodel/Addition

Project Applicant: Martha Selfridge, 5596 Calle Arena, Carpinteria, CA 93013

Project Location - Specific:

5596 Calle Arena, located on the northwest corner of Calle Arena and Calle Ocho (APN 003-381-017)

Project Location - City: Carpinteria Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

Modifications to an existing single-family residence, including a remodel, an addition of 49 square feet to the dwelling, and an addition of 136 square feet to the attached garage. The proposed remodel would enlarge the dining room, and the proposed addition would expand the office and one-car garage.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Martha Selfridge

Exempt Status: (check one):

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: Sections 15301 and 15303
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

This project involves a remodel and addition to an existing single family dwelling. The proposal is located within an urbanized part of the City on a developed property that has no habitat value for endangered, rare or threatened species. The improvements would not result in an increased demand on existing public services, and the site has been found to not be archaeologically significant.

Lead Agency

Contact Person: Lucy Graham, Associate Planner Area Code/Telephone/Extension: 805-755-4405

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: _____ Date: 6/5/17 Title: Associate Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

PLANNING COMMISSION
STAFF REPORT

MEETING DATE: June 5, 2017

ITEM FOR CONSIDERATION

Omni Catering Storage Buildings
16-1837-DP/CDP

Request for a Development Plan and Coastal Development Permit to construct a 560 square foot screened catering equipment storage area using three pre-fabricated “roll-off” containers. The proposal would require the removal of two existing parking spaces and approximately 90 square feet of landscaping.

Report prepared by: Nick Bobroff, Senior Planner
Community Development Department


SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department


SIGNATURE

Owner: Sarah Dandona, Omni Catering

Applicant: Shawn Godkin

Project Location: 4835 Carpinteria Avenue

APN: 003-253-001

Zoning: Central Business (CB) with Visitor-serving Commercial (V) Overlay

General Plan Designation: Visitor-serving Commercial (VC)



I. RECOMMENDATION

Adopt the attached Resolution No. PC-17-005, thereby approving Project 16-1837-DP/CDP to allow the construction of a 560 square foot screened catering equipment storage area using three pre-fabricated “roll-off” containers located at the rear southeast corner of the subject property.

II. PROPOSED PROJECT DESCRIPTION

Development Plan: A request for a Development Plan to allow the construction of a screened catering equipment storage area at the rear, southeast corner of the subject property, in an area currently occupied by landscaping and two accessible parking stalls. The storage area would be comprised of three prefabricated “roll-off” containers, measuring 160 square feet, 160 square feet and 240 square feet, respectively, set on a raised decomposed granite surface. The containers would be painted dark green, and screened by a new eight-foot six-inch high vegetated wire mesh screen wall and a nine-foot high decorative wood trellis. Large potted plants would be placed around the perimeter to further aid in screening and creating the appearance of a landscape feature.

Existing vegetation would be removed from the rear corner of the property to accommodate the proposed project. Some of the existing royal palms in the area would be relocated onsite, in-between and around the proposed storage containers. Several of the existing pole mounted light standards in this corner of the lot would also be removed. The two existing accessible parking spaces would be relocated to the parking area directly in front of the main building entrance. A new accessible path of travel would be created from the ADA parking stalls to the building entry, requiring one of the existing above ground planters to be removed.

As part of the project, the existing, unpermitted three-foot six inch high metal wire fences on both the Carpinteria Avenue and Holly Avenue project frontages and two welded steel pedestrian gates along the project’s Carpinteria Avenue frontage would be removed.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics

The subject 16,434 square foot lot is presently improved with a 2,684 square foot commercial building and 24 uncovered parking spaces. The property is configured in an upside down “L” shape with its primary frontage oriented toward Carpinteria Avenue. Vehicle access is taken from a driveway on the property’s Carpinteria Avenue frontage. A one-way drive aisle leads through the property and parking lot to an exit along Holly Avenue behind the 4819 Carpinteria Avenue (future M3 Mixed Use building) property.

The project site is located in the City’s downtown core (design subarea 2a), also referred to as the Downtown “T.” This area is intended to function as the commercial and civic center of the City. Approved uses are generally limited to those that are visitor-serving commercial in nature; typical examples of which include hotels/motels, restaurants and retail establishments that serve the needs of visitors to the City.

The subject property is bordered by a retail bike shop ("Gonzo Cycles") immediately to the east on Carpinteria Avenue and a vacant lot immediately to the west (approved for the new M3 mixed use building). To the rear (i.e., south) is the Carpinteria Valley Lumber yard. Across Carpinteria Avenue from the subject property is Angel's Antiques and an adjacent private residence. Immediately adjacent to the proposed location for the new storage buildings is an existing two-story residential apartment, located at the rear southwest corner of the 4869 Carpinteria Avenue property (behind Gonzo Cycles).

The site is zoned Central Business (CB) with a Visitor-serving Commercial (V) Overlay and has a Visitor-serving Commercial (VC) land use designation.

Project History

The property was formerly occupied by the "El Buen Gusto" restaurant, who completed a comprehensive remodel and ~1,000 square foot addition to the existing building in 2003/4. The restaurant closed in 2015 and listed the property for sale.

Omni Catering purchased the property in 2015, completed interior tenant improvements, and began operating in the space as a catering business/kitchen later that year. A Business License was issued to Omni Catering in August 2015 upon the condition the new commercial use be operated in a manner consistent with the City's Visitor-serving Commercial zoning requirements (e.g., maintain a "storefront" open to the public and a space for onsite events). A sign permit was issued in 2016 to reface the existing pole sign with Omni Catering's logo.

In March 2016, the City observed that three large roll-off containers had been placed on the property, occupying multiple parking spaces in the rear parking lot, without the benefit of permits from the City. The containers are used to house Omni's materials and supplies for offsite catering events. It was also observed that the property's Carpinteria Avenue and Holly Avenue frontages had been enclosed with a metal wire fence and all Carpinteria Avenue (pedestrian and vehicle) entrances had been gated, again without prior permits from the City.

A Compliance Order was issued in May 2016 requiring Omni Catering to either remove the unpermitted structures or submit a Development Plan/Coastal Development Permit application seeking approval for a permanent onsite storage solution and to permit the as-built fences/gates. The applicant was informed that the installed driveway gate was unlikely to be approved as it did not meet the City's or Fire District's minimum design standards, and thus the applicant voluntarily opted to remove the unpermitted driveway gate. A Development Plan and Coastal Development Permit application for a permanent onsite storage arrangement was submitted to the City in August 2016.

Architectural Review Board (ARB) Review

The proposed project has been reviewed on two occasions by the ARB. At the initial review in December 2016, the applicant was proposing to use an eight-foot high wood fence and landscaping to screen the storage containers. The applicant also sought permission to keep the existing unpermitted post and wire fencing and metal gates along the two street frontages. Neither staff or the ARB were in favor of the proposal however, and the project was ultimately continued to a future hearing with

direction to either design a permanent building solution for the company's storage needs that architecturally relates to the primary building, or consider alternative screening designs that could function/read as more of a decorative landscape feature. The Board was also in unanimous agreement that the unpermitted post and wire fence, and metal gates did not contribute to an attractive streetscape and should instead be removed.

After working with staff on redesign options, a revised project concept returned to the Board at their March 16th, 2017 meeting. The revised design, as generally described above in the project description section, proposes to screen the storage containers with a metal wire lattice that would support and be filled in with a climbing vine. A decorative wood trellis would be built in front of the containers, integral to the wire lattice. The trellis would project out in front of, and above the storage containers as well to create the appearance of a landscape feature. Landscaping would be planted in among, and around, the containers for screening and softening purposes. The unpermitted fences and gates were identified as being removed.

The Board more favorably reviewed the revised proposal, noting that it had generally responded to their initial feedback with only minor additional suggested refinements for the current design. Ultimately, the ARB recommended preliminary approval of the revised design with the following comments:

- Storage containers to be painted a natural dark green shade;
- Storage container doors to be obscured; no painted logos;
- Use large potted plants around screen perimeter;
- Train climbing vines onto trellis members;
- Double beams to be 3"x6"; horizontal pickets to be blocked 3"x4".

A copy of the Minutes from the December 15, 2016 and March 16, 2017 ARB Meetings are attached as Exhibit 2.

Updated plans reflecting some of the Board's comments are provided for the Planning Commission's review. Updates include painting the containers a dark green shade and removing the painted logos from the container doors, adding large potted plants around the perimeter and specifying dimensions for the trellis framing.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to Sections §15303 [New Construction or Conversion of Small Structures] §15304 [Minor Alterations to Land] of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). Class 3 Categorical Exemptions consist of projects involving construction of limited numbers of new, small facilities or structures, including miscellaneous accessory structures. Class 4 Categorical Exemptions consist of minor alterations in the condition of land, water and/or vegetation which do not involve the removal of healthy, mature, scenic trees, and includes minor grading and clearing, and landscaping. As the project involves clearing a small developed area to accommodate the construction of a small enclosed storage area for an existing commercial use in an urbanized part of the City, the project can be found consistent with these standards, and the exemptions are therefore appropriate.

For more detail, see the attached Notice of Exemption, included as Exhibit 3.

V. ANALYSIS

The discussion below provides an analysis of the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code, and with the policies and objectives of the General Plan/Coastal Plan.

Zoning Code Requirements

Central Business (CB) District, CMC §14.22 & Visitor-serving Commercial (V) Overlay District, CMC §14.44

The subject property is located in the CB zone district and within the V Overlay district. These designations apply to properties located in the City's downtown commercial core and are generally restricted to commercial uses that will serve the needs of visitors to the City as well as local residents. Permitted uses generally include restaurants, transient lodging facilities, and service and retail uses normally associated with the needs of visitors.

The existing use of the property for a catering/events planning business with the ability to host small onsite events can be found to be generally consistent with the types of uses desired in this zoning/overlay district. The proposed addition of the accessory storage area is permissible in this zone/overlay district as a use that is accessory and customarily incidental to the primary permitted use.

An analysis of the project's conformance to the applicable CB zoning district development standards is provided in the table below. As proposed, the project would meet all of the minimum zone district requirements.

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	35 feet from centerline of street or 5 feet from property line, whichever is greater.	Existing restaurant: 6 feet
Side	0 feet	Existing restaurant: 22 feet Proposed storage buildings: 0 feet
Side	0 feet	Existing restaurant: 0 feet
Rear	0 feet	Existing restaurant: 26 feet Proposed storage buildings: 0 feet
Height	30 feet	Existing restaurant: 13 feet 6 inches Proposed storage buildings: 8 feet 6 inches
Landscaping	5% min. (822 square feet) to	Existing: 19.2% (3,149 square feet)

	20% max. (3,287 square feet)	Proposed: 18.6% (3,060 square feet)
Parking	1 space/500 square feet gross building area + 1 space/50 square feet seating area (10 spaces)	Existing: 24 spaces Proposed: 20 spaces

Outdoor Storage of Materials

Pursuant to Carpinteria Municipal Code (CMC) §14.20.120, “open storage of materials and equipment shall be permitted only when incidental to the permitted use and where the main structure is located on the front portion of the lot.” Additionally, outside storage areas are required to be heavily screened. Similarly, mechanical equipment, trash enclosures and similar elements are required to be screened from surrounding properties by use of a wall or fence, or enclosed within a building.

As designed, it appears the proposed arrangement of placing the storage containers at the rear interior corner of the lot, and obscuring them within a landscape screening and trellis structure, would meet the minimum requirements of the zone district. The proposed use, as storage of catering/event equipment, would be accessory to the primary use of the property.

General Plan/Coastal Plan

The project site has a General Plan/Coastal Land Use Plan designation of Visitor-serving Commercial (VC). The project site is in Design Subarea 2a (downtown core) in the Community Design Element of the City’s General Plan/Coastal Plan and is subject to the following policies:

Land Use Element

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City’s edge.*

Policy LU-3d: *Establish a commercial sector that balances the retail and service needs of citizens and tourists.*

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with principles established in the Community Design Element.*

Policy LU-3g: *Provide for a range of business activities that bring vitality, revenue, and employment to Carpinteria and are compatible with its small town character.*

Omni Catering uses the existing storefront as their commercial kitchen, office, and sales space in support of their catering business. Potential customers and clients visit the business to plan and execute catered events throughout the Santa Barbara south coast. Omni also maintains a small onsite dining room available to host and cater small private events and dinner parties.

The proposed project would establish a screened onsite storage area to support Omni Catering's offsite events. The storage containers would house Omni's offsite event equipment and would be accessed regularly for planned events.

While staff has in the past, and continues to, encourage Omni to continue to expand their onsite visitor-serving commercial offerings (e.g., operating a lunch counter, providing additional onsite events capabilities, etc.), staff believes the proposed equipment storage area can be supported as an incidental accessory use that would not materially interfere with any future onsite expansion of their operations. In light of the proposed storage area's placement and aesthetic screening treatments, and abundance of onsite parking, it can be found to be generally compatible with the types and character of development desired in the City's downtown core.

Objective LU-5: *Maintain availability of agriculture, coastal -dependent industry and visitor-serving commercial development including hotels/motels, restaurants and commercial recreation uses.*

Policy LU-5c: *The City shall prohibit the removal or conversion of visitor-serving development unless it will be replaced by development offering comparable visitor-serving opportunities.*

Implementation Policy 1: *A visitor serving zone district shall be maintained as a part of the city zoning regulations with the purpose of providing adequate opportunity for commercial development that will serve visitors to the city. The visitor serving zone district shall apply to all visitor-serving commercial designated parcels.*

As noted above, the existing business can be found to meet the minimum requirements for a business located within the Visitor-serving Commercial district. The proposed storage area would not materially alter this arrangement or preclude any future further intensification of onsite visitor-serving commercial offerings.

Community Design Element

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

The proposed permanent storage structures are prefabricated roll-off containers that would be set on the ground at the rear interior corner of the lot and screened with a landscaped metal mesh screen wall and decorative wood trellis to minimize their visual prominence from Carpinteria and Holly Avenues. The intent of the screening apparatus is for it to appear as a planted landscape feature as experienced from nearby public spaces.

The proposed solution provides a relatively inconspicuous arrangement for accommodating Omni's storage needs in a manner that remains readily accessible for Omni employees while remaining visually subordinate to the primary storefront and avoiding impacts to a significant number of the property's existing onsite parking spaces. Sufficient area remains in and around the storage area to provide decorative plantings, (including relocating some of the existing mature palms to spaces

around and in-between the storage containers), to further minimize the storage containers' visibility from the nearby public streets or adjacent properties.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

The proposed structures and their corresponding screening enclosure are lower in height than surrounding structures and thus would have no impact on existing mountain views. Views of the ocean are not available from the project area.

Objective CD-7: *Enhance and maintain the Linden Avenue downtown core, the Carpinteria Avenue commercial core, the Eugenia Professional office area, the Casitas Village, Shepard's place Shopping Center, and the Cindy Lane-Mark Avenue industrial park districts.*

The proposed storage solution would not have a significant adverse effect on the Carpinteria Avenue corridor or the downtown "T." The storage containers are relatively small in size and scale, would be thoroughly screened from view, and would function as an accessory use/structure to the principal permitted use, providing an onsite location to store equipment and supplies for offsite catering events hosted/operated by Omni Catering.

Policy CD-7c: *Loading and trash facilities should be located where they are screened from view. The use of alley and service roads is encouraged for these facilities.*

The storage container enclosure would be somewhat visible from Carpinteria Avenue looking down the subject property's driveway, although it would not be readily apparent, as it would generally resemble a landscape feature. Loading and unloading activities from the storage containers would likely remain periodically visible from Carpinteria Avenue, but would be concentrated toward the rear of the lot, approximately 100-120 feet away from the nearest public sidewalk.

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas which maintain and enhance the quality of Carpinteria's streetscape.*

Policy CD-10c: *Commercial and mixed-use frontages should generally have wide sidewalks adequate to encourage customers and residents to walk, shop and linger in the public right-of-way. Commercial buildings should have large windows and entries on the street at the ground level. Residential ground floor uses should be set up or back from the street enough to afford privacy within the dwelling.*

Policy CD-10e: *Frontages with existing uses such as the parking, loading or storage of vehicles should be screened with walls and plantings that are consistent with the neighborhood character. These elements should be in scale with pedestrians.*

The proposed storage area would not have a significant effect on the property's existing established frontages. The new screened storage enclosure would be located at the rear interior corner of the lot, approximately 100-120 back from the nearest public sidewalk and partially screened by existing

landscaping and parked cars in the Carpinteria Avenue-facing parking lot. The enclosure has been designed to further retreat from view and to appear as a decorative landscape feature. As part of the project, the existing unpermitted post and wire fencing and pedestrian gates would be removed from both the Carpinteria Avenue and Holly Avenue frontages.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

CD-13-Implementation Policy 6: *Exterior lighting on commercial development shall be designed to compliment the building and shall be at the minimum height and intensity required to ensure public safety.*

The existing setting features decorative wall-mounted lanterns and pole-mounted lights with glass domes set around the perimeter of the parking lot. Two of the existing pole-mounted lights would need to be removed from the parking lot to accommodate the new storage enclosure. Proposed new lighting is limited to down lights attached to the underside of the proposed trellis structure, centered over the door to each storage container.

Subarea 2a Design Guidelines

Objective CDS2A-1: *Preserve and strengthen the visual and physical connections between the downtown and the beach, mountains, and other neighborhoods.*

Objective CDS2A-2: *Preserve and enhance the downtown's historic status as the center of commercial activity of the city by encouraging a range of uses that serve both residents and visitors.*

Policy CDS2A-b: *Ensure that intensified land uses within the subarea support a lively place to visit, live, work and shop, and that the scale and character of the District remain consistent with the city's "small beach town" image.*

Policy CDS2A-c: *Encourage the gradual but systematic transformation of Carpinteria Avenue from a highway commercial strip to an integrated downtown street similar in character to Linden Avenue.*

Policy CDS2A-d: *Enhance the pedestrian character of the District's streets, plazas, paseos, parks and lanes.*

The above policies promote an attractive, well-designed downtown streetscape environment. The proposed storage solution, which was reviewed and recommended for approval by the City's Architectural Review Board, can be found consistent with the intent of these policies. The storage enclosure has been designed to be visually discreet and to appear as a decorative landscape feature from nearby public spaces. The enclosure has been located where it is least likely to interfere with

the property's existing parking and circulation layout. Overall, it is not anticipated that the requested storage enclosure as proposed would detract from, or interfere with, ongoing efforts to enhance the downtown Carpinteria Avenue streetscape.

Noise Element

Policy N-4a: *The City will require that automobile and truck access to industrial and commercial properties adjacent to residential areas be located at the maximum practical distance from the residential area.*

Policy N-4c: *The City will require that the hours of truck deliveries to industrial and commercial properties adjacent to residential uses be limited unless there is no feasible alternative or there are overriding transportation benefits by scheduling deliveries at another hour.*

Objective N-5: *The City will minimize the effects of nuisance noise effects on sensitive land uses.*

Policy N-5a: *The City will address nuisance noise on a case-by-case basis and develop appropriate mitigation measures such as scheduling of events or activities during hours when effects would be minimal.*

The subject property and its immediate surrounding neighbors are designated for commercial uses, however several residences are also located in the vicinity. City staff has previously received complaints concerning truck deliveries/pick-ups in the early morning hours associated with the Omni Catering business.

While the proposed project would utilize existing onsite parking/loading areas and locate the storage area as far toward the interior of the lot as possible, opportunities remain for nuisance noise complaints associated with loading and unloading from the proposed storage enclosure. In an effort to address these impacts, a recommended Condition of Approval has been included that requires Omni Catering employees to be mindful of nearby residences, making use of reasonable measures to minimize noise (e.g., turn off motors, avoid heavy equipment operation, etc.), and to keep loading/unloading activities to a minimum outside of the hours of 7:00 a.m to 10:00 p.m.

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation have been included in the attached Conditions of Approval.

VI. DEVELOPMENT IMPACT FEES

A series of ordinances and resolutions adopted by the City Council require the payment of various development impact fees. If the project were approved as submitted, it would be subject to the fees as shown in the following table. The amounts shown are estimates only. The actual amounts will be calculated in accordance with the fee resolutions in effect when the fees are paid. The Fees are updated annually in July.

The developer of a project that is required to pay development impact fees may apply to the City Council for a reduction, adjustment or waiver of any of those fees based on the absence of any reasonable relationship or nexus between the impacts of the proposed development and either the amount of the fee(s) charged or the type of facilities to be financed. The application must be in writing and must be submitted to the city clerk either ten days prior to the public hearing on the development permit for the project, or if no development permit is required, at the time of building permit application.

Estimated Development Impact Fees as of May 30, 2017

The following is an estimate for 560 square feet of net new commercial space.

Fee Type	Fee Per Square Foot Unless noted otherwise	Total Fee
Streets and Thoroughfares	\$1.55	\$868.00
Highway Interchanges & Bridges	\$13.13	\$7,352.80
Traffic Control Facilities	\$2.49	\$1,394.40
General Facilities & Equipment	\$0.27	\$151.20
Storm Drainage Facilities	\$11,718.34 / acre	N/A
Open Space Land Acquisition Fees	\$2.88	\$1,612.80
TOTAL		\$11,379.20

Other Estimated Fees

Fee Type	Fee Per Unit Unless noted otherwise	Total Fee
Carp.-Summerland Fire District Fire Protection Certificate	\$205.00	\$205.00
School District	\$0.33/ non- habitable sq. ft. (560 sq. ft.)	\$184.80
TOTAL		\$389.80

VII. ACTION OPTIONS

1. Adopt Resolution no. PC-17-005 thereby approving Project 16-1837-DP/CDP to construct a 560 square foot screened catering equipment storage area using three pre-fabricated "roll-off" containers and adopt the Findings in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C. (staff's recommendation)
2. Direct the applicant to prepare project revisions and return to the next Commission meeting.

3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-17-005

Attachment A – Findings

Attachment B – Preliminary Plans

Attachment C – Recommended Conditions of Approval

Exhibit 2 December 15, 2016 & March 16, 2017 ARB Meeting Minutes

Exhibit 3 Notice of Exemption

Exhibit 1
Resolution PC-17-005

Omni Catering Storage Enclosure
4835 Carpinteria Avenue

PC Hearing, June 5, 2017

RESOLUTION NO. PC-17-005

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF
CARPINTERIA APPROVING A DEVELOPMENT PLAN AND COASTAL
DEVELOPMENT PERMIT NO. 17-1837-DP/CDP TO ALLOW THE CONSTRUCTION
OF A 560 SQUARE FOOT SCREENED EQUIPMENT STORAGE ENCLOSURE
LOCATED AT 4835 CARPINTERIA AVENUE (APN 003-253-001)**

REQUESTED BY SARAH DANDONA, OMNI CATERING.

WHEREAS, the Planning Commission of the City of Carpinteria has considered an application for a Development Plan and Coastal Development Permit filed by Sarah Dandona, Omni Catering; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on May 31, 2017; and

WHEREAS, the Carpinteria Architectural Review Board has considered the proposed project on December 15, 2016 and March 16, 2017, and recommended preliminary approval to the Planning Commission; and

WHEREAS, the Planning Commission has conducted a noticed public hearing and received evidence regarding the application for the Development Plan and Coastal Development Permit; and

WHEREAS, the project is exempt from the California Environmental Quality Act under Guidelines Sections §15303 and 15304 as the project includes construction of a small accessory structure/use in an urbanized part of the City; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan and Coastal Development Permit are approved making the findings outlined in Attachment A.
2. The Development Plan and Coastal Development Permit consistent with the plans shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 5th day of June 2017, by the following vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

ABSTAIN: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 5th day of June 2017.

Exhibit 1
Attachment A: Findings

Omni Catering Storage Enclosure
4835 Carpinteria Avenue

PC Hearing, June 5, 2017

ATTACHMENT A: FINDINGS

PLANNING COMMISSION HEARING PROJECT 17-1837-DP/CDP JUNE 5, 2017

OMNI CATERING STORAGE ENCLOSURE

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Development Plan and Coastal Development Permit was submitted on August 4, 2016, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on May 31, 2017. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at duly noticed public hearings which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

- a. The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemptions §15303 (a, e) [new construction or conversion of small structures] and §15304 [minor alterations to land] as the project meets the following criteria: The construction of a small accessory structure/use in an urbanized part of the City. Minor vegetation clearing and demolition of two parking spaces would be required to accommodate the new structure. The project site does not contain any sensitive species or habitats, or cultural resources.

1.3 Development Plan Findings

- a. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

As presented in the staff report prepared for the Planning Commission hearing of June 5, 2017, and herein incorporated by reference, the project involves constructing a screened storage enclosure area pursuant to Chapter 14.22, Central Business (CB) and Chapter 14.44, Visitor-serving/Highway Commercial (V) Overlay of the City's Zoning Code. The proposed storage area would be screened from view and designed to comply with the applicable provisions for the CB zone district. The construction/use of the storage area would constitute an accessory use/structure on the property, which is permissible provided it is accessory and incidental to the principal permitted use. The continued primary use of the site for a catering and event planning business is an allowed use in the CB zone district and is also consistent with the types of uses allowed in the Visitor-serving Commercial Overlay district.

The project is also consistent with the General Plan's Land Use, Community Design, and Noise Element Objectives and Policies as discussed in the Planning Commission staff report. The General Plan encourages new visitor-serving commercial businesses in the downtown to increase the vitality and promote economic development in the City's commercial core. Allowing the proposed accessory structure would not materially detract from the principal permitted use, which is consistent with the Visitor-serving Commercial (VC) land use designation of the site. The design and placement of the enclosure has been developed in a manner that remains compatible with the City's "small beach town" character. The proposal has been reviewed and recommended for approval by the City's Architectural Review Board who found the most current iteration of the project consistent with the applicable design criteria and compatible with the surrounding commercial buildings. Improvements to the site would address and improve accessibility needs by relocating the existing accessible parking spaces closer to the building entrance. Appropriate measures are included in the conditions of approval to address potential noise impacts associated with the construction, and ongoing use, of the storage enclosure. Thus, this finding can be made.

- b. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

The subject parcel is not located within a known flood or fire hazard zone. The new storage enclosure would also not contain any habitable space. It will be required to be built/constructed to any applicable Building Code requirements for such structures. Thus, the proposed density of development is appropriate to the site and does not pose a geologic, flood or fire hazard to its occupants or neighboring uses.

- c. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The site does not contain any environmentally sensitive habitat area nor does the project have the ability to impact fish or wildlife given the site is an existing developed lot in an urbanized part of the City. There are no known sensitive resources, native vegetation or specimen trees that would be impacted. Due to the very small amount of new/replaced impervious surfaces associated with the project, none of the City's storm water requirements would apply.

- d. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

There are no known easements recorded against the property for public access or to any public agency. Similarly no such easements are required as a condition of approval for this project.

- e. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

Concerning fire, sanitary, water and police services, the agencies potentially affected by this project have been notified and have indicated an ability to continue to serve the property. The proposed project would not by itself, or cumulatively, impose an increased demand on public services that would adversely affect the availability of these services to support existing or future development. The project will however be required to pay appropriate mitigation fees, connection fees and/or development impact fees to the respective agencies to pay for its incremental share of any future infrastructure upgrades to these services associated with the proposed improvements/additions.

With respect to traffic circulation, the surrounding road network in the project area generally operates at high levels of service. The addition of an onsite equipment storage area would not increase the number of vehicle trips associated with the existing use. In

terms of parking, the project site would continue to provide more than its current required amount of parking. Therefore, this finding can be made.

- f. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

The proposed project involves constructing an accessory equipment storage enclosure for the existing tenant/property owner. The storage enclosure is desired by the applicant to securely contain equipment used in catering/hosting offsite events. The equipment is regularly accessed throughout the week and needs to be readily available. The proposed solution serves the applicant's needs while also fitting the character of the site/surroundings. The enclosure has been designed to appear as a decorative landscape feature and would not be prominently visible from surrounding public spaces.

Basic conditions have been included in the attached conditions of approval requiring final review by the ARB for the new storage enclosure. Additional conditions requiring that the screening enclosure and its landscaping be maintained for the life of the project have also been included to ensure the general welfare of the surrounding downtown. Finally, noise conditions have been included to address both initial construction-related noise and noise considerations associated with the ongoing use of the storage enclosure. With the inclusion of these conditions, the proposed project would not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.

1.4 Coastal Development Permit Findings

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the permit requested may be issued based on the following findings:

- a. *The proposed development is in conformity with the City's certified Local Coastal Program.*

The project is consistent with the Local Coastal Program as discussed in the Planning Commission staff report dated June 5, 2017 and incorporated herein by reference. The project involves constructing an accessory storage enclosure in support of the principal permitted use as a catering and events planning establishment pursuant to Chapter 14.22, Central Business (CB) and Chapter 14.44, Visitor-serving Commercial (V) Overlay of the City's Zoning Code. Such uses are permissible as an accessory and incidental use to the primary use in the CB zone district.

The primary use of the property would remain as a catering/events planning business. This is an allowed use in the Downtown "T" district where there are specific policies in the General Plan/Coastal Land Use Plan that encourage the retention, and expansion, of visitor-serving commercial uses. The proposed storage enclosure design has been found to be consistent with the applicable policies of the Community Design Element which

promotes appropriately scaled and pedestrian-oriented development in the downtown. The City's Architectural Review Board expressed their support for the current iteration of the proposed project.

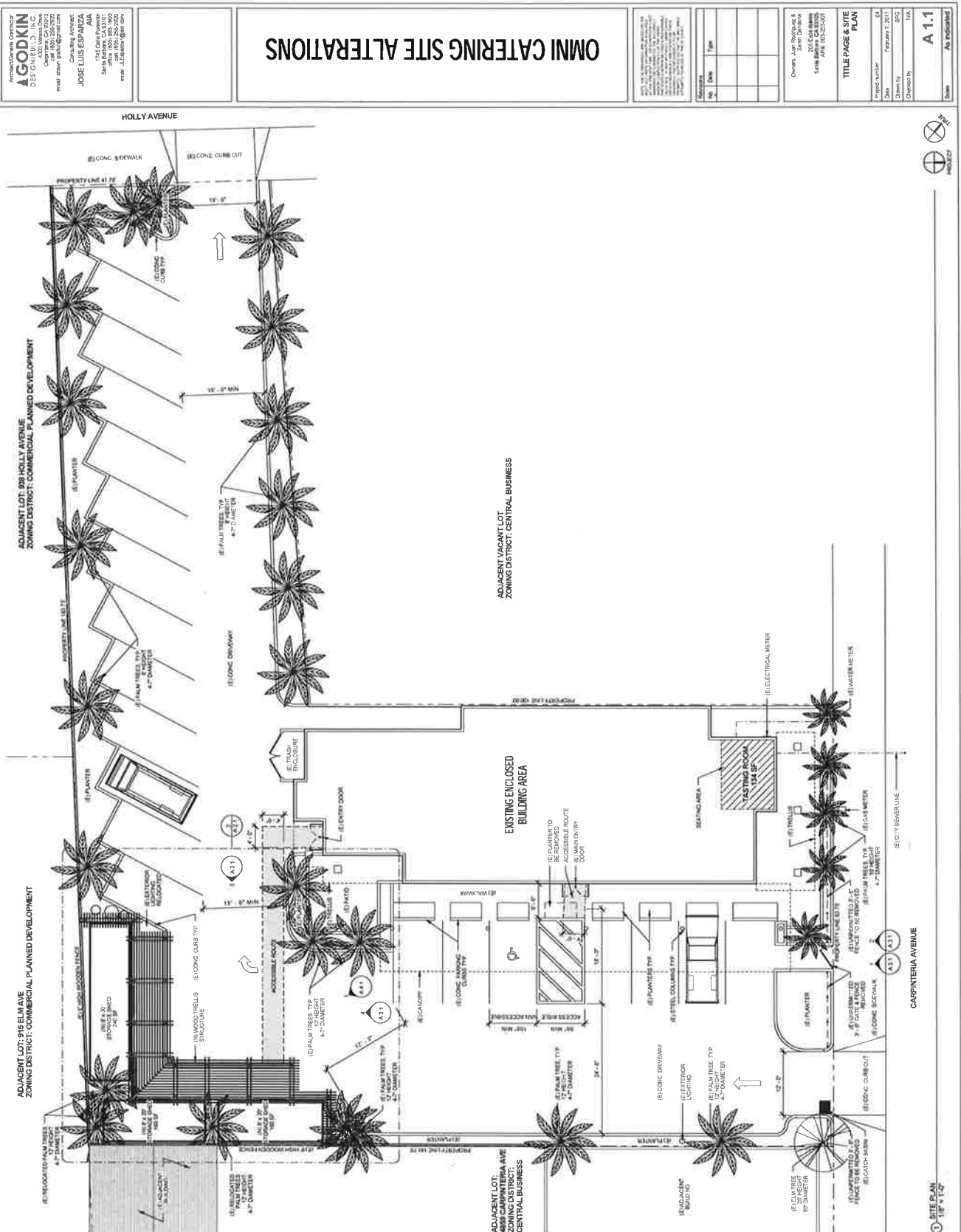
The project is also consistent with the applicable objectives and policies of the Noise Element of the GP/CP. No increase in the number of vehicle trips or parking demand is anticipated beyond that currently existing. Appropriate measures are included in the project conditions of approval to address any potential impacts related to both construction noise and the ongoing use of the storage enclosure.

Exhibit 1
Attachment B: Reduced Plans

Omni Catering Storage Enclosure
4835 Carpinteria Avenue

PC Hearing, June 5, 2017

SHEET INDEX

PROJECT DATAVICINITY PLAN

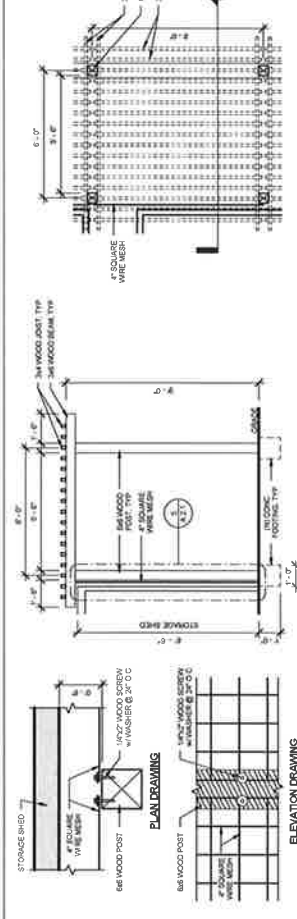
Architect/Engineer
AGODKIN
 335 GARDEN ST. N.E.
 ATLANTA, GA 30309
 404.525.2525
 www.agodkin.com

JOSE LUIS ESPINOZA
 1785 GARDEN ST. N.E.
 ATLANTA, GA 30309
 404.525.2525
 jose.lopez@agodkin.com

OMNI CATERING SITE ALTERATIONS

VEGETATION LIST	COMMON NAME	NOTES
ROSEMARY	ROSEMARY	NO NEW PLANTS PROPOSED TO BE REMOVED. ALL REMOVED PLANTS TO BE REPLACED WITH EQUIVALENT PLANTS TO MAINTAIN THE EXISTING LANDSCAPE.
ROSEMARY	ROSEMARY	PROPOSED FOR USE IN DEMONSTRATION.

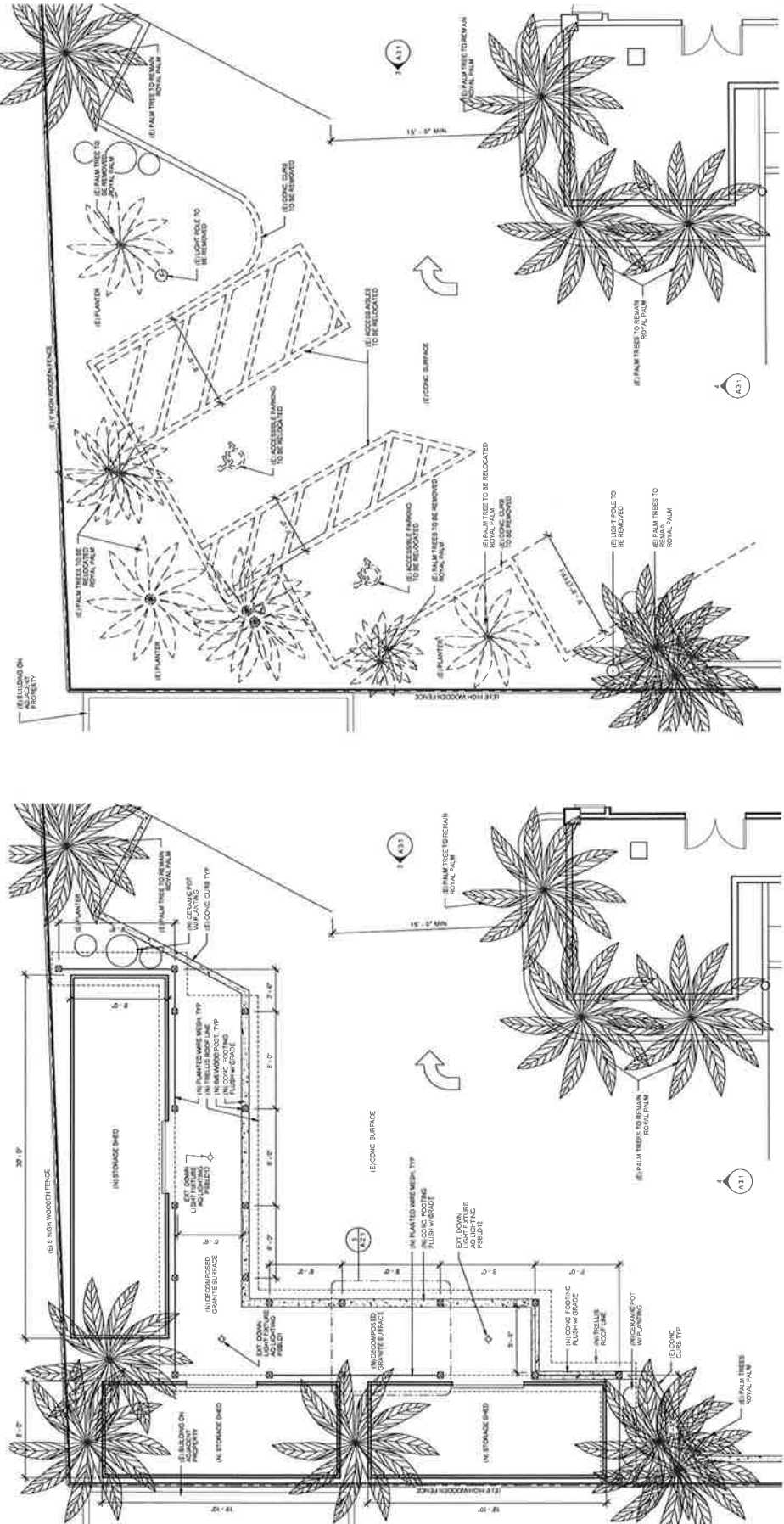
VEGETATION LIST	COMMON NAME	NOTES
ROSEMARY	ROSEMARY	NO NEW PLANTS PROPOSED TO BE REMOVED. ALL REMOVED PLANTS TO BE REPLACED WITH EQUIVALENT PLANTS TO MAINTAIN THE EXISTING LANDSCAPE.
ROSEMARY	ROSEMARY	PROPOSED FOR USE IN DEMONSTRATION.



1. SECTION - TYPICAL
 1/4" = 1'-0"

2. SECTION - TYPICAL
 1/4" = 1'-0"

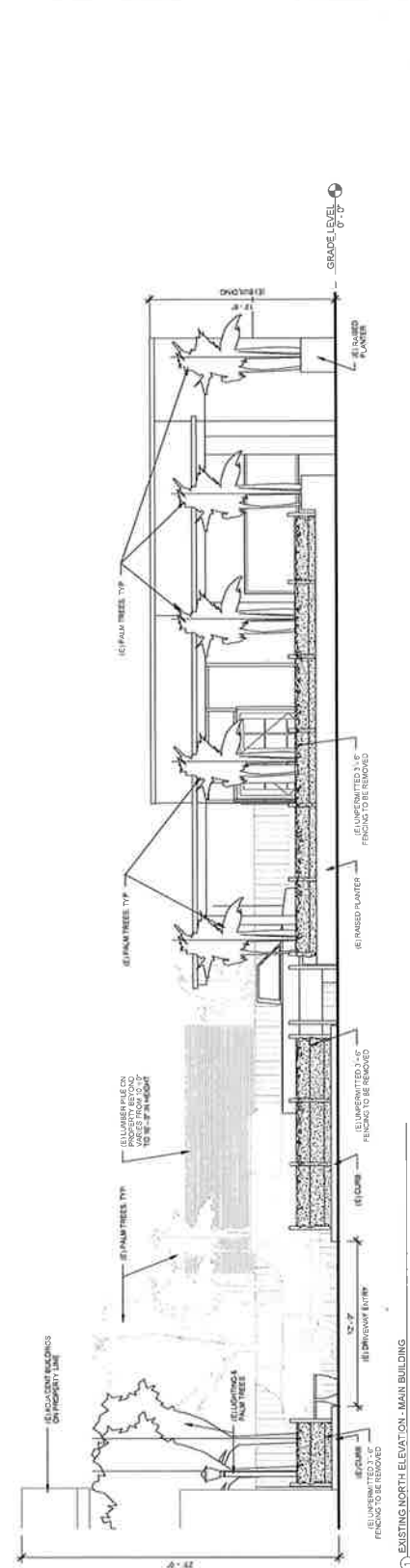
3. SECTION - TYPICAL
 1/4" = 1'-0"



4. FLOOR PLAN - PROPOSED STORAGE AREA
 1/4" = 1'-0"

5. FLOOR PLAN - EXISTING CONDITIONS
 1/4" = 1'-0"

6. FLOOR PLAN - EXISTING CONDITIONS
 1/4" = 1'-0"



EXISTING NORTH ELEVATION - MAIN BUILDING

Project/Client Contact:
GODKIN
 2550 Godwin Drive
 Suite 100
 San Jose, CA 95128
 Tel: (408) 255-2222
 Fax: (408) 255-2223
 Email: info@godkin.com
 Consulting Architect:
JOSE LUIS ESPINOSA
 1144 Calle Pineda
 Suite 100
 San Jose, CA 95128
 Tel: (408) 255-2222
 Email: jlespinosa@godkin.com

OMNI CATERING SITE ALTERATIONS

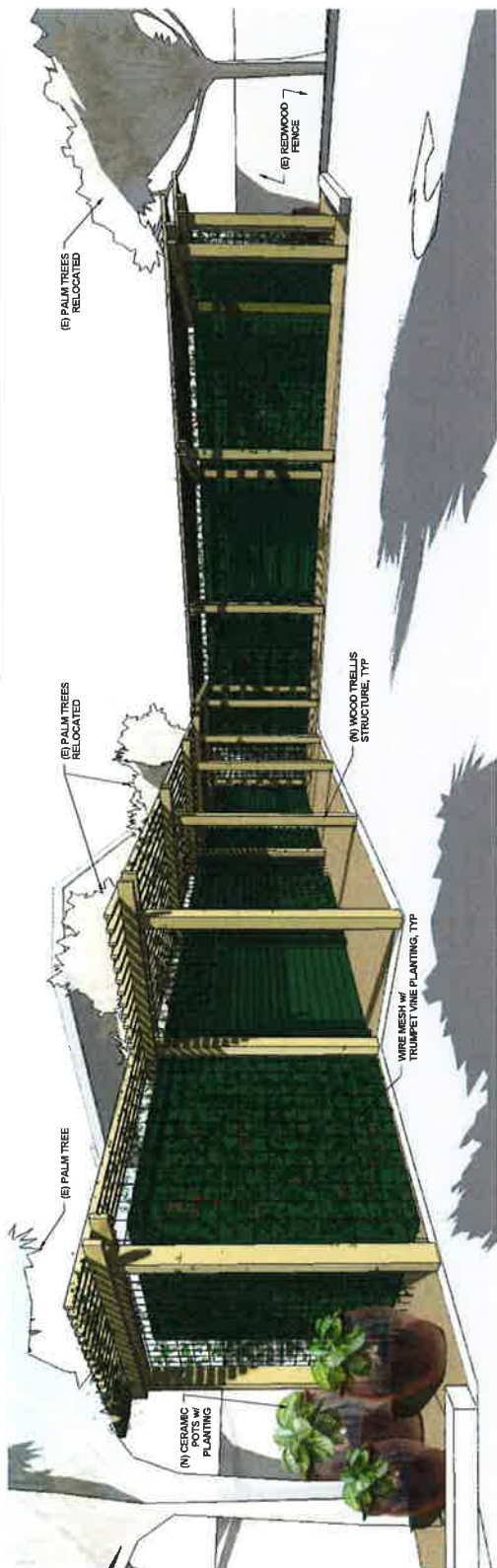
Owners: San Francisco 4
 Giants Stadium
 2575 California Street
 San Francisco, CA 94115
 Tel: (415) 774-4000
 Fax: (415) 774-4001
 Email: info@sfgiants.com

Project Number: 04
 Date: February 1, 2017
 Drawn By: JLE
 Checked By: JLE
 Scale: 1/8" = 1'-0"

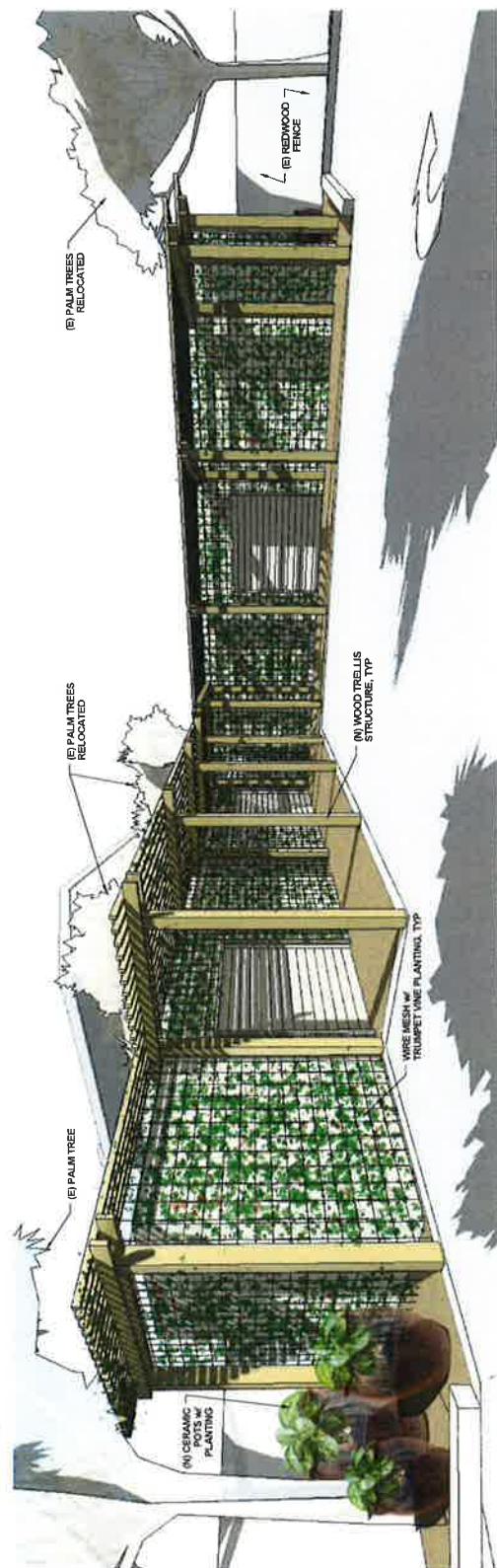
REVISIONS
 1. 02/01/17
 2. 02/01/17
 3. 02/01/17
 4. 02/01/17
 5. 02/01/17
 6. 02/01/17
 7. 02/01/17
 8. 02/01/17
 9. 02/01/17
 10. 02/01/17

A 4.1
 As Indicated

				
EXT. DOWN LIGHTING AS LIGHTING PSBLD 12	CALATHEA ROSEOPICTA	TRUMPET VINE	WIRE MESH SCREEN MICHOLIS 4' SQUARE	STORAGE SHED PAINT COLOR FOREST GREEN PANTONE 357 C



② STORAGE AREA W/ SHEDS PAINTED DARK FOREST GREEN
NOT TO SCALE



① STORAGE AREA W/ SHEDS PAINTED TO MATCH EXISTING BUILDING
NOT TO SCALE

Exhibit 1
**Attachment C: Recommended Conditions of
Approval**

**Omni Catering Storage Enclosure
4835 Carpinteria Avenue**

PC Hearing, June 5, 2017

**PLANNING COMMISSION HEARING
PROJECT 16-1837-DP/CDP
4835 CARPINTERIA AVENUE (APN 003-253-001)
JUNE 5, 2017**



**ATTACHMENT C: CONDITIONS OF APPROVAL
(OMNI CATERING STORAGE ENCLOSURE)**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated June 5, 2017), and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows:

A request for a Development Plan and Coastal Development Permit to allow the construction of a screened catering equipment storage area at the rear, southeast corner of the subject property, in an area currently occupied by landscaping and two accessible parking stalls. The storage area would be comprised of three prefabricated "roll-off" containers, measuring 160 square feet, 160 square feet and 240 square feet, respectively, set on a raised decomposed granite surface. The containers would be painted dark green, and screened by a new eight-foot six-inch high vegetated wire mesh screen wall and a nine-foot high decorative wood trellis. Large potted plants would be placed around the perimeter to further aid in screening and creating the appearance of a landscape feature.

Existing vegetation would be removed from the rear corner of the property to accommodate the proposed project. Some of the existing royal palms in the area would be relocated onsite, in-between and around the proposed storage containers. Several of the existing pole mounted light standards in this corner of the lot would also be removed. The two existing accessible parking spaces would be relocated to

the parking area directly in front of the main building entrance. A new accessible path of travel would be created from the ADA parking stalls to the building entry, requiring one of the existing above ground planters to be removed.

As part of the project, the existing, unpermitted three-foot six inch high metal wire fences on both the Carpinteria Avenue and Holly Avenue project frontages and two welded steel pedestrian gates along the project's Carpinteria Avenue frontage would be removed.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

PROJECT SPECIFIC CONDITIONS

2. The applicant shall obtain final review from the Architectural Review Board prior to issuance of a Building Permit. Plans shall be submitted for final ARB review and shall include complete working drawings including but not limited to lighting, colors, exterior materials, landscaping and irrigation.
3. The existing unpermitted metal post and wire fences and wrought iron gates shall be removed from both property frontages prior to Building Permit issuance.
Timing & Monitoring: CDD staff shall confirm appropriate removal of these structures before issuance of any Building Permits.
4. Any new or replaced exterior night lighting installed on the project site, including but not limited to building mounted lights and parking lot lighting, shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels.
Plan Requirements: The locations and designs of all new or replaced exterior lighting fixtures shall be depicted on a Lighting Plan to be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD and ARB shall review a Lighting Plan for compliance with this measure prior to approval of a building permit for the development. CDD shall site inspect prior to occupancy clearance.
5. All materials and colors used in construction and all landscape materials shall be as represented to the Architectural Review Board and any deviation will require the express review of the Board.
6. The applicant shall be responsible for maintaining the premises in a clean and orderly condition at all times. This includes, but is not limited to the following:

- a. The parking lot shall be cleaned on a regular basis. Cleaning activities shall include the removal of litter; spot cleaning of oil, fuel and other automotive leaks; vacuum sweeping and pressure washing when necessary;
- b. All trash/recycling shall be properly disposed of in the appropriate receptacles provided on site. The applicant shall regularly inspect the perimeter of the site to ensure that trash is not leaving the premises via wind or runoff;
- c. All structures and improvements on site shall maintain a tidy appearance and be kept in good working order; and
- d. All site landscaping shall be adequately maintained

Plan Requirements: This requirement shall be included in the approved conditions of approval signed by the applicant prior to approval of any Building Permit for physical development. **Timing:** CDD shall monitor in the field as required.

Monitoring: CDD staff shall periodically inspect the site to ensure compliance with this condition. If it is found that the site is not being maintained in a manner consistent with this condition, the matter shall be referred to the City's Code Compliance staff for resolution.

- 7. All mechanical equipment including heating and air conditioning units, and trash receptacle areas, shall be completely screened from surrounding properties and shall be enclosed within the building, parapet or similar screening enclosure as approved by the ARB. **Plan Requirements:** The locations of all exterior mechanical equipment shall be depicted on a Roof and/or Mechanical Equipment Plan to be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD and ARB shall review the Roof and/or Mechanical Equipment Plan for compliance with this measure prior to approval of a Building Permit for the development. Building Inspector shall inspect structures upon completion to ensure that mechanical equipment has been installed consistent with the approved Plan.
- 8. An enclosure for all trash and recycling solid waste shall be provided onsite. Said enclosure shall be sufficient in size and capacity to contain all solid waste containers/bins/dumpsters and shall be designed and constructed to screen all solid waste containers from public view. All solid waste containers shall be lidded and/or the enclosure structure shall be roofed. Said enclosure shall be accessible at all times. Enclosure area shall comply with all specifications outlined in CMC 15.09.030. **Plan Requirements:** Enclosure area shall be depicted on plans submitted for Building Permit review and shall include construction specifications/details for screening, access and roof coverage (as applicable). **Timing:** CDD and/or Public Works staff shall verify the enclosure is constructed consistent with Plan requirements prior to Occupancy clearance. **Monitoring:** CDD and Public Works staff shall periodically monitor the site to ensure the enclosure is maintained and functions adequately.

9. The use of, and access to, the onsite storage enclosure shall be limited so as to not constitute a public nuisance. Applicants shall take reasonable measures, including but not limited to, restricting regular access to the storage enclosure to between the hours of 7:00 a.m. and 10:00 p.m. whenever possible, avoiding excessive idling of vehicles or equipment during periods of loading/unloading and keeping outdoor noise to a minimum, so as to avoid nuisance noise impacts for nearby residents. **Plan Requirements:** The applicants shall be responsible for complying with the restriction on nuisance noise impacts. **Timing:** The restriction shall apply during all business operations. **Monitoring:** CDD shall periodically inspect to ensure compliance and respond to any filed noise complaints.
10. The onsite parking lot shall be used for all loading/unloading and deliveries. Business loading/unloading and deliveries shall not be allowed to be staged on Carpinteria Avenue except for typical mail/parcel delivery (i.e., USPS and similar).
11. All existing parking spaces shall be maintained for the life of the project, in conformance with that depicted on the approved plans.

DEVELOPMENT PLAN CONDITIONS

12. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the grading plans submitted to Public Works for review prior to issuance of a Building Permit. **Monitoring:** Public Works shall site inspect prior to the commencement and as needed during all grading and construction activities.
13. Sixty five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by the California Green Building Code and Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During grading and construction, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on grading and construction plans. Applicant shall complete the Post-Construction Waste Reduction and Recycling Summary Report and submit it to Public Works for review and approval. **Timing:** Materials shall be recycled as necessary throughout construction. All materials shall be recycled prior to occupancy clearance. **Monitoring:** Public Works shall review and approve the Post-Construction Waste Reduction and Recycling Summary Report prior to occupancy clearance.
14. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be

contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.

15. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 4:00 p.m., Monday through Friday. No construction shall occur on State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating these restrictions shall be provided to the applicant and posted onsite. **Timing:** Signs shall be in place prior to the beginning of and throughout all grading and construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.
16. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
17. This Development Plan and Coastal Development Permit does not constitute approval for the installation of new and/or repair of existing underground utilities. All modifications to, or installations of new utilities shall be under separate permit(s) from the appropriate utility providers. Utility provider permission for excavation shall precede issuance of any permits for construction within the public right-of-way.
18. Approval of the Development Plan shall expire one year after approval by the Planning Commission unless prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The decision-maker with jurisdiction over the project may, upon good cause shown, grant a time extension.
19. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.

20. No permits for development shall be issued except in conformance with the approved Development Plan. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Exhibit 1, Attachment B, dated June 5, 2017. Substantial conformity shall be determined by the Community Development Department Director.
21. On the date a subsequent Development Plan is approved for this site, any previously approved but unbuilt plans shall become null and void.
22. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at 1-800-227-2600 a minimum of 48 hours prior to the start of construction. For best response, provide as much notice as possible, up to 10 working days.
23. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of building permits.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

24. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging, or rebuilding of any building, structure, or improvement, the applicant shall obtain a Building Permit. These Permits are required by ordinance and are necessary to ensure implementation of the conditions required by the Planning Commission. Before any Permits will be issued by the Community Development Department, the application must obtain written clearance from all departments having conditions; such clearance shall indicate that the applicant has satisfied all pre-construction conditions. A form for such clearance is available from Community Development.
25. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
26. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions of Approval.
27. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full. Any outstanding plan check or inspection fees incurred during construction shall be paid in full prior to Occupancy clearance.
28. The applicant shall complete a School District sign-off form, which may include payment of applicable School Mitigation Fees, prior to issuance of building permit.

29. In accordance with Chapter 15.80 of the Carpinteria Municipal Code, the applicant shall pay Development Impact Fees to the City prior to Building Permit issuance. The amount of the fees will be determined at the time permits are issued.
30. Any change of use in the proposed buildings or structures shall be subject to environmental analysis and appropriate review by the City including Building Code compliance.
31. The conditions of this approval supercede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
32. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
33. All requirements of the City of Carpinteria (including but not limited to public improvements as defined in the City of Carpinteria Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.
34. The standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.
35. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
36. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
37. If, at any time, the City or Planning Commission determines that there has been, or may be, a violation of the findings or conditions of this Development Plan and Coastal Development Plan, or of the Municipal Code regulations, a public hearing may be held before the Planning Commission to review this permit. At said hearing, the Planning Commission may add additional conditions, or recommend enforcement actions, or revoke the permit entirely, as necessary to ensure compliance with the Municipal Code, and to provide for the health, safety, and general welfare of the City. The applicant shall reimburse the City for all costs associated with gaining compliance with the original conditions of approval.
38. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Developer/Permittee in

an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.

39. The owner/applicant/developer ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the 699 Linden Avenue Restaurant Remodel (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permit fees, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.

Approved by the Planning Commission on June 5, 2017

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant/Property Owner

Date

Exhibit 2
ARB Meeting Minutes
December 15, 2016 & March 16, 2017

Omni Catering Storage Enclosure
4835 Carpinteria Avenue

PC Hearing, June 5, 2017

ACTION MINUTES

The meeting was called to order at 5:33 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Scott Ellinwood
Rachelle Gahan
Jim Reginato

Boardmembers absent: Boardmember Chappell

OTHERS PRESENT: 20 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Shawn Godkin for Sarah Dandona, Omni Catering
Planner: Nick Bobroff
Project: 16-1837-DP/CDP
Project Location: 4835 Carpinteria Avenue
Zoning: Central Business (CB) with Visitor-serving Commercial (V) Overlay

Request of Shawn Godkin, agent for Sarah Dandona, Omni Catering, to consider Project 16-1837-DP/CDP for preliminary review of a request to permanently locate three storage containers totaling 560 square feet in the rear interior corner of the subject property and construct a fenced and landscaped enclosure around said containers. The project would also permit as-built fences and pedestrian gates on the project's Carpinteria Avenue and Holly Avenue frontages. The property is a 16,434 square foot parcel zoned Central Business (CB) with a Visitor-serving Commercial (V) Overlay and shown as APN 003-253-001 addressed as 4835 Carpinteria Avenue.

Staff presented the proposed project and explained the request was in front of the Board as a result of a zoning compliance matter. Staff indicated they were not in support of the proposal as proposed. The project applicants, Sarah Dandona and Juan Rodriguez, and their project representative Shawn Godkin explained they were amendable to removing the unpermitted fence along the Carpinteria Avenue frontage. They felt the proposed storage enclosure was a suitable solution to their storage needs and was adequately screened from view. They did not feel it would be particularly noticeable from Carpinteria Avenue.

Public Comment: None

Boardmember Discussion:

Boardmember Reginato felt the proposed enclosure could be an attractive nuisance, creating a hiding place for a homeless encampment. He would prefer to see a permanent structure built that would be more pleasing in appearance and better relate to the existing property improvements. He noticed the storage containers are accessed extensively throughout the day and felt that any permanent solution should take that into consideration and provide convenient access. We noted he was not in favor of a fence along the Carpinteria Avenue frontage.

Boardmember Ellinwood agreed, noting that the proposed location for the storage structures makes sense, but that a permanent structure would be preferred. He felt the proposed screening solution was too simple and should be made more attractive. He expressed concerns over impacts to the adjacent residence and suggested the proximity of this residence be taken into consideration when considering the design and layout of the storage structure(s).

Boardmember Gahan also would prefer to see a more permanent solution. She noted the existing Carpinteria Avenue fence is unacceptable.

Boardmember Johnson suggested a compromise involving moving the containers away from the side property line to provide a buffer/landscape screening space for the adjacent residence. He also thought the enclosure and/or the containers themselves could be made more decorative using features such as a trellis and/or a framed lattice with dense plantings. The containers could be painted and/or have aesthetic treatments applied to them to make them more attractive. He was glad to see the existing palms being re-used.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Johnson to continue the project to a future meeting with their comments attached.

VOTE: 4-0

PROJECT REVIEW

- 2) Applicant: Nikhil Kamat, NKlosures, Inc. for RAM Hotels
Project: 16-1822-DP/CDP
Planner: Nick Bobroff
Project Location: 4110 Via Real
Zoning: Commercial Planned Development with a Residential Overlay (CPD/R)

Request of Nikhil Kamat, NKlosures, Inc. agent/architect for RAM Hotels, to consider Project 16-1822-DP/CDP for preliminary review of a request to demolish the existing church and all associated improvements and construct a new two-story 110-guestroom hotel. The new hotel would have a total floor area of 55,465 square feet and reach a maximum height of 30 feet from finished grade. The project would include a new 117-space parking lot, site landscaping, and stormwater/drainage and frontage improvements. The property is a 2.62-acre parcel zoned Commercial Planned Development with a Residential Overlay (CPD/R) and shown as APN 004-017-022 addressed as 4110 Via Real.

Staff presented the project and identified key issues areas for the Board to consider including size/bulk/scale/massing, view impacts, frontage design, architectural style/materials, privacy impacts, lighting and landscaping.

Nikhil Kamat described the project. He explained the site plan and building layout was largely driven by the present site constraints including easements, utilities, fire access, separation from adjacent uses and a desire to achieve mountain/ocean views for many of the guestrooms. He explained that perimeter and building landscaping and parking areas were intended to help screen/buffer the hotel from adjacent properties. He noted the project is intended to be operated as a higher end hotel and would have an active security presence being open 24 hours per day (as compared to the nearby

recommended the trash enclosure have a steel frame and be durably constructed.

Boardmember Ellinwood felt the entry vestibule should be finished in a contrasting material and/or color from the rest of the building body to both create more interest and to draw attention to the building entry. He suggested the applicant could explore materials such as a trespa wood siding or perhaps a metal finish to match the building's windows/doors. He explained that landscaping will be important for the project and incorporating a green wall and/or climbing vines into the project might be a nice detail.

Boardmember Johnson agreed with the others' comments. He suggested a lattice or similar element be used around the west elevation windows to help soften the building's appearance and provide some sun protection for the interior space.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to continue the project to the March 30, 2017 meeting with the following comments:

- Make the water heater closet a more permanent building feature;
- Simplify the existing sign shape;
- Construct a durable, steel-framed trash enclosure;
- Re-study the entry vestibule to include contrasting colors/materials from the building exterior;
- Develop a landscape plan for the property; considering including a green wall or climbing vines;
- Consider the addition of a lattice, trellis, or similar for the west building elevation; and
- Provide color/material samples for the exterior building finishes.

VOTE: 3-0

PROJECT REVIEW

- 4) Applicant: Shawn Godkin for Sarah Dandona, Omni Catering
Project: 16-1837-DP/CDP
Planner: Nick Bobroff
Project Location: 4835 Carpinteria Avenue
Zoning: Central Business (CB) with Visitor-serving Commercial (VC) Overlay

Request of Shawn Godkin, agent for Sarah Dandona, Omni Catering, to consider Project 16-1837-DP/CDP for continued preliminary review of a request to permanently locate three storage containers totaling 560 square feet in the rear interior corner of the subject property and construct a vegetated screening lattice and patio trellis in front of said containers. The property is a 16,434 square foot parcel zoned Central Business (CB) with a Visitor-serving Commercial (V) Overlay and shown as APN 003-253-001 addressed as 4835 Carpinteria Avenue.

Staff presented the revised project and explained that the existing unpermitted fences and gates on the project frontages were proposed to be removed.

The project architect, Shawn Godkin, provided a brief overview of the project. He explained that initially he was intending to keep a natural finish for the trellis members but could also consider matching them to the woodwork and trim on the primary building.

Public Comment: None.

Boardmember Discussion:

Boardmember Ellinwood thought the revised project was a good response to the Board's previous feedback. He suggested the containers be painted a dark natural shade green to help obscure them.

Boardmember Reginato indicated that while he still would prefer to see a permanent building solution, he could lend his support to the current proposal with some additional refinements. He agreed the containers should be painted dark green and that the doors should not be adorned with logos. Instead efforts should be made to obscure the doors. He thought that adding large potted plants around the perimeter to help provide screening and possibly making the two ends of the screening structure look more like a permanent building (i.e., solid plaster wall painted to match the primary building) would further enhance the project. He recommended the double beams be of a 3x6 dimension rather than 2x6 as shown.

Boardmember Johnson recommended using blocked 3x4s for the horizontal trellis pickets. He suggested the climbing vines be trained up the trellis structure too. He agreed with the suggestion for the inclusion of potted plants but did not agree with the different treatment for the ends of the screening structure citing its minimal visibility at the back of the lot.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to recommend preliminary approval of the project to the Planning Commission with the following comments:

- Containers to be painted a natural dark green shade;
- Container doors to be obscured; no painted logos;
- Use large potted plants around screen perimeter;
- Train climbing vines onto trellis members;
- Double beams to be 3x6; horizontal pickets to be blocked 3x4.

VOTE: 3-0

PROJECT REVIEW

- 5) Applicant: ~~Scott Dinovitz, Cravens Lane, LLC~~
Project: ~~16-1840-DP/CDP~~
Planner: ~~Nick Bobroff~~
Project Location: ~~1300 Cravens Lane~~
Zoning: ~~Planned Unit Development (PUD)~~

~~Hearing on the request of Scott Dinovitz, Cravens Lane, LLC to consider Case 16-1840-DP/CDP for conceptual review of a proposal to redesign the Green Heron Spring condominium project previously approved by the City Council in November 2007. The proposed project would dismantle an existing residence, barn and storage shed, remodel one residence and construct 30 new residential units. The contemplated redesign would make adjustments to the previously approved site plan/building locations, building floor plans, bedroom counts for selected units and building architecture/elevations. The property is a 3.87-acre site-zoned Planned Unit Development (PUD) and shown as APN 004-013-026, located at 1300 Cravens Lane.~~

Exhibit 3
Notice of Exemption

Omni Catering Storage Enclosure
4835 Carpinteria Avenue

PC Hearing, June 5, 2017

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara
105 E Anapamu Street, Rm 407
Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria

5775 Carpinteria Avenue

Carpinteria, CA 93013

(Address)

Project Title: Omni Catering Storage Enclosure

Project Applicant: Sarah Dandona, Omni Catering, 4835 Carpinteria Avenue, Carpinteria, CA 93013

Project Location - Specific:

4835 Carpinteria Avenue. Located on the south side of Carpinteria Avenue approximately 160' SE of the Holly Avenue intersection (APN: 003-253-001)

Project Location - City: Carpinteria

Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

Construct a new screened storage enclosure comprised of three pre-fabricated "roll-off" containers totaling 560 square feet enclosed behind a landscaped metal lattice screen and a decorative wood trellis. New landscaping and lighting is included. Two existing accessible parking spaces would be relocated onsite.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Omni Catering, c/o Sarah Dandona

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: Sections 15303 & 15304
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

This project involves construction of a small accessory structure. The proposal is located within an urbanized part of the City on a developed property that has no habitat value for endangered, rare or threatened species. The project would not result in an increased demand on existing public services and is found to be aesthetically compatible with the surrounding neighborhood.

Lead Agency

Contact Person: Nick Bobroff, Senior Planner

Area Code/Telephone/Extension: 805/7554407

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: _____ Date: 06/05/2017 Title: Senior Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

CITY OF CARPINTERIA

5775 Carpinteria Avenue
Carpinteria California 93013

ARCHITECTURAL REVIEW BOARD

Meeting Date: May 11, 2017

ACTION MINUTES

The meeting was called to order at 5:35 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Dylan Chappell
Grant Cox
Scott Ellinwood
Jim Reginato

Boardmembers absent: None

OTHERS PRESENT: 5 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Martha Selfridge
Project Number: 17-1862-CUP/CDP
Planner: Lucy Graham
Project Location: 5596 Calle Arena
Zoning: Single Family Residential (6-R-1)

Hearing on the request of Martha Selfridge, owner and applicant, to consider Case No. 17-1862-CUP/CDP for preliminary review of a proposal for an interior remodel and addition to an existing Single Family Residence and one-car garage. Proposed improvements include an addition of 49 square feet to the residence and 200 square feet to the garage. The property is a 0.18 acre parcel zoned Single Family Residential (6-R-1) and shown as APN 003-381-017 located at 5596 Calle Arena.

Staff presented the project proposal, including describing the need for a Conditional Use Permit to allow for structural alterations to the nonconforming one-car garage, and explained that the existing hedges along the street frontages are higher than allowed by the Zoning Code. The project representative presented the project and explained the need to expand the garage to adequately accommodate parking a vehicle.

Public Comment: None.

Boardmember Discussion:

The Board was pleased with the project as submitted. Boardmember Chappell stated that the project is an improvement, and the other Boardmembers concurred. Boardmember Reginato stated that the hedges did not bother him, and Boardmember Ellinwood remarked that a Conditional Use Permit for this project seemed excessive.

ACTION: Motion by Boardmember Cox, seconded by Boardmember Chappell to recommend preliminary approval of the project to the Planning Commission with no comments.

VOTE: 5-0

PROJECT REVIEW

- 2) Applicant: Vogue Sign Company for GranVida Senior Living Community
Project: 16-1832-SIGN
Planner: Steve Goggia
Project Location: 5464 Carpinteria Avenue
Zoning: Commercial Planned Development (CPD)

Hearing on the request of Vogue Sign Company, agent for GranVida, to consider Project 16-1832-SIGN for continued preliminary/final review of a request to install one new freeway facing monument sign along the property's U.S. 101 frontage for a new senior living community. The property is zoned Commercial Planned Development (CPD) and shown as APN 001-070-066, addressed as 5464 Carpinteria Avenue.

Staff presented a brief history of the project, noting that the proposed freeway monument sign is in addition to the approved and installed monument sign along Carpinteria Avenue. Two sign options were presented along with photographs of the site showing how a large portion of the screening vegetation along the freeway-facing property boundary was removed by Caltrans in preparation for the Casitas Pass overcrossing project. Photos of the mock sign were also shown from locations along the freeway.

James Palda, with Steadfast responded to questions regarding the sign and his company's desire to have the proposed sign identify the GranVida community to freeway travelers.

Public Comment: None

Boardmember Discussion:

Boardmember Ellinwood stated he would prefer not to see a sign at all, but if one were allowed, it should be a simple sign with a square top and simple colors that complement the building. He did not feel that the "Option A" sign related to the architecture of the building.

Boardmember Chappell preferred Option B.

Boardmember Reginato agreed with Boardmember Ellinwood and would not recommend approval of a sign in this location as the necessary pruning to the landscape screen in order to allow the sign to be viewed from the freeway would create negative aesthetic impacts. The screening should be allowed to appear more natural. He also thought it would create a dangerous condition as motorists take their eyes off the road in order to get a glimpse of the sign.

Chair Johnson agreed with Boardmembers Ellinwood and Reginato, and would not recommend approval of either sign. However, if one were to be approved, it should be a simple design.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Johnson to recommend denial of the sign proposal to the Community Development Director.

VOTE: 3-2 (Boardmembers Cox and Chappell opposed)

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held April 13, 2017.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Johnson, to approve the minutes as presented.

VOTE: 4-0 (Ellinwood abstain)

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF: None

ADJOURNMENT

Chair Johnson adjourned the meeting at 6:15 p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, May 25, 2017.

All Boardmembers present indicated they would be in attendance.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board

ACTION MINUTES

The meeting was called to order at 5:31 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Dylan Chappell
Grant Cox
Jim Reginato

Boardmembers absent: Scott Ellinwood

OTHERS PRESENT: 20 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Foster Markolf for Carpinteria Beautiful
Project: 17-1871-ARB
Planner: Nick Bobroff
Project Location: 4954 Carpinteria Avenue
Zoning: Central Business (CB)

Request of Foster Markolf on behalf of Carpinteria Beautiful to consider Project 17-1871-ARB for preliminary/final review of a proposal to install an 8'x40' painted mural celebrating the Carpinteria Valley's agricultural heritage on the southeast side elevation of an existing building, visible from Carpinteria and Linden Avenues. The property is a 3,780 square foot parcel zoned Central Business (CB) and shown as APN 003-153-010 addressed as 4954 Carpinteria Avenue.

Staff provided an overview of the proposed mural, its construction and installation, and explained that if the Board was satisfied with the proposal, a recommendation for preliminary/final approval was warranted.

Foster Markolf, on behalf of Carpinteria Beautiful shared a 1"=1' scaled painting of the mural. He explained in greater detail the installation of the mural, including its attachment to the exterior building wall.

Public Comment: Multiple members of the audience generally expressed their support for the proposal. No individual speakers participated.

Boardmember Discussion:

Overall, the Board was in support of the proposed mural, noting that it looks great and would be a nice addition to the downtown.

Boardmember Cox inquired about the expected lifespan of the mural. Mr. Markolf explained the mural could remain indefinitely provided it is properly maintained and cared for.

Boardmember Reginato suggested the use of stainless hardware for the attachment of the mural to the wall. He also suggested the panels be thoroughly treated and the top and side edges of the mural be

sealed to keep water/moisture from getting trapped behind the panels, but leave the bottom open (for any moisture to escape). As an alternative, Boardmember Cox suggested a MiraDRAIN product (or similar) could be installed behind the panels to help manage moisture.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Cox to recommend preliminary/final approval of the project to the Community Development Director with their comments attached.

VOTE: 4-0

PROJECT REVIEW

- 1) Applicant: Bildstein Architecture & Planning for Russell Salzgeber
Project: 17-1863-CON
Planner: Nick Bobroff
Project Location: 447 Concha Loma Drive
Zoning: Single Family Residential (20-R-1)

Request of Bildstein Architecture & Planning for Russell Salzgeber to consider Project 17-1863-CON for conceptual review of a request to complete a lot line adjustment between two adjoining lots under common ownership and develop each lot with a primary single family residence of approximately 2,813 square feet and a detached secondary dwelling unit of approximately 1,018 square feet (inclusive of garages). Both lots would share a private drive accessed from Concha Loma Drive. The lots are 0.78 acres and 4.89 acres in size, respectively, are zoned Single Family Residential (20-R-1) and shown as APNs 003-370-005 and -010 addressed as 447 Concha Loma Drive.

Staff presented the concept to the Board. Among the items raised for discussion by staff were neighborhood compatibility, architecture/design, consistency with the secondary dwelling units provisions, archaeological considerations, flood zone requirements and Environmentally Sensitive Habitat constraints. Staff asked that the public and members of the Board provide feedback on the concept.

Ellen Bildstein, architect, explained that the rationale for placing the second unit at the front of the lot was to better respond to the shape and dimensions of the lot and allowing the primary residence to take better advantage of available ocean views toward the back of the lot. She felt that the second unit size and massing better related to adjacent structures.

Russ Salzgeber, property owner and applicant, explained he was seeking a “low key” design that fits the neighborhood and provides residences for his family to reside in.

Public Comment:

Carlyle Hall, who is interested in purchasing the property immediately to the north at 457 Concha Loma Drive, felt that the proposal was too intensive for the lot as it would basically max out the buildout potential for “Lot 1.” He explained that it would also significantly impact ocean views for the property to the north. He believed the second unit should be placed at the rear of the lot, consistent with the accessory use character of these types of units. He felt the lot line adjustment effectively serves as a lot split, and overly concentrates development on the upper lot. He believed

the proposal would adversely impact coastal views and thus be inconsistent with the CA Coastal Act.

Judy Jackson, whose daughter is also interested in the property immediately to the north, thought the proposal was too intense, likening it to something found in Los Angeles. She said she was hoping for something softer, perhaps in a different style that more quietly fit the neighborhood.

David Powdrell asked about the future development potential for the remainder of “Lot 2,” and what sort of traffic impacts that might generate. He also asked whether the property/driveway would remain gated.

Susan Van der Kar noted that she echoed some of the other commenters’ concerns. She explained she was particularly bothered by the driveway and the increased level of activity anticipated for it given its proximity to her family’s property/units (at 435 Concha Loma Drive). She asked, that a minimum, a wall or fence be erected along the driveway to provide some buffering. She also stated that she believed the secondary dwelling unit should be placed at the back.

Joanne Jackson feels that Carpinteria has successfully managed to ensure that new construction remains sensitive to Carpinteria’s small beach town scale and charm. She felt that the proposed residences for “Lot 1” could be made to better fit the surrounding development pattern through further study of massing and clustering of development. She felt that the high volume ceiling heights read as two-story structures and would have impacts for neighbors on protected ocean views.

Scott Van der Kar asked about the disposition of the drainage inlet at the front of the property and whether this would be improved as part of the project. He also asked how the driveway design and any turn-around would be impacted by future additional units on “Lot 2.”

Boardmember Discussion:

Boardmember Chappell explained that he was having a difficult time understanding the reasoning for the design. He felt the lot line adjustment was unnecessary, and that sufficient room remained on the lower lot to design both a primary residence and second unit, while still meeting flood zone requirements. He was not in favor of placing the second unit at the front of “Lot 1.” He also felt the overall site layout did not fit the property or the greater neighborhood. He explained that while he appreciates modern architecture, the proportions of the proposed buildings seemed off. He did not feel like the proposal fit Carpinteria and recommended the design be more sensitive to neighbor concerns.

Boardmember Cox agreed with Boardmember Chappell. He added that it felt too dense or cramped, almost like an apartment development.

Boardmember Reginato felt that the project could be designed so that placing the primary unit at the front of the lot would work. He pointed out this would likely also result in less traffic down the private drive. He felt like the project included a lot of hardscape areas and would prefer to see this reduced/softened. He also wanted to see the building architecture further softened. He suggested any clerestory windows be reoriented to the north or south. He asked about frontage designs and requested that no tall fences be proposed/used.

Boardmember Johnson noted that the building footprint for the primary residence on “Lot 2” would be challenging due to the amount of elevation change. He suggested the building pad be moved

down onto the lower lot, allowing the proposed development for “Lot 1” to be further spread out. He noted that he could understand the rationale for wanting to locate the second unit at the front of “Lot 1” but acknowledge the Zoning Code requirements that state otherwise. He recommended the architects confirm driveway width, design, slope with the Fire District; he also recommended the driveway be buffered from the neighbors. Finally, he felt the general direction of the building architecture to be acceptable, noting it was low key and small scale.

ACTION: No action taken; public comments received and conceptual feedback provided by Boardmembers.

VOTE: N/A.

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held May 11, 2017.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Cox, to approve the minutes as presented.

VOTE: 4-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF: None

ADJOURNMENT

Chair Johnson adjourned the meeting at 6:53 p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, June 15, 2017.

All Boardmembers present indicated they would be in attendance.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board



JUNE 2017



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
				1 8:45 am Carp First Mtg – Side Cf Rm 9am Parks/Rec Mtg w/Steve Dabbs– CC 10:30am Benefits Open Enroll– Blue Rm 12:30pm Central Coast Power Advisory Working Group – CC 2pm All CDD Staff Mtg – Side Cf Rm 3pm Benefits Open Enrollmnt–Blue Rm	2 5pm- 8pm 1 st Friday Events – Downtown	3
4	5	6 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Conf Rm 5:30pm Planning Commission–CC TV	7 10am Parks Dept Staff Mtg – Side Cf Rm 1:30pm Labor Negotiations – Side Cf Rm 1:30pm Summerland Becker Well Draft EIR Public Hearing – CC 5:30pm Fire District Board Mtg – CC TV	8 2:30pm Code Compliance Mtg– Blue Rm 5pm Carpinteria HOSTS Mtg - CC	9	10 9am Carpinteria Beautiful – CC 10am – 2pm ABOP–PW Yard
11	12 7:30pm – 1pm Beach Lifeguard Training – CC 9am Large Projects Coordination Mtg – Blue Conf Rm 3pm Council Closed Session – CC & Blue Conf Rm 5:30pm City Council Mtg – CC TV	13 10am Staff Mtg – Blue Cf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Conf Rm 4:30pm School Board Closed Session – CC & Side Conf Rm 5:30pm School District Board – CC TV	14 8am Harassment Training Setup–CC 9:30 Workplace Harassment Training–CC 10am Parks Dept Staff Mtg – Side Cf Rm 1:30pm Labor Negotiations – Side Cf Rm 2:30pm Harassment Training Setup – CC 3pm Workplace Harassment Training–CC 3pm Neighbor to Neighbor– Blue Conf Rm 5:30pm Water District Board Mtg – CC TV	15 10:30am IDAG – Blue Conf Rm 1pm Granicus Install – Water Dist. – CC 2:30pm Code Compliance Mtg– Blue Rm 5:30pm ARB Mtg – CC	16	17
18 Father's Day	19 9:30am ADA Training – CC 12:30pm ADA Training – CC 5:30pm Gen Plan Update Mtg – CC	20 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Conf Rm	21 10am Parks Dept Staff Mtg – Side Cf Rm 1:30pm Labor Negotiations – Side Cf Rm 2:30pm C3H Homelessness Mtg – CC	22 9am Creative Housing Solution–Blue Rm 11am Staff Homeless Population Mtg – Blue Conf Rm 2pm Cycle Calif. Coast Mtg – CC 2:30pm Code Compliance Mtg– Blue Rm	23	24 10am – 2pm ABOP–PW Yard
25	26 9am Large Projects Coordination Mtg – Blue Conf Rm 3pm Council Closed Session – CC & Blue Conf Rm 5:30pm City Council Mtg–CCTV	27 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Conf Rm 4:30pm School Board Closed Session – CC & Side Conf Rm 5:30pm School District Board – CC TV	28 10am Parks Dept Staff Mtg – Side Cf Rm 1:30pm Labor Negotiations – Side Cf Rm 5:30pm Water District Board Mtg – CC TV	29 1:30pm Safety Mtg Set-up/Prep – CC 2pm Employee Birthday/Safety Mtg – CC 2:30pm Code Compliance Mtg– Blue Rm 5:30pm ARB Mtg – CC (Tentative)	30	

**City of Carpinteria
Planning Activity Summary**

May 2017

- | | | | |
|-----------------------------|--------------------|---------------------------|------------------------|
| 1. In 30-day review process | 5. Schedule for PC | 9. Schedule for final ARB | 13. BP issued |
| 2. Incomplete | 6. PC approved | 10. Final ARB Approval | 14. Under construction |
| 3. Schedule for ARB | 7. Schedule for CC | 11. Schedule for CCC | 15. C of O issued |
| 4. Director's Decision | 8. CC Approved | 12. In plan check | |

Last Edited 06/01/2017

Project #	Owner / Applicant	Address	Street	Project Description	Activity	Planner	Status	Code Violation
17-1877-DP/CDP	Phari, LLC	1112	Linden Ave	Create 2 additional units & new covered carports	Submitted 5/26/2017. Under review.	Lucy	1	
17-1876-DP/CDP/TM	MAC Partners	6380	Via Real	Lagunitas six 2-story commercial buildings and 1 building for retail and restaurant	Submitted 5/26/2017. Under review.	Marysol	1	
17-1874-SIGN17-1874-SIGN	Mike Reese / Silver Sands	349	Ash Avenue	New sign	Submitted 5/16/2017. Under review.	Marysol	1	
17-1872-TUP17-1872-TUP	St. Joseph's Church	1532	Linden Avenue	Annual Festival	Submitted 05/05/2017. Incomplete 05/26/2017.	Marysol	2	
17-1870-ARB17-1870-ARB	Gary Feramisco	1241	La Brea Lane	Front portico and exterior improvements	Submitted 5/1/2017. Incomplete 5/25/2017.	Marysol	2	
17-1868-DP/CDP	Carpinteria Sanitary District	5300	Sixth Street	Demolition of existing modular offices and the construction of a new 4,118 square foot one-story office building.	Submitted 4/12/2017. IDAG 4/20/2017. Incomplete 5/12/2017.	Marysol	2	
17-1867-EMP17-1867-EMP	Venoco, Inc.	5661	Carpinteria Ave.	Emergency fence at Sealwatch Overlook, along public trail and parking lot	Submitted 4/4/17. Request for additional information 4/24/17.	Steve	2	
17-1856-TPM/VAR/CDP	De Alba Family Trust	5031	Foothill Road	Lot Split	Submitted 2/9/17. Incomplete 3/6/17. Site visit on 3/30/17 with Building Inspector. Letter issued 4/20/17 re: Building Code issues to be addressed.	Nick	2	
17-1850-CDP17-1850-CDP	CA Dept. of Parks and Recreation	205	Palm Avenue	State Beach Phase II ADA Improvements	Submitted 1/3/2017. Incomplete 1/31/2017. Resubmittal 5/22/2017. Under review.	Marysol	2	
16-1849-CUPR/TTM/CDP	Faith Lutheran Church	1335	Vallecito Place	8-lot subdivision & 6 (N) SFDs	Submitted 12/22/16. Incomplete 1/20/2017; waiting for additional materials from applicant.	Lucy	2	
16-1840-DP/CDP	Cravens Lane, LLC	1300	Cravens Lane	Green Heron Springs Project- Demo (E) SFD; construct 30 new condominium units	Submitted 8/24/16. Incomplete 9/14/16. To Concept ARB 11/17/16. Resubmitted 1/12/17, under review. Incomplete 2/10/17. Concept ARB 3/16/17.	Nick	2	
16-1838-SIGN16-1838-SIGN	Procore	6307	Carpinteria Avenue	Sign Permit	Submitted 08/05/16. Requested additional information to create a Sign Program for site on 8/11/16. Resubmitted 10/25/16. Advised to submit separate application for sign program (refer to 17-1851-SIGN).	Marysol	2	
16-1836-CUP/CDP	Rafael Hernandez	4954	Fifth Street	remodel (e) apartments	Submitted 7/13/16. Incomplete 7/25/16.	Nick	2	
16-1812-ARB16-1812-ARB	Dave Moore	5550	Calle Ocho	Convert (E) garage to bedroom; construct (N) detached garage	Submitted 2/29/16. Incomplete 03/11/16.	Nick	2	

16-1811-DP/CDP	Jose Martinez	1061	Cramer Road	Demo (E) SFD; construct 3 (N) Units	Submitted 2/26/16. Incomplete 3/24/16.	Nick	2	
15-1804-CDP15-1804-CDP	Hawkins	5567	Calle Arena	Construct (N) SFD w/ attached two-car garage	Submitted 12/29/15. Incomplete 1/28/16.	Nick	2	
15-1799-CDP15-1799-CDP	6155 Carpinteria Avenue LLC	6155	Carpinteria Avenue	Landscape improvements & new pedestrian pathway	Submitted 11/17/15. Incomplete 12/16/15.	Nick	2	
15-1783-SIGN/FENCE	Arbor Trailer Park	4677	Carpinteria Avenue (Ninth Street)	New frontage fences and signage	Submitted 08/05/15. Need survey from PW. Incomplete 08/17/15. See Matt M for PW status.	Marysol	2	
15-1781-DP/CDP	Cruz Mixed Use	4675	Carpinteria Avenue	(N) Mixed Use bldg. 500 sq ft commercial and two one bedroom apts	Submitted 7/9/15. Incomplete 8/6/15.	Nick	2	
15-1777-DP/CDP	R.P. Enterprises	6155 and 6175	Carpinteria Avenue	Industrial Research Mixed-use Campus	Submitted 6/24/15. Incomplete 7/22/15. Resubmitted plans 11/10/15. Second incomplete 12/3/15.	Steve	2	
17-1865-CON17-1865-CON	Arvand Sebatian	751	Olive Street	Rehab burnt SFD and 328 s.f. addition	Submitted 3/29/2017. Incomplete 4/26/2017. Complete 5/22/2017. Tentatively scheduled for ARB 6/15/2017.	Marysol	3	
17-1855-ARB17-1855-ARB	Judy Sirianni	1150	Vallecito Road	Remodel and addition	Submitted 2/8/2017. IDAG 3/16/2017. Complete 3/9/2017. Prelim ARB approval 3/30/2017. Pending resubmittal.	Marysol	3	
16-1847-CUP/CDP	Zerlin	5305	Eighth Street	Abate Zoning/Building Violations & construct (N) 2nd floor addition.	Submitted 11/15/2016. Incomplete 12/15/2016. Resubmittal 2/3/2017. Incomplete 2/15/2017. Resubmittal 4/24/2017. Complete 5/24/2017. Tentatively scheduled for ARB 06/15/2017.	Marysol	3	Yes
16-1822-DP/CDP	Via Real Hotel	4110	Via Real	New 110-room hotel	Submitted 4-19-16. Incomplete 5-18-16. Resubmittal 7/14/16. Incomplete 8/11/16. Resubmittal 9-12-16. Incomplete 10/11/16. Resubmitted 10/31/16. Complete 11/30/16. Prelim ARB 12/15/16, cont'd to future meeting. In-progress ARB review 2/16/17. Prelim ARB approval 3/30/17. Env. review underway.	Nick	3	
15-1767-CDP15-1767-CDP	Wood	650	Concha Loma Drive	New Single Family Residence	Submitted 4/28/15. Incomplete 5/27/15. Resubmitted 7/13/15. Complete 8/10/15. CEQA Initial Study underway. ARB concept review 10/15/15. Draft MND public review period 7/15- 8/15/16. To ERC 8/4/16. Prelim ARB 8/11/16, continued with revisions.	Nick	3	
16-1832-SIGN16-1832-SIGN	Gran Vida	5464	Carpinteria Ave	Sign Permit	Submitted 06/21/16. ARB 07/14/16. Director approved Carpinteria Avenue ground sign. Freeway sign to ARB 5/11/17. likely to be withdrawn.	Steve	4	

17-1871-ARB17-1871-ARB	Carpinteria Beautiful	4954	Carpinteria Avenue	new public mural	Submitted May 1, 2017. ARB approved 05/25/17.	Nick	4	
15-1788-CDP15-1788-CDP	Gobbell	5398	Star Pine Road	Convert (E) accessory building into a second dwelling unit	Submitted 8/19/15. Incomplete 9/4/15. Resubmittal 9/11/15. Complete 9/28/15. Prelim/Final ARB 10/15/15. CDD Director approved 10/29/15. 1-year time extension approved 10/11/16.	Nick	4	
17-1863-CUP/CDP	Selfridge	5596	Calle Arena	Add'n to SFD, garage	Submitted 3/22/17. Complete 4/20/17, ARB Preliminary approved 5/11/17. Scheduled for PC 6/5/17.	Lucy	5	
17-1858-DP/CDP	Anthony Segall & Deborah Dentler	5157	Eighth Street	SFR Demo/Rebuild	Submitted 2/13/2017, Complete 3/7/17, ARB Preliminary approval 3/30/17. Tentatively scheduled for PC 7/3/17.	Lucy	5	
17-1853-CUP/ARB	Julie A. Castiglia	946	Concha Loma Drive	SFR Addition/Remodel	Submitted 2/1/2017, ARB Preliminary Approval 3/16/17. Additional materials rec'd from applicant 4/26/17. Complete letter 5/26/17. Scheduled for PC 6/5/17.	Lucy	5	
16-1837-DP/CDP	Omni Catering	4835	Carpinteria Ave	New storage buildings & fencing	Submitted 8/4/16. Incomplete 8/31/16. Resubmitted 10/25/16. Incomplete 11/16/16. Prelim ARB Cont'd 12-15-16. Revised plans submitted 1-19-17. Prelim ARB approval 3/16/17. To PC 6/5/17.	Nick	5	Yes
16-1816-DP/CDP	William Ryan - Green Valley Corporation	4610	Fourth Street	Demolish SFD - construct four condos: Formerly 12-1612-DP/CDP/TPM	Application resubmitted 3/6/2016. Inc Letter 3/4/16. Resubmittal 4/16/16. PC approved original project 3/4/13. Final ARB 6/12/14. TE approved by PC 4/6/15 and still alive, DP and CDP expired. In Building Permit review. Needs Final Map Clearance. Complete 9/2/16. Purchased, awaiting for confirmation that new owner does not want to pursue plans.	Steve	5	
05-1210-ZTA/LCPA	City of Carpinteria		Citywide	Zoning Code Update	Kick-off meeting 4/20/05. Joint Study Session 5/16/05. All administrative draft chapters delivered 5/12/06. Final Draft meeting with consultant 9/14/07. Public draft to be released in summer 2017.	Steve	5	
04-1175-DP/CDP/LCPA	Venoco, Inc.	5675	Carpinteria Avenue	Pardon Oil and Gas Extended Reach Drilling	Complete 9/11/14. MRS EIR contract approved 1/26/15. MOU for JRP approved 1/26/15. Venoco request to defer EIR rec'd 1/29/15. On hold at Applicant's request.	Steve	5	
17-1860-CUP/CDP	Thom Vernon	502	Maple Avenue	Structural repairs to nonconforming garage structures	Submitted 3/13/17. Incomplete 4/12/17. Resubmitted 4/20/17. Complete 4/26/17. PC denied 5/1/17. Appeal period ended 5/11/17; no appeals filed.	Nick	6	yes

16-1844-DP/CDP	Sunburst Wines	5080	Carpinteria Ave	New retail wine bar	Submitted 10/13/16. Incomplete 11/4/16. Prelim ARB 3/16/17, cont'd to 3/30/17. ARB preliminary approval 4/13/17. PC approved 5/1/17.	Nick	6	
16-1841-DPR/CDP	Carpinteria Valley Arts Council	855-865	Linden Avenue	Art Center expansion and remodel. Interior remodel; exterior: wrap-around awning, sign, façade	Submitted 9/1/16. IDAG routing 9/13/16. IDAG meeting 9/15/16. Incomplete 9/27/16. To Prelim ARB 10/13/16. Preliminary ARB approval 10/13/16. Complete 11/2/2016. PC approved 4/3/2017. Pending resubmittal of materials for Final ARB.	Marysol	6	
14-1722-TPM/CDP	Godfrey	1056	Eugenia Place	Subdivide (e) mixed use building into three condominiums	Submitted 6/19/14. Incomplete 7/17/14. Resubmitted 10/20/14. Complete 10/29/14. PC approved 11/3/14. FLAN sent 11/18/14.	Nick	6	
14-1719-CUP/CDP	City of Carpinteria		Carpinteria Ave Bridge	Replace Carpinteria Ave Bridge over Carpinteria Creek	NOP & Scoping Document released 7/3/14. Scoping Hearing 7/22/14. Project overview to PC 9/2/14. Project update to CC 11/10/14. ARB CON 2/12/15. EIR released for public comment 3/25/16. ERC 4-26-16. Public Comment Period closed 5-9-16. Prelim ARB approval 9/15/16. PC approved 11/7/16. Sent to CCC 11/18/16. PW completing 65% drawings 3/17. Utility relocation coordination underway 3/17.	Nick	6	
09-1534-DP/CDP	Carpinteria Valley Arts Council	855	Linden Avenue	Community arts building	Submitted 11/19/09. Incomplete 12/17/09. Resubmitted 4/22/10. Incomplete 5/10/10. Resubmitted 9/29/10. Complete 10/28/10. Prelim ARB 1/27/11. ERC hearing 4/21/11. PC approved 6/6/11. PC granted four-year time extension 6/1/15.	Nick	6	
16-1835-CUP/CDP	Rafael Hernandez	520	Elm Avenue	remodel 3 (E) apartments	Submitted 7/13/16. Incomplete 7/25/16. Resubmitted 10/10/16. Complete 11/4/16. Prelim ARB approval 11/17/16. PC approved 2/6/17. FLAN sent to CCC 2/21/17. To Final ARB 6/15/17.	Nick	9	
15-1760-CUP/CDP	City of Carpinteria		East end of Carpinteria Avenue	Rincon Trail	MND to ERC 6/27/12. Submitted 3/11/15. Complete 4/14/15. PC approved 5/4/2015. Needs County P&D application and approval. Tied to Linden/Casitas interchanges and Via Real extension Caltrans project.	Steve	9	
15-1751-DPR/CDP	City of Carpinteria	5775	Carpinteria Avenue	City Hall foyer add'n and landscape	Submitted 1/26/15. Complete 2/3/15. ARB Prelim 2/12/15. PC approved 3/2/15. CCC appeal period ended 3/30/15. Project to be phased.	Steve	9	

14-1733-DP/CDP/TPM	Sanctuary Beach Condominiums (Norman's Tennis Court)	4925	Carpinteria Avenue	Four residential condominiums	Submitted 8/21/14. Incomplete 9/19/14. Complete 12/30/14. ARB Prelim 2/12/15 continued to 4/16/15, then 5/14/15. To PC 8/3/15; continued to 10/5/15 for redesign. ARB revised preliminary 9/17/15. Planning Commission 10/5/15, and Approved 11/2/15. CCC Appeal Period ends 12/3/15. Final ARB. DP/CDP Time Extension approved 12/5/16. Final Map under review.	Steve	9	
17-1852-CPD17-1852-CPD	City of Carpinteria	1400	Santa Ynez Ave	Phase II Park Improvements	Submitted 1/19/2017. ARB approved 2/16/2017. Complete 2/17/2017. Director Approval 3/6/2017. Pending submittal of BP application.	Marysol	10	
16-1829-ARB16-1829-ARB	Cluderay, Suzan and Ian	5643	Fiesta Drive	Addition of ~450 feet and remodel of exiting residence	Submitted 06/13/16. ARB 07/14/16. Incomplete 07/08/16. ARB recommended preliminary approval. Director Approval 10/5/16. Final ARB approved 10/13/16.	Nick	10	
05-1204-DPCDP05-1204-DPCDP	Venoco, Inc.	5663	Carpinteria Avenue	Dump Road Gate and Signs	PC Hearing 1/3/06. Cont'd to 2/6/06. PC Approved. Neighbor appeal to CC. CC conceptually granted appeal; cont'd to 5/8/06. Gate withdrawn by applicant. CC approved sign program 5/8/06. Appealed to CCC.	Steve	11	
16-1826-CUP/CDP	Swinford	710	Palm Avenue	Demolish (E) SFD & garage, construct (N) SFD & attached garage	Submitted 5/5/16. Incomplete 6-3-16. Prelim ARB approval 6-16-16. Complete 8/26/16. To PC 9/6/16, continued to 11/7/16. PC Approved 11/7/16. Final ARB approval 4/13/17. BP submitted 4/18/17, in plan check.	Nick	12	
15-1798-DP/PM/CDP	Habitat for Humanity	4949	Sawyer Avenue	Three residential condominiums	Submitted 11/5/15. IDAG Routing 11/10/15. Incomplete 11/17/15. IDAG 11/19/15. Complete 11/25/15. Prelim ARB 1/14/16. PC scheduled 03/07/16. Cont. PC 04/04/16. PC approved 04/04/16. PC Action Letter 04/05/16. NOE sent 04/05/16. 10 day appeal period ends on 04/14/16. Final ARB 08/25/16. BP submitted 8/10/16. CC approved Final Map acceptance 4/24/17. Parcel Map Recorded 5/24/17. Building Permits ready to issue 5/31/17.	Nick	12	

13-1683-CDP13-1683-CDP	Schildknecht	4634	Ninth Street	New Single Family Residence	Submitted 10/17/13. Prelim ARB 11/14/13. Continued to future ARB. Inactive. Sent warning to close letter 04/14/16. Resubmittal info 04/25/16 and 05/31/16, in review for completeness. Director Approval 07/6/16. Final ARB 08/25/16. BP submitted 12/21/16, in plan check.	Nick	12	
13-1650-DP/CDP	M3 Multifamily, LLC	4819	Carpinteria Avenue	6,000 square foot commercial building and two 600 square foot apartments	Submitted 1/9/13. Incomplete 2/7/13. Prelim ARB 10/17/13. PC approved 12/2/13. ARB "in-progress" 3/27/14. PC approved 36-month TEX 12/1/14. Minor height revision considered by ARB 4-14-16. Final ARB approval 11/17/16. BP submitted 12/6/16, in plan check.	Nick	12	
05-2002-DP/CDP	Venoco, Inc.	5663	Carpinteria Avenue	Parking Lot Fence & Signs	ARB Prelim 9/15/05. PC approved 1/3/06. Venoco appealed. CC granted appeal and approved 48" fence on 2/13/06. Appealed to CCC.	Steve	12	
17-1875-SIGN17-1875-SIGN	Vogue Signs/Procore	6305	Carpinteria Avenue	Signs	Submitted 5/3/2017. Director Approval 5/30/2017. Building Permit application submitted 5/31/2017.	Marysol	13	
17-1869-SIGN17-1869-SIGN	Vogue Signs / Continental Advanced Lidar Solution	6307A	Carpinteria Avenue	Monument sign and wall signs	Submitted 4/21/2017. Director Approval 5/30/2017. Building Permit application submitted 5/31/2017.	Marysol	13	
15-1786-CUP/CDP	Verizon Wireless	6267	Carpinteria Avenue	Wireless Telecommunications Facility	Submitted 08/14/15. Incomplete 08/31/15. Complete 11/11/15. PC 12/07/15. PC Action letter 12/8/15. Appeal period ends 12/17/15. CCC appeal period ends 1/8/16. In Building Review 02/25/16. BP Issued 04/20/16.	Shanna	13	
17-1864-ARB17-1864-ARB	City of Carpinteria		Linden Ave & Carpinteria Ave	Downtown "T" landscape retrofit	Submitted 3/29/17, under review. ARB approved 4/13/17. To CC for awarding of contract.	Nick	14	
17-1857-FENCE17-1857-FENCE	Tom Kenny	4292	Carpinteria Ave	New Fence (wall)	Submitted 2/10/2017, "Incomplete" 2/23/2017; add'l materials submitted 4/26/17. Fence permit issued 5/17/17. Under construction.	Lucy	14	Yes
17-1851-SIGN17-1851-SIGN	Montana Avenue Capital Partners	6303-6309	Carpinteria Avenue	Sign Permit - Sign Program for Carpinteria Corporate Center	Submitted 1/18/2017. Prelim ARB approved 3/16/2017. Resubmittal for Director level approval received 4/7/2017. Director Approval 4/28/2017. Applications for proposed signs to be submitted separately.	Marysol	14	

16-1846-SIGN16-1846-SIGN	Guicho's Eatery	901	Linden Ave	Sign permit	Submitted 11/03/2016. Pending resubmittal of plans 11/30/16. Resubmitted 1/26/2017. Approved 2/23/2017. BP issued 2/23/2017. Under construction 3/30/2017. BP finalized.	Marysol	14	
16-1839-CDP16-1839-CDP	Thom Vernon	500	Maple Avenue	Install new windows & replacement roll-up doors	Submitted 8/12/16. Incomplete 9/8/16. Complete 9/14/16. To ARB 9/15/16, continued to 10/13/16. ARB approved 10/13/16. Director Approved 10/21/16. FLAN sent to CCC 11/1/16. BP application submitted 10/20/16. BP issued 2/2/17, under construction.	Nick	14	
16-1814-CUP/CDP	Hathaway	4740	Fourth Street	Comprehensive remodel	Submitted 3/7/16. Incomplete 3/31/16. Resubmittal 4-7-16; deemed insufficient 4-20-16. Prelim/Final ARB 3/31/16. Complete 5-25-16. PC approved 6-6-16. NTPO recorded 6/28/16. BP submitted 7/27/16. BP issued 10/6/16. Under construction.	Nick	14	
16-1808-DP/CDP	City of Carpinteria Parks & Recreation Dept	4855	Fifth Street	Community Garden	Submitted 2/3/16. Incomplete 2/25/16. Resubmitted 3/23/16. Prelim ARB approval 3/31/16. In-progress review 4/14/16. Complete 4-25-16. PC approved 5-2-16. FLAN sent 5-18-16. Final ARB approval 10/13/16. BP application submitted 10/20/16. BP issued; Site improvements underway.	Nick	14	
15-1800-DP/CDP	Sinclair	607	Walnut Avenue	47 sq ft bathroom addition & new 2nd floor dormers	Submitted 11/30/15. Incomplete 12/10/15. Resubmitted 12/28/15. Prelim ARB Approval 1/14/16. Complete 1/21/16. PC approved 2/1/16. Final ARB approval 3/31/16. BP approved & issued. Under construction.	Nick	14	
15-1791-ARB15-1791-ARB	Bush	4310	La Quinta Drive	211 sf addition to, and remodel of, (E) 2-story SFD	Submitted 9/10/15. Incomplete 9/23/15. Prelim ARB 10/15/15. CDD Director approved 10/29/15. Final ARB approval 3/17/16. BP submitted 4-13-16. BP issued 5-16. Under construction.	Nick	14	

15-1785-LCPA/ORD	City of Carpinteria		Citywide / residential Zones	Short-term Vacation Rental Ordinance	Initiated by CC 08/10/15. Moratorium 10/26/15. Memo to CC 11/12/15. Discussion at PC 12/07/15. Draft Ord to PC 01/04/16. PC rec Approval to CC 01/04/16. CC 02/08/16. PC Special Meeting 03/02/16. PC Special Meeting 03/21/16. To CC 4/25/16. CC 1st reading 04/25/16. CCC submittal for LCPA to be sent 05/16/16. Replied to CCC on 8/1/16. Met with CCC on 8/29/16, pending extension from CCC. Moratorium extension approved Ord. 711 09/26/16. CCC approved 12/8/16. Admin Regs presented to CC 4/10/17. CC approved Ordinance via Second Read 4/24/17.	Lucy Steve	14	
15-1776-ARB 15-1776-ARB	Millhollin	5481	El Carro Lane	Addition to SFD; new two-car garage	Submitted 06/23/15. Complete 07/06/15. Prelim/Final ARB 07/30/15. Director approved 08/12/15. BP issued, under construction.	Shanna	14	
14-1748-CDP 14-1748-CDP	Lundin	5380	Ogan Road	SFD addition	Submitted 12/23/14. Director approved 01/05/15. NTPO recorded. BP issued; under construction.	Shanna	14	
13-1695-CUPR/CDP	Island Brewing Company	5049	Sixth Street	Expansion of brewery and tasting room	Submitted 12/17/13. Complete 1/29/14. PC approved 2/3/24. BP for interior improvements issued 5/6/15. Under construction.	Nick	14	
13-1677-ARB13-1677-ARB	Olson	1477	Santa Ynez Ave	Remodel and addition	Submitted 7/26/13. Prelim/Final ARB 8/15/13. Complete 8/20/13. Director approved 8/21/13. BP issued; under construction. Last inspection 8/19/15. Awaiting final inspection.	Nick	14	
12-1649-DPR/CDP	Pini	5585	Carpinteria Avenue	Casa del Sol Motel and Apartment Renovation	Submitted 11/2/12. Complete 11/29/12. Preliminary ARB 12/13/12; continued to 1/17/13. PC approved 2/4/13. ARB Final 9/12/13. PC approved TEX 3/3/14. BP issued 1/26/15. Revisions to BP submitted 5/11/15 and issued 5/26/15. Under construction.	Steve	14	
09-1522-CUP/CDP/LCPA/ORD	Caltrans		Linden-Casitas Interchanges and Via Real Extension	Reconstruct overcrossings and extend Via Real across Carpinteria Creek	Submitted 2009. PC recommended approval 05/18/15. CC first reading and recommended approval of ORD and LCPA 06/22/15 and 07/27/15. Submitted to CCC 08/21/15. CCC hearing in October in Orange County. CC approved CUP/CDP 11/23/15. FLAN sent to CCC 12/1/15. No appeal. ARB Final 3/17/16. Construction underway 9/12/16.	Steve	14	

08-1483-CDP08-1483-CDP	Salzgeber	447	Concha Loma Drive	Install water well and storage tank for agricultural purposes	Submitted 12/18/08. Incomplete 1/16/09. Resubmitted 3/20/09. Incomplete. Resubmitted 9/1/09. Director approved 5/7/10. Permit issued 10/19/10. Well constructed and sealed 11/10. Awaiting installation of pump and storage tank.	Nick	14	
04-1172-DP/CDP	Franssen	750	Palm Avenue	Construct one new SFD and create two condominiums	Revised plans submitted 9/15/06. Incomplete 10/9/06. Resubmitted 10/30/06. Prelim ARB 11/30/06. Complete 12/21/06. To PC 1/2/07. Revised Prelim ARB 1/25/07. PC approved 2/5/07. CC approved map clearance 12/10/07. PC approved one year TEX 2/4/08. Grading Permit issued 2/4/09. Final ARB for Unit 2 10/1/09. BP issued, under construction. CofO issued on rear unit.	Nick	14	
17-1886-TUP17-1886-TUP	Carp Unified School Dist		various	CDD Director TUP for relocation of temporary classrooms at Canalino, Middle and High Schools	Submitted 4/5/17. Approved 5/2/17.	Steve	15	
14-1729-ARB/CDP	MTI Capital, Inc.	1275	Cramer Circle	New SFD	Submitted 8/13/14. Incomplete 9/8/14. Complete 9/29/14. ARB prelim 11/13/14. Director approved 2/2/15. Final ARB Approval 3/12/15. BP submitted 3/31/15. BP Routing Letter 06/17/15. BP issued 6/25/15. CoFo issued.	Steve	15	
07-1407-TM/PM/DP/CDP/TEX	Resmark - Residential; Investec - Research Park	6380	Via Real	Lagunitas Mixed Use Project: 85,000 sq. ft. office building and 73 residential units	Submitted 11/01/07. Incomplete 11/29/07. Complete 2/29/08. ARB 7/17/08, 2/26/09, 5/14/09, 6/11/09. ERC 8/26/08. CC approved 9/8/08. Appealed to CCC. CCC found NSI 11/13/08. ARB Revised Prelim for landscaping/lighting 12/17/09. PM recorded July 2010. ARB Revised Prelim 2/17/11, 6/16/11; Final Landscape/Lighting 7/14/11. ARB Final for residences 8/25/11. Map Recorded 8/22/11. All residential units complete. Revised ARB Prelim for Office Bldg 8/15/13. Concept for rearranged office buildings presented to ARB 5/12/16. To ARB for concept 10/27/16. Resubmitted as 17-1876-DP/CDP/TM.	Steve	15	
17-1863-CON17-1863-CON	Russ Salzgeber	447	Concha Loma Drive	Concept review of LLA & construct new SFD w/ detached 2nd unit	Submitted 3/23/27. ARB Concept Review 5/25/17.	Nick	15	
17-1859-SIGN17-1859-SIGN	Murphy's Vinyl Shack	5285	Carpinteria Avenue	New sign	Submitted 2/24/2017. Director approval 3/15/2017.	Marysol	15	

17-1854-SIGN	17-1854-SIGN	Carpinteria T-Shirt Co	776	Linden Avenue	New sign	Submitted 05/06/2017. Director approval 2/21/2017.	Marysol	15	
14-1740-DP/CDP		Olson, Erik	4879	Dorrance Way	Demo E SFD; Build New SFD	Submitted 11/14/14. Incomplete 12/9/14. Prelim ARB 1/15/15. Complete 1/27/15. PC approved 02/02/15. Final ARB 3/12/15. BP Issued 5/5/15; under construction. Final Building Permit sign-off 5/30/17.	Shanna / Nick	15	



Permit Report

05/01/2017 - 05/31/2017

Permit #	Permit Date	Site Address	Owner Name	Project Description	Valuation	Status	Issued Date	Code Compliance Violation	Fire Permit Required
12040	5/31/2017	6305 Carpinteria Avenue	Carp One LLC	Install 2 sets of on-building internally illuminated channel letters	0	In Review Building			
12039	5/31/2017	6307A Carpinteria Avenue	Carp Two, LLC	Install 3 sets of on building illuminated channel lettering	10,450	In Review Building			
12038	5/31/2017	5956 Hickory Street	Casitas Village HOA	Remove and replace pool deck surface like and kind due to pool losing water from broken pipe underneath the slab	60,000	In Review Building			
12037	5/31/2017	1036 Casitas Pass Road	ROIC CASITAS PLAZA, LLC	Voluntary ADA upgrade to the interior of the store.	75,000	In Review Building			
12036	5/26/2017	1335 Sterling Ave	PARTIDA TONY/ESTELLA	Interior alteration, remove walls & remodel kitchen	7,500	In Review Building			
12035	5/24/2017	5395 Eighth Street	SEARS WARREN F JR/MADELYN P TR 2-24-83	Demolish second kitchen in the house. Demolish the garage conversion and return to the original use.	500	Issued	5/25/2017	Yes	
12034	5/24/2017	5956 Via Real	Casitas Village HOA	Beam support	3,000	Issued	5/31/2017		
12033	5/23/2017	4806 Carpinteria Avenue	SANSUM CLINIC	Installation of new X-Ray equipment	49,515	Issued	5/25/2017		
12032	5/23/2017	4880 Sandyland Road # 40	CHESLER, MICHAEL H REVOCABLE TRUST 11/4/13	Add recessed canned lights to ceiling. Lighting must be Hi-Efficiency or Dimmer Controlled.	1,500	Issued	5/25/2017		
12031	5/23/2017	4292 Carpinteria Avenue	1716SP	Construction of a new block wall.	25,000	Final	5/25/2017	Yes	

12030	5/22/2017	6307 Carpinteria Avenue	Carp Two, LLC	Tenant Improvement in Continental adjacent expansion.	500,000	In Review Building			
12029	5/22/2017	1105 Calle Lagunitas	HUENERGARDT, GWEN LIVING TRUST 06/08/2009	Install a spa, prefab bbq and fireplace with gas and electrical lines. Also add additional outlets.	30,000	In Review Planning			
12028	5/22/2017	5410 Cameo Road	ISAAC, FRANK C	Installation of flush roof mounted solar p.v. 18 panels 5.040 kw	11,088	In Review Building			
12027	5/19/2017	1274 La Pala Lane	BLAKEMORE, AMY A	Tear off existing composition and install Lifetime Composition. 27 squares	13,000	Final	5/19/2017		
12026	5/17/2017	5427 Cameo Road	SHORE-PURSELL LIVING TRUST 4/13/09	Upgrade existing electrical panel to a 125 amp underground panel.	2,100	Issued	5/17/2017		
12025	5/16/2017	4885 Sandyland Road	PAICH DAVID/LORRAINE A TRUSTEES (for) PAICH FAM TR 6-19-90	Replacing existing tile on the deck and stairs leading to the deck of unit #1. Install "poly-Tuff" waterproofing system. Replace flashing, door pan and install weep screed at stucco edge. Re-stucco and paint.	60,000	In Review Building			
12024	5/16/2017	5455 Eighth Street #57	RODRIGUEZ LIV TR 3/20/95	Washer & dryer installed 20 years ago. Washer replaced the existing shower. This dryer vent is vent to the outside.	1,492	Issued	5/16/2017	Yes	
12023	5/16/2017	6450 Via Real	SCHAFF, VICTOR WILLIAM & SUSAN MARIE REVOCABLE TRUST	Bore driveway and install 4" PVC conduit to accommodate new fiber optic infrastructure, Install 2 new vaults, trench and backfill where required.	210,000	Issued	5/25/2017		

12022	5/15/2017	681 Ash Avenue, Bldg 8	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			
12021	5/15/2017	681 Ash Avenue, Bldg 7	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			
12020	5/15/2017	681 Ash Avenue, Bldg 6	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			
12019	5/15/2017	681 Ash Avenue, Bldg 5	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			
12018	5/15/2017	681 Ash Avenue, Bldg 4	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			

12017	5/15/2017	681 Ash Avenue, Bldg 3	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			
12016	5/15/2017	681 Ash Avenue, Bldg 1	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			
12015	5/15/2017	681 Ash Avenue, Bldg 1	CHAPEL COURT HOUSING CORPORATION	Provide upgrades to ADA units per U.F.A. S rebuild trash enclosures. Install new handrails at ramps, misc. repairs in office, laundry, apartments and site. Replace and install new exterior lighting.	100,000	In Review Building			
12014	5/12/2017	4660 Carpinteria Avenue	LAVENDER BLUE, LP	Install (2) 1-HR Fire-Rated walls to create 3 commercial spaces. 4650, 4660, 4670. Tenant improvement - Spark 45 Fitness Studio unit 4660.	5,000	In Review Planning			Yes
12013	5/11/2017	5613 Calle Pacific	PARSONS, ALAN	Replace furnace incloset air ducts and add A/C	14,500	Final	5/11/2017		
12012	5/11/2017	6048 Jacaranda Way Unit B	BECKER, DAVID	Second floor bathroom remodel, custom shower. Moving of 1 outlet	3,500	Issued	5/11/2017		
12011	5/11/2017	1492 Chapparral Drive	WINGATE ROBERT L PATSY	Tear off existing composition install lifetime composition (21 squares)	10,000	Final	5/11/2017		
12010	5/10/2017	1436 Carnation Place	PHILLIPS, CHRISTOPHER	Installation of Nema 14-50R outlet in existing garage for a Tesla	1,000	Issued	5/10/2017		

12009	5/8/2017	5427 Cameo Road	SHORE-PURSELL LIVING TRUST 4/13/09	Installation of flush roof mounted solar p.v. 13 panels 3.640 KW	8,008	Issued	5/8/2017		
12008	5/8/2017	1550 Myra Street	WILTSHIRE, MICHAEL	Install 10-panel solar photovoltaic system on garage roof. Grid tied system to be tied into load side of 240 V electric service.	17,500	Issued	5/31/2017		
12007	5/5/2017	1212 1/2 Casitas Pass Road	STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION	Supply Temporary power to existing highway facilities/utilites.	8,000	Issued	5/5/2017		
12006	5/5/2017	1598 Linden Ave/5031 Foothill Road	DEALBA FAMILY TRUST 5/31/01	Remove unpermitted structures. 1598 Linden Avenue - Remove 560 sf addition. 5031 Foothill Road - Remove unpermitted shade trellis	3,000	Issued	5/5/2017		
12005	5/3/2017	5137 Cambridge Lane	DURHAM SURVIVOR'S TRUST 10/15/92	Subterranean termite damage repair. Replace overhead door header as built. One king stud and 4 studs.	1,800	Issued	5/5/2017	Yes	
12004	5/2/2017	6303 Carpinteria Avenue	6303 CARPINTERIA AVENUE, LLC	Remove and replace existing plumbing, remove and replace HVAC ducting and use existing package units on roof, new lighting and receptacles	400,000	In Review Planning			Yes

Total Records: 37

6/1/2017