

CITY OF CARPINTERIA PLANNING COMMISSION AGENDA

**David Allen
Jane L. Benefield
John Callender, Vice-Chair
Glenn La Fevers
John Moyer, Chair**



**City Council Chamber
5775 Carpinteria Avenue
Carpinteria, CA 93013
Time: 5:30 p.m.
Agenda Posted: 4/27/17**

MAY 1, 2017

THE PLANNING COMMISSION RESERVES THE RIGHT TO CHANGE THE ORDER IN WHICH ITEMS ARE HEARD. APPLICANTS NOT IN ATTENDANCE WHEN THEIR ITEM IS CALLED MAY HAVE THEIR ITEM CONTINUED TO THE NEXT REGULAR MEETING.

Any information presented to the Planning Commission by the public on any agenda item and during Public Comment using electronic media to be displayed on the overhead projector must be arranged with staff for review of materials in advance of the meeting and no later than Friday prior to the Planning Commission meeting.

Any written, printed or electronic material and/or exhibit presented at this meeting becomes the property of the City, and a copy must be provided to City staff.

This meeting will be broadcast live on Government Access Television Channel 21 and rebroadcast on Wednesday after the meeting at 8:00 p.m. and on Saturday at 5:00 p.m.

- 1. CALL TO ORDER and ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS**
- 4. PUBLIC COMMENT**

This time on the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Commission and not listed on other sections of the agenda. Please limit comments to no more than five minutes. Depending on the number of speakers wishing to make comments, the Chair may further limit the time available to each speaker to control the amount of time spent on this part of the agenda. If you wish to speak on a **CONSENT CALENDAR** item, please do so during this part of the meeting.

Please be advised that California law does not allow the Planning Commission to discuss or take action on any issue presented by the public during this portion of the meeting. The Commission may ask a question for clarification, provide a brief response to public comment, refer the matter to staff for review and a later report or direct staff to place an item on a future agenda.

The City is not responsible for the content of statements made during the public comment period or the factual accuracy of any such statements.

5. CONSENT CALENDAR

Items on the Consent Calendar are considered to be routine and are normally enacted by one unanimous vote of the Commission. Individual items may be removed and considered separately at the request of a Commissioner. Any item removed from the Consent Calendar will be added to another section of the agenda.

a. Minutes of the regular Planning Commission meeting held April 3, 2017.

6. NEW PUBLIC HEARING

**a. Sunburst Winery
Project 16-1844-DP/CDP**

Planner: Nick Bobroff

Hearing on the request of Kevin Moore, architect/agent for Scott Smigel to consider Project 16-1844-DP/CDP (application filed on October 13, 2016) for approval of a Development Plan and a Coastal Development Permit to allow a remodel and change of use from a former print shop to a retail wine sales business and wine bar; and to consider a modification to the onsite parking requirements under the provisions of the Commercial Planned Development (CPD) Zone District; and to approve an Exemption pursuant to §15301 and 15303 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APN 004-041-013, addressed as 5080 Carpinteria Avenue.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing
4. Planning Commission Action

**b. Vernon Garages Rehabilitation
Project 17-1860-CUP/CDP**

Planner: Nick Bobroff

Hearing on the request of Dylan Chappell, architect/agent for Thom Vernon to consider Project 17-1860-CUP/CDP (application filed on March 13, 2017) for a Conditional Use Permit and a Coastal Development Permit to allow structural repairs and alterations to an existing legal nonconforming garage/storage structure under the provisions of the Planned Residential Development (PRD-20) Zone District; and to approve an Exemption pursuant to §15301 and 15302 of the California Environmental Quality Act (CEQA) Guidelines. The application involves APNs 004-105-005 and -009, addressed as 502 Maple Avenue.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing
4. Planning Commission Action

7. OTHER BUSINESS

8. MATTERS PRESENTED BY COMMISSIONERS

9. DIRECTOR'S REPORT

a. Distributed Information

- i. Action Minutes of the Architectural Review Board meeting of March 30, 2017 and April 13, 2017
- ii. City calendar for the month of May 2017
- iii. Community Development Project Status Report as of April 27, 2017
- iv. Construction Permit Report as of April 27, 2017

10. ADJOURNMENT

Notes

All actions of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within 10 calendar days of the Commission's action. Appeal deadline for items on this agenda: 5:00 p.m., May 11, 2017. The next regular Planning Commission meeting will be held on Monday, June 5, 2017 at 5:30 p.m. in the Council Chamber.

If you challenge any of the Planning Commission's decisions related to the agenda items above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence to the Planning Commission prior to the public hearing.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact the Community Development Department by email at lorenae@ci.carpinteria.ca.us or by phone at (805) 755-4410 or the California Relay Service at (866) 735-2929. Notification two business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

MINUTES, PLANNING COMMISSION
CITY OF CARPINTERIA
CARPINTERIA, CALIFORNIA

April 3, 2017
Regular Meeting
Council Chamber
5:30 P.M.

CALL TO ORDER and ROLL CALL Chair Moyer called the meeting to order at 5:30 p.m. Commissioners Present: John Moyer, Chair David Allen Jane L. Benefield John Callender, Vice-Chair Glenn La Fevers Others Present: Steve Goggia, Community Development Director Marysol Smith, Assistant Planner Dylan Johnson, Brownstein Hyatt Farber Schreck, LLP acting as City Attorney of the City of Carpinteria Approximately 7 interested persons	CALL TO ORDER & ROLL CALL
PLEDGE OF ALLEGIANCE - Chair Moyer called for the flag salute.	PLEDGE OF ALLEGIANCE
INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS - None	ANNOUNCEMENTS
PUBLIC COMMENT - None	PUBLIC COMMENT
CONSENT CALENDAR a. Minutes of the regular Planning Commission meeting held March 6, 2017 MOTION Upon a motion by Commissioner Allen, seconded by Commissioner La Fevers, the Planning Commission voted 4-0 (Benefield abstained) to approve the minutes of the regular Planning Commission meeting held March 6, 2017 as presented.	CONSENT CALENDAR
NEW PUBLIC HEARING a. Carpinteria Arts Center Remodel & Expansion Planner: Marysol Smith Project 16-1841-DP/CDP Hearing on the request of NMA Architects, agents/architect for the	PUBLIC HEARING

Carpinteria Valley Arts Council, to consider Project 16-1841-DP/CDP (application filed September 1, 2016) for approval of a Development Plan and a Coastal Development Permit to expand the Carpinteria Arts Center into the adjoining property and remodel the existing building (formerly the Cajun Kitchen restaurant) under the provisions of the Central Business (CB) Zone District; and to approve the Addendum to the Mitigated Negative Declaration previously prepared for the Carpinteria Arts Center project pursuant to the California Environmental Quality Act (CEQA) Guidelines. There are no new significant environmental impacts as a result of this project. The Addendum to the MND and all documents referenced therein may be reviewed at the Community Development Department, 5775 Carpinteria Avenue, Carpinteria. The Addendum to the MND is also available for review at the Carpinteria Branch of the Santa Barbara Public Library, 5141 Carpinteria Avenue, Carpinteria. The application involves APNs 003-262-010 and 003-262-009, addressed as 855 and 865 Linden Avenue.

DISCLOSURE OF EX PARTE COMMUNICATIONS

Commissioner Benefield disclosed that she had visited the site.

Assistant Planner Marysol Smith presented the staff report. She presented a project description, background and environmental information, and an analysis with respect to the Zoning Code and General Plan/Coastal Plan. She said staff was recommending approval of the project as presented. Additional details about the project were provided in response to Board members' questions.

PUBLIC HEARING OPENED

Chair Moyer opened the public hearing at 5:50 p.m.

Andy Newman, agent/architect for the Carpinteria Valley Arts Council, clarified that the existing awning will remain but will not be as long. He said there will be a catering kitchen without a stove. With respect to the sign, he explained that the size "felt right" and it has energy and spirit that exemplifies what they are all about. He said the sign got a favorable response from the ARB.

David Powdrell, co-chair of Carpinteria Valley Arts Council and chairman of its capital campaign, said community support has been phenomenal, with \$2.2 million raised. He hopes the center will be described as the heart of the community. He said there are amazing artists in this little town, and the vision is to be one of the top 100 small art towns in America.

Ted Rhodes, Carpinteria resident and volunteer at the Carpinteria Valley Arts Center, spoke about his involvement in the project and said he supports staff's recommendations. He said art is an important element of the quality of life here and he wants people who never pictured themselves as artists to say they are artists. Regarding the sign, he said it's "font art," is a matter of proportions and needs to be bold. He noted \$900,000 needs to be raised.

PUBLIC HEARING CLOSED

Chair Moyer closed the public hearing at 6:05 p.m.

The Planning Commission expressed unanimous support for the project and the following comments were made: Commissioner Allen said he liked the art sign. Commissioner Benefield said she loved the red sign and the project is so much more Carpinteria than the original project. Commissioner Callender said the facade makes a bold statement and bold is okay in terms of the sign. Commissioner La Fevers said it's an interesting change in direction and the center will continue to be a great asset to Carpinteria. Chair Moyer said it raises the bar for the arts in Carpinteria and will inspire and engage our youth.

MOTION

Upon a motion by Commissioner La Fevers, seconded by Commissioner Benefield, the Planning Commission voted 5-0 to adopt PC-17-002 approving DP/CDP to remodel the existing building at 865 Linden Avenue as part of the expanded Carpinteria Arts Center located at 855 and 865 Linden Avenue.

b. Conditional Use Permits Compliance Report **Planner: Marysol Smith**

The Planning Commission received a report on the status of various Conditional Use Permits in effect throughout the City (See agenda for list).

Assistant Planner Marysol Smith explained that inspections took place in March and no major violations were observed. She said there had been no complaints in the past year.

A discussion took place about a recent Senate Bill that requires oil and gas pipelines to undergo annual reviews. Commissioner Callender asked if the Chevron oil pipeline in Carpinteria would be reviewed, and Community Development Director Steve Goggia said it is part of a three-year compliance and will be brought to the Planning Commission after it is noticed to the public. City Attorney Dylan Johnson added that the annual

requirement may apply but he does not have a definitive answer tonight.	
OTHER BUSINESS - None	OTHER BUSINESS
MATTERS PRESENTED BY COMMISSIONERS Commissioner Allen asked for an update on parking issues, particularly along Carpinteria Avenue by Arbol Verde near the apartments (Concha Loma neighborhoods) and the Viola Fields area. He also requested a briefing on the various pipe and utility lines associated with Venoco's operations. Chair Moyer brought to attention that Parking Lot #3 is in very poor repair, with tree root damage and only one light. He said business owners say they have complained about it. He shared how on a rainy evening he fell down upon getting out of his vehicle. Commissioner Benefield asked for information on the status of Parking Lot #1 and said there is potential for a structure there.	MATTERS PRESENTED
DIRECTOR'S REPORT a. Distributed Information i. Action Minutes of the Architectural Review Board meeting of March 16, 2017 ii. City calendar for the month of April 2017 iii. Community Development Project Status Report as of March 30, 2017 iv. Construction Permit Report as of March 30, 2017 Community Development Director Steve Goggia reviewed the distributed information.	DIRECTOR'S REPORT
ADJOURNMENT - Chair Moyer adjourned the meeting at 6:15 p.m. _____ Secretary, Planning Commission ATTEST: _____ Chair, Planning Commission	ADJOURNMENT

DRAFT

PLANNING COMMISSION STAFF REPORT

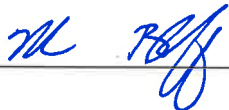
MEETING DATE: May 1, 2017

ITEM FOR CONSIDERATION

Case 16-1844-DP/CDP

Request for a Development Plan and Coastal Development Permit to allow interior and exterior tenant improvements to an existing vacant commercial building to operate a retail wine sales business and wine bar. As part of the project, the applicant is requesting a Modification to the City's onsite parking requirements.

Report prepared by: Nick Bobroff, Senior Planner
Community Development Department


SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department


SIGNATURE

Applicant: Scott Smigel

Agent: Kevin Moore, Architect

Project Location: 5080 Carpinteria Avenue

APN: 004-041-013

Zoning: Commercial Planned Development (CPD)
with a Visitor-serving Commercial (V) Overlay

General Plan Designation: Visitor-serving
Commercial (VC)



I. RECOMMENDATION

Adopt attached Resolution PC-17-003, thereby approving Project 16-1844-DP/CDP to allow interior and exterior tenant improvements to an existing vacant commercial building, the operation of a retail wine sales business and wine bar in the space, and the granting of a Modification to the required dimensions and number of provided onsite parking spaces.

II. PROPOSED PROJECT DESCRIPTION

Development Plan: The proposed project entails allowing a change of use for an existing commercial building from a (former) print shop to a new retail wine sales business and wine bar, and completing interior and exterior tenant improvements to the existing vacant commercial building to accommodate and operate the new Sunburst Winery business.

Proposed interior alterations would reconfigure the floor plan to create a new retail sales area and service bar, a new accessible restroom, and commercial kitchen and “back of house” storage areas. Approximately 72 square feet of interior customer seating area (accommodating 10-12 seats) would be provided at the service bar and around a central table.

Proposed exterior improvements include reconfiguring the existing enclosed entry vestibule into an open vestibule, adding a new accessible ramp from the Eugenia Place sidewalk to the reconfigured main entry, and replacing some of the existing raised landscape planter area along the property’s Carpinteria Avenue frontage with a new 350 square foot exterior wood deck. The new deck would feature an outdoor gas fire pit and approximately 63 square feet of seating area (providing an additional approximately eight seats).

Exterior building finishes and fenestration would be updated on all building elevations, including new/replaced windows and doors, new plaster and paint, new exterior lighting, replacement of a large window on the Carpinteria Avenue frontage with a new glass and metal frame roll-up door, and a new cable hung wood trellis above the new roll-up door. Other exterior site improvements include resurfacing and re-striping the existing rear parking lot to create four customer parking spaces, including one van accessible space and loading zone, construction of a new trash enclosure, new/updated landscaping and refurbishing the existing “Sunburst” sign on the Carpinteria Avenue frontage.

As part of the project, the applicant is requesting a Modification to the City’s standard parking dimensions and the amount of required onsite parking. Specifically, the applicant is asking to reduce the width of the provided parking spaces from nine feet wide to eight feet six inches. The applicant seeks to modify the required number and provision of parking spaces in two ways: 1) Reduce the base parking requirement for the building from one space per 250 square feet of floor area to one space per 500 square feet of floor area; and 2) Offset two of the required spaces through the payment of the City’s Downtown Parking Facilities Development Impact Fee (DIF). Additional details and analysis regarding the parking modification requests are provided below in Section V, Analysis.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics

The project site is located at the northeast corner of the Carpinteria Avenue and Eugenia Place intersection. The 6,250 square foot lot is presently improved with a 1,392 square foot commercial building and a four-space surface parking lot. The building is oriented toward Carpinteria Avenue and sits approximately two feet above the sidewalk elevation. The entrance is accessed by a walkway and stairs from Carpinteria Avenue. The remainder of the frontage is comprised of two landscape planter beds. The parking lot's access is situated toward the rear of the lot off of Eugenia Place.

The subject property has been vacant for the last couple of years but was most recently occupied by Sunburst Printers. The former tenant's monument sign (approved in 1980, building permit no. 1959) sits in the front landscape planter, facing Carpinteria Avenue. The applicant proposes to retain and refurbish the existing sign for their proposed use.

The project site is located in the City's downtown commercial core. The property is surrounded by retail and restaurant uses to the south, east and west, along the Carpinteria Avenue corridor. To the north, behind the subject property, are the Eugenia Place professional offices.

The site is zoned Commercial Planned Development (CPD) with a Visitor-serving Commercial (V) Overlay and has a Visitor-serving Commercial (VC) land use designation. The CPD zone allows a wide array of office, retail, service and wholesale businesses and is the City's most accommodating commercial zone district in terms of the range of allowed uses. The V Overlay and VC land use designation however, limit the range of allowed uses to those of a commercial variety that will serve visitors to the City as well as the local residents.

Project History

City Council

At the October 10, 2016 City Council hearing, the Council considered and granted a Letter of Public Convenience and Necessity (PCN) to the proposed Sunburst Winery for a Type 42 (bar/tavern) alcohol license from the Department of Alcoholic Beverage Control (ABC). A PCN determination by the Council was required to allow ABC to issue a new license in an area already considered to be over-concentrated for alcohol licenses.

Type 42 (bar/tavern) licenses authorize the sale of beer and wine for consumption on or off the premises where sold. Aside from the pending license for Sunburst Winery, there are only two other Type 42 licenses operating in the City of Carpinteria: the Carpinteria and Linden Pub at 4954 Carpinteria Avenue, and the Carpinteria Wine Company at 4193 Carpinteria Avenue. The Carpinteria and Linden Pub operates primarily as a bar/tavern; the Carpinteria Wine Company operates primarily as a wine retail establishment for off premises consumption, although tastings and similar events are periodically offered. The proposed Sunburst Winery intends to offer both wine and beer for purchase for on-site consumption as well as wine for sale for off-site consumption.

The Council found that despite the existing over-concentration of ABC licenses as determined by ABC, the proposed business' offerings would serve the interests of the City and public, and therefore issuance of the PCN letter was appropriate. In the staff report to the Council, it was clarified that despite the Council issuing a PCN letter, an approval for a Development Plan and Coastal Development Permit by the Planning Commission is required before the proposed use may complete the necessary improvements to the site or begin operations.

Architectural Review Board

The proposed project was reviewed and recommended for preliminary approval by the Architectural Review Board (ARB) at the April 13, 2017 meeting as submitted. The project had been previously reviewed by the ARB on March 16th, wherein the Board requested additional details concerning colors, materials and landscaping, and asked for a contrasting treatment for the revised entry vestibule. Overall, the Board was supportive of the project, noting it would result in a nice improvement to the property and that the indoor/outdoor floor plan was an appropriate design feature for the project's Carpinteria Avenue frontage.

Copies of the March 16 and April 13, 2017 ARB Meeting Minutes are attached as Exhibit 2.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to Sections 15301 [interior or exterior alterations involving such things as interior partitions, plumbing and electrical conveyances] and 15303 [installation of new equipment and facilities within an existing commercial building in an urbanized area] of the Guidelines for the Implementation of the California Environmental Quality Act (CEQA). Class 1 Categorical Exemptions consist of the operation, repair, maintenance, permitting, leasing, licensing or minor alteration of existing public or private structures, facilities, mechanical equipment or topographical features, involving negligible or no expansion of use beyond that previously existing. Class 3 Categorical Exemptions consist of construction and location of limited numbers of new, small facilities or structures, installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. As the project is consistent with these standards, the exemption is appropriate.

For more detail, see the attached Notice of Exemption included as Exhibit 3.

V. ANALYSIS

The proposed project includes interior and exterior tenant improvements as well as a change to the intensity of use (based on parking requirements). As such, staff has reviewed the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code, and with the policies and objectives of the General Plan/Coastal Land Use Plan.

Zoning Code Requirements

Commercial Planned Development (CPD) Zoning District (CMC §14.20)

The subject property is located within the CPD zoning district. The purpose of the CPD district is to provide appropriately located areas for office uses, retail stores, service establishments and wholesale businesses, offering commodities and services required by residents of the City and its surrounding market area. Types of uses permissible in this zone district are listed in CMC §14.20.030, and include both “cocktail lounge/bar” and “liquor store.” As such, the Code can be interpreted to include the operation of a retail wine sales business allowing for both onsite and offsite sales as a permissible use.

CMC §14.20.020 stipulates that a Development Plan shall be required for any change in use within an existing structure that would have one of the following effects:

1. An increase in the parking requirements specified for commercial uses; or
2. An increase in water use to a level that exceeds either the historic level of use or the amount allocated by the City at the time of project approval; or
3. A reduction in the amount of landscaping that was required at the time of project approval; or
4. Result in a concentration of certain uses, in which case a Conditional Use Permit (CUP) would be required in lieu of a Development Plan (DP).

The following table identifies the project's conformance with the CPD district requirements:

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	No structure shall be located less than 35 feet from centerline of street or 5 feet from property line, whichever is greater.	Building: 58 feet from centerline; 25 feet from property line Deck: 46 feet from centerline; 13 feet from property line
Side/Rear	Side and rear setbacks shall not be required except that no structure shall be located less than ten feet of any boundary line of a parcel zoned for residential use; however, when the structure exceeds twenty feet in height, it shall be located not less than twenty feet from residentially zoned property lines. Side yard setback requirements	Side (east): 4 feet Side (west) Building: ~10.5 feet Side (west) deck: ~6.75 feet Rear: 51.5 feet

	for corner lots may be waived.	
Height	30 feet max.	Existing: 13 feet Proposed: 13 feet
Landscaping	Not less than twenty (20) percent of the net area shall be landscaped, where feasible; in no case shall less than ten (10) percent of the net area be landscaped.	Existing: 17% (1,062 square feet) Proposed: 12.5% (780 square feet)
Parking	6 spaces (1 van accessible space + 5 standard spaces)	Existing: 4 spaces Proposed: 4 spaces (1 van accessible space + 3 substandard spaces)*

**See Parking Regulations discussion below.*

As the project would both result in an increase to the parking requirements for the proposed use, and a reduction in the amount of landscaping provided onsite, a Development Plan is required for the proposed change of use.

Non-concentration of Certain Uses (CMC §14.20.070)

Pursuant to CMC §14.20.070, the concentration of certain uses (including but not limited to, adult-oriented businesses, bars, off-sale beer and wine stores, and convenience stores) is considered to have a blighting effect upon the City's commercial areas. Therefore, when two or more of any of these types of uses are located within 450 feet of a proposed use of a similar nature, a concentration of such uses shall be considered to potentially exist and the proposed use shall be required to obtain a Conditional Use Permit.

Staff has reviewed the existing "non-concentrated uses" in the vicinity of the proposed use and determined that the addition of the proposed Sunburst Winery would not create an over-concentration of the enumerated uses in this part of the City. Only one such use, the 76 Gas Station convenience store, which does not sell alcohol, is located within 450 feet of the subject property on Carpinteria Avenue.

Visitor-serving Commercial (V) Overlay District (CMC §14.44)

The subject property is designated with a Visitor-serving Commercial land use designation on the City's General Plan/Coastal Plan Land Use Map and is thus subject to the provisions of the V Overlay district. The purpose of the V Overlay District is to provide for commercial development that will serve visitors to the City as well as local residents. Permitted uses within the V Overlay district include "service and retail commercial uses normally associated with the needs of visitors and which may also serve local residents, e.g., drug stores and pharmacies, food stores, gift and apparel shops, and hardware stores, but not including such uses as office and professional buildings, appliance repair shops, etc."

The City has historically found that most retail-type uses fall within the permitted uses in the V Overlay district. Consistent with this practice, the proposed retail wine sales business and wine bar, which would allow for both onsite and offsite sales, and cater to both visitors and residents, can be found consistent with the types of uses permissible within the V Overlay district.

Parking Regulations (CMC §14.54)

Chapter §14.54 of the Zoning Code provides regulations for the required number and design of parking spaces for new development. Under the current parking provisions, the proposed use would require a base 6.6 spaces for the building and new deck using the CPD district's standard parking rate of one space per 250 square feet of area. Indoor/outdoor seating areas, totaling 135 square feet of area, which would accommodate approximately 15-20 seats, are required to provide an additional 2.7 spaces, calculated at a rate of one space for every 50 square feet of seating area. In total, the proposed use is required to provide 9.3 spaces (rounded up to 10 spaces) under the current Code requirements.¹

As currently shown, the applicant is proposing to maintain the existing number of onsite parking spaces (e.g., four spaces). To address the shortfall in the number of spaces provided, the applicant is seeking a modification to the required number of parking spaces, and permission to offset some of the required spaces through payment of the City's Parking Facilities Development Impact Fee (DIF). Specifically, the applicant seeks to reduce the base parking requirement for the business from 6.6 spaces to 3.3 spaces by applying the Central Business parking rate of one space per 500 square feet of area instead of the CPD parking rate of one space per 250 square feet of area. If granted by the Commission, the parking modification would reduce the total required number of parking spaces to six spaces rather than 10 spaces. Of those six spaces, four would be provided onsite and the remaining two spaces would be offset through payment of the Downtown Parking Facilities DIF, currently set at \$5,319.17 per space.

One of the onsite parking spaces to remain must be reconfigured to meet current requirements for a van accessible space and loading zone. In order to accomplish this, while still maintaining three additional parking spaces, the applicant is requesting permission to reduce the width of the three non-accessible parking spaces to eight feet six inches wide rather than the City's standard width of nine feet. To help compensate for maneuvering in and out of the reduced parking stall width, additional back-up space, beyond that required by the Zoning Code for a 90° approach is provided (28 feet versus the City standard 24 feet six inches).

To grant the requested modifications to reduce the number of required onsite parking spaces, allow payment of the Parking Facilities DIF, and allow a reduction to the width of the non-accessible parking spaces provided onsite, the Commission must determine that such modifications are necessary to accommodate an innovative project which will result in at least one of the following public benefits:

1. Energy efficient heating/cooling; or

¹ Pursuant to CMC 14.54.030(5), when the total number of required spaces results in a fraction, the next larger whole number shall be the total of spaces required.

2. Provision of affordable housing units through a mix of housing types, innovative design and construction techniques, or other means; or
3. Provision of a larger amount of open space or landscaping than the minimum requirements of the District.

In order to grant the requested Modifications, the Commission must find that the project would result in at least one of the above described public benefits. A case can be made that the project would meet the intent of finding “3,” providing a larger amount of open space or landscaping than the minimum requirements of the District.

While the total amount of project landscaping onsite would be reduced from 1,062 square feet (equivalent to 17% of the site) to 780 square feet (equivalent to 12.5% of the site) in order to accommodate the new outdoor deck and accessible ramp, both the existing and proposed figures continue to exceed the CPD zone district’s minimum required 10% landscape coverage figure. Furthermore, the inclusion of the new 350 square foot outdoor deck within the more broadly defined open space definition results in the total amount of open space provided onsite increasing to 1,130 square feet (equivalent to 18% of the site).

Staff notes the large majority of the site’s landscaping and “public” open space is provided in areas that are visible from Carpinteria Avenue and/or Eugenia Place where these planting areas and outdoor deck space provide a tangible public benefit in the form of improved aesthetics and increased activity (outdoor seating/patio along the sidewalk) in the City’s downtown core. Given the existing layout of the property, it would also be difficult to accommodate any additional required parking onsite without requiring further deviations from the City’s parking design standards.

Calculating the parking rate for the subject building at the one space per 500 square foot rate rather than the one space per 250 square foot rate is consistent with the parking rate applied to most of the other V Overlay properties in the Downtown “T,” which includes almost all of the other downtown area Central Business-zoned restaurants, and similar uses. The (land use and overlay) designations of the subject property as Visitor-serving Commercial suggests that it is intended to be re-zoned in the future to align with the Central Business zone district, thus applying the less intensive parking standard to the property is appropriate. Additionally, the “back of house” component of the floor plan (e.g., kitchen, storage, etc.) uses approximately 40% of the interior floor area and generally would have a lower parking demand than retail areas open to the public.

As the property is also located within the Downtown “T” Parking and Business Improvement Area (PBIA) Assessment District, the property is also eligible to offset required parking through the payment of the City’s Downtown Parking Facilities DIF subject to the approval of the Planning Commission. As noted above, should the Commission grant the requested Modifications, the applicant would be paying the DIF for two required parking spaces.

Considering the subject property’s location in the downtown core, its immediate proximity to MTD bus stops on Carpinteria Avenue, and the provision of bicycle parking racks nearby the proposed use, there are opportunities and infrastructure in place for patrons to use alternative means of transportation to reach the site. Similarly, there are additional public parking resources in the project

vicinity that can absorb some of the site's parking demand in the event that it cannot all be met onsite. These additional resources include on-street parallel parking on Carpinteria Avenue and Eugenia Place, and the nearby City Parking Lot #2. Staff expects that the peak intensity times for the proposed Sunburst Winery would occur during the evenings and on weekends, when most of the nearby office uses on Eugenia Place are typically closed.

Finally, the proposed tenant improvements would result in energy efficiency upgrades to the property, thus supporting finding "1." As part of the proposed remodel, the applicant intends to incorporate more efficient lighting, heating and plumbing fixtures, updated energy code compliant glass windows/doors, a new shade trellis over the roll-up door (on the building's south elevation), and new insulation in exterior walls. Staff also notes that the proposed roll-up door on the Carpinteria Avenue elevation would allow natural light and ventilation into the building. Additionally, the proposed wood deck and ramp would allow rainwater to pass through, thus not increasing impervious surfaces on the site. The proposed water efficient landscaping for the existing/new landscape areas would help reduce water usage.

Given the above analysis, it is appropriate for the Commission to grant the requested Modifications to the Parking Requirements.

Signage (CMC §14.58)

The existing approximately 34 square-foot wood "Sunburst" monument sign was approved by the City and installed in 1980. The applicant proposes to retain and restore the sign for the proposed Sunburst Winery. According to the submitted drawings, the sign lettering would measure approximately 15 inches in height and nine feet nine inches long on a solid contrasting background that measures approximately 30 inches tall by 16 feet nine inches long.

The CPD zone district generally allows monument signs up to 80 square feet in size and up to eight feet in height, located in a landscaped area twice or more the square footage of the sign. In the downtown commercial core, tenant signage is further limited to one square foot of sign area for every one linear foot of street frontage, not to exceed 80 square feet for all signs on any frontage. As the subject building has a 36-foot wide street frontage, the proposed approximately 34-square foot sign, which measures approximately two to three feet in height, appears to comply with all of the applicable sign size standards for this area.

The ARB's review of the proposed project included consideration of retaining and refurbishing the existing sign. Overall, the Board indicated they were supportive of this intention.

General Plan/Coastal Plan Policies

The project site has a General Plan/Coastal Plan designation of Visitor-serving Commercial (VC), and is zoned Commercial Planned Development (CPD) with a Visitor-serving Commercial (V) Overlay. The City's Community Design Element of the General Plan contains both general overarching policies and specific subarea policies. The project site is in Design Subarea 2a (Downtown Core).

Land Use Element

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City's edge.*

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with the principles established in the Community Design Element.*

Policy LU-3d: *Establish a commercial sector that balances the retail and service needs and tourists.*

Policy LU-3e: *Direct commercial development toward the center of town and in established commercial nodes. Exceptions include visitor-serving commercial uses in the Bluffs II sub-area and commercial uses of a character, size and location that are intended solely to serve a specific neighborhood and thereby reduce vehicle trips.*

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with principles established in the Community Design Element.*

Policy LU-3g: *Provide for a range of business activities that bring vitality, revenue and employment to Carpinteria and are compatible with its small town character.*

The subject property is prominently located at the intersection of Carpinteria Avenue and Eugenia Place, just one block east of Linden Ave and thus is situated in the City's downtown core. Unfortunately, the site has sat vacant for the last few years. Backfilling this site with a new retail wine sales business and wine bar would bring added vitality and visitors to the City's downtown as the new business would another unique service to the mix of businesses found in the downtown. Such a use would be consistent with the applicable land use element as retail establishments and similar uses are called out specifically as desired uses in the Visitor-serving Commercial designated areas of the City to serve both visitors and residents of the City.

As part of the physical upgrades to the site to accommodate the proposed use, the applicants intend to remodel the exterior and create an outdoor patron area along the Carpinteria Avenue frontage similar in character to that found at nearby downtown restaurants such as Rincon Brewery, Jack's Bistro and the Nugget, all of which are in close proximity to the subject site. The Architectural Review Board reviewed the proposed remodel, including the new outdoor deck and concluded the improvements would contribute to the enhancement of the City's downtown commercial core.

Policy LU-3h: *Develop land uses that encourage the thoughtful layout of transportation networks, minimize the impacts of vehicles in the community and encourage alternative means of transportation.*

Policy LU-3i: *Ensure the provision of adequate services and resources, including parking, public transit and recreational facilities, to serve proposed development.*

The subject property provides four parking spaces onsite. The new wine bar and sales use, based on the inclusion of the proposed deck and seating areas, would require additional parking. Given the adjacency of on-street public parking spaces, nearby bus stops on Carpinteria Avenue, existing bike lanes along Carpinteria Avenue and nearby bicycle racks, there are adequate parking and public/alternative transit resources available in the area to allow the Commission to grant the requested parking Modifications without creating a parking impact for the neighboring businesses. Additionally, the applicants would be required to pay the Downtown Parking Facilities DIF for two of the offset spaces; the fee would go toward helping to fund future public parking improvements in the Downtown "T".

Objective LU-5: *Maintain availability of agriculture, coastal-dependent industry and visitor-serving commercial development including hotels/motels, restaurants and commercial recreation uses.*

The subject property is designated with the Visitor-serving Commercial Overlay and land use designation. As such, the allowed uses on the site are limited to those that serve the needs of visitors to the City as well as local residents. The proposed use as a retail wine sales business and wine bar is consistent with the provisions of the Visitor-serving Commercial designations.

Community Design Element

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

The proposed improvements would not alter the size, scale, form or height of the existing building. Instead the proposed remodel would simply update the existing building, giving it a more modern, inviting street appeal consistent with the type of commercial development desired for the downtown core. The project would also include measures to improve accessibility for disabled persons.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

Glimpses of the Santa Ynez Mountains are available over the roof of the existing building and down the Eugenia Place right-of-way. The proposed project would not alter these existing available views.

Policy CD-6b: *Parking lots should be beside or behind the building, not in front. On-street customer parking for small neighborhood-serving shops, restaurants, offices and service businesses is encouraged. Such on-street parking should be managed as short-term convenience parking and should not conflict with parking for coastal access or for nearby residences.*

The existing parking lot is located behind the subject building. No significant changes to the parking layout are proposed other than restriping the lot to accommodate an accessible van space and loading zone. No public parking is permitted on the project's Carpinteria Avenue street frontage, as the area

is used for a MTD bus stop. On-street public parking is, however, available along the project's street-side frontage (Eugenia Place). These features are consistent with Policy CD-6b.

Objective CD-7: *Enhance and maintain the Linden Avenue downtown core, the Carpinteria Avenue commercial core, the Eugenia Professional office area, the Casitas Plaza shopping center, Shepard's Place shopping center and the Cindy Lane/Mark Avenue industrial park districts.*

Policy CD-7a: *Retail and commercial uses should generally have large transparent "storefront" windows for display of merchandise to pedestrians. Blank sections of walls on street frontages are strongly discouraged.*

Policy CD-7b: *Buildings should be designed to incorporate signs that conform to the City's sign ordinance. Signs should be integrated with building architecture and adequately identify businesses. Freestanding monument signs are discouraged.*

Policy CD-7c: *Loading and trash facilities should be located where they are screened from view. The use of alley and service roads is encouraged for these facilities.*

The proposed remodel would repurpose what had been a printing shop into a retail wine sales business and wine bar. The proposed use is in keeping with the types of visitor-serving commercial uses allowed in the downtown core. Introducing new visitor-serving commercial uses such as the proposed wine retail/bar business helps to add economic vitality and enhanced pedestrian activity to the downtown core.

In keeping with the policies above, the proposed remodel would reconfigure the existing entry vestibule and replace an existing window on the Carpinteria Avenue frontage with a glass roll-up door leading from the interior service bar and retail area onto a new outdoor deck facing the street. These features would enhance the retail presence of the building and help foster a more active, lively commercial atmosphere. The existing wood monument sign would be retained and refinished to coordinate with the new exterior treatments and finishes for the building. The property's trash enclosure would be located against the rear of the building, accessed through the parking lot. The enclosure would be constructed of "timbertech" product to match the new deck.

Policy CD-8a: *All streets should be designed with safe and pleasant pedestrian ways at their edge. Pedestrian ways shall be spatially separated from vehicular traffic by elements such as trees, other plantings, streetlights, and/or parked cars.*

The existing sidewalk and front stair entry from Carpinteria Avenue would remain unchanged. A new accessible ramp, accessed from the Eugenia Place sidewalk would be added to the building's (west) side elevation. No new street trees, parkway landscaping or other public improvements are proposed at this time.

According to the submitted plans, portions of the Carpinteria Avenue and Eugenia Place public improvements (e.g., sidewalks, parkway landscape planters, etc.) are constructed within the boundaries of the subject lot. To address this condition, the Public Works Department is conditioning

the project to require these areas be dedicated to the City. By transferring ownership of these areas to the City, the property owner would be absolved of any long-term maintenance and/or liability requirements for these public improvements. This solution would also help to ensure these existing facilities are maintained for the long-term benefit of the public.

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas, which maintain and enhance the quality of Carpinteria's streetscape.*

Policy CD-10c: *Commercial and mixed use frontages should generally have wide sidewalks adequate to encourage customers and residents to walk, shop and linger in the public right-of-way. Commercial buildings should have large windows and entries on the street at the ground level. Residential ground floor uses should be set up or back from the street enough to afford privacy within the dwelling.*

The proposed remodel would update an aging and (currently) vacant commercial building in the City's downtown core. The building's exterior finishes would be updated to give the building a more contemporary style, including new windows/doors, new plaster and paint, new lighting, and new wood and cable railings and trellis. Some of the new elements, such as the open entry vestibule, glass roll-up door and wood deck would create a more inviting and visually interesting street façade. These building features would help to support a livelier commercial core.

Objective CD-12: *Development should fit quietly into the area's natural and introduced landscape, deferring to open spaces, existing natural features and native and sensitive habitats.*

Implementation Policy 2: *More urban "formal" landscape designs may be used in the immediate vicinity, entryways or interior site areas of the commercially developed areas. Urban landscape species shall not be used adjacent to sensitive habitat areas.*

Implementation Policy 3: *All parking areas, including any future Park and Ride facilities, shall provide landscaping in order to screen and soften large expanses of pavement and, to the extent feasible, shield them from view through the use of perimeter shrubs and/or depression of the parking area. Landscaped setbacks for structures and parking areas are to be provided to soften the appearance of development from the freeway and Carpinteria Avenue.*

The subject site is located within the City's downtown core and is not located within or adjacent to any known ESH areas. The property currently features a pair of large planters on the Carpinteria Avenue frontage, but has limited landscaping throughout the rest of the property. The applicants intends to replace a portion of one of the front planters with a new outdoor wood deck. The remaining planting areas would be refreshed with new drought tolerant plantings. Additional new planting areas would be installed around the building perimeter and along the rear edge of the parking lot. Existing parkways on Eugenia Place would be maintained and enhanced, as needed.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

Implementation Policy 6: *Exterior lighting on commercial development shall be designed to complement the building and shall be at the minimum height and intensity required to ensure public safety.*

The proposed preliminary plans indicate that new exterior lighting is proposed for the front and (street) side building elevations. Should the project be approved by the Planning Commission, staff and the ARB would have an opportunity to review the selected light fixtures for compliance with these Objectives and Policies.

Objective CD-14: *Protect and preserve natural resources by reducing energy consumption.*

Policy CD-14a: *To ensure the effective utilization of energy resources, design measures shall be incorporated into project design that allow for development projects to comply with and exceed the minimum energy requirements of the City's Uniform Codes.*

CD-14-Implementation Policy 7: *Building orientation shall be designed to maximize natural lighting and passive solar heating and cooling.*

CD-14-Implementation Policy 8: *Landscaping shall be designed to maximize the use of native drought-tolerant species and deciduous trees to shade buildings in summer and allow for passive solar heating in winter.*

CD-14-Implementation Policy 9: *Energy efficient street lighting shall be used, with consideration of safety, visual impacts, and impacts to wildlife and sensitive habitat.*

As part of the proposed remodel, the applicant intends to incorporate energy efficiency improvements including, but not limited to, more efficient lighting, heating and plumbing fixtures, updated energy code compliant glass windows/doors, a new shade trellis over the roll-up door (on the building's south elevation), and new insulation in exterior walls. Staff also notes that the proposed roll-up door would allow natural light and ventilation into the building. Additionally, the proposed wood deck and ramp would allow rainwater to pass through, thus not increasing impervious surfaces on the site. Existing and new landscape areas would be planted with water efficient landscaping to help reduce water usage.

Subarea 2a Design Guidelines

Objective CDS2A-2: *Preserve and enhance the downtown's historic status as the center of commercial activity of the city by encouraging a range of uses that serve both residents and visitors.*

Policy CDS2A-b: *Ensure that intensified land uses within the subarea support a lively place to visit, live, work and shop, and that the scale and character of the District remain consistent with the city's "small beach town" image.*

Policy CDS2A-c: *Encourage the gradual but systematic transformation of Carpinteria Avenue from a highway commercial strip to an integrated downtown street similar in character to Linden Avenue.*

Policy CDS2A-d: *Enhance the pedestrian character of the District's streets, plazas, paseos, parks and lanes.*

The proposed project entails a change of use and remodel to a building formerly used as a printing shop for a new retail wine sales business and wine bar. The proposed use would be consistent with the types of visitor-serving commercial uses contemplated for this part of the City. The proposed improvements and remodel to the building would create a more inviting, interesting and pedestrian-oriented street façade, introducing a large glass roll-up door and new exterior deck seating/gathering area to the Carpinteria Avenue frontage. These features further support the City's desire to enhance commercial activity in the downtown core. The ARB reviewed the proposed changes and unanimously recommended approval of the project, finding it to be appropriately designed for its setting.

CDS2A Implementation Policy 26: *The provision of small spaces with benches, fountains, public art and other special elements that encourage people to gather and linger in public should be encouraged, particularly where they support businesses, such as sidewalk cafes.*

CDS2A Implementation Policy 27: *Gardens or plazas should be located adjacent to viable commercial uses or designed for a specific active uses, such as a children's play area.*

The proposed use includes a new outdoor deck and roll-up door facing the Carpinteria Avenue frontage. The roll-up door would provide a direct connection between the interior retail/bar areas and the new outdoor deck space. The deck would include bench seating and a gas fire pit feature, creating an inviting space for patrons of the proposed wine bar to sit outside. The deck would be enclosed with a cable and wood cap railing that relates to other architectural features on the building and a low planter area would be maintained between the City sidewalk and new deck. Overall, staff believes the deck concept is in keeping with the types of amenities desired in the downtown core.

Implementation Policy 28: *Curbside parking is encouraged to provide convenient parking for businesses and coastal access and to provide an additional buffer between pedestrians and traffic.*

Implementation Policy 29: *On-street parking and public parking requirements for coastal access shall be considered in deciding the required amount of off-street parking. Parking lots are discouraged on street frontages and are strongly discouraged on corner lots.*

The existing bus stop on the Carpinteria Avenue frontage and on-street public parking along Eugenia Place would be maintained. Likewise, the site's four existing onsite parking spaces, located at the rear of the lot would be retained.

CDS2A Implementation Policy 30: *Brick and smooth stucco are the recommended wall materials for the ground floors of commercial and mixed-use buildings in this District. Painted wood siding may also be appropriate in some cases. Window and door openings should be recessed to emphasize the massive characteristics of these walls, providing a sense of permanence and stability. Upper floors may be the same material or wood siding.*

The proposed plans call for a painted smooth coat plaster finish to the existing building. The entry vestibule would feature a contrasting metal panel finish. The plans are not sufficiently detailed at this time to understand how the new/replaced windows would be constructed. Nevertheless, it appears the proposed design and exterior treatments can be found generally consistent with the intent of this Policy.

Circulation Element

Policy C-3h: *Require all new projects to demonstrate safe traffic flow integration with the Master Plan of Streets as well as street/drainage improvements function. This shall include construction traffic and the designation of construction routes.*

Streets in the project area generally operate at high levels of service and can accommodate any increased vehicle trips associated with the proposed use. The existing parking arrangement (accessed from Eugenia Place) would be maintained. The existing right-of-way improvements along the frontage are compliant with City standards and do not require updating.

Policy C-3i: *Provide sufficient parking and loading space in commercial and industrial areas to minimize interference with efficient traffic circulation.*

With the granting of a Modification to the parking requirements to require one space per 500 square feet of building as is used for most downtown buildings, the proposed restaurant would need to pay the Downtown Parking Facilities DIF for two spaces (based on the current seating plan). As described elsewhere in this report, granting of the Modification and permission to offset required parking through the payment of the DIF is warranted. There is a four space parking lot provided onsite, additional public parking is located in the immediate vicinity, including two on-street parallel parking spaces directly adjacent to the subject property and the approximately 50-space City Parking Lot #2 is located a short walk away, behind Rincon Brewery. Infrastructure for alternative transportation is also in place and currently serves the area, including a MTD bus stop directly in front of the subject property and bicycle lanes along Carpinteria Avenue. Bicycle parking is also available in the area and may be further augmented as part of the project.

Noise Element

Objective N-5: *The City will minimize the effects of nuisance noise effects on sensitive land uses.*

The property is located within the commercial core of the City and is predominantly surrounded by other commercial uses. The closest sensitive receptor is one residential unit, located on the second

floor of the building at 1056 Eugenia Place, directly behind the subject property. Other nearby sensitive receptors include the Carpinteria Library and Carpinteria Historical Museum. At this time, the applicant is not proposing any live entertainment or outdoor amplified music. Nonetheless, the project has been conditioned to require the applicant to receive an Entertainment License from the City prior to any anticipated live music performances. The project is also conditioned to ensure that any outdoor amplified music does not constitute a public nuisance. Additionally business hours for the proposed use are limited to 9:00 p.m. Sunday through Thursday and to 10:00 p.m. Friday and Saturday.

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation have been included in the attached Conditions of Approval.

Public Facilities and Services Element

Policy PF-5c: *The City will ensure that new development will not adversely impact services and facilities provided to existing development.*

The project has been reviewed by the local Fire, Sanitary and Water Districts for consistency and compliance with their requirements. All agencies confirmed their ability to serve the new use.

VI. DEVELOPMENT IMPACT FEES

No new building square footage is proposed, thus the City's typical Development Impact Fees related to new commercial or industrial construction are not applicable. However, the City's Downtown Parking Facilities DIF would apply should the Commission grant the requested parking Modifications.

The Parking Facilities DIF is currently set at \$5,319.17 per space. This fee is current until June 30, 2017.

Under the proposed parking arrangement, the applicants would be required to pay the Parking Facilities DIF for a total of two spaces. Thus the current total Parking Facilities DIF estimate would amount to \$10,638.34. This fee payment would be placed in a special fund reserved for future public parking improvements in the City's downtown to benefit visitors and nearby businesses.

In addition to the applicable City DIF fees, the project may also be subject to various mitigation fees, capital cost recovery fees and similar charges from the affected Special Districts. These additional fees are outlined in each of the Special District condition letters included with the recommended Conditions of Approval attached as Exhibit 1, Attachment C.

VII. ACTION OPTIONS

1. Approve Project Number 16-1844-DP/CDP to grant a Development Plan and Coastal Development Permit, including a Modification to the City's parking design standards and required onsite parking to operate a retail wine sales business and wine bar in an existing commercial building and adopt the findings in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C. (staff's recommendation)
2. Continue the project to a future hearing date and direct the applicant to make changes to the project.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-17-003
Attachment A: Findings
Attachment B: Reduced Plans
Attachment C: Conditions of Approval

Exhibit 2 Notice of Exemption

Exhibit 3 ARB Meeting Minutes

Exhibit 1
Resolution PC-17-003

Sunburst Winery
5080 Carpinteria Avenue

Planning Commission Hearing
May 1, 2017

RESOLUTION NO. PC-17-003

**A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION
APPROVING THE DEVELOPMENT PLAN AND COASTAL DEVELOPMENT
PERMIT 16-1844-DP/CDP TO ALLOW A REMODEL OF AN EXISTING
COMMERCIAL BUILDING AND A CHANGE OF USE TO A RETAIL WINE
SALES BUSINESS AND WINE BAR. THE PROJECT IS LOCATED AT
5080 CARPINTERIA AVENUE (APN 004-041-013)**

REQUESTED BY SCOTT SMIGEL

WHEREAS, the Carpinteria Planning Commission has considered an application for a Development Plan and Coastal Development Permit filed by Scott Smigel on October 13, 2016 to allow a change of use within an existing commercial building from a (former) printing shop to a retail wine sales business and wine bar, and complete tenant improvements to the site to accommodate the new use; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on April 24, 2017; and

WHEREAS, the Planning Commission has conducted a hearing and received evidence regarding the application for the Development Plan and Coastal Development Permit, including the Modification to the Commercial Planned Development zone district parking requirements; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act pursuant to Section 15301(l) and 15303(a) of the California Environmental Quality Act Guidelines; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

NOW THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan and Coastal Development Permit, including the Modification to the onsite parking requirements are approved, making the Findings outlined in Attachment A.
2. The Development Plan and Coastal Development Permit for the project shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 1st day of May 2017, by the following called vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 1st day of May 2017.

Exhibit 1
Attachment A: Findings

Sunburst Winery
5080 Carpinteria Avenue

Planning Commission Hearing
May 1, 2017

ATTACHMENT A FINDINGS

PLANNING COMMISSION HEARING PROJECT 14-1844-DP/CDP MAY 1, 2017

SUNBURST WINERY, 5080 CARPINTERIA AVENUE

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Development Plan and Coastal Development Permit was submitted on October 13, 2016, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on April 24, 2017. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Coastal Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project was reviewed by the City's Architectural Review Board at a duly noticed public hearings on March 30 and April 13, 2017 which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is categorically exempt from the California Environmental Quality Act pursuant to Sections 15301 [minor interior/exterior alterations] and 15303 [installation of new equipment and facilities within a commercial building in an urbanized area] of the Guidelines for the Implementation of the California Environmental Quality Act.

1.3 Development Plan Findings

- a. *The proposed development is in conformance with the provisions of the applicable zoning district, Coastal Plan and implementation programs, and General Plan.*

As presented in the staff report prepared for the Planning Commission hearing of May 1, 2016, and herein incorporated by reference, the project involves completing various tenant improvements to an existing commercial building to accommodate a new retail wine sales business and wine bar pursuant to Chapter 14.20, Commercial Planned Development (CPD) and Chapter 14.44, Visitor-serving/Highway Commercial (V) Overlay of the City's Zoning Code. The proposed improvements include installation of a new commercial kitchen, accessible restroom, an interior patron retail/seating area, a new exterior deck/seating area, new exterior façade treatments, new landscaping/walkways and refurbished tenant signage. The proposed use of the site as a retail wine business and wine bar is an allowed use in the CPD zone district and is consistent with the types of uses allowed in the Visitor-serving Commercial Overlay district.

With the approval of a Modification to the CPD zone parking standards to deviate from the City's parking space design standards, reduce the number of required spaces and allow the payment of the Downtown "T" Parking Facilities Development Impact Fee for the remaining required spaces not provided onsite, the project would be consistent with all applicable CPD zone district development standards. The Modification is warranted as the site provides more than the minimum required amount of open space/landscaping, and most of this open space/landscaping is visible from public streets thus serving a public benefit. The modified parking arrangement is in keeping with other Visitor-serving Commercial designated properties in the downtown that are parked at the less intensive one space per 500 square feet parking rate.

The project is also consistent with the General Plan/Coastal Plan's Land Use, Community Design, Circulation, Noise and Public Facilities and Services Element Objectives and Policies as discussed in the Planning Commission staff report. The General Plan/Coastal Plan encourages new visitor-serving commercial businesses in the downtown to increase vitality and promote economic development in the City's commercial core. A retail wine business and wine bar with outdoor deck seating adjacent to the public sidewalk is consistent

with these desired types of uses and is consistent with the Visitor-serving Commercial (VC) land use designation of the site. The proposed exterior improvements (i.e., façade improvements, new deck, landscaping/walkways, signage) were favorably reviewed by the City's Architectural Review Board and found consistent with applicable policies. The existing driveway and parking arrangement are proposed to remain, and the proposed use would not generate new vehicle traffic in significant quantities to negatively affect area roadway segments which currently operate at acceptable levels of service. Appropriate conditions are included to address potential noise impacts and to ensure the new use complies with all applicable requirements of the local Fire, Water and Sanitary Districts. Thus, this finding can be made.

- b. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

The subject parcel is not located within a known geologic, flood or fire hazard zone and no new habitable structures are proposed as part of the project. The new site improvements including the patron seating area and outdoor patio area would be designed and built to meet State and local Fire and Building Codes.

- c. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The site does not contain any environmentally sensitive habitat area nor does the project have the ability to impact fish or wildlife as it involves completing tenant improvements to an existing commercial building in an urbanized part of the City. There are no known sensitive resources, native vegetation or specimen trees that would be impacted as a result of this project.

- d. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

Portions of the City's public sidewalk along both the Carpinteria Avenue and Eugenia Place frontages are located within the boundaries of the subject lot, according to the submitted plans. The proposed project would not change or alter the existing conditions in this regard.

There are no known recorded easements on the property for public utilities. All affected agencies including the Carpinteria-Summerland Fire Protection District, Carpinteria Sanitary District and Carpinteria Valley Water District have reviewed the project plans and indicated that the project can be approved and served as shown.

- e. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

The project does not have the potential to adversely affect these services in that these services are currently available to the existing site as well as the surrounding land uses located throughout the downtown. The proposed tenant improvements would not place an additional demand on community services significant enough to adversely affect the availability of these services.

With respect to traffic circulation and parking, the existing situation would remain as is. The existing driveway access from Eugenia Place would remain. The four onsite parking spaces would continue to serve the property and patrons could also make use of adjacent public parking resources such as the available on-street parking on Carpinteria Avenue/Eugenia Place and/or City Parking Lot #2 which is located a short walk away. Nearby bicycle parking and the MTD bus stop directly in front of the subject property will also support alternative transportation.

Concerning fire, sanitary, water and police services, the agencies potentially affected by this project have been notified and have indicated an ability to continue to serve the property. The proposed development would not by itself, or cumulatively, impose an increased demand on public services that would adversely affect the availability of these services to support existing or future development. Therefore, this finding can be made.

- f. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

The proposed wine sales business and wine bar would backfill an existing vacant commercial building in the City's downtown commercial core. The introduction of a new retail-oriented business into the downtown has the potential to increase the economic vitality of the downtown and provide an additional unique venue to the City's mix of businesses. Such a use is consistent with the Visitor-serving Commercial designations that apply to properties within the Downtown "T." Given these circumstances, the proposed project has the potential to provide positive economic benefits to the surrounding downtown area.

The project's location within the downtown core is also an acceptable setting for outdoor patron areas associated with such a use. The closest sensitive receptor is one residential unit located in the commercial building directly behind the subject property, and separated from the outdoor deck area by at least 100 feet. Any live music or entertainment would be subject to the approval of an Entertainment License by the Community Development Department. Outdoor amplified music is also conditioned to avoid nuisance noise impacts for adjacent uses. The proposed hours of operation would cease at 9:00 p.m. on weeknights and 10:00 p.m. on weekends, according to the applicant.

With respect to traffic and parking, the existing street network and available private and public parking resources are sufficient to serve the proposed use without having a detrimental effect on surrounding uses. Four parking spaces are provided onsite to serve the proposed use, which with the approved Modification would serve the majority of the proposed uses' parking demands. Allowing the additional two required spaces to be offset through the payment of the City's Downtown Parking Facilities Development Impact Fee is appropriate in the interest of fostering economic development in the downtown and encouraging a more pedestrian-oriented development pattern where onsite parking is limited and public on-street and/or central parking lots provide the majority of available parking for patrons of downtown businesses. There is sufficient capacity in these public parking resources to serve the proposed use while continuing to serve adjacent existing (and future) land uses. Infrastructure is already in place in the project area to provide opportunities for alternative transportation as well; these include bus stops and bicycle lanes.

Given the above factors, the project does not have the potential to be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.

1.4 Development Plan Modification

In reviewing a Development Plan, the Planning Commission or City Council may consider modification of requirements of the base zoning district in which the proposed development is located, including building height, yard setback, parking, building coverage or landscaping, if it is determined that such modification is necessary to accommodate an innovative project which will result in at least one of the following public benefits:

- a. *Energy efficient heating/cooling; or*
- b. *Provision of affordable housing units through mix of housing types, innovative design and construction techniques, or other means; or*
- c. *Provision of a larger amount of open space or landscaping than the minimum requirements of the district.*

The project requests Modifications to the City's parking design standards to allow for use of parking stalls that are eight feet six inches wide rather than nine feet wide, and to reduce the required amount of parking provided onsite by: 1) applying the Central Business zone district base parking rate of one space 500 square feet of floor area rather than the Commercial Planned Development zone district base parking rate of one space per 250 square feet of floor area; and 2) offsetting two of the remaining six required parking spaces through payment of Downtown Parking Facilities DIF. To grant the requested modifications, the project would meet the intent of finding "c," *provision of a larger amount of open space or landscaping than the minimum requirements of the district.*

While the total amount of project landscaping onsite would be reduced from 1,062 square feet (equivalent to 17% of the site) to 780 square feet (equivalent to 12.5% of the site) in order to accommodate the new outdoor deck and accessible ramp, both the existing and proposed figures continue to exceed the CPD zone district's minimum required 10% landscape coverage figure. Furthermore, with the inclusion of the new 350 square foot outdoor deck into the more broadly defined open space calculation, the resultant amount of open space on the site increases to 1,130 square feet (equivalent to 18% of the site).

The large majority of the site's landscaping and "public" open space would be provided in areas that are visible from Carpinteria Avenue and/or Eugenia Place where these planting areas and outdoor deck space provide a tangible public benefit in the form of improved aesthetics and increased activity (outdoor seating/patio along the sidewalk) in the City's downtown core. Given the existing layout of the property, it would also be difficult to accommodate any additional required parking onsite without requiring further deviations from the City's parking design standards.

Calculating the parking rate for the subject building at the one space per 500 square foot rate rather than the one space per 250 square foot rate is consistent with the parking rate applied to most of the other V Overlay properties in the Downtown "T," which includes almost all of the other downtown area Central Business-zoned restaurants, and similar uses. The (land use and overlay) designations of the subject property as Visitor-serving Commercial suggests that it is intended to be re-zoned in the future to align with the Central Business zone district, thus applying the less intensive parking standard to the property is appropriate. Additionally, the "back of house" component of the floor plan (e.g., kitchen, storage, etc.) comprises approximately 40% of the interior floor area and generally would have a lower parking demand than the retail areas open to the public.

As the property is also located within the Downtown "T" Parking and Business Improvement Area (PBIA) Assessment District, the property is also eligible to offset required parking through the payment of the City's Downtown Parking Facilities DIF subject to the approval of the Planning Commission. With the approval of the requested Modifications, the applicant would be paying the DIF for two required parking spaces.

Considering the subject property's location in the downtown core, its immediate proximity to MTD bus stops on Carpinteria Avenue, and the provision of bicycle parking racks nearby the proposed use, there are opportunities and infrastructure in place for patrons to use alternative means of transportation to reach the site. Similarly, there are additional public parking resources in the project vicinity that can absorb some of the site's parking demand in the event that it cannot all be met onsite. These additional resources include on-street parallel parking on Carpinteria Avenue and Eugenia Place, and the nearby City Parking Lot #2. Staff expects that the peak intensity times for the proposed Sunburst Winery would occur during the evenings and on weekends, when most of the nearby office uses on Eugenia Place are typically closed.

Finally, the proposed tenant improvements would result in energy efficiency upgrades to the property, thus supporting finding “a,” *energy efficient heating/cooling*. As part of the proposed remodel, the applicant intends to incorporate more efficient lighting, heating and plumbing fixtures, updated energy code compliant glass windows/doors, a new shade trellis over the roll-up door (on the building’s south elevation), and new insulation in exterior walls. Staff also notes that the proposed roll-up door on the Carpinteria Avenue elevation would allow natural light and ventilation into the building. Additionally, the proposed wood deck and ramp would allow rainwater to pass through, thus not increasing impervious surfaces on the site. The proposed water efficient landscaping for the existing/new landscape areas would help reduce water usage.

Given the above analysis, the requisite findings to grant the requested Modifications to the Parking Requirements can be made.

1.5 Coastal Development Permit Finding

- a. *The proposed development is in conformity with the City’s certified Local Coastal Program.*

The project is consistent with the Local Coastal Program as discussed in the Planning Commission staff report dated May 1, 2017 and incorporated herein by reference. The project involves completing tenant improvements to an existing commercial building to accommodate a new retail wine sales business and wine bar pursuant to Chapter 14.20, Commercial Planned Development (CPD) and Chapter 14.44, Visitor-serving Commercial (V) Overlay of the City’s Zoning Code. With the granting of a Modification to the onsite parking requirements, the new use would meet all applicable development standards.

The property will be operated as a retail wine sales business and wine bar which are allowed uses in the Downtown “T” where there are specific policies in the General Plan/Coastal Land Use Plan that encourage new and expanded visitor-serving commercial uses in the downtown to increase the vitality and level of activity there. The proposed exterior improvements, which include façade improvements, a new outdoor patron/seating area, and updated landscaping were favorably reviewed by the Architectural Review Board and have been found consistent with the applicable policies of the Community Design Element where such outdoor patron areas are encouraged adjacent to public sidewalks and other public spaces.

The existing driveway and parking arrangement are proposed to remain, and the proposed use would not generate new parking demands or vehicle traffic in significant quantities to negatively affect nearby public parking resources or area roadway segments which currently operate at acceptable levels of service. Appropriate conditions are included to address potential noise impacts related to the use and to ensure the new use complies with all

applicable requirements of the local Fire, Water and Sanitary Districts. Thus, this finding can be made.

Exhibit 1
Attachment B: Reduced Plans

Sunburst Winery
5080 Carpinteria Avenue

Planning Commission Hearing
May 1, 2017

DRAWING INDEX



NEIGHBORING PROPERTY



PROJECT SITE



NEIGHBORING PROPERTY



AERIAL PHOTO



PROJECT SITE VIEWED FROM EUGENIA PL.



NEIGHBORING PROPERTY ACROSS CARPINTERIA AVE.



NEIGHBORING PROPERTY ACROSS EUGENIA PLACE

SUNBURST WINES 5600 CARPINTERIA AVE. KEVIN MOORE ARCHITECT 200 SANTA ANA AVENUE, SUITE 100 SANTA ANA, CALIFORNIA 92701 www.kevinmoorearchitect.com 949.777.1111		KMA PROJECT PHASE: 04/10/17 AND REVIEW
PROJECT NO. 17-001 SHEET NO. 1 OF 1 DATE: 04/10/17		A0.06 PHOTO SHEET

GENERAL NOTES - LANDSCAPE

1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANTING MANUAL AND THE LATEST EDITIONS OF THE CALIFORNIA PLANTING MANUAL.

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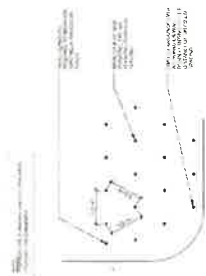
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PLANT PALETTE

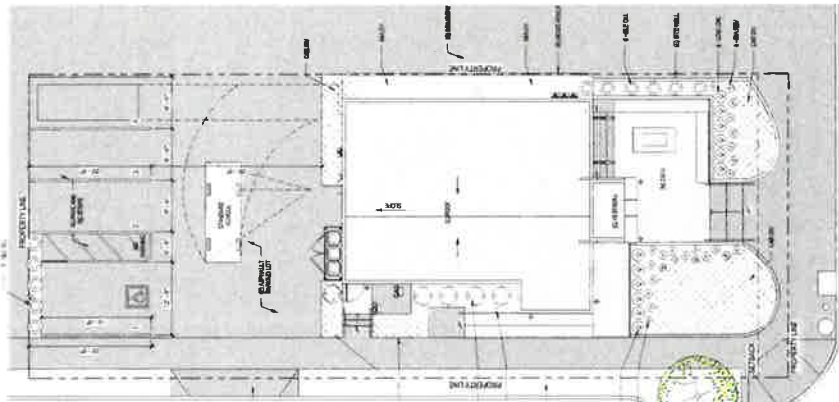
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2	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
3	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
4	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
5	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
6	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
7	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
8	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
9	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	
10	FLORIDA PALM	FLORIDA PALM	10' x 12'	1	



SHRUB PLANTING 2
SCALE 3/4" = 1'-0"



PLANT SPACING 3
SCALE 3/4" = 1'-0"



CARPINTERIA AVE

PROPOSED SITE PLAN
SCALE 1/4" = 1'-0"

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PROJECT PHASE: 04/23/17
ARCHITECT
LANDSCAPE ARCHITECT

L0.01
LANDSCAPE PLAN

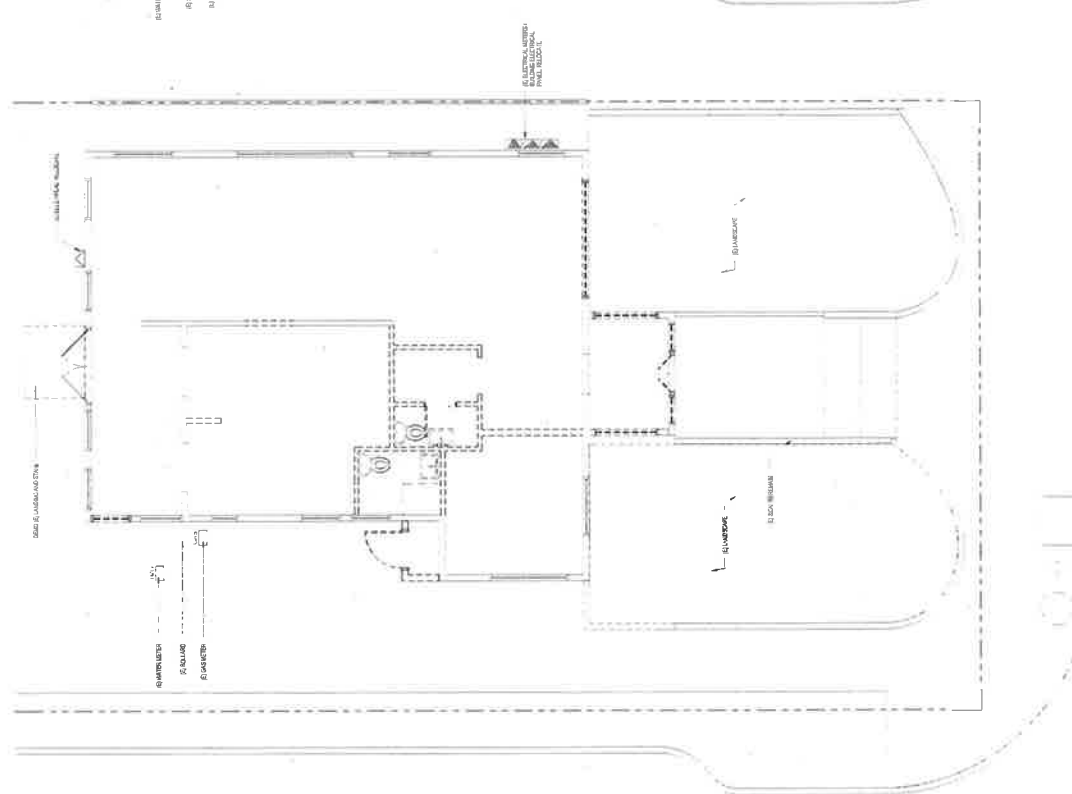
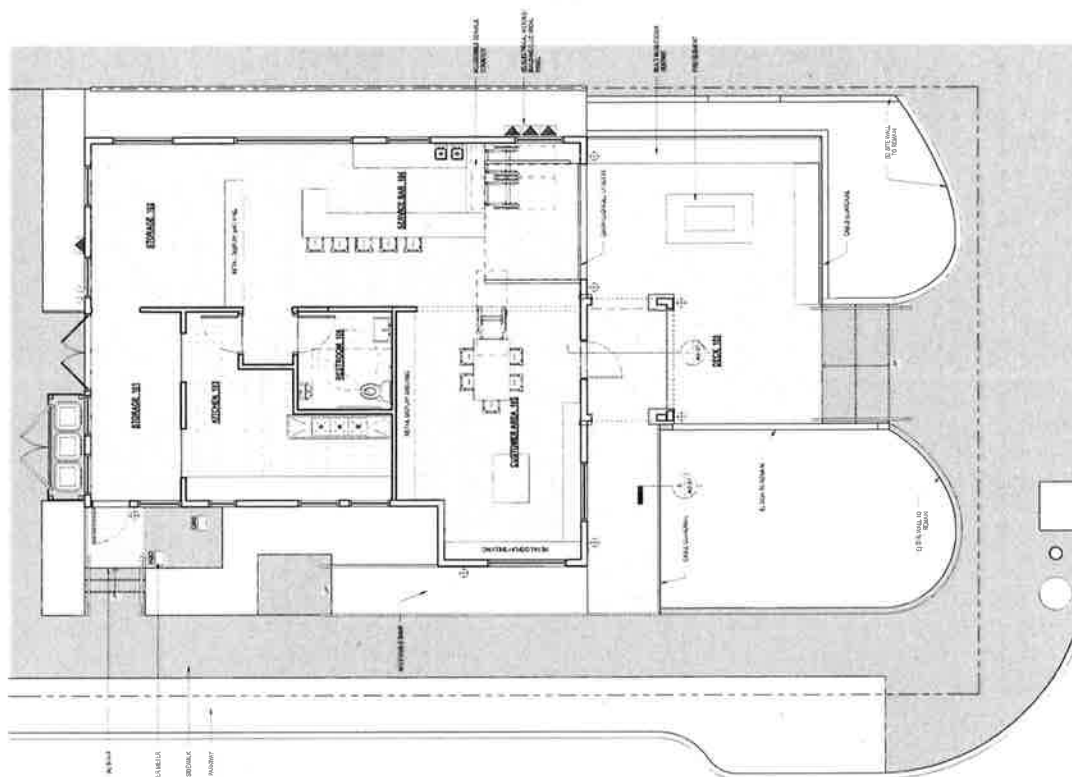
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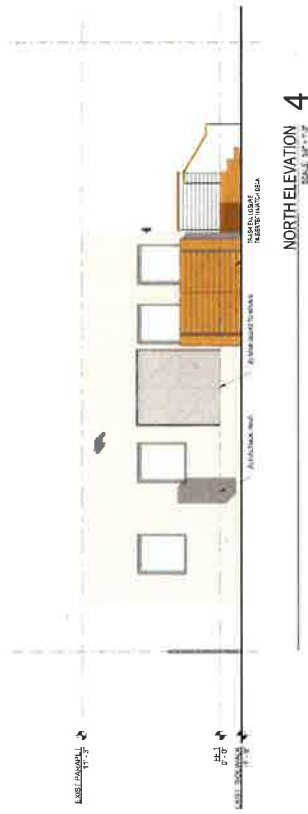
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A2.10
FLOOR PLAN +
DEMO PLAN

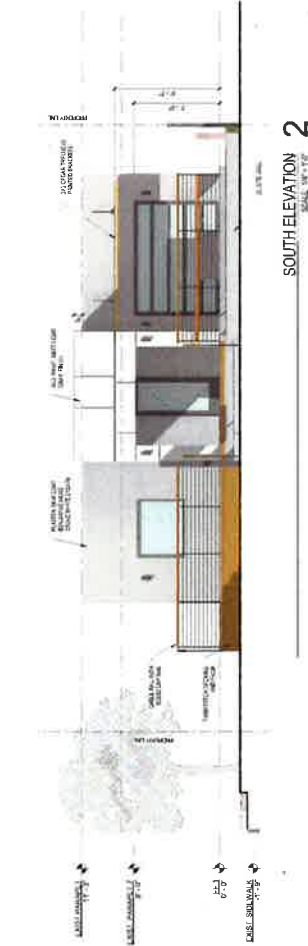


FLOOR PLAN
SCALE: 1/4" = 1'-0"

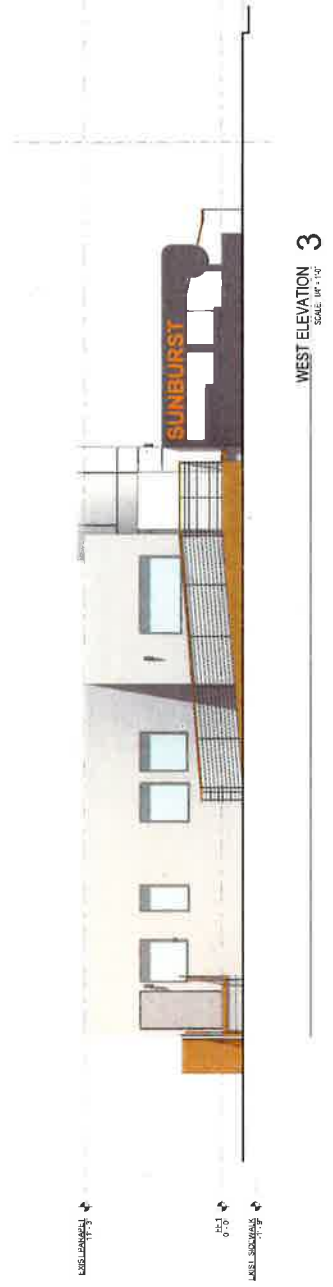
DEMO PLAN
SCALE 1/4" = 1'-0"



4
NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION



WEST ELEVATION
SCALE: 1/4" = 1'-0"



KMA

SUNBURST WINES

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PROJECT PHASE 04/13/17

ADD REVIEW

DATE: 04/13/17 11:47 AM



04/13/17 11:47 AM

Exhibit 1
Attachment C: Recommended Conditions of
Approval

Sunburst Winery
5080 Carpinteria Avenue

Planning Commission Hearing
May 1, 2017

**PLANNING COMMISSION HEARING
PROJECT 16-1844-DP/CDP
5080 CARPINTERIA AVENUE (APN 004-041-013)
MAY 1, 2017**



**ATTACHMENT C: CONDITIONS OF APPROVAL
(SUNBURST WINERY)**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated May 1, 2017), and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows: *Request for a change of use for an existing commercial building from a (former) print shop to a new retail wine sales business and wine bar, and completing interior and exterior tenant improvements to the existing vacant commercial building to accommodate and operate the new Sunburst Winery business.*

Proposed interior alterations would reconfigure the floor plan to create a new retail sales area and service bar, a new accessible restroom, and commercial kitchen and "back of house" storage areas. Approximately 72 square feet of interior customer seating area would be provided at the service bar and around a central table.

Proposed exterior improvements include reconfiguring the existing enclosed entry vestibule into an open vestibule, adding a new accessible ramp from the Eugenia Place sidewalk to the reconfigured main entry, and replacing some of the existing raised landscape planter area along the property's Carpinteria Avenue frontage with a new 350 square foot exterior wood deck. The new deck would feature an outdoor gas fire pit and approximately 63 square feet of seating area.

Exterior building finishes and fenestration would be updated on all building elevations, including new/replaced windows and doors, new plaster and paint, new exterior lighting, replacement of a large window on the Carpinteria Avenue frontage with a new

glass and metal frame roll-up door, and a new cable hung wood trellis above the new roll-up door. Other exterior site improvements include resurfacing and re-striping the existing rear parking lot to create four customer parking spaces, including one van accessible space and loading zone, construction of a new trash enclosure, new/updated landscaping and refurbishing the existing "Sunburst" sign on the Carpinteria Avenue frontage.

As part of the project, the applicant received approval of a Modification to the City's standard parking dimensions and the amount of required onsite parking. Specifically, the width of the provided non-accessible parking spaces was reduced from nine feet wide to eight feet six inches. The required number and provision of parking spaces was modified in two ways: 1) The base parking requirement for the building was reduced from one space per 250 square feet of floor area to one space per 500 square feet of floor area; and 2) Two of the required spaces will be offset through the payment of the City's Downtown Parking Facilities Development Impact Fee (DIF)

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

PROJECT SPECIFIC CONDITIONS

2. The applicant shall obtain final review from the Architectural Review Board prior to issuance of a Building Permit. Plans shall be submitted for final ARB review and shall include complete working drawings including but not limited to lighting, colors, exterior materials, landscaping and irrigation.
3. Any exterior night lighting installed on the project site, including new outdoor deck lighting, shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. **Plan Requirements:** The locations of all exterior lighting fixtures shall be depicted on a Lighting Plan to be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD and ARB shall review a Lighting Plan for compliance with this measure prior to approval of a building permit for tenant improvements. CDD shall site inspect prior to occupancy clearance.
4. Interior building lighting shall be limited outside of business hours to that necessary for emergency or security purposes. Interior building lighting shall be outfitted with timers, motion sensors or similar technologies to ensure that the lighting is turned off when not in use. **Plan Requirements and Timing:** Specifications for automatic lighting controls and any interior security/emergency lighting shall be depicted on the plans submitted for Building Permit review, to be reviewed and

approved by CDD prior to Building Permit Issuance. **Monitoring:** CDD shall review the construction plans for compliance with this measure prior to Building Permit issuance and shall inspect the project site prior to occupancy clearance.

5. All materials and colors used in construction and all landscape materials shall be as represented to the Architectural Review Board and any deviation will require the express review of the Board.
6. The applicant shall be responsible for maintaining the premises in a clean and orderly condition at all times. This includes, but is not limited to the following:
 - a. The parking lot shall be cleaned on a regular basis. Cleaning activities shall include the removal of litter; spot cleaning of oil, fuel and other automotive leaks; vacuum sweeping and pressure washing when necessary;
 - b. All trash/recycling shall be properly disposed of in the appropriate receptacles provided on site. The applicant shall regularly inspect the perimeter of the site to ensure that trash is not leaving the premises via wind or runoff;
 - c. All structures and improvements on site shall maintain a tidy appearance and be kept in good working order; and
 - d. All site landscaping shall be adequately maintained

Plan Requirements: This requirement shall be included in the approved conditions of approval signed by the applicant prior to approval of any Building Permit for physical development. **Timing:** CDD shall monitor in the field as required.

Monitoring: CDD staff shall periodically inspect the site to ensure compliance with this condition. If it is found that the site is not being maintained in a manner consistent with this condition, the matter shall be referred to the City's Code Compliance staff for resolution.

7. Prior to issuance of Building Permits for any kitchen improvements, applicants shall obtain approval from Santa Barbara County Environmental Health Services (EHS). **Plan Requirements:** Approval stamps on the final building plans or similar proof of EHS approval shall be obtained and copies provided to CDD. **Timing:** Proof of EHS approval shall be provided prior to issuance of any Building Permits for kitchen improvements. **Monitoring:** EHS and the City Building Inspector shall be responsible for ensuring all kitchen improvements are constructed per the approved plans.
8. All mechanical equipment including heating and air conditioning units, and trash receptacle areas, shall be completely screened from surrounding properties by use of a wall or fence, or shall be enclosed within a building or parapet. **Plan Requirements:** The locations of all exterior mechanical equipment shall be depicted on a Roof and/or Mechanical Equipment Plan to be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD and ARB shall

review the Roof and/or Mechanical Equipment Plan for compliance with this measure prior to approval of a Building Permit for tenant improvements. Building Inspector shall inspect structures upon completion to ensure that mechanical equipment has been installed consistent with the approved Plan.

9. An enclosure for all trash and recycling solid waste shall be provided onsite. Said enclosure shall be sufficient in size and capacity to contain all solid waste containers/bins/dumpsters and shall be designed and constructed to screen all solid waste containers from public view. All solid waste containers shall be lidded and/or the enclosure structure shall be roofed. Said enclosure shall be accessible at all times. Enclosure area shall comply with all specifications outlined in CMC 15.09.030. **Plan Requirements:** Enclosure area shall be depicted on plans submitted for Building Permit review and shall include construction specifications/details for screening, access and roof coverage (as applicable). **Timing:** CDD and/or Public Works staff shall verify the enclosure is constructed consistent with Plan requirements prior to Occupancy clearance. **Monitoring:** CDD and Public Works staff shall periodically monitor the site to ensure the enclosure is maintained and functions adequately.

10. If applicable, a storage/containment area for oil and grease shall be designed with the following mandatory components:

- a. A low berm or curb shall be designated around the containment floor to prevent migration of materials in the event of a spill.
- b. The floor shall be a concrete slab.
- c. The berm/curb shall be designed to provide 100% containment of any stored liquids.
- d. Storage containers must be lidded at all times

Plan Requirements: Prior to approval of a Building Permit, the applicant shall submit storage area plans to CDD and Public Works. Storage area specifications shall be depicted on all construction plans. **Timing:** The storage area shall be installed prior to occupancy clearance. **Monitoring:** City staff shall site inspect periodically for ongoing compliance.

11. Public hours of operation for the retail wine sales business and wine bar shall be limited to 11:00 a.m. to 9:00 p.m., Sunday through Thursday and until 10:00 p.m. Friday and Saturday. The Community Development Director may, at his/her discretion, modify the permitted hours of operation.
12. No live entertainment is allowed or approved for the premises as part of this Development Plan and Coastal Development Permit. Should the applicants choose to host any live entertainment on the premises, a Live Entertainment License must be issued by the Community Development Department.

13. The use of amplified sound equipment in the outdoor patio shall be limited so as to not constitute a public nuisance. **Plan Requirements:** The applicants shall be responsible for complying with the restriction on outdoor amplified sound. **Timing:** The restriction shall apply during all business hours. **Monitoring:** CDD shall periodically inspect to ensure compliance and respond to any filed noise complaints.
14. Total amount of patron seating area shall be limited to a maximum of 135 square feet, inclusive of both interior and exterior seating areas. **Plan Requirements:** Plans submitted for Building Permit review and issuance shall depict the proposed seating plan and comply with the specified seating area cap. **Timing:** Maximum seating area cap shall apply to all future restaurant tenants. **Monitoring:** CDD staff shall ensure final building plans comply with the specified seating area cap prior to Building Permit issuance and shall periodically monitor for ongoing compliance.
15. A minimum of four parking spaces and permanent bicycle racks shall be maintained onsite for the life of the project. **Plan Requirements:** Parking spaces and bicycle racks shall be shown on the improvement plans submitted for Building Permit review. **Timing:** Parking spaces shall be re-striped (as needed) and bicycle racks installed prior to Final Inspection. **Monitoring:** CDD shall periodically inspect the site for ongoing compliance.
16. The onsite parking lot shall be used for all loading/unloading and deliveries. Business loading/unloading and deliveries shall not be allowed to be staged on Carpinteria Avenue except for typical mail/parcel delivery (i.e., USPS and similar).
17. The retail wine sales business and wine bar shall comply with the City's ban on food dispenser containers made entirely or in part from non-recyclable plastic (including but not limited to expanded polystyrene (eps) containers), including the annual self-reporting requirements as outlined in CMC §8.50, and the City's ban on single use plastic and paper bags as outlined in CMC §8.51.

DEVELOPMENT PLAN CONDITIONS

18. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the grading plans submitted to Public Works for review prior to issuance of a Building Permit. **Monitoring:** Public Works shall site inspect prior to the commencement and as needed during all grading and construction activities.

19. Sixty five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by the California Green Building Code and Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During grading and construction, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on grading and construction plans. Applicant shall complete the Post-Construction Waste Reduction and Recycling Summary Report and submit it to Public Works for review and approval. **Timing:** Materials shall be recycled as necessary throughout construction. All materials shall be recycled prior to occupancy clearance. **Monitoring:** Public Works shall review and approve the Post-Construction Waste Reduction and Recycling Summary Report prior to occupancy clearance.
20. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
21. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 4:00 p.m., Monday through Friday and 8:00 a.m. to 4:00 p.m. on Saturday. No construction shall occur on State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** Two signs stating these restrictions shall be provided to the applicant and posted onsite. **Timing:** Signs shall be in place prior to the beginning of and throughout all grading and construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.
22. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
23. Construction hours for any work taking place within the public right-of-way, including but not limited to City sidewalks, shall be limited to the hours of 8:30

a.m. to 4:30 p.m., Monday through Friday. In the event that sidewalks and/or street closures are required, applicants shall coordinate with Public Works staff and obtain any required permits. Outside of construction hours, sidewalks shall be kept free of construction debris and provide a minimum four foot clear path of travel. Should work areas be left open overnight, proper safety measures shall be implemented in coordination with Public Works staff.

24. This Development Plan and Coastal Development Permit does not constitute approval for the installation of new and/or repair of existing underground utilities. All modifications to, or installations of new utilities shall be under separate permit(s) from the appropriate utility providers. Utility provider permission for excavation shall precede issuance of any permits for construction within the public right-of-way.
25. Approval of the Development Plan shall expire one year after approval by the Planning Commission unless prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The decision-maker with jurisdiction over the project may, upon good cause shown, grant a time extension.
26. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
27. No permits for development shall be issued except in conformance with the approved Development Plan. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Exhibit 1, Attachment B, dated November 4, 2013. Substantial conformity shall be determined by the Community Development Department Director.
28. On the date a subsequent Development Plan is approved for this site, any previously approved but unbuilt plans shall become null and void.
29. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at 1-800-227-2600 a minimum of 48 hours prior to the start of construction. For best response, provide as much notice as possible, up to 10 working days.
30. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of building permits.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

31. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging, or rebuilding of any building, structure, or improvement, the applicant shall obtain a Building Permit. These Permits are required by ordinance and are necessary to ensure implementation of the conditions required by the Planning Commission. Before any Permits will be issued by the Community Development Department, the application must obtain written clearance from all departments having conditions; such clearance shall indicate that the applicant has satisfied all pre-construction conditions. A form for such clearance is available from Community Development.
32. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
33. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions or Approval on a form acceptable to Community Development. Such form may be obtained from the CDD office.
34. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full. Any outstanding plan check or inspection fees incurred during construction shall be paid in full prior to Occupancy clearance.
35. In accordance with Chapter 15.80 of the Carpinteria Municipal Code, the applicant shall pay Development Impact Fees to the City prior to Building Permit issuance. The amount of the fees will be determined at the time permits are issued.
36. Any change of use in the proposed buildings or structures shall be subject to environmental analysis and appropriate review by the City including Building Code compliance.
37. The conditions of this approval supercede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
38. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
39. All requirements of the City of Carpinteria (including but not limited to public improvements as defined in the City of Carpinteria Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.
40. The standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.

41. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
42. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
43. If, at any time, the City or Planning Commission determines that there has been, or may be, a violation of the findings or conditions of this Development Plan and Coastal Development Plan, or of the Municipal Code regulations, a public hearing may be held before the Planning Commission to review this permit. At said hearing, the Planning Commission may add additional conditions, or recommend enforcement actions, or revoke the permit entirely, as necessary to ensure compliance with the Municipal Code, and to provide for the health, safety, and general welfare of the City. The applicant shall reimburse the City for all costs associated with gaining compliance with the original conditions of approval.
44. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitations period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.
45. The owner/applicant/developer ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Development Plan Revision and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

SPECIAL DISTRICT CONDITION LETTERS

46. Compliance with the attached District letters is required as follows:

- a. City of Carpinteria Public Works Department dated April 25, 2017
- b. Carpinteria Sanitary District letter dated November 15, 2016
- c. Carpinteria Valley Water District letter dated November 23, 2016
- d. Santa Barbara County Air Pollution Control District dated November 1, 2016

Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.

Approved by the Planning Commission on May 1, 2017

**I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT**

Applicant/Property Owner

Date

CITY OF CARPINTERIA, CALIFORNIA



Department of Public Works Memorandum

To: Nick Bobroff, Senior Planner
Community Development Department

From: Matt Maechler
Department of Public Works

Date: April 25, 2017

Subject: Sunburst Wine, Project No. 16-1844

I have reviewed the revised project submittal with response to comments and have prepared the following conditions.

SOLID WASTE CONDITIONS

1. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates.

End of Comments



CARPINTERIA
Sanitary District

5300 Sixth Street
Carpinteria, CA 93013

Phone (805) 684-7214 • Fax (805) 684-7213

RECEIVED

November 15, 2016

NOV 16 2016

Nick Bobroff
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, California 93013

CITY OF CARPINTERIA

Subject: Project No. 16-1844-DP/CDP
5080 Carpinteria Avenue (APN: 004-041-013)
Applicant: Scott Smigel

Dear Mr. Bobroff:

Thank you for the opportunity to provide comments on the subject project. The Carpinteria Sanitary District (District) has reviewed the plans received on October 25, 2016. The project is to remodel an existing restaurant building. The District recommends that the following conditions be incorporated into the review/approval process to address sewer system improvements:

1. Any sewer improvements shall conform to approved District construction standards for materials and methods.
2. Prior to the issuance of a sewer construction permit, the applicant shall submit a detailed utility plan to the District showing all pipe sizes, fittings, bends, pipe material, locations, depths and invert elevations, grease interceptor requirements and clean-out locations. All sewer improvements shall conform to approved District construction standards for materials and methods. The District inspects all sewer facilities from building clean-outs up to the sewer main in the s right-of-way within the City of Carpinteria. All sewer construction work shall be inspected and tested by the District prior to placing trench backfill and final acceptance. During the construction phase, it is the applicant's and contractor's responsibility to notify the District immediately of any sewer improvements or modifications not noted on the approved plans.

Please provide a note on the utility plans to inform the Contractor that a permit from the Carpinteria Sanitary District (District) is required prior to any exterior sewer construction work. Please allow 24 hour advanced notice to the District for inspections.

3. The condition of the existing sewer service lateral currently serving the building shall be evaluated once a Sewer Construction Permit is issued. The lateral may be re-used if it meets all the requirements of the District.
4. Details regarding the size and type of grease interceptor shall also be provided on the utility plan. Applicant will be required to complete a Fats, Oil and Grease (FOG) Discharge Permit Application and submit a total kitchen drainage fixture count to determine the capacity of the grease interceptor needed per the latest Uniform Plumbing Code (UPC) requirements. Please contact the District to obtain a FOG permit. The District makes the final determination on grease interceptor and size requirements. The grease interceptor should be located as close to the kitchen as possible and should have a direct connection to the lateral serving the building.

If you have any questions or comments regarding any of the conditions provided including permitting fees, please contact me at (805) 684-7214, ext. 13 or lancel@carpsan.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Lance Lawhon', with a stylized flourish extending to the right.

Lance Lawhon
Engineering Technician



Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

BOARD OF DIRECTORS

Alonzo Orozco
President
Polly Holcombe
Vice President
Shirley L. Johnson
Matthew Roberts
June Van Wingerden

November 23, 2016

Scott Smigel
118 Nopalitos Way
Santa Barbara, CA.

GENERAL MANAGER

Robert McDonald, P.E. MPA

SUBJECT: 5080 CARPINTERIA AVE., APN 003-324-001, CONDITION LETTER

Mr. Smigel

Please be advised, this parcel is within the Carpinteria Valley Water District and therefore is entitled to District water service in accordance with District Rules and Regulations. At this time the District is in a Stage II drought emergency. For more information, please visit our website at www.cvwd.net

Currently the parcel is being served by a District meter (3/4") (account # 08-082204-02).

List of items required

- Fixture counts and estimate daily usage (building and landscape).
- Copy of fire sprinkler calculations with max flow and residual pressure if required by the Carpinteria Summerland Fire District.
- Site plan, per a survey verifying the existing meter location will not be obstructed by new exit stairs. If stairs obstruct meter, owner will be required to pay the District a \$9,000 construction deposit to relocate meter to approved District location.
- Construction note on plans for backflow protection (RP) at the meter.

The items listed will be required to be submitted to the Carpinteria Valley Water District for review and comments. Once items are reviewed, approved, and any fees required the Water District will sign off on the projects City Building routing slip.

If you have any questions, please feel free to contact me at Brian@cvwd.net or 805-684-2816x107.

Thank you,
Carpinteria Valley Water District

Brian King, P.E.
District Engineer

C: File Copy
City of Carpinteria Nick Bobroff, Senior Planner, nickb@ci.carpinteria.ca.us



**Santa Barbara County
Air Pollution Control District**

Our Vision  Clean Air

November 1, 2016

Nick Bobroff
City of Carpinteria
Community Development Department
5775 Carpinteria Avenue
Carpinteria, CA 93013

RECEIVED

NOV 02 2016

CITY OF CARPINTERIA

Re: APCD Suggested Conditions on 5080 Carpinteria Avenue, 16-1844-DP/CDP

Dear Mr. Bobroff:

The Air Pollution Control District (APCD) has reviewed the referenced project, which consists of proposed plans to complete an interior and exterior remodel to an existing commercial retail building to create a new retail wine bar. The project includes reconfiguring the building interior to create a new retail and bar service area, not limited to, new windows and doors, replacement of an existing window with a new roll-up door, provision of a new outdoor deck, new parking lot striping and new site landscaping. There is no grading proposed. The subject property, a 6,250-square foot parcel zoned CPD and identified in the Assessor Parcel Map Book as APN 004-041-013 is located at 5080 Carpinteria Avenue in the City of Carpinteria.

In addition, it appears the project includes a fire pit feature. Smoke impacts are lessened if a propane or natural gas fire pit is used.

Air Pollution Control District staff offers the following suggested conditions:

1. Standard dust mitigations (**Attachment A**) are recommended for all construction and/or grading activities. The name and telephone number of an on-site contact person must be provided to the APCD prior to grading/building permit issuance.
2. APCD Rule 345, *Control of Fugitive Dust from Construction and Demolition Activities* establishes limits on the generation of visible fugitive dust emissions at demolition and construction sites. The rule includes measures for minimizing fugitive dust from on-site activities and from trucks moving on- and off-site. The rule can be viewed at www.ourair.org/wp-content/uploads/rule345.pdf.
3. The State of California considers particulate matter emitted by diesel engines carcinogenic. Therefore, during project grading, construction, and hauling, construction contracts must specify that contractors shall adhere to the requirements listed in **Attachment B** to reduce emissions of particulate matter (as well as of ozone precursors) from diesel equipment. Recommended measures should be implemented to the maximum extent feasible.

4. All portable diesel-fired construction engines rated at 50 bhp or greater must have either statewide Portable Equipment Registration Program (PERP) certificates or APCD permits prior to grading/building permit issuance. Construction engines with PERP certificates are exempt from APCD permit, provided they will be on-site for less than 12 months.
5. The applicant is required to complete and submit an **Asbestos Demolition/Renovation Notification or an EXEMPTION** from Notification for Renovation and Demolition (APCD Form ENF-28 or APCD Form ENF-28e), which can be downloaded at www.ourair.org/compliance-forms/ for each regulated structure to be demolished or renovated. Demolition notifications are required regardless of whether asbestos is present or not. The completed exemption or notification should be presented, mailed, or emailed to the Santa Barbara County Air Pollution Control District with a minimum of 10 working days advance notice prior to disturbing asbestos in a renovation or starting work on a demolition. The applicant should visit www.ourair.org/asbestos/ to determine whether the project triggers asbestos notification requirements or whether the project qualifies for an exemption.
6. Natural gas-fired fan-type central furnaces with a rated heat input capacity of less than 175,000 Btu/hr and water heaters rated below 75,000 Btu/hr must comply with the emission limits and certification requirements of APCD Rule 352. Please see www.ourair.org/wp-content/uploads/rule352.pdf for more information.
7. Small boilers and water heating units (rated between 75,000 and 2.0 million Btu/hr) must comply with the emission limits and certification requirements of APCD Rule 360. Combinations of units totaling 2.0 million Btu/hr or greater are required to obtain a District permit prior to building permit issuance. Please see www.ourair.org/wp-content/uploads/rule360.pdf for more information and a list of certified boilers (note: any units fired on fuel(s) other than natural gas must be certified by the SBCAPCD on a case-by-case basis, even if the unit is certified when fired on natural gas).
8. At all times, idling of heavy-duty diesel trucks should be minimized; auxiliary power units should be used whenever possible. State law requires that:
 - Drivers of diesel-fueled commercial vehicles shall not idle the vehicle's primary diesel engine for greater than 5 minutes at any location.
 - Drivers of diesel-fueled commercial vehicles shall not idle a diesel-fueled auxiliary power system (APS) for more than 5 minutes to power a heater, air conditioner, or any ancillary equipment on the vehicle. Trucks with 2007 or newer model year engines must meet additional requirements (verified clean APS label required).
 - See www.arb.ca.gov/noidle for more information.
9. Asphalt paving activities shall comply with APCD Rule 329, *Cutback and Emulsified Asphalt Paving Materials*.

If you or the project applicant have any questions regarding these comments, please feel free to contact me at (805) 961-8893 or via email at NightingaleK@sbcapcd.org.

Sincerely,



Krista Nightingale,
Air Quality Specialist
Technology and Environmental Assessment Division

Attachments: Fugitive Dust Control Measures
Diesel Particulate and NO_x Emission Measures

cc: Kevin Moore, Kevin Moore Architect
TEA Chron File



ATTACHMENT A

FUGITIVE DUST CONTROL MEASURES

These measures are required for all projects involving earthmoving activities regardless of the project size or duration. Proper implementation of these measures is assumed to fully mitigate fugitive dust emissions.

- During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water should be used whenever possible. However, reclaimed water should not be used in or around crops for human consumption.
- Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
- If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
- Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads.
- After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.
- The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to grading/building permit issuance and/or map clearance.

Plan Requirements: All requirements shall be shown on grading and building plans and/or as a separate information sheet listing the conditions of approval to be recorded with the map. **Timing:** Requirements shall be shown on plans prior to grading/building permit issuance and/or recorded with the map during map recordation. Conditions shall be adhered to throughout all grading and construction periods.

MONITORING: Lead Agency shall ensure measures are on project plans and/or recorded with maps. Lead Agency staff shall ensure compliance onsite. APCD inspectors will respond to nuisance complaints.



ATTACHMENT B
DIESEL PARTICULATE AND NO_x EMISSION REDUCTION MEASURES

Particulate emissions from diesel exhaust are classified as carcinogenic by the state of California. The following is a list of regulatory requirements and control strategies that should be implemented to the maximum extent feasible.

The following measures are required by state law:

- All portable diesel-powered construction equipment shall be registered with the state's portable equipment registration program OR shall obtain an APCD permit.
- Fleet owners of mobile construction equipment are subject to the California Air Resource Board (CARB) Regulation for In-Use Off-Road Diesel Vehicles (Title 13, California Code of Regulations (CCR), §2449), the purpose of which is to reduce oxides of nitrogen (NO_x), diesel particulate matter (DPM), and other criteria pollutant emissions from in-use off-road diesel-fueled vehicles. Off-road heavy-duty trucks shall comply with the State Off-Road Regulation. For more information, see www.arb.ca.gov/msprog/ordiesel/ordiesel.htm.
- Fleet owners of mobile construction equipment are subject to the CARB Regulation for In-Use (On-Road) Heavy-Duty Diesel-Fueled Vehicles (Title 13, CCR, §2025), the purpose of which is to reduce DPM, NO_x and other criteria pollutants from in-use (on-road) diesel-fueled vehicles. On-road heavy-duty trucks shall comply with the State On-Road Regulation. For more information, see www.arb.ca.gov/msprog/onrdiesel/onrdiesel.htm.
- All commercial off-road and on-road diesel vehicles are subject, respectively, to Title 13, CCR, §2449(d)(3) and §2485, limiting engine idling time. Idling of heavy-duty diesel construction equipment and trucks during loading and unloading shall be limited to five minutes; electric auxiliary power units should be used whenever possible.

The following measures are recommended:

- Diesel equipment meeting the CARB Tier 3 or higher emission standards for off-road heavy-duty diesel engines should be used to the maximum extent feasible.
- On-road heavy-duty equipment with model year 2010 engines or newer should be used to the maximum extent feasible.
- Diesel powered equipment should be replaced by electric equipment whenever feasible.
- Equipment/vehicles using alternative fuels, such as compressed natural gas (CNG), liquefied natural gas (LNG), propane or biodiesel, should be used on-site where feasible.
- Catalytic converters shall be installed on gasoline-powered equipment, if feasible.
- All construction equipment shall be maintained in tune per the manufacturer's specifications.
- The engine size of construction equipment shall be the minimum practical size.
- The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time.
- Construction worker trips should be minimized by requiring carpooling and by providing for lunch onsite.

Plan Requirements: All requirements shall be shown on grading and building plans and/or as a separate information sheet listing the conditions of approval to be recorded with the map. **Timing:** Requirements shall be shown on plans prior to grading/building permit issuance and/or recorded with the map during map recordation. Conditions shall be adhered to throughout all grading and construction periods.

MONITORING: Lead Agency shall ensure measures are on project plans and/or recorded with maps. Lead Agency staff shall ensure compliance onsite. APCD inspectors will respond to nuisance complaints.

Exhibit 2
Notice of Exemption

Sunburst Winery
5080 Carpinteria Avenue

Planning Commission Hearing
May 1, 2017

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara
105 E Anapamu Street, Rm 407
Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

(Address)

Project Title: Sunburst Winery; 5080 Carpinteria Avenue

Project Applicant: Scott Smigel

Project Location - Specific:

5080 Carpinteria Avenue, Carpinteria, CA 93013 (APN 004-041-013)

Located on the northeast corner of the Carpinteria Avenue/Eugenia Place intersection.

Project Location - City: Carpinteria

Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

Change of use for existing commercial building from a commercial print shop to a retail wine sales business and wine bar. Tenant improvements to accommodate new use include an interior/exterior remodel, provision of a new outdoor deck, updated landscaping and refurbished tenant signage.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Scott Smigel, prop. owner; Ryan Moore, bus. owner

Exempt Status: **(check one):**

☐ Ministerial (Sec. 21080(b)(1); 15268);

☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));

☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));

☒ Categorical Exemption. State type and section number: Classes 1 & 3; §15301, 15303

☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

Project involves interior and exterior tenant improvements to an existing commercial building in an urbanized part of the City's downtown to accommodate a new retail use. The site is not located within or adjacent to ESH areas and the project is served by public roads, parking facilities and utilities sufficient in capacity to serve the proposed use.

Lead Agency

Contact Person: Nick Bobroff, Senior Planner

Area Code/Telephone/Extension: 805/7554407

If filed by applicant:

1. Attach certified document of exemption finding.

2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: _____ Date: 05/01/17 Title: Senior Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Exhibit 3
ARB Meeting Minutes

Sunburst Winery
5080 Carpinteria Avenue

Planning Commission Hearing
May 1, 2017

- Monument signs should remain at their existing size;
- Wall sign allowable size should be further reduced;
- Number/location of wall signs should be reduced and more logically placed to better direct people to respective business entrances; and
- Limit allowable color palette for signs to colors appropriate to Carpinteria Bluffs setting.

VOTE: 3-0

PROJECT REVIEW

- 3) Applicant: Kevin Moore, Architect for Scott Smigel
Project: 16-1844-DP/CDP
Planner: Nick Bobroff
Project Location: 5080 Carpinteria Avenue
Zoning: Commercial Planned Development (CPD) with Visitor-serving Commercial (VC) Overlay

Request of Kevin Moore, agent/architect for Scott Smigel to consider Project 16-1844-DP/CDP for preliminary review of a request to allow a change of use and remodel to the former Sunburst Printers shop to accommodate a new retail wine sales business and wine bar. Proposed interior improvements to the building include a remodel to create a new kitchen, service bar, retail area and accessible restroom. Exterior improvements include construction of a new exterior deck, covered entry and accessible access ramp. Existing exterior finishes would be updated, including replacing an existing window with a new glass roll-up door on the Carpinteria Avenue frontage. The property is a 6,250 square foot parcel zoned Commercial Planned Development (CPD) with a Visitor-serving Commercial (VC) Overlay and shown as APN 004-041-013 addressed as 5080 Carpinteria Avenue.

Staff presented an overview of the proposed project. The Board was asked to provide input on the proposed remodel and the requested parking modification.

Project architect, Kevin Moore, provided photo exhibits as examples of some of the proposed detailing for the project, including the new exterior deck, roll-up door, trellis and landscaping. He also provided images for the proposed exterior paint color, decking material and exterior wall sconces.

Public Comment: None.

Boardmember Discussion:

Overall, the Board was glad to see the building being cleaned up and improved. They thought the proposed project would result in a nice, appropriate upgrade for the downtown. The Board was generally in favor of the proposed direction in terms of colors and materials, but asked to see actual color chips/samples.

Boardmember Reginato asked that the existing water heater closet be raised up to roof height, plastered and made a more permanent part of the building architecturally. He was fine with re-using the existing sign but asked that the rounded leg be replaced with something cleaner and simpler. He

recommended the trash enclosure have a steel frame and be durably constructed.

Boardmember Ellinwood felt the entry vestibule should be finished in a contrasting material and/or color from the rest of the building body to both create more interest and to draw attention to the building entry. He suggested the applicant could explore materials such as a trespa wood siding or perhaps a metal finish to match the building's windows/doors. He explained that landscaping will be important for the project and incorporating a green wall and/or climbing vines into the project might be a nice detail.

Boardmember Johnson agreed with the others' comments. He suggested a lattice or similar element be used around the west elevation windows to help soften the building's appearance and provide some sun protection for the interior space.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to continue the project to the March 30, 2017 meeting with the following comments:

- Make the water heater closet a more permanent building feature;
- Simplify the existing sign shape;
- Construct a durable, steel-framed trash enclosure;
- Re-study the entry vestibule to include contrasting colors/materials from the building exterior;
- Develop a landscape plan for the property; considering including a green wall or climbing vines;
- Consider the addition of a lattice, trellis, or similar for the west building elevation; and
- Provide color/material samples for the exterior building finishes.

VOTE: 3-0

PROJECT REVIEW

- 4) Applicant: Shawn Godkin for Sarah Dandona, Omni Catering
Project: 16-1837-DP/CDP
Planner: Nick Bobroff
Project Location: 4835 Carpinteria Avenue
Zoning: Central Business (CB) with Visitor-serving Commercial (VC) Overlay

Request of Shawn Godkin, agent for Sarah Dandona, Omni Catering, to consider Project 16-1837-DP/CDP for continued preliminary review of a request to permanently locate three storage containers totaling 560 square feet in the rear interior corner of the subject property and construct a vegetated screening lattice and patio trellis in front of said containers. The property is a 16,434 square foot parcel zoned Central Business (CB) with a Visitor-serving Commercial (V) Overlay and shown as APN 003-253-001 addressed as 4835 Carpinteria Avenue.

Staff presented the revised project and explained that the existing unpermitted fences and gates on the project frontages were proposed to be removed.

The project architect, Shawn Godkin, provided a brief overview of the project. He explained that initially he was intending to keep a natural finish for the trellis members but could also consider matching them to the woodwork and trim on the primary building.

ACTION MINUTES

The meeting was called to order at 5:34 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Dylan Chappell
Grant Cox
Jim Reginato

Boardmembers absent: Scott Ellinwood

OTHERS PRESENT: 11 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Kevin Moore, Architect for Scott Smigel
Project: 16-1844-DP/CDP
Planner: Nick Bobroff
Project Location: 5080 Carpinteria Avenue
Zoning: Commercial Planned Development (CPD) with Visitor-serving Commercial (VC) Overlay

Request of Kevin Moore, agent/architect for Scott Smigel to consider Project 16-1844-DP/CDP for continued preliminary review of a request to allow a change of use and remodel to the former Sunburst Printers shop to accommodate a new retail wine sales business and wine bar. Proposed interior improvements to the building include a remodel to create a new kitchen, service bar, retail area and accessible restroom. Exterior improvements include construction of a new exterior deck, entry vestibule, accessible access ramp and new paint, lighting and windows/doors. The property is a 6,250 square foot parcel zoned Commercial Planned Development (CPD) with a Visitor-serving Commercial (VC) Overlay and shown as APN 004-041-013 addressed as 5080 Carpinteria Avenue.

Staff presented the revisions made to the project in light of the Board's previous comments. Staff also noted that since the publishing of the ARB report and packet, an updated plan set had been submitted including a preliminary landscape plan and additional details.

The project representative, Kevin Moore, provided additional details for the proposed project and requested changes. In response to questions, he explained that the applicant prefers to maintain and refurbish the existing sign with no further modifications to it. He also explained that with the removal of the existing water heater closet, a location for a new tankless water heater will be identified.

Public Comment: None.

Boardmember Discussion:

In general, the Board was pleased with the changes made, agreeing that most of their changes had

been satisfactorily addressed.

Boardmember Chappell asked whether the applicant had considered further increasing the height of the vestibule to differentiate it from the rest of the building. The applicant responded that they were looking for just a subtle differentiation.

Boardmember Reginato explained that while he would prefer to see the sign leg modified still, he was otherwise supportive of the revised project.

Boardmember Cox suggested replacing the pittosporum specified on the planting plan with bay laurel (*Laurus nobilis*) instead, as it would be a little darker green, and require less water and maintenance.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Chappell to recommend preliminary approval of the project to the Planning Commission with their comments attached.

VOTE: 4-0

PROJECT REVIEW

- 2) Applicant: Bryan Pollard, architect for Jim and Donna Swinford
Project Number: 16-1826-CUP/CDP
Planner: Nick Bobroff
Project Location: 710 Palm Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Bryan Pollard, architect for Jim and Donna Swinford to consider Project 16-1826-CUP/CDP for final review of a request to redevelop an existing two-unit residential property. The proposed project would replace the existing primary residence and detached garage with a new two-story 2,269 square foot single family residence and an attached 580 square foot three-car garage. The existing rear apartment unit would remain but would be remodeled, slightly reduced in square footage and attached to the new structure. The property is a 6,975 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-325-013 addressed as 710 Palm Avenue.

Staff explained the project's history, including the revisions requested, and approved by, the Planning Commission. He noted that with the exception of those changes, the project remained in substantial conformance to that previously reviewed and approved by the ARB at the preliminary level.

The project representative, Bryan Pollard, presented answered questions concerning various details like fencing, landscaping and paver materials. He also provided specifications for the proposed exterior colors and lighting.

Public Comment: None.

Boardmember Discussion:

The Board was pleased with the project as submitted.

Boardmember Johnson indicated the proposed exterior light fixtures should have frosted glass panels

PLANNING COMMISSION STAFF REPORT

MEETING DATE: May 1, 2017

ITEM FOR CONSIDERATION

Case 17-1860-CUP/CDP

Review of a request for a Conditional Use Permit and Coastal Development Permit to allow structural repairs to, and rehabilitation of, an existing legal nonconforming 3,784 square foot structure including a single family dwelling and five attached garage/storage bays. The requested repairs of the structure, which affect the garage/storage bays would maintain the existing legal nonconforming condition with respect to building setbacks.

Report prepared by: Nick Bobroff, Senior Planner
Community Development Department


SIGNATURE

Reviewed by: Steve Goggia, Director
Community Development Department


SIGNATURE

Applicant: Thom Vernon

Agent: Dylan Chappell, Architect

Project Location: 502 Maple Avenue

APNs: 004-105-005 and -009

Zoning: Planned Residential Development (PRD-20)

General Plan Designation: Medium Density Residential (MDR)



I. RECOMMENDATION

Adopt attached Resolution No. PC-17-004, thereby denying Project 17-1860-CUP/CDP as proposed; and instead direct the applicant to apply to the Community Development Department for Building Permits to demolish the nonconforming garage bay that encroaches into the required 15-foot rear setback (i.e., garage #3), and to make the requisite repairs to the remaining bays to allow their use as personal residential garages/storage for the residents of 502, 504 and 538 Maple Avenue.

II. SUMMARY OF ISSUES

The proposed project seeks permission to repair and rehabilitate a group of nonconforming garage bays that have historically been used for commercial purposes. As the property upon which the bays are located is zoned Planned Residential Development (PRD-20), the historic commercial use of the bays is legal nonconforming. The easternmost of the garage bays (i.e., identified as garage #3 on the submitted plans) encroaches into the required 15-foot rear setback, rendering the structure nonconforming with respect to the PRD zone district development standards.

During the fall of 2016, work was begun without first obtaining the proper permits to complete structural repairs/replacement of interior and exterior walls and roof framing, and replace the roof of the garage bays. A “stop work” order was issued and remains in effect until the necessary permits can be obtained. In reviewing the violation, staff informed the applicant that: 1) repairs could only be permitted if the use of the structure(s) were changed to a use permissible in the PRD-20 zone district (e.g., accessory structures like garage/storage for the principal permitted residences on the property); 2) provided the use of the structure were changed to a conforming use, a Conditional Use Permit (CUP) and Coastal Development Permit (CDP) from the Planning Commission would be required to allow structural repairs to the nonconforming garage bay(s); and 3) as an alternative, the applicant could opt to obtain permits to instead demolish the nonconforming portion of the structure and repair the remaining bays for their use as permitted accessory structures for the residential units on the property.

The applicant has chosen to pursue the discretionary approval of the Planning Commission for a CUP/CDP to allow all of the existing bays to remain and be repaired. In order to approve such a request, the Planning Commission must make all of the required findings for allowing structural improvements to legal nonconforming structures, in addition to the City’s standard CUP and CDP findings.

In analyzing the proposed project against the required findings, staff does not believe all of the findings can be met: The garage bays are at an advanced age and in a generally deteriorated and dilapidated condition. Inspection of the bays suggests they have been added on to, and/or modified throughout the past decades, most likely without permits, as only minor repair permits are on file with the City. Necessary minimum repairs include reframing/repairing portions of the exterior and interior walls, and roof framing, installing a new roof on the structure, and removing various unpermitted improvements that do not meet basic Building Code standards. The scope of the necessary repairs affect a significant portion of the structure and supports staff’s conclusion that the structure is rapidly approaching the end of its functional life. Completing the minimum necessary repairs would do little to improve the overall appearance/condition of the structure, and would allow the nonconforming “garage #3” bay to remain within one foot of the shared rear property line with the adjacent residential properties to the east.

Furthermore, allowing five distinct garage bays to remain in order to provide personal residential garages/storage for three residential units could be found to be excessive and to not be justifiable in the interest of improving the living conditions of the property’s three residential units. Removal of the “garage #3” bay that encroaches into the rear setback would still maintain one garage bay per

residential unit (with one bay left over for storage of landscaping equipment for the property), which would still enhance the livability of the units *and* correct the nonconforming setback situation.

For these reasons, staff's recommendation is that the CUP request be denied as submitted, and the Commission instead direct the applicant to apply for the appropriate permits to demolish the nonconforming "garage #3" bay located within the required rear setback and repair the remaining bays for use by the property's residential tenants for personal garages/storage.

III. PROPOSED PROJECT DESCRIPTION

The proposed project entails structural repairs and alterations to an existing 3,784 square foot structure comprised of a single family dwelling and five attached garage/storage bays. Two existing unpermitted enclosed porches of 119 square feet and 253 square feet, respectively, would be removed as part of the project. With the exception of the required demolition of the enclosed porches, the proposed improvements would not change the existing placement, size or height of the structure.

The overall structure is comprised of the following constituent elements:

- 854 square foot one-bedroom residence with a 242 square foot attached garage;
- 275 square foot "storage" bay with an unpermitted 119 square foot enclosed porch and an unpermitted bathroom;
- 553 square foot "garage 1" bay;
- 770 square foot "garage 2" bay, comprised of two separate rooms and a powder room;
- 718 square foot "garage 3" bay with an unpermitted 253 square foot enclosed porch.

No alterations are proposed for the existing residence or its attached garage. For the "storage" bay, the unpermitted bathroom and covered porch, which was built around the base of an existing utility pole, would be removed. For the "garage 3" bay, the unpermitted covered porch, which was built around the trunk of a large specimen redwood tree, would be removed. The (original) exterior wall of the "garage #3" bay would be repaired and filled in with a new wall and door. Various additional repairs are required throughout the garage bays, including a new roof, replacement roof framing and repairs to interior and exterior walls of the individual garages.

Allowed uses of the storage/garage bays would be limited to uses that are found to be customarily accessory and incidental to the property's primary residential use. Permissible uses include personal garages/storage for the residents/tenants of 502, 504 and 538 Maple Avenue, and/or equipment/materials storage for the property's groundskeeper.

Conditional Use Permit: The existing structure is legal nonconforming with respect to the required rear building setback. The proposed structural repairs would extend the life of this nonconforming building. A Conditional Use Permit is required to allow the proposed structural repairs and alterations to the existing non-conforming structure.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

IV. BACKGROUND

Site Characteristics

The project site is located at the southeastern terminus of Maple Avenue, adjacent to the Union Pacific Railroad (UPRR) tracks. The property is one legal lot, but is comprised of two separate tax assessor parcels as described below:

- APN 004-105-005 (addressed as 500 Maple Avenue); and
- APN 004-105-009 (includes structures addressed as 502, 504 and 538 Maple Avenue)

The portion of the property comprised of APN 004-105-005 is 29,985 square feet in area and is oriented parallel to the railroad tracks. This APN is improved with a 7,897 square foot single story warehouse building that has been divided into four tenant spaces, and four fenced, outdoor yards ranging in size from 1,513 square feet to 2,292 square feet. A private drive aisle runs along the northerly boundary of this APN in an east-west orientation. The drive aisle provides vehicular access to the warehouse tenant spaces, the fenced yards, and to the storage/garage bays being presently considered under this permit application.

The portion of the property comprised of APN 004-105-009 is 18,215 square feet in area and is oriented toward Maple Avenue. This APN is improved with three detached residential units (502, 504 and 538 Maple Avenue) and the five attached garage/storage bays in question. The 502 Maple Avenue residence is attached to, and comprises part of, the 3,784 square foot structure that includes the garage/storage bays. Vehicular access to the residences is provided by a shared driveway off Maple Avenue.

The lot has split zoning and land use designations: The split occurs along the tax assessor parcel line boundary, which approximately coincides with the northerly edge of the private drive aisle on APN 004-105-005 described above. APN 004-105-005 is zoned Commercial Planned Development (CPD) and has a General Industry (GI) land use designation. APN 004-105-009, which includes the storage/garage structure being considered by this project, is zoned Planned Residential Development (PRD-20) and has a Medium Density Residential (MDR) land use designation.

The various structures on the portion of the property made up by APN 004-105-009 are considered legal nonconforming with respect to building setbacks. For the garage/storage bay building in question, most of the “garage #3” bay is located within the required 15-foot rear setback. The historic use of the storage/garage bays for commercial and light industrial uses is also legal nonconforming in light of the PRD-20 zoning designation and MDR land use designation for the site.

The project site is located in the Downtown/Old Town Neighborhood (Community Design Subarea 2). The area exhibits a mix of commercial, light industrial and residential uses. Immediately adjacent to the east of the project site are residentially-developed properties that front on Walnut Avenue. To the south is the commercial/industrial warehouse at 500 Maple Avenue. To the west, across Maple

Avenue is the Carpinteria Warehouses property. To the north is the 538 Maple Avenue residence, and beyond that a two-story commercial building at 550 Maple Avenue.

Site photos are attached as Exhibit 2.

Project History

All of the buildings that comprise the subject lot appear to predate City incorporation in 1965. Several of the structures, including portions of the subject garage/storage bays date back to at least the 1920s. It appears various additions were built and modifications made to the bays over time, although no permits are on file with the City except for minor repairs (electrical panel replacement, etc.). At some undetermined point, two covered porch enclosures were added to the structure. The covered porch constructed in front of the “storage” bay was built around the base of an existing utility pole; the covered porch attached to “garage #3” was constructed around the trunk of an existing large redwood specimen tree. It is clear that, at a minimum, neither of these porch additions were built to Code.

Historically, it is likely the various bays that make up the subject structure were used in support of the packing warehouses that lined the UPRR tracks in this part of the City. As these packing plants ceased operation, the bays were converted to various commercial and light industrial uses, which have continued to occupy the spaces up until recently. The project applicant only recently acquired the property in 2014.

Building without Permits

In the fall of 2016 after the various storage/garage bays had been vacated (including use of “garage #3 for an unpermitted dwelling unit), the City received a complaint call from a nearby resident concerning loud construction work occurring within the garage bays. A site inspection by the City’s Chief Building Plans Examiner/Inspector, the Code Compliance Supervisor and the Community Development Director, confirmed that work was underway without permits to complete structural repairs to the bays’ roof framing, roof, and interior and exterior walls. During the inspection, it was also discovered that an unpermitted full bathroom had been constructed at some point in the past inside the “storage” bay, and the existing uncovered porches were unpermitted and not built to Code.

The City issued a “Stop Work Order” requiring all work to cease until proper permits are obtained.¹ In further researching the matter, it was confirmed and explained to the applicant that structural repairs/alterations to the storage/garage bags can only be permitted via a Conditional Use Permit given the structure’s legal nonconforming status with respect to the required rear setback. It was also explained that the repairs could only be permitted (with a CUP), if the use of the structure were also changed to a permitted use under current zoning. Otherwise, the applicant would be required to demolish some, or all of the bays to conform to the applicable PRD zone district requirements.

¹ Permits issued after-the-fact for work begun without first obtaining permits are subject to a “double fee” penalty.

Master Redevelopment Plan Concept

In summer/fall of 2014 after having recently purchased the property, the applicant presented a concept proposal to the ARB and Planning Commission to redevelop the subject lot and the adjoining lot to the north (under the same ownership) into a 19-unit multifamily development. The concept called for preserving and restoring a handful of the existing detached cottages on the properties, converting the existing two-story commercial building at 550 Maple Avenue into a multi-unit residential building, and demolishing the existing 502 Maple Avenue residence and storage/garage bays to accommodate additional new cottages, onsite parking and a shared drive aisle through the property. As part of the master plan concept for the properties, the applicant envisioned also rehabilitating the existing 500 Maple Avenue warehouse along the UPRR tracks, and preparing it in anticipation of new commercial tenants.

Since the presentation of the concept to the City, the applicant has begun implementing the early phases of what will ultimately be a multi-phase redevelopment plan along the lines of what was initially presented to the Commission. The first phase, which has been completed requiring only Building Permits, was to remodel and clean up the detached cottages that are to remain. The second phase, which is presently underway, is to clean up and improve the 500 Maple Avenue warehouse building in preparation for future commercial tenants. To date, building permits have been issued to reroof the warehouse, add/replace windows and doors, and replace the shade structure over the existing loading dock on the warehouse's west end. The next step in this phase involves securing an anchor tenant for the primary tenant space at the west end of the building (which may require a Conditional Use Permit for the applicant's desired types of use, like a winery, bakery/café, coffee roaster/café, or similar).

The last phase of the redevelopment concept would be to pursue the necessary entitlements for the new multifamily residential units and site layout described in the initial concept proposal. The applicant has indicated he is not in a position to begin this phase until the earlier phases are completed and generating revenue. The applicant's intent with the subject request to repair and rehabilitate the existing storage/garage bays, is to be able to continue to make use of these structures in the interim until the larger multifamily residential concept has been permitted and is ready to begin construction.

A copy of the site plan for the master redevelopment concept is attached as Exhibit 3.

Architectural Review Board

Given staff's recommendation that the subject CUP request not be supported, and the applicant instead be directed to pursue an alternative strategy, the project has not yet been reviewed by the Architectural Review Board (ARB). If, or when, a project concept is approved, the matter will be referred to the ARB for their consideration and input to ensure the resulting structure is consistent with the City's applicable design criteria.

V. ENVIRONMENTAL

Either project scenario (i.e., the applicant's described project request or staff's recommended alternative project) could be found categorically exempt from environmental review pursuant to Sections 15301 [existing facilities] and 15302 [replacement or reconstruction] of the Guidelines for the implementation of the California Environmental Quality Act (CEQA). Class 1 Categorical Exemptions allow for repair, maintenance, and minor alteration of existing facilities involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Examples of projects allowed under Class 1 Exemptions include interior and exterior alterations, restoration or rehabilitation of deteriorated or damaged buildings, and demolition of individual small structures. Class 2 Categorical Exemptions consist of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. As either project would be consistent with these standards, an exemption could be appropriate.

VI. ANALYSIS

The proposed project involves structural repairs and alterations to an existing legal nonconforming group of attached storage/garage bays on a residentially-zoned property. As such, staff has reviewed the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code, and with the policies and objectives of the General Plan/Coastal Land Use Plan.

Zoning Code Requirements

The subject portion of the property is zoned Planned Residential Development (PRD-20) (CMC §14.14). The primary permitted uses for properties zoned PRD include single family or multifamily residential developments. Accessory uses and structures that are incidental to the primary permitted uses, including such uses as laundry/storage rooms, garages, and similar structures may also be permitted. Because the existing structure is legal nonconforming, the project is also subject to the City's Legal Nonconforming Uses and Structures provisions (CMC §14.82), discussed in more detail below.²

Planned Residential Development Zone Standards

The proposed project would repair and rehabilitate the existing storage/garage bays and make them available to the residential tenants of the property for use as personal garages/storage areas. Some of the existing bays may also be used for storage of landscaping equipment/materials for the upkeep of the property. Such uses appear to be generally consistent with the types of accessory uses permissible in this zoning district and would help to improve the site's conformance with the PRD zone district's covered parking requirements.

² Pursuant to CMC §14.62.040(2), in the case of a Conditional Use Permit application in a zone district that requires a Development Plan, a Development Plan will not be required in addition to obtaining a Conditional Use Permit.

“Garage #3” bay of the subject structure encroaches into the required 15-foot rear setback. In the existing condition, the structure maintains less than a one-foot setback from the rear property line shared with the residential properties to the east. Staff considers the structure to thus be legal nonconforming with respect to this setback requirement.

Legal Nonconforming Structures

The proposed project entails structural repairs and alterations to the existing legal nonconforming structure in order to address identified Building Code violations and meet minimum safety provisions to allow the continued (accessory) uses of all of the existing storage/garage bays. Given the proposed repairs would extend the life of this legal nonconforming structure, the project must receive approval of a Conditional Use Permit in addition to a Coastal Development Permit from the Planning Commission.

Conditional Use Permit

Chapter 14.82 of the Carpinteria Municipal Code (CMC) outlines the review process for projects involving a legal nonconforming use or structure. CMC §14.82.010 of that Chapter sets out the general policy that physical alteration of an existing nonconforming use or structure is prohibited unless specifically authorized by the Municipal Code. CMC §14.82.050 Alteration, repair and enlargement of buildings and structures further clarifies that, *“Except as otherwise provided in this chapter, no building or structure designed, arranged, intended for or devoted to a nonconforming use under this chapter shall be enlarged, extended, moved, reconstructed or structurally altered unless such use is changed to a use permitted under this chapter in the district in which said building or structure is located. Repairs shall not continue or extend the life of a nonconforming use.”*

As described earlier, the property is presently designated for residential uses under zoning, despite the storage/garage bays having been historically used for commercial purposes. This arrangement renders the former commercial uses legal nonconforming with respect to zoning. Under the above-cited CMC section, the necessary repairs to the structure cannot be permitted unless the use of the structure is first converted to a use permitted in the PRD zone district. Given the existing amenities and layout of the storage/garage bays, the most logical use for the bays that could be found consistent with the types of uses permissible in the PRD zone district is for accessory uses such as personal garages/storage for the residential tenants of the property. With the conversion to a conforming accessory use, the requested repairs to the nonconforming structure could then be considered. Otherwise, the applicant would be faced with having to demolish and remove the existing nonconforming uses/structures.

CMC §14.82.061 (Nonconformance of residential uses as to yards, height or parking) stipulates that improvements can be made to nonconforming residential structures that would prolong the life of the structure(s) subject to the approval of a Conditional Use Permit. The relevant section from chapter 14.82 is provided below:

§14.82.061 Nonconformance of Residential Uses as to Yards, Height or Parking.

1. *Notwithstanding any other provision of this code, if a residential use of four or fewer dwelling units is conforming as to use but nonconforming as to yards, height or parking,*

improvements which may result in prolonging the life of such nonconforming use may be authorized by the Planning Commission subject to a Conditional Use Permit.

2. *In considering and issuing such a Conditional Use Permit, the Commission must find, at a minimum, the following:*
 - a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood;*
 - b. *The habitable capacity of the unit or units will not be increased beyond that previously existing; and*
 - c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

The Conditional Use Permit (CUP), as a planning tool, allows the Planning Commission to exercise broad discretion over a proposed use or project and in taking an action to approve or deny a project. Through the use of the CUP, the Commission could allow improvements which prolong the life of a nonconforming structure including structural repairs, remodels, additions and similar improvements. It is possible for improvements to existing nonconforming structures that are *accessory* to the residential units to also be considered under the above-described CUP process.

In general, the intent of the Nonconforming Uses and Structures chapter of the Zoning Code is to guide and require the gradual replacement of existing nonconforming uses and structures throughout the City with uses/structures that conform to current zoning. It is recognized however, that under certain circumstances, it may be beneficial to the City to instead allow a nonconforming use or structure to remain. In order to grant a CUP for improvements to nonconforming residential units however, the Commission must make the three specific findings listed below in addition to the standard CUP/CDP findings.

A discussion of the proposed development's consistency with the nonconforming structures findings is provided for the Commission's consideration:

- a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood.*

Based on staff's inspections of the property, it appears at least some of the existing storage/garage bays are approaching the end of their functional life. The individual bays are of varying styles and quality of construction. Portions of the structure are in deteriorated and/or dilapidated condition, and are in need of significant repairs or replacement. Various unpermitted improvements have been made to the bays over the past decades, including the covered porch elements and bathroom. The requested project would address and improve some of these issues and allow the property owner to gain additional years of use out of these structures, but would do little to improve the overall condition of the property.

Approval of the requested CUP would allow the existing "garage #3" bay to remain within one foot of the shared rear property line. While it is not unusual for small detached accessory structures to be located within the required rear setback, it is not typical for such a large

structure (3,784 square feet in total), to be located in such close proximity to the rear property line for such a significant distance (e.g., approximately 50 feet). In light of the fact that the subject structure contains five distinct garage bays and is proposed to serve only three residential units, it is difficult to justify the need for the nonconforming garage bay to remain, especially when removal of this bay would still provide each of the three residential units with an individual garage (with one bay left over for landscape equipment storage), and correct the nonconforming setback situation to better reflect the now residential character of the property. Therefore, staff believes this finding cannot be made.

- b. *The habitable capacity of the unit or units will not be increased beyond that previously existing;*

The proposed project would not result in a change to the number of dwelling units on the property, or the square footage of habitable areas. The storage/garage bays are not habitable and would be restricted to use for personal vehicle parking and/or storage by the residents of the property, and/or for storage of landscaping equipment necessary for the upkeep of the property. Thus, this finding could be made.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

Repairing the existing storage/garage bays and converting them to personal storage spaces for the residential tenants of the property could be found to improve the living condition of the existing units by providing what is often a desirable amenity for residential properties. On the other hand, it is difficult to justify allowing repairs to, and retaining, the nonconforming “garage #3” bay when even with its removal, sufficient bays remain to provide each of the existing units with an individual garage/storage space.

Given the analysis provided here, staff does not believe that the required findings to grant a Conditional Use Permit to repair and rehabilitate the existing storage/garage bays for personal residential storage, can be made.

General Plan/Coastal Plan Policies

The project site has a General Plan/Coastal Plan designation of Medium Density Residential (MDR). The City’s Community Design Element of the General Plan contains both general overarching policies and specific subarea policies. The project site is in Design Subarea 2 (Downtown/Old Town District).

Land Use Element

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City’s edge.*

The proposed project is located within an urbanized part of the City on a lot that is currently improved with three detached single family dwellings, a large commercial warehouse, and the subject storage/garage bays structure. The proposed project entails repairing and rehabilitating the existing storage/garage bays to address deterioration to the structure and correct identified Building Code violations. Aside from the removal of the unpermitted porches, no changes to the existing structure's square footage, building footprint or height are proposed. Proposed repairs may help to subtly improve the general condition and appearance of the structure, although it will remain largely unchanged.

The proposed project would also require the use of the storage/garage bays be converted to a conforming use for the PRD zone district, such as accessory personal garages/storage for residential tenants of the property. The phase out of the historic commercial uses that have occupied the structure over past decades may help to minimize and avoid future nuisance impacts associated with the use of these structures. The existing conditions could be further improved upon by removing the "garage #3" bay, which presently encroaches to within one foot of the shared rear property line.

Policy LU-3b: *The Community Design Element shall guide the character of development, and represent a comprehensive statement of the community's visual objectives.*

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with the principles established in the Community Design Element.*

The proposed project would repair and rehabilitate the existing storage/garage bays. The scope of work would help to subtly clean up and improve both the appearance and safety of the existing structures. Overall, however, the general appearance of the aging and slowly deteriorating structure is likely to remain. Once a project scope is confirmed and receives initial approval, the proposed remodel/repairs would be referred to the ARB for their consideration.

Community Design Element

Objective CD-1: *The size, scale and form of buildings on a parcel, and their placement on a parcel should be compatible with the adjacent nearby properties and with the dominant neighborhood or district development pattern.*

The proposed project involves retaining and repairing an existing nonconforming structure containing multiple garage/storage bays. The structures were originally built when the property when the subject property was zoned for commercial or industrial uses and have been continuously used in that capacity up until recently despite the rezone of the property to residential use several decades back. With the need to complete various structural repairs to the bays comes the opportunity to bring the structure into conformance with its current zoning designation in terms of both use and development standards.

Given the now residential designations of the subject property and the adjoining lots to the north and east, it is not consistent with the desired character of development for these properties to allow the nonconforming garage bay to remain. By requiring the structure to be modified to instead comply with the required rear setback, garages/storage can still be provided to each of the three residential units on the property, while also bringing the property into conformance with current zoning standards.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

No changes to the existing structure's height or layout are proposed that would affect any existing nearby public ocean or mountain views.

Policy CD-7c: *Loading and trash facilities should be located where they are screened from view. The use of alley and service roads is encouraged for these facilities.*

The subject storage/garage bays would be used as personal garages/storage for residential tenants of the units on the property. These accessory uses/structures are not highly visible from surrounding public spaces and are accessed via an existing private drive aisle on the property.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity, and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

No new lighting is shown on the plans at this time. Should the project be approved by the Planning Commission, a condition would be provided in the Conditions of Approval requiring any new or replacement exterior lighting to be consistent with this Objective and Policy.

Subarea 2 (Downtown/Old Town District)

Objective CDS2-a: *Ensure that new intensified land uses within the Downtown remain consistent with the City's "small beach town" image.*

As described elsewhere in this report, the proposed project seeks to gain permission to repair and retain existing nonconforming garage/storage bays, one of which encroaches into the lot's required rear setback. While maintaining the existing nonconforming layout would not likely be seen as an intensified land use, it is appropriate that when converting a nonconforming use to a conforming use, the nonconforming structure itself also be brought into compliance with current standards unless the requisite findings to allow otherwise can be made.

In the case of converting the existing nonconforming garage bays into accessory structures for the use of the property's residential tenants, no such determination can be made for why the City's interests would be served by allowing the nonconforming setback situation to remain. Instead, it is preferable

that the structure be brought into current conformance, particularly when the end result of providing individual garage spaces for the property's residential tenants can still be achieved. Such an arrangement can be found to better relate to the desired character of the City's PRD zone district.

Open Space, Recreation & Conservation Element

Policy OSC-13b: *Require new development or redevelopment in the downtown section of Carpinteria to conform with the scale and character of the existing community and consistent with the city's theme of a small beach-oriented community.*

The existing structure was originally built for commercial/industrial purposes and is of a scale and character more appropriate for that type of setting. With the past rezone of the subject property to a residential use, the existing garage/storage bays structure does not conform to the scale or character of the desired/permissible types of land uses for this area. While keeping some of the bays to provide garage/storage space for the residential units on the property is a reasonable request and typical of the types of amenities provided on other residential properties, the request to also retain the "garage #3" bay located almost entirely within the required rear setback cannot be justified by staff. This remodel/repair request represents an opportunity to improve the livability of the existing units by providing garages/storage areas for them, and to improve the overall appearance and consistency of the property with its current zoning designation. This is best achieved by requiring the existing "garage #3" bay to be removed.

Noise Element

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation would apply to any project approved for the property.

Public Facilities & Services Element

Objective PF-5: *To provide a high quality and broad range of public services, facilities and utilities to meet the needs of all present and future residents of the Carpinteria Planning Area.*

Policy PF-5c: *The City will ensure that new development will not adversely impact services and facilities provided to existing development.*

The project site is presently served by local utility and service providers. All affected agencies have reviewed the proposed project and indicated an ability to continue to serve the property. Relevant requirements from the affected service providers, if any, have been identified and included in the attached Conditions of Approval.

VII. ACTION OPTIONS

1. Deny Project Number 17-1860-CUP/CDP as submitted and instead direct the applicant to obtain the necessary Building Permits to remove the nonconforming “garage #3” bay and repair the remaining garage bays for use as personal garages/storage by the residential tenants of the property, and adopt the findings for denial in Exhibit 1, Attachment A. (staff’s recommendation)
2. Direct the applicant to prepare project revisions and return to a future Commission meeting.
3. Conceptually approve the project as proposed. Direct staff to return with findings for approval to the Planning Commission’s next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-17-004
Attachment A: Findings
Attachment B: Reduced Plans

Exhibit 2 Site Photographs

Exhibit 3 Conceptual Master Redevelopment Plan

Exhibit 1
Resolution PC-17-004

Vernon Garages Rehabilitation
502 Maple Avenue

PC Hearing, May 1, 2017

RESOLUTION NO. PC-17-004

**A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION
DENYING THE CONDITIONAL USE PERMIT AND COASTAL
DEVELOPMENT PERMIT NO. 17-1860-CUP/CDP TO ALLOW THE REPAIR
AND REHABILITATION OF A LEGAL NONCONFORMING STRUCTURE
CONTAINING A SINGLE FAMILY RESIDENCE AND FIVE ATTACHED
STORAGE/GARAGE BAYS. THE PROJECT IS LOCATED AT
502 MAPLE AVENUE (APNs 004-105-005 & -009).**

REQUESTED BY THOM VERNON

WHEREAS, the Carpinteria Planning Commission has considered an application for a Conditional Use Permit and Coastal Development Permit filed by Thom Vernon on March 13, 2017 to allow structural repairs and rehabilitation of a legal nonconforming structure containing a residential unit and five attached storage/garage bays; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on April 26, 2017; and

WHEREAS, the Planning Commission has conducted a hearing and received evidence regarding the application for the Conditional Use Permit and Coastal Development Permit; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act pursuant to Sections 15301 and 15302 of the California Environmental Quality Act Guidelines; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

**NOW THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS
FOLLOWS:**

1. The requested Conditional Use Permit and Coastal Development Permit are denied, making the Findings for denial outlined in Attachment A.

PASSED, APPROVED AND ADOPTED this 1st day of May 2017, by the following called vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 1st day of May 2017.

Exhibit 1
Attachment A: Findings

Vernon Garages Rehabilitation
502 Maple Avenue

PC Hearing, May 1, 2017

ATTACHMENT A FINDINGS

PLANNING COMMISSION HEARING PROJECT 17-1860-CUP/CDP MAY 1, 2017

VERNON GARAGES REHABILITATION

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Conditional Use Permit and Coastal Development Permit was submitted on March 13, 2017, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on April 26, 2017. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to not conform to all of the applicable zone district and to not be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemption §15301 [existing facilities] and 15302 [replacement or

reconstruction]. Class 1 Categorical Exemptions allow for repair, maintenance, and minor alteration of existing facilities involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination. Examples of projects allowed under Class 1 Exemptions include interior and exterior alterations, restoration or rehabilitation of deteriorated or damaged buildings, and demolition of individual small structures. Class 2 Categorical Exemptions (§15302) allow replacement and/or reconstruction of existing structures where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced.

1.3 Conditional Use Permit Findings

- a. *The site for the proposed use is not adequate in size and shape to accommodate the use.*

The proposed project requests permission to maintain and structurally repair a collection of garage/storage bays, one of which encroaches into the required rear setback for the property.

As part of the project, the previous nonconforming commercial uses of some of the bays would be replaced with garage/storage space for the property's residential units. More than enough garage bays are available to meet the covered parking requirements for the existing residential units, such that retaining the "garage #3" bay is not necessary to make the project conform to the PRD zone district parking standards. Additionally, given the layout and design of "garage #3," it cannot feasibly be used for vehicle parking. As the required findings for allowing the nonconforming structure to encroach into the setback cannot be made, the existing structure must be removed or modified to comply with the zoning district setback requirements.

- d. *The granting of the permit will be detrimental to the health, safety and general welfare of the neighborhood.*

As discussed in the Planning Commission staff report dated May 1, 2017 and herein incorporated by reference, the subject garage/storage bays are generally deteriorated and in a dilapidated condition. The proposed structural repairs would address some of the most serious concerns, but would otherwise generally retain the structure in its present condition. In light of the fact that the property is zoned for residential uses, allowing the existing commercially-developed nonconforming structure to remain in its existing configuration, is not in keeping with the desired residential character for the area. As redevelopment of the property is pursued, it is appropriate that existing structures be updated and retrofitted, or replaced, to conform with current standards and neighborhood character.

- e. *The proposed use is not consistent with the Coastal Plan, General Plan, and applicable specific plan.*

The proposed project involves repairing and retaining existing storage/garage bays, including a nonconforming bay that encroaches into the required rear setback, and converting the use of the

bays to residential garages/storage. As discussed in the Planning Commission staff report dated May 1, 2017 and herein incorporated by reference, the required findings for approval to allow the nonconforming setback condition to remain cannot be made. As such, the proposed project is not consistent with the City's Zoning Ordinance, which is the implementation program of the City's certified Local Coastal Program.

The proposed project also fails to comply with the intent of all of the applicable General Plan/Coastal Plan policies. As the property has transitioned from a commercial/industrial use to a multifamily residential use, it is appropriate that existing structures also be brought into conformance with the residential character of the property. The existing garage bay structure's appearance, its overall size, and its location within one foot of the rear property line is not consistent with the type or character of development desired for the City's residential areas. Therefore, the project is not consistent with the City's General Plan/Coastal Plan.

1.4 Nonconforming Structure Findings

- a. Continuation or upgrading the residential unit or units will have an adverse effect on the surrounding neighborhood.*

Based on staff's inspections of the property, it appears at least some of the existing storage/garage bays are approaching the end of their functional life. The individual bays are of varying styles and quality of construction. Portions of the structure are in deteriorated and/or dilapidated condition, and are in need of significant repairs or replacement. Various unpermitted improvements have been made to the bays over the past decades, including the covered porch elements and bathroom. The requested project would address and improve some of these issues and allow the property owner to gain additional years of use out of these structures, but would do little to improve the overall condition of the property.

Approval of the requested CUP would allow the existing "garage #3" bay to remain within one foot of the shared rear property line. While it is not unusual for small detached accessory structures to be located within the required rear setback, it is not typical for such a large structure (3,784 square feet in total), to be located in such close proximity to the rear property line for such a significant distance (e.g., approximately 50 feet). In light of the fact that the subject structure contains five distinct garage bays and is proposed to serve only three residential units, it is difficult to justify the need for the nonconforming garage bay to remain, especially when removal of this bay would still provide each of the three residential units with an individual garage (with one bay left over for landscape equipment storage), and correct the nonconforming setback situation to better reflect the now residential character of the property. Therefore, staff believes this finding cannot be made.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

Repairing the existing storage/garage bays and converting them to personal storage spaces for the residential tenants of the property could be found to improve the living condition of the existing units by providing what is often a desirable amenity for residential properties. On the other hand, it is difficult to justify allowing repairs to, and retaining, the nonconforming “garage #3” bay when even with its removal, sufficient bays remain to provide each of the existing units with an individual garage/storage space.

1.5 Coastal Development Permit Finding

- a. *The proposed development is not in conformity with the City’s certified Local Coastal Program.*

The proposed project involves repairing and retaining existing storage/garage bays, including a nonconforming bay that encroaches into the required rear setback, and converting the use of the bays to residential garages/storage. As discussed in the Planning Commission staff report dated May 1, 2017 and herein incorporated by reference, the required findings for approval to allow the nonconforming setback condition to remain cannot be made. As such, the proposed project is not consistent with the City’s Zoning Ordinance, which is the implementation program of the City’s certified Local Coastal Program. Therefore, the project is also not consistent with the City’s certified Local Coastal Program as presented.

Exhibit 1
Attachment B: Reduced Plans

Vernon Garages Rehabilitation
502 Maple Avenue

PC Hearing, May 1, 2017





JOE HANSEN
SUBMITTALS

NET PLAN

SITE PHOTOS

G6.1



4. NEIGHBORING BUILDING



8. NEIGHBORING BUILDING



12. NEIGHBORING PROPERTIES



16. GARAGES



3. NEIGHBORING BUILDING



7. NEIGHBORING BUILDING



11. NEIGHBORING PROPERTIES



15. STREET VIEW



2. NEIGHBORING BUILDING X



6. NEIGHBORING BUILDING



10. NEIGHBORING PROPERTIES



14. NEIGHBORING PROPERTIES



1. NEIGHBORING BUILDING



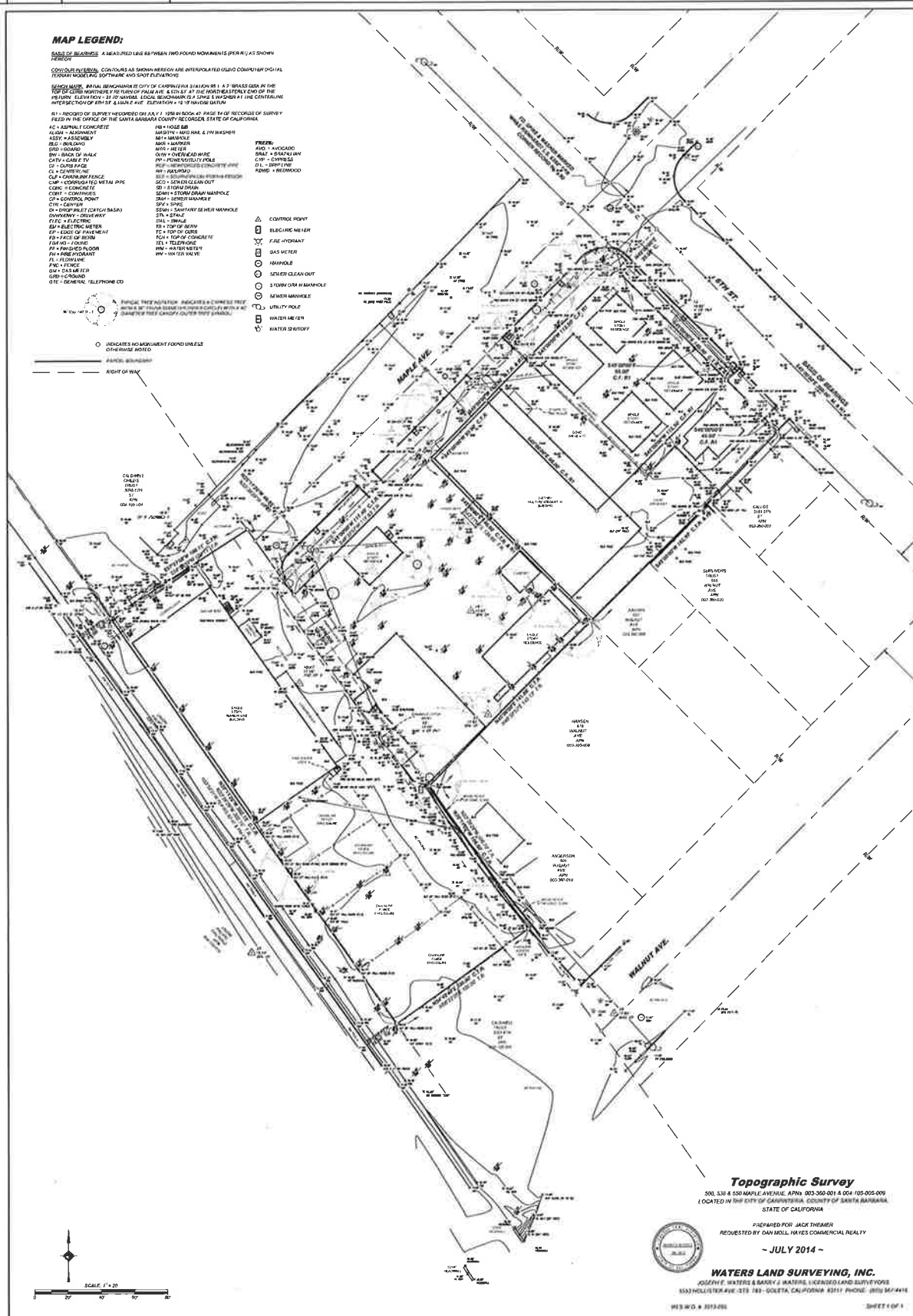
5. NEIGHBORING BUILDING



9. NEIGHBORING PROPERTIES



13. NEIGHBORING PROPERTIES



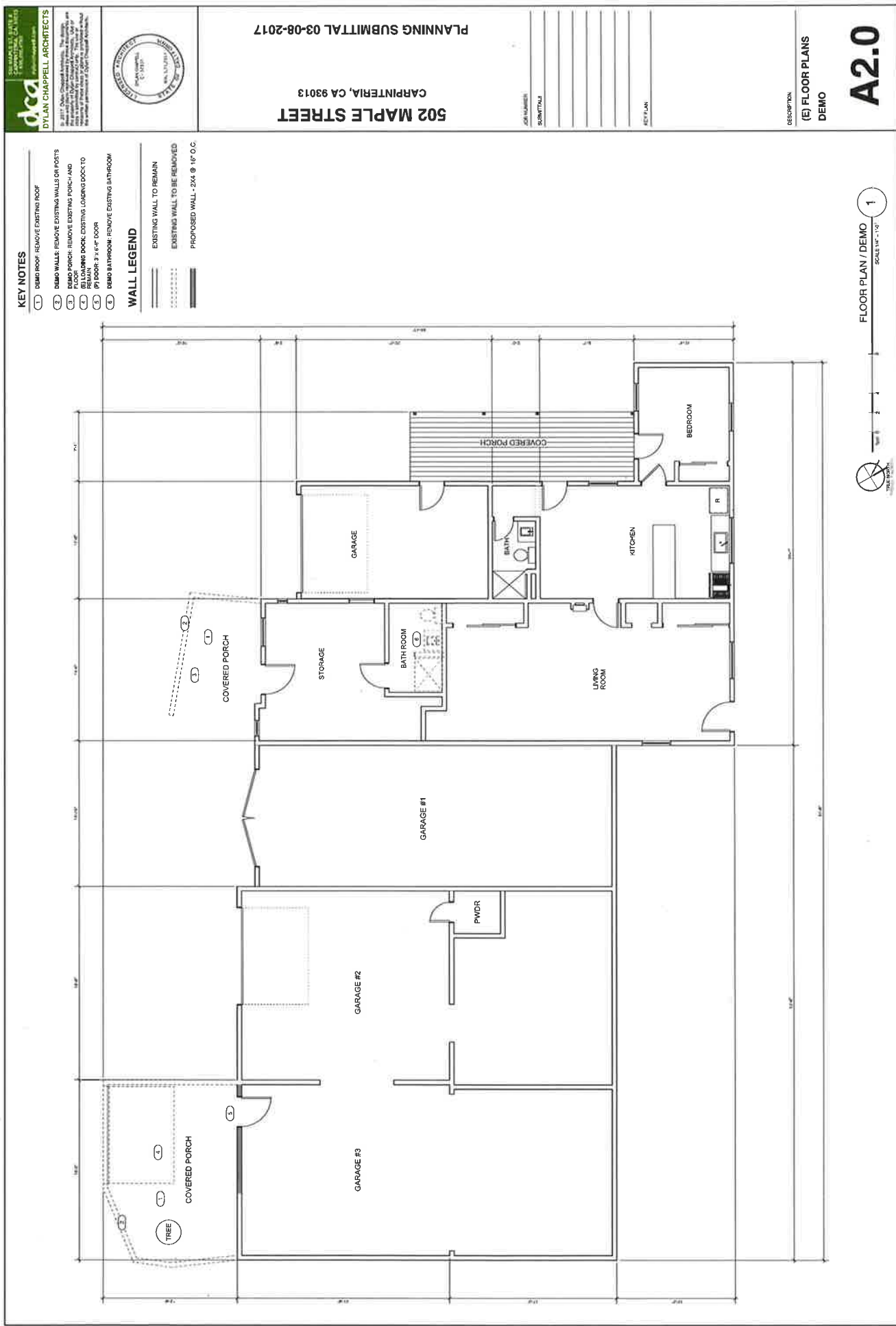


Exhibit 2
Site Photographs

Vernon Garages Rehabilitation
502 Maple Avenue

PC Hearing, May 1, 2017

Garage overview



502 Maple Ave residence & garage



“Storage” bay (w/ covered porch) &
“Garage #1” bay



“Garage #1” and “Garage #2”



Interior wall & ceiling repair- "Garage #3"



Interior ceiling repair- "Garage #3"



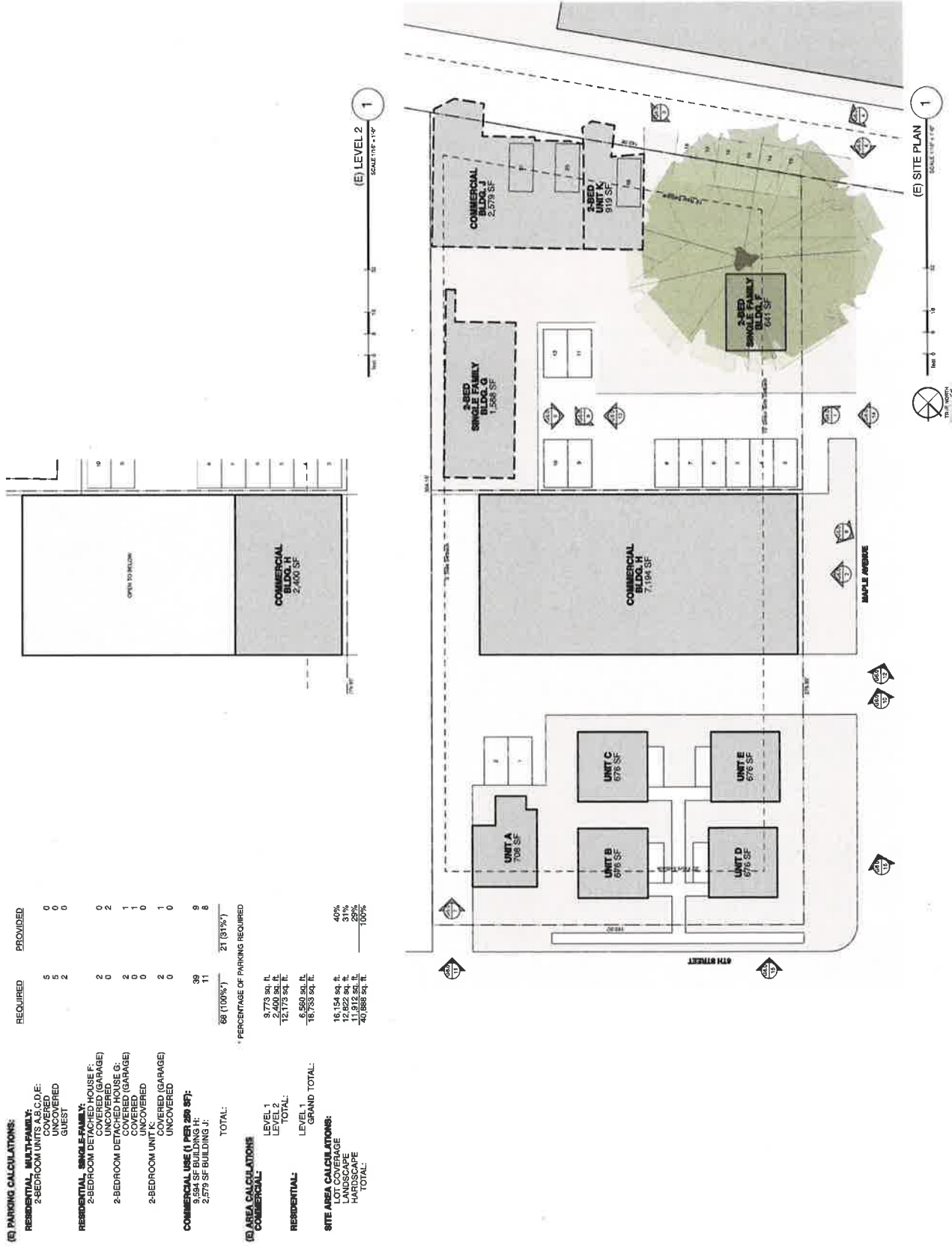
Interior ceiling repair- "Garage #3"



Exhibit 3
Conceptual Master Redevelopment Plan

Vernon Garages Rehabilitation
502 Maple Avenue

PC Hearing, May 1, 2017



DENSITY: 19 UNITS/0.95 Acres

(P) PARKING CALCULATIONS:

RESIDENTIAL - MULTI-FAMILY:

1-BEDROOM UNITS A,B,C,D,E,F,G,H,I,J,K,L,M,N

COVERED (1 PER 1)

UNCOVERED (1 PER 3)

GUEST (1 PER 3)

2-BEDROOM UNITS F,G,H,I,J,K,L,M,N

COVERED (1 PER 1)

UNCOVERED (1 PER 3)

GUEST (1 PER 3)

TOTAL:

REQUIRED	PROVIDED
11	11
4	4
8	8
3	3
34 (100%)	38 (112%)

LEGEND

(E) BUILDING

(N) CONSTRUCTION



MAPLE STREET
PROGRESS SET 10-23-2014

JOB NUMBER

SUBMITTALS

KEY PLAN

NOT FOR CONSTRUCTION

DATE: 10/23/2014
BY: DYLAN CHAPPEL ARCHITECTS
DESCRIPTION: MAPLE STREET

(P) SITE PLAN

A1.1

PROGRESS SET

(P) SITE PLAN
SCALE: 1/8" = 1'-0"

ACTION MINUTES

The meeting was called to order at 5:35 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Grant Cox
Scott Ellinwood
Jim Reginato

Boardmembers absent: Dylan Chappell

OTHERS PRESENT: 12 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Shawn Godkin, Architect for Judy Sirianni
Project: 17-1855-ARB
Planner: Marysol Smith
Project Location: 1150 Vallecito Road
Zoning: Single-Family Residential District (6-R-1)

Request of Shawn Godkin, agent/architect for Judy Sirianni to consider Project 17-1855-ARB for preliminary review of a proposal to remodel and construct an addition of 225 square feet to a single family residence to, in part, accommodate a new attached two-car garage at the front of the residence. The remodel/addition would eliminate one bedroom and bathroom, expand the living room, enclose an existing 110 square foot interior courtyard and replace the driveway to serve the new attached garage. The property is a 10,019 square foot parcel zoned Single-Family Residential District (6-R-1) and show as APN 003-193-015 addressed as 1150 Vallecito Road.

Staff presented an overview of the project. The project architect, Shawn Godkin, did not have any additional clarifications to present to the Board.

Public Comment:

Ruben Organista, a neighbor, expressed the belief that the project would be an improvement to the area. He noted he would be interested in viewing more details, such as a landscape plan.

Boardmember Discussion:

Boardmembers were all in general agreement when they expressed approval for the overall concept of the proposed project and its appropriateness for the neighborhood. Boardmembers requested the applicant to provide more details for the next review, including a landscape plan, lighting plan, and more detail on the exterior finishes, windows and doors.

Boardmembers accepted a color and materials display from the applicant. The applicant explained the proposed exterior finishes would match the existing yellow color and horizontal siding on the back half of the residence. The applicant elaborated on the staggered shingles on the gable over the garage. The applicant clarified that there will be a couple of new windows, but they would match existing.

Boardmember Ellinwood supplemented his previous comments by expressing that he would prefer to see scalloped or fishtail shingles, rather than staggered shingles, on the front gable. Similarly, he recommended the applicant reconsider the vertical paneling at the top of the gable. Additionally, he proposed the applicant consider incorporating a contrasting color for the gable end detailing. Chair Johnson added that the applicant could consider similar detailing on the large gable end on the south side elevation to break up the mass.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Ellinwood to recommend preliminary approval of the project to the Community Development Director with the following comments:

- Applicant to return with more details, including landscape plan, lighting plan, and details on exterior finishes, doors, and windows;
- Applicant to consider modifications to the detailing on the front gable end and possible similar detailing on the south (side) elevation gable end to break up the mass; and
- Applicant to consider a contrasting color for the exterior finishes.

VOTE: 4-0

PROJECT REVIEW

- 2) Applicant: David Ferrin, Architect for Anthony R. Segall & Deborah Dentler
Project: 17-1858-DP/CDP
Planner: Lucy Graham
Project Location: 5157 Eighth Street
Zoning: Planned Residential Development (PRD-20)

Request of David Ferrin, architect for Anthony R. Segall & Deborah Dentler to consider Project 17-1858-DP/CDP for preliminary review of a proposal to demolish and replace an existing single family home with a new 2,034 square foot two-story single family dwelling. The existing detached garage located at the rear southeast corner of the property would be remodeled. The property is a 6,649 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-321-012 addressed as 5157 Eighth Street.

Staff presented an overview of the proposed project. The Board was asked to provide input on the new proposed dwelling. The property owner introduced herself and explained her appreciation for the neighborhood and her respect for historical architecture. She noted that the proposed porch encroachment generally aligns with neighboring residences. The project architect presented additional information on the design and water-/energy-efficient features of the project as well as steps taken to address neighbor's privacy concerns, such as the use of a high railing for the second floor deck, and frosted glass and strategic window placement on the building's side elevations.

Public Comment:

Boardmembers accepted three letter of public comment from Donna Schroeder, Phylene Wiggins, and Christine Culver.

Paul Edmunds, of 5139 Eighth Street, commented that he was not opposed to the project but asked for clarification on any proposed changes to the shared-driveway easements between his property and the subject property; staff clarified that no changes were proposed.

Donna Schroeder commented that she owns a condo at 5175 Eighth Street and had some concerns with the project: she had been unaware of the extent of the proposed expanded ingress/egress easement prior to this meeting, she was concerned about privacy impacts between her condo and the subject property, and did not feel the flat roof fit with the neighborhood.

Phylene Wiggins commented that she also owns one of the condos at 5175 Eighth Street, that the shared ingress/egress easement has yet to be negotiated and that the height and shade of the new structure may be excessive and could create a “dark alley” effect for their shared driveway. She added that while the landscaping, colors and efficiency features are great, the architectural design does not seem to fit in the neighborhood.

Boardmember Discussion:

Boardmember Ellinwood commented that the flat roof fits in to the wider neighborhood, which does have several flat roofs such as Smart & Final and the commercial building at 5050 Seventh Street, and that the design, massing and colors (except the orange) are appropriate. He felt the proposed porch encroachment into the setback was appropriate.

Boardmember Reginato stated that the proposed design is similar to some “small beach town” cottages, and he approved of the project overall, except for the colors which are not beachy. He added that he would like to see a privacy study to address any issues with neighbor privacy, that the west side elevation is rather large and out of scale with the rest of the residence. He thought it should be restudied; he also believed it would be nice to add a decorative sandstone band to the bottom of that wall.

Boardmember Cox commented that he was supportive of the unique elements of the project although it would constitute a big change from the existing setting; he stated that he would prefer an oak tree in the front yard and that shrubberies in the parkway may not work and should be replaced with something more pedestrian friendly.

Chair Johnson stated that the proposed colors are acceptable if the bright orange were replaced with more of a burnt orange and that he liked the massing and random placement of windows.

ACTION: Motion by Boardmember Ellinwood seconded by Boardmember Reginato to recommend preliminary approval of the project to the Planning Commission with the following comments:

- Applicant should revise proposal to add an oak tree to the front yard and more appropriate plantings for the parkway; and
- The orange color proposed should be replaced with a different shade of orange, or a different color.

VOTE: 4-0

PROJECT REVIEW

- 3) Applicant: Kevin Moore, Architect for Scott Smigel
Project: 16-1844-DP/CDP
Planner: Nick Bobroff
Project Location: 5080 Carpinteria Avenue

Zoning: Commercial Planned Development (CPD) with Visitor-serving Commercial (VC) Overlay

Request of Kevin Moore, agent/architect for Scott Smigel to consider Project 16-1844-DP/CDP for continued preliminary review of a request to allow a change of use and remodel to the former Sunburst Printers shop to accommodate a new retail wine sales business and wine bar. Proposed interior improvements to the building include a remodel to create a new kitchen, service bar, retail area and accessible restroom. Exterior improvements include construction of a new exterior deck, entry vestibule, accessible access ramp and new paint, lighting and windows/doors. The property is a 6,250 square foot parcel zoned Commercial Planned Development (CPD) with a Visitor-serving Commercial (VC) Overlay and shown as APN 004-041-013 addressed as 5080 Carpinteria Avenue.

The applicant requested a continuance to the April 13, 2017 ARB meeting due to illness.

Public Comment: None.

Boardmember Discussion: None.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to continue the project to the April 13, 2017 meeting.

VOTE: 4-0

PROJECT REVIEW

- 4) Applicant: Nikhil Kamat, NKlosures, Inc. for RAM Hotels
Project: 16-1822-DP/CDP
Planner: Nick Bobroff
Project Location: 4110 Via Real
Zoning: Commercial Planned Development with a Residential Overlay (CPD/R)

Request of Nikhil Kamat, NKlosures, Inc, agent/architect for RAM Hotels, to consider Project 16-1822-DP/CDP for continued preliminary review of a request to demolish the existing church and all associated improvements and construct a new two-story 102-guestroom hotel. The new hotel would have a total floor area of 48,594 square feet and reach a maximum height of 25 feet from finished grade. The project would include a new 109-space parking lot, site landscaping, and stormwater/drainage and frontage improvements. The property is a 2.62-acre parcel zoned Commercial Planned Development with a Residential Overlay (CPD/R) and shown as APN 004-017-022 addressed as 4110 Via Real.

Staff presented the revised project to the ARB, describing the nature of the changes made to the project over the various iterations, including revisions made to address comments during the most recent concept review of the project.

Nikhil Kamat described the changes made to the project and believed they had addressed all of the Board's concerns. He described the architecture as a blend of contemporary and "coastal clean." He

noted the landscape plan had been updated to rely more heavily on native and drought tolerant plantings. Brett Stewart, civil engineer for the project described the different elements of the project's stormwater features including the front detention basin.

Public Comment: None.

Boardmember Discussion:

Overall, the Board was pleased with the direction the project is headed in, noting that the architect successfully responded to their comments, resulting in a cleaned up, more elegant and more appropriate design. The Boardmembers also noted their support for the revised colors and materials.

Boardmember Ellinwood asked whether the detention basin must be fenced. If necessary, he asked that a low, open rail fence or a similarly unobtrusive barrier be used. He also suggested that the introduction of a few ornamental oak trees into the planting plan would be a nice feature, and would do well at this site.

Boardmember Johnson suggested the fascia be extended across the top of the roof parapet on the recessed elements, or that the green screen be carried all the way to the top of the parapet on these elements. He also sought further details on the siding materials and the seams between panels. He asked for confirmation that the three-foot high parapet would be sufficient to screen rooftop mechanical equipment.

Boardmember Reginato echoed previous comments concerning the front detention basin, preferring no fence, if possible. He also asked that the east-facing elevation within the pool area be animated with windows or similar features to provide interest to an otherwise blank façade.

Boardmember Cox asked for more time to review the proposed landscape plan before providing comments, noting this was his first time seeing the project.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Johnson to recommend preliminary approval of the project to the Planning Commission with their comments attached.

VOTE: 4-0

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held March 16, 2017.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Johnson, to approve the minutes as presented.

VOTE: 3-0 (Cox abstain)

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF: Staff introduced Grant Cox to the ARB and reminded the Board of the upcoming dates for submittal of their Form 700s to the City Clerk

and the upcoming Brown Act and Conflict of Interest training.

ADJOURNMENT

Chair Johnson adjourned the meeting at 7:35 p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, April 13, 2017.

All Boardmembers present indicated they would be in attendance.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board

ACTION MINUTES

The meeting was called to order at 5:34 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Dylan Chappell
Grant Cox
Jim Reginato

Boardmembers absent: Scott Ellinwood

OTHERS PRESENT: 11 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Kevin Moore, Architect for Scott Smigel
Project: 16-1844-DP/CDP
Planner: Nick Bobroff
Project Location: 5080 Carpinteria Avenue
Zoning: Commercial Planned Development (CPD) with Visitor-serving Commercial (VC) Overlay

Request of Kevin Moore, agent/architect for Scott Smigel to consider Project 16-1844-DP/CDP for continued preliminary review of a request to allow a change of use and remodel to the former Sunburst Printers shop to accommodate a new retail wine sales business and wine bar. Proposed interior improvements to the building include a remodel to create a new kitchen, service bar, retail area and accessible restroom. Exterior improvements include construction of a new exterior deck, entry vestibule, accessible access ramp and new paint, lighting and windows/doors. The property is a 6,250 square foot parcel zoned Commercial Planned Development (CPD) with a Visitor-serving Commercial (VC) Overlay and shown as APN 004-041-013 addressed as 5080 Carpinteria Avenue.

Staff presented the revisions made to the project in light of the Board's previous comments. Staff also noted that since the publishing of the ARB report and packet, an updated plan set had been submitted including a preliminary landscape plan and additional details.

The project representative, Kevin Moore, provided additional details for the proposed project and requested changes. In response to questions, he explained that the applicant prefers to maintain and refurbish the existing sign with no further modifications to it. He also explained that with the removal of the existing water heater closet, a location for a new tankless water heater will be identified.

Public Comment: None.

Boardmember Discussion:

In general, the Board was pleased with the changes made, agreeing that most of their changes had

been satisfactorily addressed.

Boardmember Chappell asked whether the applicant had considered further increasing the height of the vestibule to differentiate it from the rest of the building. The applicant responded that they were looking for just a subtle differentiation.

Boardmember Reginato explained that while he would prefer to see the sign leg modified still, he was otherwise supportive of the revised project.

Boardmember Cox suggested replacing the pittosporum specified on the planting plan with bay laurel (*Laurus nobilis*) instead, as it would be a little darker green, and require less water and maintenance.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Chappell to recommend preliminary approval of the project to the Planning Commission with their comments attached.

VOTE: 4-0

PROJECT REVIEW

- 2) Applicant: Bryan Pollard, architect for Jim and Donna Swinford
Project Number: 16-1826-CUP/CDP
Planner: Nick Bobroff
Project Location: 710 Palm Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Bryan Pollard, architect for Jim and Donna Swinford to consider Project 16-1826-CUP/CDP for final review of a request to redevelop an existing two-unit residential property. The proposed project would replace the existing primary residence and detached garage with a new two-story 2,269 square foot single family residence and an attached 580 square foot three-car garage. The existing rear apartment unit would remain but would be remodeled, slightly reduced in square footage and attached to the new structure. The property is a 6,975 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-325-013 addressed as 710 Palm Avenue.

Staff explained the project's history, including the revisions requested, and approved by, the Planning Commission. He noted that with the exception of those changes, the project remained in substantial conformance to that previously reviewed and approved by the ARB at the preliminary level.

The project representative, Bryan Pollard, presented answered questions concerning various details like fencing, landscaping and paver materials. He also provided specifications for the proposed exterior colors and lighting.

Public Comment: None.

Boardmember Discussion:

The Board was pleased with the project as submitted.

Boardmember Johnson indicated the proposed exterior light fixtures should have frosted glass panels

or similar to comply with the City's night sky friendly lighting policies.

ACTION: Motion by Boardmember Chappell, seconded by Boardmember Johnson to recommend final approval to the Community Development Director with their comments attached.

VOTE: 3-0 (Reginato abstain)

PROJECT REVIEW

- 3) Applicant: City of Carpinteria Public Works Department
Project: 17-1864-ARB
Planner: Nick Bobroff
Project Location: Linden Avenue and Carpinteria Avenue
Zoning: Central Business (CB) / Commercial Planned Development (CPD)

Hearing on the request of the City of Carpinteria Public Works Department to consider Project 17-1864-ARB for preliminary/final review of a proposed landscape renovation project for City's Downtown "T" area, consisting of Linden Avenue, Carpinteria Avenue, and City Parking Lots #1 and 3. The project entails replacing existing plantings within the City right-of-way with new drought tolerant plantings.

Staff presented the project, explaining that the Public Works Department is seeking a recommendation for final approval, if warranted.

Susan Van Atta, project representative, provided additional background on the design, noting they were hoping to re-use much of the existing Carpinteria Avenue groundcover and simply augment it with complementary flowering plantings. For Linden Avenue, a plant palette relying on shades of blue was selected to provide a physical connection with the ocean. Overall, the goal was to design an attractive, drought tolerant, durable and simple planting plan.

Public Comment: Gary Jacquemin asked whether the proposed plan would result in a water savings for the City. The applicant responded that, yes, low water use species had been selected.

Boardmember Discussion:

Boardmember Reginato asked about irrigation for the new plantings. The applicant explained that new drip lines would be utilized on Linden Avenue; existing sprayers would be used on Carpinteria Avenue. Overall, he noted he was fine with the proposal but would defer to Boardmember Cox concerning maintenance needs. Boardmember Chappell agreed.

Boardmember Cox asked that the applicant consider an alternative plant palette. He felt the specified planting plans relied too heavily on commonly used species and that he would prefer to see something different and unique for Carpinteria. He also expressed reservations with the maintenance needs for some of the selected plantings; preferring something that is long lived, durable and requires less maintenance. Finally, he thought the Linden Avenue plant mix relied too heavily on blue hues.

Boardmember Johnson noted that in general he liked the proposed colors and was comfortable with the presented plan.

ACTION: Motion by Boardmember Cox, seconded by Boardmember Reginato to recommend preliminary/final approval of the project to the Community Development Director with the following comments:

- Consider alternate plant materials in line with Boardmember Cox's comments.

VOTE: 4-0

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held March 30, 2017.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Cox, to approve the minutes as presented.

VOTE: 3-0 (Chappell abstain)

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF: Staff indicated that it appeared likely that a meeting would be held on April 27th, 2017.

ADJOURNMENT

Chair Johnson adjourned the meeting at 6:45 p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, April 27, 2017.

All Boardmembers present indicated they would be in attendance.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board



MAY 2017



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
	1 9am Large Projects Coord– BI Rm 10:30am AFLAC Rep – Side Conf Rm 11am Ayars Mtg – Side Conf Rm 11am New Hires Orientation – BI Rm 3pm Law Enforcement Contract Mtg – – Blue Conf Rm 5:30pm Planning Commission–CCTV	2 10am Staff Mtg – Blue Conf Rm 2pm Animal Adoption Process – CC 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Conf Rm 3pm Warming Center Update – CC 5:30pm HOSTS Mtg – CC	3 10am Parks/Rec Staff Mtg– Side Conf Rm 1:30pm Labor Negotiations – Side Cf Rm 5:30pm Fire District Board Mtg – CC	4 8am Downtown BAB – Side Conf Rm 8:45am Carpinteria First – Side Conf Rm 1:30pm Safety Committee – Blue Cf Rm 2pm All CDD Staff Mtg – Side Conf Rm 3:30pm IPM Committee Mtg – Blue Rm	5 Happy Birthday Monique! 5pm – 8pm 1 st Friday Events – Downtown	6
7	8 3pm Council Closed Session – CC & Blue Conf Rm 5:30pm City Council Mtg – CC TV	9 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Conf Rm 4:30pm School Board Closed Session – – CC & Side Conf Rm 5:30pm School District Board Mtg – CCTV	10 10am Parks/Rec Staff Mtg–Side Cf Rm 12:30pm Labor Negotiations Side Cf Rm	11 9:30am Coast Xpress Policy Committee Pre-Mtg – Side Conf Rm 10:30am Coastal Xpress Policy Committee Mtg – CC 1:30pm Annual MHPRSB Mtg – CC 2:30pm Code Compliance – Side Cf Rm 3pm Quarterly CIP Mtg – Side Conf Rm 5:30pm ARB Mtg – CC	12	13 9am – 11am Carpinteria Beautiful Mtg – – CC 10am 2pm ABOP – PW Yard
14 <i>Mother's Day</i>	15 9am Large Projects Coordination Mtg – Blue Conf Rm 1pm Perform Evaluation Prep – CC 2pm All Employee Performance Evaluation Training – CC 3pm Neighbor to Neighbor Program Mtg – Side Conf Rm 5:30pm Gen Plan Update Committee Mtg – CC	16 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Conf Rm 2:30pm Planning Staff Mtg – Side Conf Rm 5pm School District Budget Study – CC	17 10am Parks/Rec Staff Mtg – CC 2:30am C3H Homelessness Mtg – CC	18 10:30am IDAG – Blue Conf Rm 1pm Perform Evaluation Prep – CC 2pm All Employee Performance Evaluation Training – CC 2:30pm Code Compliance Mtg– Blue Rm 5:30pm Tree Advisory Board – CC	19 9am BEACON Mtg – CC	20
21	22 3pm Council Closed Session – CC & Blue Conf Rm 5:30pm City Council Mtg – CC TV	23 10am Staff Mtg – Blue Conf Rm 2pm PW Staff Mtg – Blue Cf Rm 2:30pm Planning Staff – Side Conf Rm 4:30pm School Board Closed Session – – CC & Side Conf Rm 5:30pm School District Board Mtg – CCTV	24 10am Parks/Rec Staff Mtg–Side Cf Rm 1pm Perform Evaluation Prep – CC 2pm Mgrs/Supervisors Performance Evaluation Training – CC 5:30pm Water District Board Mtg – CCTV	25 9am Creative Housing Solutions Mtg – – Blue Cf Rm 11am Staff Homeless Population Mtg – – Blue Conf Rm 2:30pm Code Compliance Mtg –Blue Rm 5:30pm ARB Mtg – CC	26	27 10am 2pm ABOP – PW Yard

City of Carpinteria
Planning Activity Summary

April 2017

- | | | | |
|-----------------------------|--------------------|---------------------------|------------------------|
| 1. In 30-day review process | 5. Schedule for PC | 9. Schedule for final ARB | 13. BP issued |
| 2. Incomplete | 6. PC approved | 10. Final ARB Approval | 14. Under construction |
| 3. Schedule for ARB | 7. Schedule for CC | 11. Schedule for CCC | 15. C of O issued |
| 4. Director's Decision | 8. CC Approved | 12. In plan check | |

Last Edited 04/27/2017

Project #	Owner / Applicant	Address	Street	Project Description	Activity	Planner	Status	Code Violation
17-1869-SIGN	Continental Advanced Lidar Solution	6307A	Carpinteria Avenue	Monument sign and wall signs	Submitted 4/21/2017. Under review.	Marysol	1	
17-1868-DP/CDP	Carpinteria Sanitary District	5300	Sixth Street	Demolition of existing modular offices and the construction of a new 4,118 square foot one-story office building.	Submitted 4/12/2017. IDAG 4/20/2017. Under review.	Marysol	1	
17-1863-CON	Russ Salzgeber	447	Concha Loma Drive	Concept review of LLA & construct new SFD w/ detached 2nd unit	Submitted 3/23/27. Under review.	Nick	1	
17-1865-CON	Arvand Sebatian	751	Olive Street	Rehab burnt SFD and 328 s.f. addition	Submitted 3/29/2017. Incomplete 4/26/2017.	Marysol	2	
17-1856-TPM/VAR/CDP	De Alba Family Trust	5031	Foothill Road	Lot Split	Submitted 2/9/17. Incomplete 3/6/17. Site visit on 3/30/17 with Building Inspector. Letter issued 4/20/17 re: Building Code issues to be addressed.	Nick	2	
17-1850-CDP	CA Dept. of Parks and Recreation	205	Palm Avenue	State Beach Phase II ADA Improvements	Submitted 1/3/2017. Incomplete 1/31/2017.	Marysol	2	
16-1849-CUPR/TTM	Faith Lutheran Church	1335	Vallecito Place	8-lot subdivision & 6 (N) SFDs	Submitted 12/22/16. Incomplete 1/20/2017; waiting for additional materials from applicant.	Lucy	2	
16-1847-CUP/CDP	Zerlin	5305	Eighth Street	Abate Zoning/Building Violations & construct (N) 2nd floor addition.	Submitted 11/15/16. Incomplete 12/15/2016. Resubmittal 2/3/2017. Incomplete 2/15/2017. Pending resubmittal.	Marysol	2	Yes
16-1840-DP/CDP	Cravens Lane, LLC	1300	Cravens Lane	Green Heron Springs Project- Demo (E) SFD; construct 30 new condominium units	Submitted 8/24/16. Incomplete 9-14-16. To Concept ARB 11/17/16. Resubmitted 1/12/17, under review. Incomplete 2/10/17. Concept ARB 3/16/17.	Nick	2	
16-1838-SIGN	Procore	6307	Carpinteria Avenue	Sign Permit	Submitted 08/05/16. Requested additional information to create a Sign Program for site on 8/11/16. Resubmitted 10/25/16. Advised to submit separate application for sign program (refer to 17-1851-SIGN).	Marysol	2	
16-1836-CUP/CDP	Rafael Hernandez	4954	Fifth Street	remodel (e) apartments	Submitted 7/13/16. Incomplete 7/25/16.	Nick	2	
16-1812-ARB	Dave Moore	5550	Calle Ocho	Convert (E) garage to bedroom; construct (N) detached garage	Submitted 2/29/16. Incomplete 03/11/16.	Nick	2	
16-1811-DP/CDP	Jose Martinez	1061	Cramer Road	Demo (E) SFD; construct 3 (N) Units	Submitted 2/26/16. Incomplete 3/24/16.	Nick	2	
15-1804-CDP	Hawkins	5567	Calle Arena	Construct (N) SFD w/ attached two-car garage	Submitted 12/29/15. Incomplete 1/28/16.	Nick	2	

15-1799-CDP	6155 Carpinteria Avenue LLC	6155	Carpinteria Avenue	Landscape improvements & new pedestrian pathway	Submitted 11/17/15. Incomplete 12/16/15.	Nick	2	
15-1783-SIGN/FENC	Arbor Trailer Park	4677	Carpinteria Avenue (Ninth Street)	New frontage fences and signage	Submitted 08/05/15. Need survey from PW. Incomplete 08/17/15. See Matt M for PW status.	Marysol	2	
15-1781-DP/CDP	Cruz Mixed Use	4675	Carpinteria Avenue	(N) Mixed Use bldg. 500 sq ft commercial and two one bedroom apts	Submitted 7/9/15. Incomplete 8/6/15.	Nick	2	
15-1777-DP/CDP	R.P. Enterprises	6155 and 6175	Carpinteria Avenue	Industrial Research Mixed-use Campus	Submitted 6/24/15. Incomplete 7/22/15. Resubmitted plans 11/10/15. Second incomplete 12/3/15.	Steve	2	
17-1867-EMP	Venoco, Inc.	5661	Carpinteria Ave.	Emergency fence at Sealwatch Overlook, along public trail and parking lot	Submitted 4/4/17. Request for additional information 4/24/17.	Steve	2	
17-1863-CUP/CDP	Selfridge	5596	Calle Arena	Add'n to SFD, garage	Submitted 3/22/17. Complete 4/20/17, ARB Preliminary Review scheduled for 5/11/17.	Lucy	3	
17-1855-ARB	Judy Sirianni	1150	Vallecito Road	Remodel and addition	Submitted 2/8/2017. IDAG 3/16/2017. Complete 3/9/2017. Prelim ARB approval 3/30/2017. Pending resubmittal.	Marysol	3	
16-1843-CON	Montana Avenue Capital Partners	6380	Via Real	Lagunitas office park and retail redesign.	The redesign would replace the approved 84,550 sf. office building with six buildings totalling 72,500 sf. A 5,000 sf. retail component (market/deli) is also proposed, bringing the project total to 77,500 sf. Concept ARB review 10/27/16. Will submit actual application in Spring 2017.	Steve	3	
16-1832-SIGN	Gran Vida	5464	Carpinteria Ave	Sign Permit	Submitted 06/21/16. ARB 07/14/16. Director approved Carpinteria Avenue ground sign. Freeway sign to ARB 5/11/17	Steve	3	
16-1822-DP/CDP	Via Real Hotel	4110	Via Real	New 110-room hotel	Submitted 4-19-16. Incomplete 5-18-16. Resubmittal 7/14/16. Incomplete 8/11/16. Resubmittal 9-12-16. Incomplete 10/11/16. Resubmitted 10/31/16. Complete 11/30/16. Prelim ARB 12/15/16, cont'd to future meeting. In-progress ARB review 2/16/17. Prelim ARB approval 3/30/17. Env. review underway.	Nick	3	

15-1767-CDP	Wood	650	Concha Loma Drive	New Single Family Residence	Submitted 4/28/15. Incomplete 5/27/15. Resubmitted 7/13/15. Complete 8/10/15. CEQA Initial Study underway. ARB concept review 10/15/15. Draft MND public review period 7/15- 8/15/16. To ERC 8/4/16. Prelim ARB 8/11/16, continued with revisions.	Nick	3	
17-1857-FENCE	Tom Kenny	4292	Carpinteria Ave	New Fence (wall)	Submitted 2/10/2017, "Incomplete" 2/23/2017; add'l materials submitted 4/26/17.	Lucy	4	Yes
15-1788-CDP	Gobbell	5398	Star Pine Road	Convert (E) accessory building into a second dwelling unit	Submitted 8/19/15. Incomplete 9/4/15. Resubmittal 9/11/15. Complete 9/28/15. Prelim/Final ARB 10/15/15. CDD Director approved 10/29/15. 1-year time extension approved 10/11/16.	Nick	4	
17-1886-TUP	Carp Unified School Dist		various	CDD Director TUP for relocation of temporary classrooms at Canalino, Middle and High Schools	Submitted 4/5/17.	Steve	4	
17-1860-CUP/CDP	Thom Vernon	502	Maple Avenue	Structural repairs to nonconforming garage structures	Submitted 3/13/17. Incomplete 4/12/17. Resubmitted 4/20/17. Complete 4/26/17. To PC 5/1/17.	Nick	5	yes
17-1858-DP/CDP	Anthony Segall & Deborah Dentler	5157	Eighth Street	SFR Demo/Rebuild	Submitted 2/13/2017, Complete 3/7/17, ARB Preliminary approval 3/30/17. Tentatively scheduled for PC 6/5/17.	Lucy	5	
17-1853-CUP/ARB	Julie A. Castiglia	946	Concha Loma Drive	SFR Addition/Remodel	Submitted 2/1/2017, ARB Preliminary Approval 3/16/17. Additional materials rec'd from applicant 4/26/17. Tentatively scheduled for PC 6/5/17.	Lucy	5	
16-1844-DP/CDP	Sunburst Wines	5080	Carpinteria Ave	New retail wine bar	Submitted 10/13/16. Incomplete 11/4/16. Prelim ARB 3/16/17, cont'd to 3/30/17. ARB preliminary approval 4/13/17. To PC 5/1/17.	Nick	5	
16-1837-DP/CDP	Omni Catering	4835	Carpinteria Ave	New storage buildings & fencing	Submitted 8/4/16. Incomplete 8/31/16. Resubmitted 10/25/16. Incomplete 11/16/16. Prelim ARB Cont'd 12-15-16. Revised plans submitted 1-19-17. Prelim ARB approval 3/16/17. To PC 6/5/17.	Nick	5	Yes

16-1816-DP/CDP	William Ryan - Green Valley Corporation	4610	Fourth Street	Demolish SFD - construct four condos: Formerly 12-1612-DP/CDP/TPM	Application resubmitted 3/6/2016. Inc Letter 3/4/16. Resubmittal 4/16/16. PC approved original project 3/4/13. Final ARB 6/12/14. TE approved by PC 4/6/15 and still alive, DP and CDP expired. In Building Permit review. Needs Final Map Clearance. Complete 9/2/16. Possible PC 6/5/17	Steve	5	
05-1210-ZTA/LCPA	City of Carpinteria		Citywide	Zoning Code Update	Kick-off meeting 4/20/05. Joint Study Session 5/16/05. All administrative draft chapters delivered 5/12/06. Final Draft meeting with consultant 9/14/07. Public draft to be released in summer 2017.	Steve	5	
04-1175-DP/CDP/LC	Venoco, Inc.	5675	Carpinteria Avenue	Paredon Oil and Gas Extended Reach Drilling	Complete 9/11/14. MRS EIR contract approved 1/26/15. MOU for JRP approved 1/26/15. Venoco request to defer EIR rec'd 1/29/15. On hold at Applicant's request.	Steve	5	
16-1841-DPR/CDP	Carpinteria Valley Arts Council	855-865	Linden Avenue	Art Center expansion and remodel. Interior remodel; exterior: wrap-around awning, sign, façade	Submitted 9/1/16. IDAG routing 9/13/16. IDAG meeting 9/15/16. Incomplete 9/27/16. To Prelim ARB 10/13/16. Preliminary ARB approval 10/13/16. Complete 11/2/2016. PC approved 4/3/2017. Pending resubmittal of materials for Final ARB.	Marysol	6	
14-1722-TPM/CDP	Godfrey	1056	Eugenia Place	Subdivide (e) mixed use building into three condominiums	Submitted 6/19/14. Incomplete 7/17/14. Resubmitted 10/20/14. Complete 10/29/14. PC approved 11/3/14. FLAN sent 11/18/14.	Nick	6	
14-1719-CUP/CDP	City of Carpinteria		Carpinteria Ave Bridge	Replace Carpinteria Ave Bridge over Carpinteria Creek	NOP & Scoping Document released 7/3/14. Scoping Hearing 7/22/14. Project overview to PC 9/2/14. Project update to CC 11/10/14. ARB CON 2/12/15. EIR released for public comment 3/25/16. ERC 4-26-16. Public Comment Period closed 5-9-16. Prelim ARB approval 9/15/16. PC approved 11/7/16. Sent to CCC 11/18/16. PW completing 65% drawings 3/17. Utility relocation coordination underway 3/17.	Nick	6	

09-1534-DP/CDP	Carpinteria Valley Arts Council	855	Linden Avenue	Community arts building	Submitted 11/19/09. Incomplete 12/17/09. Resubmitted 4/22/10. Incomplete 5/10/10. Resubmitted 9/29/10. Complete 10/28/10. Prelim ARB 1/27/11. ERC hearing 4/21/11. PC approved 6/6/11. PC granted four-year time extension 6/1/15.	Nick	6	
15-1798-DP/PM/CD	Habitat for Humanity	4949	Sawyer Avenue	Three residential condominiums	Submitted 11/5/15. IDAG Routing 11/10/15. Incomplete 11/17/15. IDAG 11/19/15. Complete 11/25/15. Prelim ARB 1/14/16. PC scheduled 03/07/16. Cont. PC 04/04/16. PC approved 04/04/16. PC Action Letter 04/05/16. NOE sent 04/05/16. 10 day appeal period ends on 04/14/16. Final ARB 08/25/16. BP submitted 8/10/16. CC approved Final Map acceptance 4/24/17. Pending Parcel Map Recordation.	Nick	7	
17-1864-ARB	City of Carpinteria		Linden Ave & Carpinteria Ave	Downtown "T" landscape retrofit	Submitted 3/29/17, under review. ARB approved 4/13/17. To CC for awarding of contract.	Nick	8	
16-1835-CUP/CDP	Rafael Hernandez	520	Elm Avenue	remodel 3 (E) apartments	Submitted 7/13/16. Incomplete 7/25/16. Resubmitted 10/10/16. Complete 11/4/16. Prelim ARB approval 11/17/16. PC approved 2/6/17. FLAN sent to CCC 2/21/17.	Nick	9	
15-1760-CUP/CDP	City of Carpinteria		East end of Carpinteria Avenue	Rincon Trail	MND to ERC 6/27/12. Submitted 3/11/15. Complete 4/14/15. PC approved 5/4/2015. Needs County P&D application and approval. Tied to Linden/Casitas interchanges and Via Real extension Caltrans project.	Steve	9	
15-1751-DPR/CDP	City of Carpinteria	5775	Carpinteria Avenue	City Hall foyer add'n and landscape	Submitted 1/26/15. Complete 2/3/15. ARB Prelim 2/12/15. PC approved 3/2/15. CCC appeal period ended 3/30/15. Project to be phased.	Steve	9	
14-1733-DP/CDP/TF	Sanctuary Beach Condominiums (Norman's Tennis Court)	4925	Carpinteria Avenue	Four residential condominiums	Submitted 8/21/14. Incomplete 9/19/14. Complete 12/30/14. ARB Prelim 2/12/15 continued to 4/16/15, then 5/14/15. To PC 8/3/15; continued to 10/5/15 for redesign. ARB revised preliminary 9/17/15. Planning Commission 10/5/15, and Approved 11/2/15. CCC Appeal Period ends 12/3/15. Final ARB. DP/CDP Time Extension approved 12/5/16. Final Map under review.	Steve	9	

17-1852-CPD	City of Carpinteria	1400	Santa Ynez Ave	Phase II Park Improvements	Submitted 1/19/2017. ARB approved 2/16/2017. Complete 2/17/2017. Director Approval 3/6/2017. Pending submittal of BP application.	Marysol	10	
17-1851-SIGN	Montana Avenue Capital Partners	6303-6309	Carpinteria Avenue	Sign Permit - Sign Program for Carpinteria Corporate Center	Submitted 1/18/2017. Prelim ARB approved 3/16/2017. Resubmittal for Director level approval received 4/7/2017. Under review.	Marysol	10	
16-1829-ARB	Cluderay, Suzan and Ian	5643	Fiesta Drive	Addition of ~450 feet and remodel of exiting residence	Submitted 06/13/16. ARB 07/14/16. Incomplete 07/08/16. ARB recommended preliminary approval. Director Approval 10/5/16. Final ARB approved 10/13/16.	Nick	10	
05-1204-DPCDP	Venoco, Inc.	5663	Carpinteria Avenue	Dump Road Gate and Signs	PC Hearing 1/3/06. Cont'd to 2/6/06. PC Approved. Neighbor appeal to CC. CC conceptually granted appeal; cont'd to 5/8/06. Gate withdrawn by applicant. CC approved sign program 5/8/06. Appealed to CCC.	Steve	11	
16-1826-CUP/CDP	Swinford	710	Palm Avenue	Demolish (E) SFD & garage, construct (N) SFD & attached garage	Submitted 5/5/16. Incomplete 6-3-16. Prelim ARB approval 6-16-16. Complete 8/26/16. To PC 9/6/16, continued to 11/7/16. PC Approved 11/7/16. Final ARB approval 4/13/17. BP submitted 4/18/17, in plan check.	Nick	12	
16-1808-DP/CDP	City of Carpinteria Parks & Recreation Dept	4855	Fifth Street	Community Garden	Submitted 2/3/16. Incomplete 2/25/16. Resubmitted 3/23/16. Prelim ARB approval 3/31/16. In-progress review 4/14/16. Complete 4-25-16. PC approved 5-2-16. FLAN sent 5-18-16. Final ARB approval 10/13/16. BP application submitted 10/20/16. Site improvements underway.	Nick	12	
13-1683-CDP	Schildknecht	4634	Ninth Street	New Single Family Residence	Submitted 10/17/13. Prelim ARB 11/14/13. Continued to future ARB. Inactive. Sent warning to close letter 04/14/16. Resubmittal info 04/25/16 and 05/31/16, in review for completeness. Director Approval 07/6/16. Final ARB 08/25/16. BP submitted 12/21/16, in plan check.	Nick	12	

13-1650-DP/CDP	M3 Multifamily, LLC	4819	Carpinteria Avenue	6,000 square foot commercial building and two 600 square foot apartments	Submitted 1/9/13. Incomplete 2/7/13. Prelim ARB 10/17/13. PC approved 12/2/13. ARB "in-progress" 3/27/14. PC approved 36-month TEX 12/1/14. Minor height revision considered by ARB 4-14-16. Final ARB approval 11/17/16. BP submitted 12/6/16, in plan check.	Nick	12	
05-2002-DP/CDP	Venoco, Inc.	5663	Carpinteria Avenue	Parking Lot Fence & Signs	ARB Prelim 9/15/05. PC approved 1/3/06. Venoco appealed. CC granted appeal and approved 48" fence on 2/13/06. Appealed to CCC.	Steve	12	
15-1786-CUP/CDP	Verizon Wireless	6267	Carpinteria Avenue	Wireless Telecommunications Facility	Submitted 08/14/15. Incomplete 08/31/15. Complete 11/112/15. PC 12/07/15. PC Action letter 12/8/15. Appeal period ends 12/17/15. CCC appeal period ends 1/8/16. In Building Review 02/25/16. BP Issued 04/20/16.	Shanna	13	
16-1846-SIGN	Guicho's Eatery	901	Linden Ave	Sign permit	Submitted 11/03/2016. Pending resubmittal of plans 11/30/16. Resubmitted 1/26/2017. Approved 2/23/2017. BP issued 2/23/2017. Under construction 3/30/2017. BP finalized. Pending final inspection.	Marysol	14	
16-1839-CDP	Thom Vernon	500	Maple Avenue	Install new windows & replacement roll-up doors	Submitted 8/12/16. Incomplete 9/8/16. Complete 9/14/16. To ARB 9/15/16, continued to 10/13/16. ARB approved 10/13/16. Director Approved 10/21/16. FLAN sent to CCC 11/1/16. BP application submitted 10/20/16. BP issued 2/2/17, under construction.	Nick	14	
16-1814-CUP/CDP	Hathaway	4740	Fourth Street	Comprehensive remodel	Submitted 3/7/16. Incomplete 3/31/16. Resubmittal 4-7-16; deemed insufficient 4-20-16. Prelim/Final ARB 3/31/16. Complete 5-25-16. PC approved 6-6-16. NTPO recorded 6/28/16. BP submitted 7/27/16. BP issued 10/6/16. Under construction.	Nick	14	
15-1800-DP/CDP	Sinclair	607	Walnut Avenue	47 sq ft bathroom addition & new 2nd floor dormers	Submitted 11/30/15. Incomplete 12/10/15. Resubmitted 12/28/15. Prelim ARB Approval 1/14/16. Complete 1/21/16. PC approved 2/1/16. Final ARB approval 3/31/16. BP approved & issued. Under construction.	Nick	14	

15-1791-ARB	Bush	4310	La Quinta Drive	211 sf addition to, and remodel of, (E) 2-story SFD	Submitted 9/10/15. Incomplete 9/23/15. Prelim ARB 10/15/15. CDD Director approved 10/29/15. Final ARB approval 3/17/16. BP submitted 4-13-16. BP issued 5-16. Under construction.	Nick	14	
15-1785-LCPA/ORD	City of Carpinteria		Citywide / residential Zones	Short-term Vacation Rental Ordinance	Initiated by CC 08/10/15. Moratorium 10/26/15. Memo to CC 11/12/15. Discussion at PC 12/07/15. Draft Ord to PC 01/04/16. PC rec Approval to CC 01/04/16. CC 02/08/16. PC Special Meeting 03/02/16. PC Special Meeting 03/21/16. To CC 4/25/16. CC 1st reading 04/25/16. CCC submittal for LCPA to be sent 05/16/16. Replied to CCC on 8/1/16. Met with CCC on 8/29/16, pending extension from CCC. Moratorium extension approved Ord. 711 09/26/16. CCC approved 12/8/16. Admin Regs presented to CC 4/10/17. CC approved Ordinance via Second Read 4/24/17. Need CC to repeal moratorium prior to July 1.	Lucy Steve	14	
15-1776-ARB	Millhollin	5481	El Carro Lane	Addition to SFD; new two-car garage	Submitted 06/23/15. Complete 07/06/15. Prelim/Final ARB 07/30/15. Director approved 08/12/15. BP issued, under construction.	Shanna	14	
14-1748-CDP	Lundin	5380	Ogan Road	SFD addition	Submitted 12/23/14. Director approved 01/05/15. NTPO recorded. BP issued; under construction.	Shanna	14	
14-1740-DP/CDP	Olson, Erik	4879	Dorrance Way	Demo E SFD; Build New SFD	Submitted 11/14/14. Incomplete 12/9/14. Prelim ARB 1/15/15. Complete 1/27/15. PC approved 02/02/15. Final ARB 3/12/15. BP Issued 5/5/15; under construction.	Shanna / Nick	14	
14-1729-ARB/CDP	MTI Capital, Inc.	1275	Cramer Circle	New SFD	Submitted 8/13/14. Incomplete 9/8/14. Complete 9/29/14. ARB prelim 11/13/14. Director approved 2/2/15. Final ARB Approval 3/12/15. BP submitted 3/31/15. BP Routing Letter 06/17/15. BP issued 6/25/15. Under construction.	Steve	14	
13-1695-CUPR/CDP	Island Brewing Company	5049	Sixth Street	Expansion of brewery and tasting room	Submitted 12/17/13. Complete 1/29/14. PC approved 2/3/14. BP for interior improvements issued 5/6/15. Under construction.	Nick	14	

13-1677-ARB	Olson	1477	Santa Ynez Ave	Remodel and addition	Submitted 7/26/13. Prelim/Final ARB 8/15/13. Complete 8/20/13. Director approved 8/21/13. BP issued; under construction. Last inspection 8/19/15. Awaiting final inspection.	Nick	14	
12-1649-DPR/CDP	Pini	5585	Carpinteria Avenue	Casa del Sol Motel and Apartment Renovation	Submitted 11/2/12. Complete 11/29/12. Preliminary ARB 12/13/12; continued to 1/17/13. PC approved 2/4/13. ARB Final 9/12/13. PC approved TEX 3/3/14. BP issued 1/26/15. Revisions to BP submitted 5/11/15 and issued 5/26/15. Under construction.	Steve	14	
09-1522-CUP/CDP/L	Caltrans		Linden-Casitas Interchanges and Via Real Extension	Reconstruct overcrossings and extend Via Real across Carpinteria Creek	Submitted 2009. PC recommended approval 05/18/15. CC first reading and recommended approval of ORD and LCPA 06/22/15 and 07/27/15. Submitted to CCC 08/21/15. CCC hearing in October in Orange County. CC approved CUP/CDP 11/23/15. FLAN sent to CCC 12/1/15. No appeal. ARB Final 3/17/16. Construction underway 9/12/16.	Steve	14	
08-1483-CDP	Salzgeber	447	Concha Loma Drive	Install water well and storage tank for agricultural purposes	Submitted 12/18/08. Incomplete 1/16/09. Resubmitted 3/20/09. Incomplete. Resubmitted 9/1/09. Director approved 5/7/10. Permit issued 10/19/10. Well constructed and sealed 11/10. Awaiting installation of pump and storage tank.	Nick	14	
07-1407-TM/PM/DP	Resmark - Residential; Investec - Research Park	6380	Via Real	Lagunitas Mixed Use Project: 85,000 sq. ft. office building and 73 residential units	Submitted 11/01/07. Incomplete 11/29/07. Complete 2/29/08. ARB 7/17/08, 2/26/09, 5/14/09, 6/11/09. ERC 8/26/08. CC approved 9/8/08. Appealed to CCC. CCC found NSI 11/13/08. ARB Revised Prelim for landscaping/lighting 12/17/09. PM recorded July 2010. ARB Revised Prelim 2/17/11, 6/16/11; Final Landscape/Lighting 7/14/11. ARB Final for residences 8/25/11. Map Recorded 8/22/11. All residential units complete. Revised ARB Prelim for Office Bldg 8/15/13. Concept for rearranged office buildings presented to ARB 5/12/16. To ARB for concept 10/27/16. See 16-1843-CON	Steve	14	

04-1172-DP/CDP	Franssen	750	Palm Avenue	Construct one new SFD and create two condominiums	Revised plans submitted 9/15/06. Incomplete 10/9/06. Resubmitted 10/30/06. Prelim ARB 11/30/06. Complete 12/21/06. To PC 1/2/07. Revised Prelim ARB 1/25/07. PC approved 2/5/07. CC approved map clearance 12/10/07. PC approved one year TEX 2/4/08. Grading Permit issued 2/4/09. Final ARB for Unit 2 10/1/09. BP issued, under construction. CofO issued on rear unit.	Nick	14	
16-1845-SIGN	7 Eleven	4410	Via Real	Re-facing of sign and updated fuel price monument sign	Submitted 10/20/2016. Director Approved 11/08/2016. BP issued 11/16/2016.	Marysol	15	
15-1752-CUP/CDP	Steadfast	5464	Carpinteria Avenue	76-Bed Assisted Living Facility	Submitted 2/4/15. Incomplete 3/3/15. Resubmitted 3/18/15. Prelim ARB 4/16/15. Complete 4/22/15. PC approved 5/4/15. Submitted for building plan check 7/20/15. Final ARB 8/27/15. BP Issued 11/3/15. Construction complete. Signs under review under separate permit.	Steve	15	



Permit Report

04/03/2017 - 04/27/2017

Permit #	Permit Date	Site Address	Owner Name	Project Description	Valuation	Status	Issued Date	Code Compliance Violation	Fire Permit Required
12002	4/24/2017	4815 Malibu Drive	BURTON, CHRISTINA 2007 TRUST 4/6/07	Upgrade electric panel 100 amp to a 200 amp	1,500	Issued	4/24/2017		
12001	4/24/2017	1346 Camino Trillado	Elizabeth Lawrence	Re-roof - Tear off the existing and install Landmark Shingles. 24 squares	13,138	Issued	4/24/2017		
12000	4/20/2017	1493 Trenora St	mti capital inc.	Tear off existing roof and re-roof w/Landmark shingles, whole roof, 35 squares	9,000	Issued	4/20/2017		
11999	4/18/2017	4652 Fourth Street	TIM FINNIGAN	Demo back unpermitted shed and patio cover 26x10. Keep permitted area per site plan 10 x 10. Retro fit windows and new roof.	10,000	Issued	4/25/2017	Yes	
11998	4/18/2017	6460 Via Real	SCHAFF, VICTOR WILLIAM & SUSAN MARIE REVOCABLE TRUST	Remove existing roof and aplu 80 mil Class A fire rated title 24 IB PVC roofing. 138 squares	100,000	Issued	4/20/2017		
11997	4/17/2017	710 Palm Avenue	SWINFORD 2000 FAMILY TRUST	Demolish existing 1144 s.f. main house and 401 s.f. detached garage. Demo partial and remodel existing apartment structure. Proposed to build new 1644 s.f. main house with second story 610 s.f. with attached garage 580 s.f. attaching new garage to existing remodeled apartment structure.	800,000	In Review Planning			Yes

11996	4/14/2017	6303 Carpinteria Ave	6303 CARPINTERIA AVENUE, LLC	Interior demolition to included non-bearing walls, acoustical ceiling, drywall clgs, HVAC ducting, remove/replace existing plumbing fixtures and floor finishes	100,000	In Review Building			
11995	4/12/2017	4991 Foothil Road	LOPEZ, CURTIS & DIANE FAMILY TRUST 4/21/11	Installation of flush roof mounted solar p.v. 20 panels 5.600kW	17,320	Issued	4/20/2017		
11994	4/11/2017	5343 Ogan Rd.	GALLOWAY, JAMES S	Installation of fire door and removal of closet from bedroom [as per CMC violation]	3,280	In Review Building		Yes	
11993	4/7/2017	5051 Alvarado Road	JJ TRUST I	Installation of flush roof mounted solar pv 11 panels 3.080 kw	6,776	Issued	4/10/2017		
11992	4/5/2017	550 Linden Ave	CALDWELL CHILD'S TRUST 8/24/92	Removal of disconnected vent pipe. Removal of disconnected floor drains (3). Note the clarifier that the floor drains were connected to, was previously removed. Two pieces of abandoned conduit to be cut (no wires/cables within).	4,000	Issued	4/6/2017		Yes
11991	4/4/2017	5137 Cambridge Lane	DURHAM SURVIVOR'S TRUST 10/15/92	Permit as-built enclosed sun room (253 sq. ft.) open to the living & dining rooms [As per CMC violations found on Inspection on Sale]	16,000	In Review Building		Yes	

Total Records: 12

4/27/2017