

CITY OF CARPINTERIA PLANNING COMMISSION AGENDA

**David Allen
Jane L. Benefield
John Callender, Vice-Chair
Glenn La Fevers
John Moyer, Chair**



**City Council Chamber
5775 Carpinteria Avenue
Carpinteria, CA 93013
Time: 5:30 p.m.
Agenda Posted: 3/3/16**

MARCH 7 2016

THE PLANNING COMMISSION RESERVES THE RIGHT TO CHANGE THE ORDER IN WHICH ITEMS ARE HEARD. APPLICANTS NOT IN ATTENDANCE WHEN THEIR ITEM IS CALLED MAY HAVE THEIR ITEM CONTINUED TO THE NEXT REGULAR MEETING.

Any information presented to the Planning Commission by the public on any agenda item and during Public Comment using electronic media to be displayed on the overhead projector must be arranged with staff for review of materials in advance of the meeting and no later than Friday prior to the Planning Commission meeting.

Any written, printed or electronic material and/or exhibit presented at this meeting becomes the property of the City, and a copy must be provided to City staff.

This meeting will be broadcast live on Government Access Television Channel 21 and rebroadcast on Wednesday after the meeting at 8:00 p.m. and on Saturday at 5:00 p.m.

- 1. CALL TO ORDER and ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS**
- 4. PUBLIC COMMENT**

This time on the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Commission and not listed on other sections of the agenda. Please limit comments to no more than five minutes. Depending on the number of speakers wishing to make comments, the Chair may further limit the time available to each speaker to control the amount of time spent on this part of the agenda. If you wish to speak on a **CONSENT CALENDAR** item, please do so during this part of the meeting.

Please be advised that California law does not allow the Planning Commission to discuss or take action on any issue presented by the public during this portion of the meeting. The Commission may ask a question for clarification, provide a brief response to public comment, refer the matter to staff for review and a later report or direct staff to place an item on a future agenda.

The City is not responsible for the content of statements made during the public comment period or the factual accuracy of any such statements.

5. CONSENT CALENDAR

Items on the Consent Calendar are considered to be routine and are normally enacted by one unanimous vote of the Commission. Individual items may be removed and considered separately at the request of a Commissioner. Any item removed from the Consent Calendar will be added to another section of the agenda.

a. Minutes of the regular Planning Commission meeting held February 1, 2016.

6. NEW PUBLIC HEARING

**Habitat for Humanity Sawyer Avenue Homes
Project 15-1798-DP/TPM/CDP**

Planner: Shanna R. Farley-Judkins

Hearing on the request of DMHA Architects, Agent/Architect for Habitat for Humanity, to consider Project 15-1798-DP/TPM/CDP (application filed November 5, 2015) for a Development Permit, Tentative Parcel Map and Coastal Development Permit to allow construction of three residential condominium units within two detached two-story structures on a vacant lot under the provisions of the Planned Residential Development (PRD-20) Zone District; and to approve an Exemption pursuant to § 15303(b) of the California Environmental Quality Act (CEQA) Guidelines. The project includes a one unit structure on the front of the lot with an attached three-car carport. The second structure, located at the rear of the lot would include two units. The proposed structures are two-story, with a height of 24 feet three inches and 23 feet seven inches, respectively. The proposed units' habitable space would be 1,239 square feet, 1,269 square feet and 1,268 square feet, each having three bedrooms. The project would provide three carport spaces (one per unit) and one uncovered guest parking space. The request includes modification of parking and front setback requirements. The application involves APN 003-153-005, addressed as 4949 Sawyer Avenue.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing
4. Planning Commission Action

7. OTHER BUSINESS

8. MATTERS PRESENTED BY COMMISSIONERS

9. DIRECTOR'S REPORT

- a. Distributed Information
 - i. Draft Action Minutes of the Architectural Review Board meeting of February 11, 2016
 - ii. City calendar for the month of March 2016
 - iii. Community Development Project Status Report as of February 29, 2016
 - iv. Construction Permit Report as of February 29, 2016

10. ADJOURNMENT

Notes

All actions of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within 10 calendar days of the Commission's action. Appeal deadline for items on this agenda: 5:00 p.m., March 17, 2016. The next regular Planning Commission meeting will be held on Monday, April 4, 2016 at 5:30 p.m. in the Council Chamber.

If you challenge any of the Planning Commission's decisions related to the agenda items above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence to the Planning Commission prior to the public hearing.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact the Community Development Department by email at lorenae@ci.carpinteria.ca.us or by phone at (805) 755-4410 or the California Relay Service at (866) 735-2929. Notification two business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

PLANNING COMMISSION
STAFF REPORT

MEETING DATE: March 7, 2016

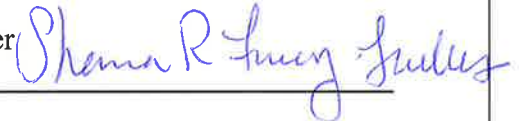
ITEM FOR CONSIDERATION

Habitat for Humanity Condominiums

Case No. 1215-1798-DP/TPM/CDP

Request of DMHA Architects, Agent/Architect for Habitat for Humanity, to construct three residential condominium units within two detached two-story structures on a vacant lot. The project includes a one unit structure on the front of the lot with an attached three-car carport. The second structure, located at the rear of the lot would include two units. The proposed structures are two-story, with a height of 24 feet three inches and 23 feet seven inches, respectively. The proposed units' habitable space would be 1,239 square feet, 1,269 square feet and 1,268 square feet, each having three bedrooms. The project would provide three carport spaces (one per unit) and one uncovered guest parking space. The request includes modification of parking and front setback requirements.

Report prepared by: Shanna Farley-Judkins, Assistant Planner
Community Development Department



SIGNATURE

Reviewed by: Steve Goggia, Acting Director
Community Development Department



SIGNATURE



Owner/Applicant: Habitat for Humanity

Project Location: 4949 Sawyer Avenue

APN: 003-153-005

Zoning:

Planned Residential Development (PRD-20)

General Plan Designation:

Medium Density Residential (MDR)

I. RECOMMENDATION

Staff recommends that the Planning Commission adopt the attached Resolution, thereby approving Project Number 15-1798-DP/TPM/CDP to allow the construction of the three-unit condominium project with modifications of the requirements for parking and front setback.

II. PROPOSED PROJECT DESCRIPTION

Development Plan: The site would be developed with a three-unit condominium project with three covered and one uncovered parking spaces on a vacant 6,950 square foot lot. The project would include two structures, the front structure would measure 1,239 square feet and include one residential unit and the rear structure would measure 2,537 square feet and include two residential units. A three-car carport would be attached to the rear of the front unit. An additional uncovered guest parking space is provided. The maximum height of the structures would be 24 feet three inches above the lowest finished grade.

Unit 1 would be a three-bedroom unit with a covered entry, a first floor area of 537 square feet and a 702 square foot second floor area, for a total of 1,239 square feet of living space.

Unit 2 would be a three-bedroom unit with a covered entry, a first floor area of 653 square feet and a 616 square foot second floor area, for a total of 1,269 square feet of living space.

Unit 3 would be a three-bedroom unit with a covered entry, a first floor area of 651 square feet and a 617 square foot second floor area, for a total of 1,268 square feet of living space.

The proposal includes new landscaping and grading of approximately two cubic yards of cut and 532 cubic yards of fill, resulting in approximately 530 cubic yards of import.

Modifications: The project includes a request to modify the parking and front setback requirement for the project. The parking modification request is for a reduction of three parking spaces, to construct four spaces rather than seven as required. The modification for the front setback would allow encroachment of 10 feet in the setback from the centerline of the street.

Tentative Parcel Map: The tentative parcel map would allow each unit to be held in separate ownership with all units governed by a common homeowners' association (condominium development).

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above. Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics

The project site is located in the Downtown Core Area, Design Sub-Area 2a, along the northern boundary of the district. The project is located near the US 101 to the north and adjoining Linden

Avenue to the east. Single and multiple family residences are located to the east and west. Parcels to the south are commercial in use. The subject vacant parcel is zoned Planned Residential Development (PRD-20). The project is not located within a Flood Hazard Overlay. The General Plan/Coastal Plan designation is Medium Density Residential (MDR).

Sawyer Avenue has a sixty-foot wide right-of-way. The north side of Sawyer Avenue is finished with curb, gutter and sidewalks, while the south side of Sawyer Avenue is unfinished and maintains a natural right-of-way edge. Sawyer Avenue generally allows parking along both sides of the street, formal parking is marked only along the north side where sidewalks exist. Parking on the south side of the street occurs in the dirt or gravel areas fronting each private lot and is generally used exclusively by the occupants of the neighboring lots.

Architectural Review Board (ARB)

On January 14, 2016 the project was presented to the ARB for preliminary review. Several members of the public had comments regarding the height and density of the project and sited privacy issues due to the location of the upper story north facing windows. Lack of parking was sited along Sawyer Avenue, which raised concerns with the proposed reduction in site parking.

Overall the Board expressed support for the project noting that the proposed architecture is pleasing and appropriate, the architecture, colors and materials were consistent with the neighborhood. The Board agreed that the layout of the site took privacy into consideration, but suggested the larger windows be moved to the front elevation as an option to reduce neighboring privacy concerns. The Board supported the landscape plan and the layout of the common and private spaces on the site.

The Board ultimately recommend preliminary approval of the project to the Planning Commission with the following comments:

- Extend the front porch eave across the front elevation;
- Align the gutter downspouts vertically with the face of the building;
- Modify the color palette to include more contrasting colors;
- Add vining plants to the driveway fence; and
- Explore use of permeable pavers, if feasible.

Minutes from this meeting are attached as Exhibit 2.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to §15303 (b) [new construction of apartments, duplexes and similar structures designed for not more than six dwelling units in urbanized areas] of the Guidelines for the implementation of the California Environmental Quality Act (CEQA).

For more detail, see the attached Notice of Exemption included as Exhibit 3.

V. ANALYSIS

Zoning Code Requirements

The subject 6,950 square foot (0.16 acre) parcel is zoned Planned Residential Development (PRD-20); providing for up to a maximum of 20 dwelling units per gross acre. Given the parcel size, up to three dwelling units could be permitted on the project site.

The purpose of the PRD district is to provide areas for a variety of residential densities, housing types and design, and to allow for the clustering of dwelling units in order to provide for the maximum amount of open space within the development. It is the intent of the PRD district to ensure comprehensively planned single-family and multiple residential developments.

The following table identifies the project's conformance with the Planned Residential Development zone district's standards.

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	50 feet from centerline of street or 20 feet from property line, whichever is greater.	40 feet from centerline of street and 20 feet from property line*
Side (East)	5 feet	5 feet
Side (West)	5 feet	14 feet
Rear	15 feet	15 feet
Height	30 feet max.	24 feet
Building Coverage	50% max. (3,475 square feet)	29% (2,016 square feet)
Common Open Space	20% min. (1,390 square feet)	20% (1,396 square feet)
Density	3 Units max. (20 units/acre)	3 Units
Parking	7 Parking Spaces 3 Covered, 4 Uncovered	4 Parking Spaces* 3 Carport and 1 Uncovered Space

**As an affordable project, the project requests a modification from the PRD zone district parking and front setback requirements. See modification discussion in Section VI.*

General Plan/Coastal Plan Neighborhood Policies

The project site has a General Plan/Coastal Plan designation of Medium Density Residential (MDR). The City's General Plan/Coastal Plan includes a Community Design Element that identifies citywide and specific key design characteristics valued by the community. The Community Design Element's Objectives and Policies address these values. The project site is in Design Sub-Area 2 (Downtown /Old Town Neighborhood) in the Community Design Element.

CITYWIDE COMMUNITY DESIGN OBJECTIVES

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the city.*

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

Policy CD-5b: *Garages should not dominate views from any public street.*

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

The size and scale of the proposed development in a craftsman bungalow style and is similar to other neighboring residentially-developed lots and takes into account neighboring land uses in the placement of the new structures on the site. The mass of the structures was placed to the east, adjacent to a mostly clear yard area and separated from the residence to the west of the subject lot. The project is oriented so that the front unit faces the street with a porch element as a primary focal point. The site's parking has been placed behind the front unit and therefore would not be easily visible from the street. Generally, staff finds the proposed project to be designed in a manner that is consistent with the above Community Design Objectives and Policies. The Architectural Review Board directed the applicants to extend the front porch eave across the front elevation to address the mass of the front facing elevation to break up the mass of the structure as visible from the public street.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity, and located and designed so as to minimize direct view of light sources and diffusers, and to minimize halo and spillover effects.*

Cut sheets for exterior lighting indicate a shielded lantern style fixture, hooded on the top and shielded with frosted glass on the sides. The proposed lights would direct light downward and diffuse light to the sides and can therefore be found consistent with the above policies by minimizing photopollution and spillover effects to neighboring properties.

Objective CD-14: *Protect and preserve natural resources by reducing energy consumption.*

Implementation Policy 7: *Building orientation shall be designed to maximize natural lighting and passive solar heating and cooling.*

Implementation Policy 8: *Landscaping shall be designed to maximize the use of native drought-tolerant species and deciduous trees to shade buildings in summer and allow for passive solar heating in winter.*

Windows are included along the south and west elevations to maximize the availability of natural light. Fruiting trees, are shown in the private yard areas along with screening shrubs to soften the existing fence lines. Several evergreen trees are also proposed throughout the site and would provide year round shade and screening. The homes could benefit from use of deciduous trees in the southern or western yards to provide shade in warmer months but allow passive heating and sunlight during cooler periods.

The project also includes solar panels on both structures. The solar panels will help offset energy consumption and reduce utility costs for the home owners. The heights of proposed trees should be considered in relation to the proposed use of rooftop solar panels to ensure functionality of the panels. Based on the layout of the site, placement of windows, use of shade trees and installation of solar panels, the project can be found consistent with the above policies which encourage reduction in energy consumption and passive cooling and heating of buildings.

SUB AREA 2 OBJECTIVES & POLICIES

Implementation Policy 14: *Residential streets within the subarea should generally have narrow vehicle pavement. The curb-to-curb dimension should be as small as possible within the existing right-of-way to provide ample sidewalks and space for street tree plantings.*

Implementation Policy 20: *Driveways should be as narrow as practical to make pedestrian use of the sidewalks safer and more pleasant. Parking of vehicles across the sidewalk should be prohibited and enforced.*

The project proposes use of a narrow 12-foot wide driveway, which would preserve available parking in the neighborhood in front of the lot. The project is located along a portion of Sawyer Avenue which does not currently have curbs, sidewalks or gutters. Although a sidewalk is shown on the project plans, further discussion with the Public Works Department is necessary to determine the appropriate frontage improvements and ensure they function properly with adjacent properties. The project includes a landscaped front yard area and a street-facing entry porch on the front unit; these features serve to enhance the pedestrian character of the street. The project also identifies a planting area for a new street tree (to be chosen by the Public Works Department). In light of the above, the project meets the intent of the applicable Sub Area 2 Objectives and Policies.

Noise

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

A standard condition of project approval requires that noise generating construction activities shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday in order to minimize noise impacts, consistent with these policies.

Energy Efficiency

Community Design Element Objective CD-14: *Protect and preserve natural resources by reducing energy consumption.*

Policy CD-14a: *To ensure the effective utilization of energy resources, design measures shall be incorporated into project design that allow for development projects to comply with and exceed the minimum energy requirements of the City's Uniform Codes.*

CD-14-Implementation Policy 8: *Landscaping shall be designed to maximize the use of native drought-tolerant species and deciduous trees to shade buildings in summer and allow for passive solar heating in winter.*

Consistent with these policies, the project will be required to conform to the 2010 California Green Building and Energy Codes that were put into effect on January 1, 2011. These building standards require additional energy conservation and will be implemented through the building plan check process. Additional measures will be explored as the final working drawings are developed. The landscape palette maximizes the use of native drought-tolerant species.

Water Resources

Open Space, Recreation & Conservation Element Objective OSC-10: *Conserve all water resources, and protect the quality of water.*

Policy OSC-10c: *Degradation of the water quality of groundwater basins, nearby streams or wetlands, or any other waterbody shall not result from development. Pollutants such as sediments, litter, metals, nutrients, chemicals, fuels or other petroleum hydrocarbons, lubricants, raw sewage, organic matter and other harmful waste shall not be discharged into or alongside any waterbody during or after construction.*

OSC-6-Implementation Policy 33: *In order to protect watersheds in the City, all development shall minimize water quality impacts, particularly due to storm water discharges from existing, new and redeveloped sites by implementing the following measures:*

- a. *Site design BMPs, including but not limited to reducing imperviousness, conserving natural areas, minimizing clearing and grading and maintaining predevelopment rainfall runoff characteristics, shall be considered at the outset of the project.*
- b. *Source control Best Management Practices (BMPs) shall be preferred over treatment control BMPs when considering ways to reduce polluted runoff from development sites. Local site and soil conditions and pollutants of concern shall be considered when selecting appropriate BMPs.*
- c. *Treatment control BMPs, such as bio-swales, vegetated retention/detention basins, constructed wetlands, stormwater filters, or other areas designated to control erosion and*

filter stormwater pollutants prior to reaching creeks and the ocean, shall be implemented where feasible.

- d. Structural BMPs (or suites of BMPs) shall be designed to treat, infiltrate or filter the amount of stormwater runoff produced by all storms up to and including the 85th percentile, 24-hour runoff event for volume-based BMPs, and/or the 85th percentile, 1-hour runoff event, with an appropriate safety factor (i.e., 2 or greater), for flow-based BMPs.*
- e. Permits for new development shall be conditioned to require ongoing maintenance where maintenance is necessary for effective operation of required BMPs. Verification of maintenance shall include the permittee's signed statement accepting responsibility for all structural and treatment control BMP maintenance until such time as the property is transferred and another party takes responsibility. The City, property owners, or homeowners associations, as applicable, shall be required to maintain any drainage device to insure it functions as designed and intended. All structural BMPs shall be inspected, cleaned, and repaired when necessary prior to September 30th of each year. Owners of these devices will be responsible for insuring that they continue to function properly and additional inspections should occur after storms as needed throughout the rainy season. Repairs, modifications, or installation of additional BMPs, as needed, should be carried out prior to the next rainy season.*

S-4-Implementation Policy 15: *Development applications submitted to the city shall include information adequate to determine compliance with applicable flood and stormwater management programs, policies and regulations. Further, the City shall require development to comply with the following standards unless superseded by a more restrictive standard applicable in the city:*

- a. street improvements shall be designed to accommodate flows up to the 10 year storm, flows between the 10 and 25 year storms will be accommodated in an underground system, and safe and acceptable escape routes for the 100 year storm shall be established;*
- b. improvements shall be designed to result in no net change from the existing drainage condition (e.g. volume and velocity), as it affects off-site public and private property, to the developed drainage condition, and adequate information shall be provided to the city to demonstrate that there exists a controlled path for runoff to the ocean. Further, where a proposed development site currently contributes to existing degraded drainage conditions and/or an off-site drainage or flooding problem, the proposed development shall include corrective measures as determined appropriate by the City;*
- c. all development shall be designed and constructed as necessary to comply with Best Management Practices for nuisance and stormwater runoff and to comply with the requirements of any applicable NPDES permit. Further, all such nuisance and stormwater improvements shall be designed to ensure that the project will not result in a measurable reduction in terrestrial or aquatic habitat carrying capacities due to discharge of project site runoff to creeks, the salt marsh and the ocean.*

Consistent with these policies, the Department of Public Works has required conditions addressing storm water management including the requirement to submit and implement a Storm Water Quality Management Plan. The project is also conditioned to provide a landscape documentation package in compliance with the water conservation requirements in the Landscaping Act of 2006.

VI. MODIFICATIONS

Pursuant to Municipal Code § 14.50.120, in reviewing a Development Plan, the Planning Commission may consider modification of requirements of the base zoning district in which the proposed development is located, including building height, yard setback, parking, building coverage or landscaping, if it is determined that such modification is necessary to accommodate an innovative project which will result in at least one of the following public benefits:

1. Energy efficient heating/cooling; or
2. Provision of affordable housing units through mix of housing types, innovative design and construction techniques, or other means; or
3. Provision of a larger amount of open space or landscaping than the minimum requirements of the district.

The project applicant has requested modification of two requirements of the Zoning Code. The first modification includes reduction in the required parking for the site. The project proposes to provide three covered parking spaces and one uncovered parking spaces, where seven parking spaces would be required by the Zoning Code. The second modification includes reduction in the front setback from the centerline of the street. The Zoning Code requires two setbacks along the front of the parcel, the first measured from the property line and the second measured from the centerline of the street. The project meets the 20 foot setback from the front property line, but encroaches 10 feet into the setback from the centerline of the street.

Habitat is proposing the development as an affordable housing project. The units' sale prices, resident income qualifications, owner occupancy requirements and similar measures would be managed by Habitat for the life of the project. As part of the Covenants, Conditions and Restrictions (CC&Rs) for the development, Habitat would limit households to owning no more than one vehicle registered to the occupants of the home, verified through DMV records. This measure ensures that the parking onsite is sufficient for the households and will not significantly impact public parking in the surrounding neighborhood. Habitat remains a partial owner of the property and is part of the Home Owner's Association (HOA) in order to enforce this, and other restrictions placed on the property. Similar parking requirements have been included on other Habitat projects in Santa Barbara, including Canon Perdido, Via Lucero and San Pascual Affordable Homes; Habitat has successfully enforced such conditions. Similar concessions have been granted by the Planning Commission through the Density Bonus regulations for other affordable housing projects in Carpinteria, including Dahlia Court and Casas de las Flores Apartments.

The proposed front setback aligns with the neighborhood development pattern. Several of the neighboring homes are setback 10-15 feet, similar to the proposed setback on this project.

Thus, as an affordable housing project, the applicant could qualify under Item 2 noted above to allow modification of certain zoning requirements. In addition to providing affordable housing, the project includes rooftop solar, native and drought tolerant landscaping and a storm water management plan which can also be considered innovative design features that reduce the project's energy and water demands as described in Item 1. Finally, in addition to the minimum

20% common open space provided onsite, each unit is also provided with its own small, private yard or patio area, thereby providing more than the minimum required amount of onsite landscaping/open space. Staff is recommending approval of the modifications to the front setback from the centerline of the street and the parking requirements.

VII. DEVELOPMENT IMPACT FEES

A series of ordinances and resolutions adopted by the City Council require the payment of various development impact fees. If the project were approved as submitted, it would be subject to the fees as shown in the following table. **The amounts shown are estimates only. The actual amounts will be calculated in accordance with the fee resolutions in effect when the fees are paid.** The Fees are updated annually in July.

The developer of a project that is required to pay development impact fees may apply to the City Council for a reduction, adjustment or waiver of any of those fees based on the absence of any reasonable relationship or nexus between the impacts of the proposed development and either the amount of the fee(s) charged or the type of facilities to be financed. The application must be in writing and must be submitted to the city clerk either ten days prior to the public hearing on the development permit for the project, or if no development permit is required, at the time of the filing of the request for a building permit.

Estimated Development Impact Fees

The following is an estimate for three new multi-family residences

Fee Type	Fee Per Unit Unless noted otherwise	Total Fee
Streets and Thoroughfares	\$349.57	\$1,048.71
Highway Interchanges & Bridges	\$2,959.19	\$8,877.57
Traffic Control Facilities	\$560.44	\$1,681.32
General Facilities & Equipment	\$1,284.67	\$3,854.01
Storm Drainage Facilities	\$10,225.88 / acre (0.16 ac)	\$1,636.14
Parkland/Quimby Acquisition	\$10,155.40	\$30,466.20
Parks and Recreational Facilities	\$4,509.78	\$13,529.34
Aquatics Facilities	\$404.53	\$1,213.59
TOTAL		\$62,306.88

Other Estimated Fees

Fee Type	Fee Per Unit Unless noted otherwise	Total Fee
Carp.-Summerland Fire District Fire Protection Certificate	\$205.00 Per building	\$410.00
Carpinteria Sanitary District Development Impact Fee	\$3,259.00	\$9,777.00
Carpinteria Water District	\$12,579.00/meter including capital recovery and installation (3 units and 1 landscape meter)	\$50,316.00
School District	\$2.05/ habitable sq. ft. (3,776) \$0.33/ non-hab. sq. ft. (0)	\$7,740.80 \$0
TOTAL		\$68,243.00

VIII. ACTION OPTIONS

1. Approve Project Number 15-1798-DP/TPM/CDP to allow construction of a three-unit condominium project, with the requested modifications to front setback and parking requirements and adopt the Findings in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C. (staff's recommendation)
2. Direct the applicant to prepare project revisions and return to the Architectural Review Board and the next Commission meeting.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

IX. ATTACHMENTS

- Exhibit 1 Resolution PC-16-003
 Attachment A – Findings
 Attachment B – Reduced Architectural Plan Sheets
 Attachment C – Recommended Conditions of Approval
- Exhibit 2 Architectural Review Board Minutes of January 14, 2016
- Exhibit 3 Notice of Exemption

Exhibit 1
Resolution PC-16-003

Habitat for Humanity
Sawyer Avenue Affordable Housing Project
PROJECT 15-1798-DP/TPM/CDP

Planning Commission Hearing
March 7, 2016

RESOLUTION NO. 16-003

**A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION
APPROVING A DEVELOPMENT PLAN, TENTATIVE PARCEL MAP AND COASTAL
DEVELOPMENT PERMIT FOR THE HABITAT FOR HUMANITY THREE-UNIT
RESIDENTIAL CONDOMINIUM PROJECT (PROJECT 15-1798-DP/TPM/CDP)
LOCATED AT 4949 SAWYER AVENUE AND MODIFICATION OF PARKING AND
FRONT SETBACK REQUIREMENTS
(APN 003-153-005)**

REQUESTED by HABITAT FOR HUMANITY

WHEREAS, the Planning Commission of the City of Carpinteria has considered an application for a Development Plan, Tentative Parcel Map and Coastal Development Permit filed by DMHA Architecture, Agent/Architect for Habitat for Humanity, on November 5, 2015; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on November 25, 2015; and

WHEREAS, the Carpinteria Architectural Review Board has considered the proposed project on January 14, 2016 and recommended preliminary approval to the Planning Commission; and

WHEREAS, the Planning Commission has conducted a hearing and received evidence regarding the application for a Development Plan, Tentative Parcel Map and Coastal Development Permit; and

WHEREAS, the Planning Commission has considered modifications to the parking and front setback requirements pursuant to Municipal Code §14.50.120; and

WHEREAS, the project is exempt from the California Environmental Quality Act under CEQA Guidelines §15303 (b) [new construction of apartments, duplexes and similar structures designed for not more than six dwelling units in urbanized areas]; and

WHEREAS, the Planning Commission has reviewed the policies of the General/Coastal Plan and the Zoning Code standards that are relevant to the project.

NOW, THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan Tentative Parcel Map and Coastal Development Permit are approved making the Findings outlined in Attachment A.

2. The Development Plan Tentative Parcel Map and Coastal Development Permit for the project shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 7th day of March 2016 by the following vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 7th day of March 2016.

**Attachment A: Exhibit 1
Findings**

**Habitat for Humanity
Sawyer Avenue Affordable Housing Project
PROJECT 15-1798-DP/TPM/CDP**

**Planning Commission Hearing
March 7, 2016**

ATTACHMENT A FINDINGS

PLANNING COMMISSION HEARING PROJECT NO.15-1798-DP/TPM/CDP March 7, 2016

Habitat for Humanity Condominiums

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Development Plan, Tentative Parcel Map and Coastal Development Permit was submitted on November 5, 2015, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on November 25, 2015. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at one duly noticed public hearings which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemption §15303 (b) [new construction of apartments, duplexes and similar structures designed for not more than six dwelling units in urbanized areas].

1.3 Development Plan Findings

- a. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

As discussed in the Planning Commission staff report dated March 7, 2016 and hereby incorporated by reference, the project is consistent with the General Plan's applicable Land Use and Community Design Element Objectives and Policies in that multiple residential dwellings are listed as permitted uses under the Planned Residential Development (PRD-20) Zoning designation. The General Plan/Coastal Plan designation of Medium Density Residential (MDR) supports this finding. The subject 6,950 square foot parcel could support up to three dwelling units and the project proposes three dwelling units in two structures. Pursuant to Municipal Code §14.50.120, modifications to the front setback and parking have been proposed to accommodate adequate living spaces. For these reasons, the above finding can be made.

- b. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

The parcel is not located in a Flood Hazard Overlay Zone and is sited in a Low Fire Hazard Zone. The site is in a Potential Expansive Soil Zone and the project design has considered improved foundation designs to mitigate soil expansion concerns at the site. The project has been conditioned by the Carpinteria-Summerland Fire Protection District to include fire sprinklers and other fire protection elements to reduce risk of fire hazard. Due to project siting outside of the Flood Hazard Zone, low soils and fire risks and in addition to Conditions of Approval intended to minimize risks, this finding can be made.

- c. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The project site is located in a developed urban area, and well beyond any identified habitat or environmentally sensitive areas. The site does not contain any environmentally sensitive habitat area, or provide any habitat value for endangered, rare or threatened species, nor does the project have the ability to impact fish or wildlife as it involves the construction of a new condominium triplex on a previously vacant residential lot within a developed urban neighborhood. There are no known sensitive resources or native vegetation that would be impacted as a result of this project.

Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality because the project is an infill development that would result in three new attached residences in an existing developed neighborhood. Standard conditions of approval address any temporary construction impacts of the project and the implementation of storm water best management practices. For these reasons, the project would not cause substantial environmental damage and this finding can be made.

- d. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

There are no recorded easements acquired by the public at large or neighboring parcels for access through the property, therefore this finding can be made.

- e. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

The project does not have the potential to adversely affect these services in that these services are currently available to the existing property and the residences located in the neighborhood surrounding this property. The additional three new units would not place a demand on community services significant enough to adversely affect the availability of these services. Agencies potentially affected by this project have been notified and have indicated an ability to serve the project.

The proposed development would not by itself, or cumulatively, impose an increased demand on public services that would adversely affect the availability of these services to existing or future development. Therefore, this finding can be made.

- f. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

The project involves constructing a new residential three unit condominium project, on a vacant lot, within an urbanized, residential part of the City. The proposed structures are compatible with the surrounding development in terms of its size, bulk, scale, architectural style and placement on the lot and with the City's desire to preserve and enhance the "small beach town" character of the Beach Neighborhood. Therefore this finding can be made.

1.4 Tentative Parcel Map Findings

- a. *The proposed map is consistent with the City's general plan and is compatible with the objectives, policies and general land uses and programs specified in such plan.*

The project involves the development of a three-unit condominium project. An accompanying Development Plan would permit the construction of the residential structures. The proposed one lot subdivision for condominium purposes would allow the units to be sold and conveyed separately. The proposal is consistent with the City's general plan and is compatible with the objectives, policies and general land uses and programs specified in the plan, therefore the finding can be made. An analysis of the project's conformity with the City's certified General Plan/Coastal Plan is presented in the staff report prepared for the Planning Commission hearing of March 7, 2016, and herein incorporated by reference.

b. The site is physically suitable for the proposed type and density of development.

The project involves a one lot subdivision for condominium purposes. The finding can be made as the development of three residential units on the 6,950 square foot parcel is consistent with the residential zoning and density at 20 units per acre maximum specified in the City's Zoning Code which would permit up to three residential units on the property.

c. The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site is not located near any known habitat or environmentally sensitive areas. The site itself does not contain any environmentally sensitive habitat area, or provide any habitat value for endangered, rare or threatened species, nor does the project have the ability to impact fish or wildlife as it involves the construction of a new three unit condominium project on a previously developed residential lot within a developed urban neighborhood. Standard conditions of project approval require that a Storm Water Quality Management Plan be implemented to ensure that any storm water runoff would not cause environmental damage.

Additionally, approval of the project would not result in any significant effects relating to traffic, noise or air quality because the project is an infill development that would result in three new attached residences in an existing developed neighborhood. Standard conditions of approval address any temporary construction impacts of the project. For these reasons, the project would not cause substantial environmental damage and the finding can be made.

d. The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.

There are no other known recorded easements acquired by the public at large for access through the property.

- e. The proposed development will not cause serious public health problems.*

The finding can be made as the proposed one lot subdivision for condominium purposes would not result in any known public health effects. The residential use is consistent with existing residential uses in the Downtown / Old Town Neighborhood.

- f. State Government Code Section 66473.1. The design of the subdivision for which a parcel map is required pursuant to Section 66426 shall provide, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision.*

Consistent with this finding, the design of the three residential units incorporate double glazed windows and patio doors to allow passive cooling opportunities, while the 2010 California Green Building and Energy Codes that were put into effect on January 1, 2011 require additional energy conservation measures to be incorporated into the building. The proposal also incorporates roof-mounted photovoltaic solar panels.

1.5 Coastal Development Permit Finding

- a. The proposed development is in conformity with the City's certified Local Coastal Program.*

As discussed in the Planning Commission staff report dated March 7, 2016 and hereby incorporated by reference, the project is consistent with the General Plan's applicable Land Use and Community Design Element Objectives and Policies in that multiple residential dwellings are listed as permitted uses under the Planned Residential Development (PRD-20) Zoning designation. The General Plan/Coastal Plan designation of Medium Density Residential (MDR) supports this finding. The subject 6,950 square foot parcel could support up to three dwelling units, as proposed, through the approval of the modification of the parking and front setback pursuant to Municipal Code §14.50.120.

The Land Use and Community Design Elements of the City's General Plan encourage new development that is compatible with the existing surrounding development and maintains and enhances the City's "small beach town" charm. Consistent with the applicable objectives and policies of these General Plan Elements, the proposed residence would be of a size, scale, architectural style, layout and placement on the lot that fits the desired vision for the Downtown / Old Town Core Neighborhood as described in the Planning Commission staff report dated March 7, 2016 and hereby incorporated by reference. Appropriate Conditions of Approval have been included to ensure the project would also be consistent with the applicable objectives and policies of the Circulation, Noise, Public Facilities and Safety Elements of the General Plan. Therefore, this finding can be made.

1.6 Modifications to Zoning Standards Finding

- a. *The modification to zoning standards for required parking and front setback from the centerline of the street is necessary to accommodate an innovative project which will result in: energy efficient heating/cooling, provision of affordable housing units through a mix of housing types, innovative design and construction techniques or other means, and/or provision of a larger amount of open space or landscaping than the minimum requirements of the district.*

The Modifications request allows approximately 10 square feet of the front of Unit 1 to encroach into the front setback from the centerline of the street and reduction of parking spaces from seven parking spaces to four parking spaces. The request can be supported primarily by the development of the units as affordable for sale condominiums units. The location of the structure in relation to the street is in line with existing structures in this block of Sawyer Avenue.

The proposed parking reduction would be enforced through the CC&Rs placed on the property by the developer, whereby each household would be permitted to own only one vehicle. Habitat for Humanity would remain a partial owner on the HOA in order to enforce the projects Conditions of Approval and CC&Rs.

The project also provides a larger amount of open space and landscaping than the minimum requirements to provide common open space in the PRD zone district. The minimum common open space requirement is 20% (1,390 square feet) and the project provides 20% (1,396 square feet) but also provides a cumulative open space of both common and private open space of 29.7% (2,067 square feet). A large percentage of this open space would be visible from the street and the proposal to renovate the landscaping within the 20-foot width of road right-of-way between the sidewalk and the property's southern lot line enforces the feeling of an ample setback as seen from the street.

Additionally, the project includes energy efficient heating and cooling and will include rooftop solar panels to reduce energy demands of the site. Based on this analysis, the finding to approve the Modification can be made.

Exhibit 1
Attachment B: Reduced Architectural
Plan Sheets

Habitat for Humanity
Sawyer Avenue Affordable Housing Project
PROJECT 15-1798-DP/TPM/CDP

Planning Commission Hearing
March 7, 2016

SHEET INDEX

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H4H Sawyer Avenue
Homes

NO.	DESCRIPTION	DATE
	Initial Amount	2014-01-01
	Contributions	2014-01-01
	Withdrawals	2014-01-01
	Profit/Loss	2014-01-01
	Balance	2014-01-01

DEVELOPMENT REVIEW
G001
KOSHI / IREDA PACO

RECEIVED

MAR 02 2016

**COMMUNITY DEVELOPMENT
DEPARTMENT**

PROJECT DIRECTORY

[illegible]

SCOPE OF PROJECT

- [illegible]

PROJECT INFORMATION

DATE: _____
 POLICE ASST: _____
 Handed to: Bureau of Southern California
 And Continued to:
 Dept. CA 9311
 443 Sawyer Ave
 Compton, CA 90202

[illegible]

Year	1990	1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100
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AREA (GROSS)		AREA (NET)	
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1.1.1.100	1.1.1.100

AREA (CM²) VOLUME

AREA (GROSS)	AREA (NET)

AREA (CM²) VOLUME[illegible]

GENERAL NOTES

- 1. PURPOSE AND SCOPE**
This document defines the standards and procedures for the development, testing, and deployment of software applications within the organization. It serves as a reference for all software-related activities and ensures consistency and quality across all projects.
- 2. STANDARDS**
All software development must adhere to the following standards:
2.1 Coding Standards: All code must be written in a clear, readable, and maintainable manner. It must follow the organization's coding style guide, which includes rules for naming conventions, indentation, and commenting.
2.2 Testing Standards: All software must undergo thorough testing before deployment. This includes unit testing, integration testing, and user acceptance testing. Test cases must be documented and executed systematically.
2.3 Documentation Standards: All software must be accompanied by comprehensive documentation, including requirements, design, and user manuals. Documentation must be kept up-to-date throughout the development lifecycle.
- 3. PROCEDURES**
The following procedures must be followed for all software development projects:
3.1 Development Process: The development process must follow a structured approach, including requirements gathering, analysis, design, implementation, testing, and deployment. Each phase must be completed before moving on to the next.
3.2 Version Control: All source code must be stored in a centralized version control system. Developers must use branching and merging to manage changes and ensure the integrity of the codebase.
3.3 Change Management: Any changes to the software must be tracked and approved through a formal change management process. This includes documenting the change, assessing its impact, and obtaining approval from the appropriate stakeholders.
- 4. RESPONSIBILITIES**
The following responsibilities are assigned to the various roles involved in software development:
4.1 Developers: Responsible for writing, testing, and maintaining the source code. They must ensure that the code is clean, efficient, and follows the organization's standards.
4.2 Testers: Responsible for designing and executing test cases to verify the functionality and quality of the software. They must report any defects and work with developers to resolve them.
4.3 Project Managers: Responsible for overseeing the entire development process, ensuring that the project is completed on time, within budget, and meets the requirements of the stakeholders.
- 5. REFERENCES**
The following references are provided for further information and guidance:
5.1 Industry Standards: Various industry standards and best practices, such as ISO 9001 and IEEE 8000, provide additional guidance on software development and testing.
5.2 Internal Documents: The organization's internal documents, including the coding style guide, test plan template, and change management process, provide specific details on the standards and procedures.
- 6. APPROVAL**
This document has been reviewed and approved by the following individuals:
6.1 [Name]: [Title]
6.2 [Name]: [Title]
6.3 [Name]: [Title]
- 7. REVISIONS**
This document is subject to periodic review and revision. Any changes to the standards and procedures must be documented and approved through the same process as the original document.
- 8. CONTACT**
For more information or to report a problem, please contact the following individuals:
8.1 [Name]: [Title]
8.2 [Name]: [Title]
- 9. DISTRIBUTION**
This document is distributed to all relevant personnel, including developers, testers, project managers, and other stakeholders involved in software development.
- 10. APPENDICES**
The following appendices are included for reference:
10.1 Appendix A: Coding Style Guide
10.2 Appendix B: Test Plan Template
10.3 Appendix C: Change Management Process

CODE COMPLIANCE

[illegible]

VICINITY MAP



14 SEP 2014

H4H Sawyer Avenue

Homes

Project # 18103

NO. DESCRIPTION

DATE

BY

REVISION

DATE

BY

REVISION

DEVELOPMENT REVIEW

G003

PHOTO-SHEET



VIEW OF PARCEL FROM SAWYER AVENUE (4949 SAWYER AVE.)



VIEW ACROSS SAWYER AVE. FROM PROPERTY - WEST SIDE OF STREET



VIEW ALONG SAWYER AVE. - EAST SIDE OF STREET



NOT FOR CONSTRUCTION

H4H Sawyer Avenue

Homes

488 Sawyer Ave.
San Diego, CA 92103

PROJECT #: 18182

NO. DISCRIPTION

DATE

Disc. No. 18182

Disc. Date 10/1/18

Disc. Description

Disc. Date

Disc. Description

Disc. Date

Disc. Description

Disc. Date

Disc. Description

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Disc. Date

Disc. Description

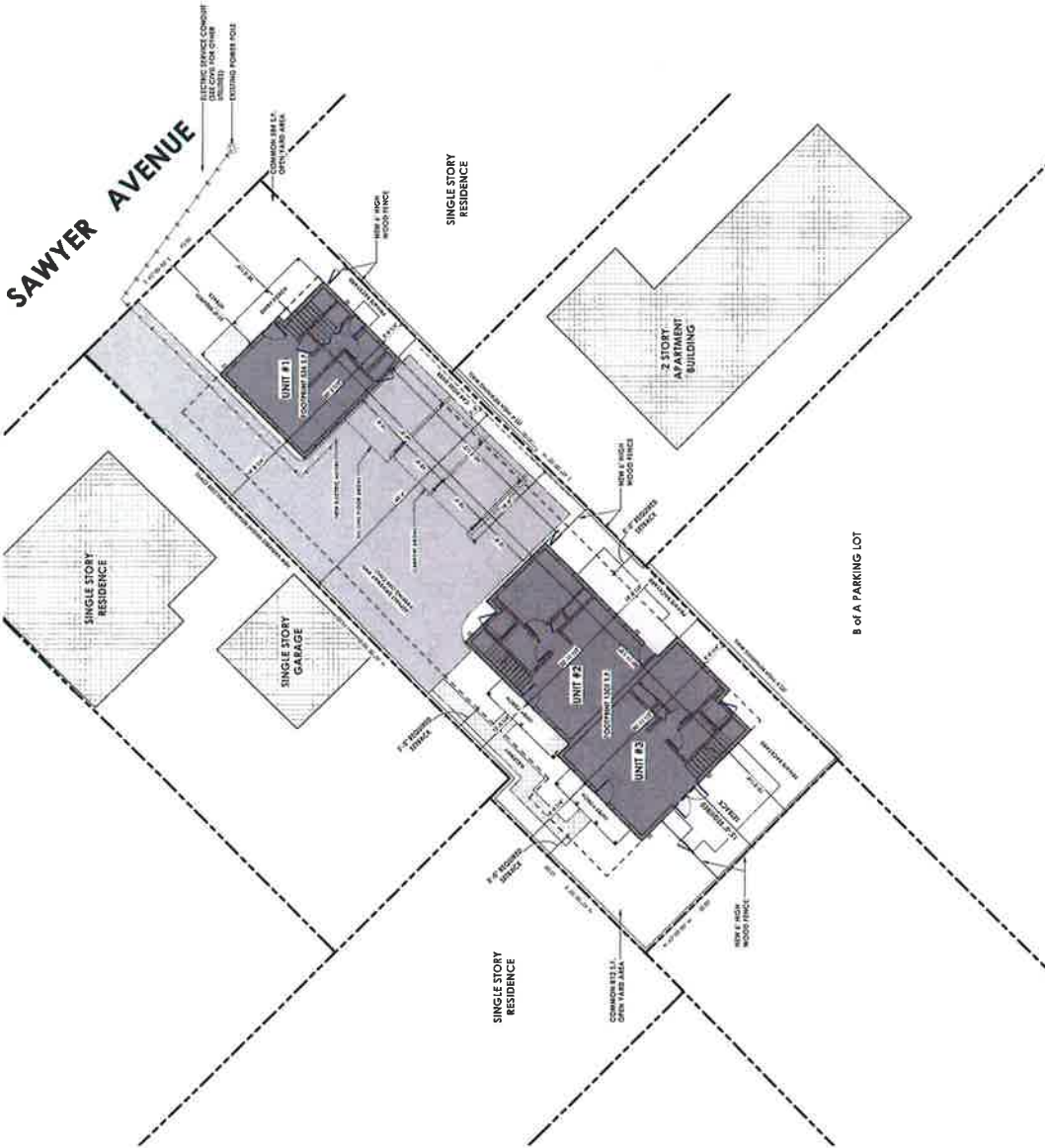
Disc. Date

Disc. Description

DEVELOPMENT REVIEW

AS101

SITE PLAN





Habitat for Humanity
San Diego County
1000 N. Broadway
San Diego, CA 92101
619.594.1100

NOT FOR CONSTRUCTION

H4H Sawyer Avenue
Homes

444 Sawyer Ave.
Compton, CA 90221
PROJECT # 14005
DATE 10/1/2014

DATE	10/1/2014
REVISION	
DESCRIPTION	
BY	
CHECKED	
APPROVED	

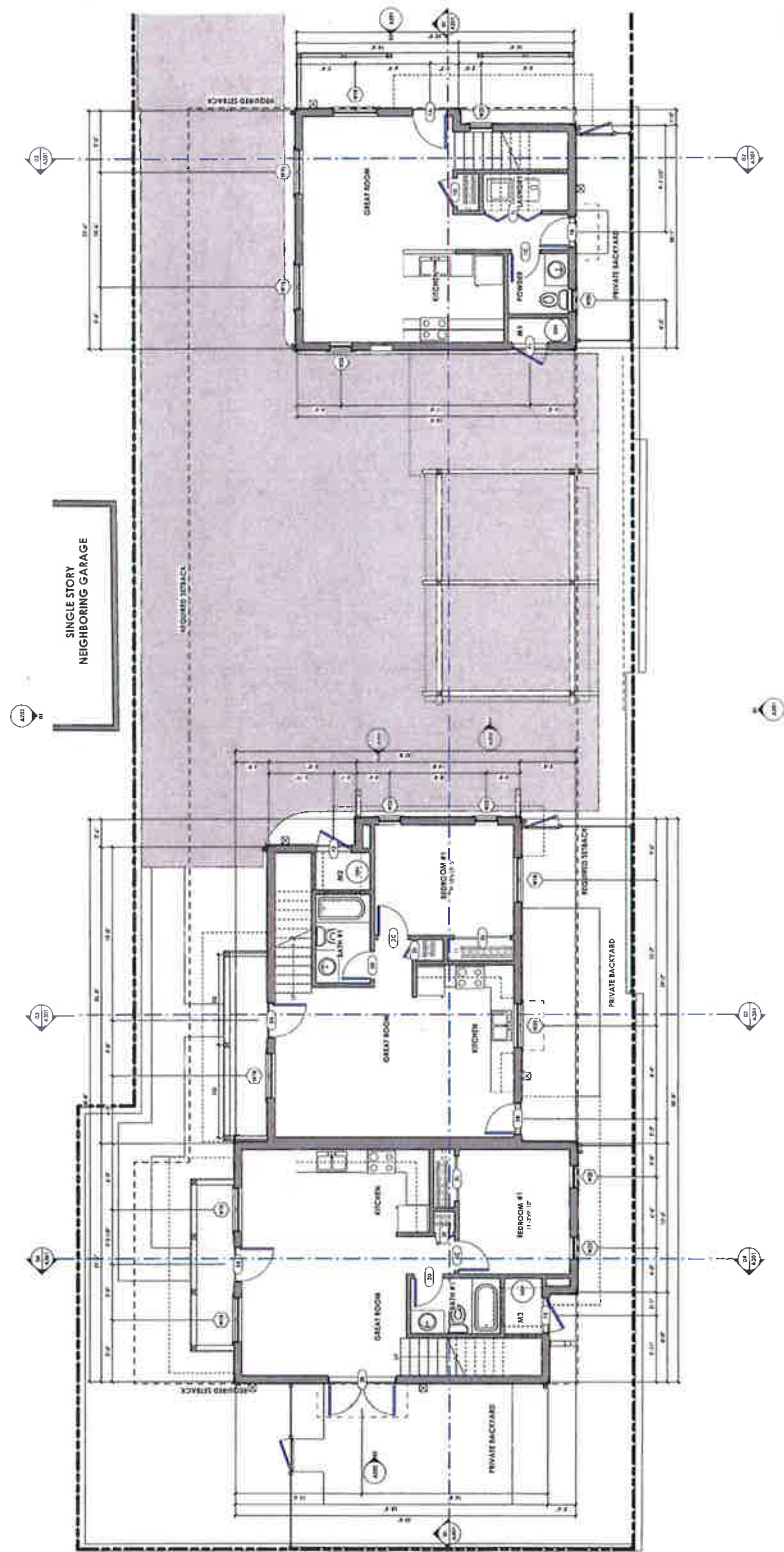
DEVELOPMENT REVIEW

A101

GROUND FLOOR PLAN

FLOOR PLAN GENERAL NOTES

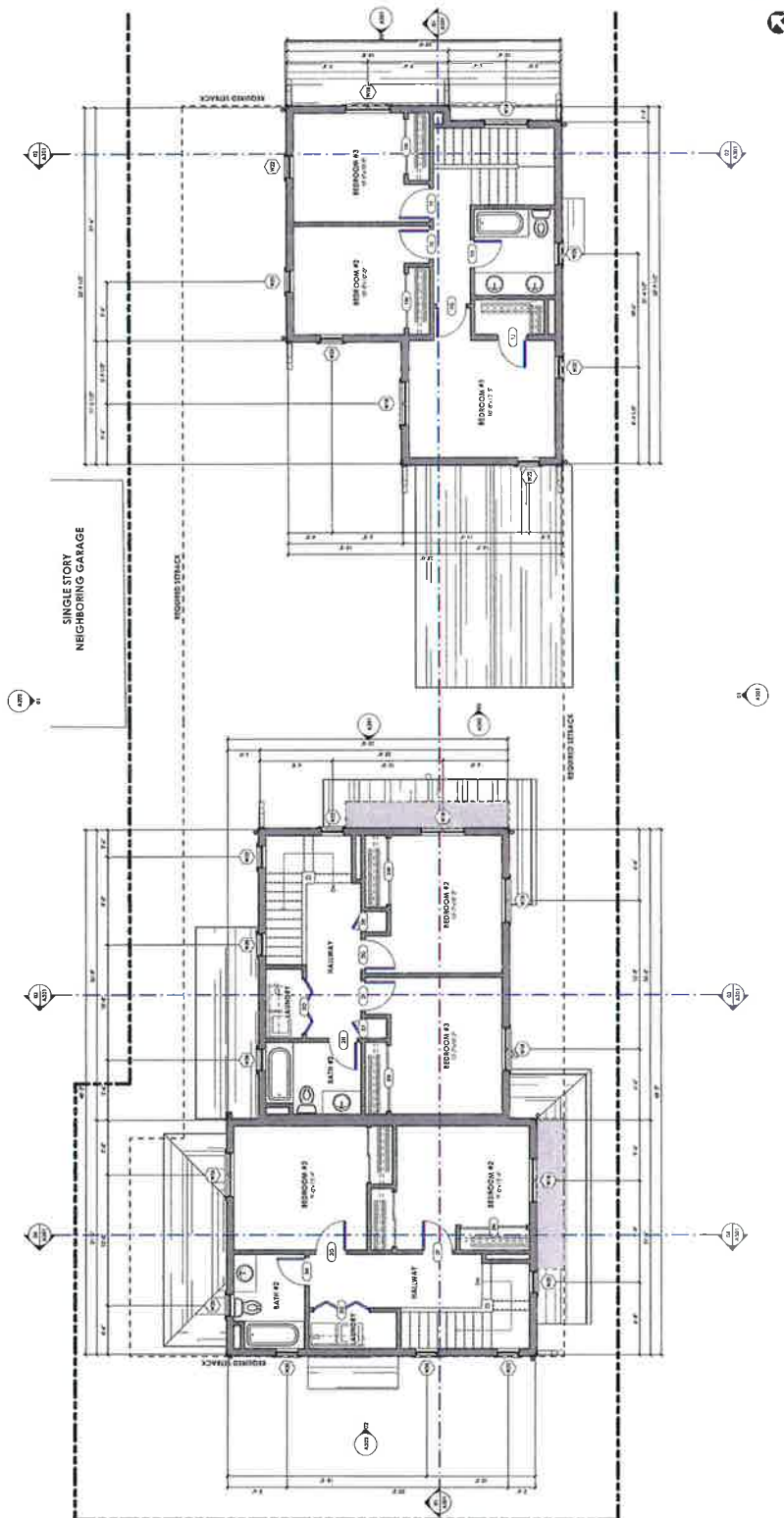
1. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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WPA 02/10/14 10:00 AM

FLOOR PLAN GENERAL NOTES

- [illegible]



0000-0001-9300-9000

ROOF PLAN GENERAL NOTES

1. SEE CIVIL ENGINEERING DRAWING FOR LOT LAYOUT AND DIMENSIONS.
2. CONSTRUCTION OF ROOF SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
3. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM WIND SPEED OF 140 MPH.
4. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM SEISMIC FORCE OF 0.1g.
5. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM SNOW LOAD OF 30 PSF.
6. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM RAINFALL LOAD OF 1.0 PSF.
7. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM HAIL LOAD OF 1.0 PSF.
8. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM ICE LOAD OF 1.0 PSF.
9. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM DEBRIS LOAD OF 1.0 PSF.
10. ROOF SHALL BE DESIGNED TO RESIST A MINIMUM FLOOD LOAD OF 1.0 PSF.



NOT FOR CONSTRUCTION

H4H Sawyer Avenue Homes

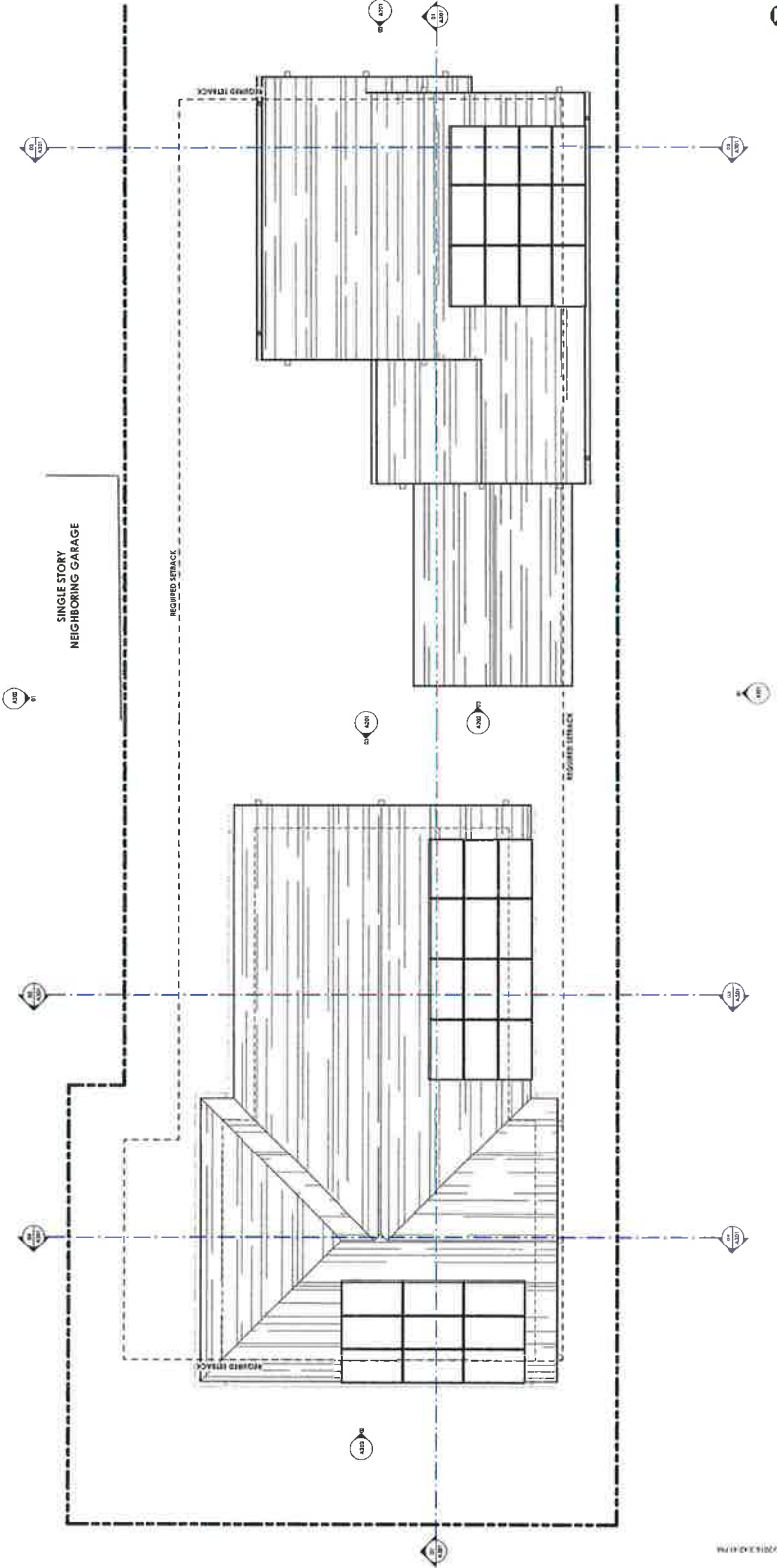
144 Sawyer Avenue
Coronado, CA 92023
PROJECT # 144-03

NO.	DESCRIPTION	DATE
1	Issue for Review	10/1/2014
2	Issue for Review	10/1/2014
3	Issue for Review	10/1/2014

DEVELOPMENT REVIEW

A103

ROOF PLAN



Tier 1 Stormwater Control Plan

Prepared for:
Habitat for Humanity
P.O. Box 176
Goleta, CA 93116



Prepared By:
Ashley & Vance Engineering, Inc.
924 Chapala St. Suite D
Santa Barbara, CA 93101
805.962.9966
Contact: Jason J. Gotsis, P.E.

Carpinteria Habitat for Humanity

4949 Sawyer Avenue
Carpinteria, CA 93013
APN 003-153-005

October 16, 2015

Project Data Form and runoff reduction measure selection

Complete all fields.

Project Name/Number	Carpinteria Habitat for Humanity
Application Submittal Date	October 19, 2015
Project Location	4949 Sawyer Avenue Carpinteria, CA 93013
Name of Owner or Developer	Habitat for Humanity
Project Type and Description	Multi-Family Residence
Total Project Site Area (acres)	0.16 acres
Total New Impervious Surface Area (square feet)	4925 square feet or 0.11 acres
Total Replaced Impervious Surface Area	0 square feet or 0.00 acres
Total Pre-Project Impervious Surface Area	0 square feet or 0.00 acres
Total Post-Project Impervious Surface Area	4925 square feet or 0.11 acres
Runoff Reduction Measures Selected	☒ 1. Disperse runoff to vegetated area ☐ 2. Pervious pavement ☐ 3. Cisterns or Rain Barrels ☐ 4. Bioretention Facility or Planter Box

Runoff Reduction Measures

Measure 1: Disperse runoff from roofs or pavement to vegetated areas.

Runoff from impervious surfaces will be collected and directed to the vegetated landscape areas. The vegetated area is a flat undulating area with relative lower elevations along the perimeter of the site excluding the northern property line along the driveway. Per the preliminary soils report the upper 36 inches of this area consists of clayey silt sand with ground water at 10.5 feet. See the attached site plan for additional information.

Shown on the attached Site Plan:

- ✓ Each impervious area from which runoff will be directed, and its square footage.
- ✓ The vegetated areas that will receive runoff, and the approximate square footage of each.

The following standards are met:

- ✓ Tributary impervious square footage in no instance exceeds twice the square footage of the receiving pervious area. On your sketch, show rough dimensions that will confirm this criterion is met.

The landscape around unit 1 provides a pervious area of 747 square feet to accept 1170 square feet of roof and flatwork area. The landscape around units 2 and 3 provides a pervious area of 1265 square feet to accept 1905 square feet of roof and flatwork area.

- ✓ Roof areas collect runoff and route it to the receiving pervious area via gutters and downspouts.

Gutters and downspouts are provided in the design and direct roof runoff to pervious areas.

- ✓ Paved areas are sloped so drainage is routed to the receiving pervious area.

Flatwork around structures is graded to pervious areas.

- ✓ Runoff is dispersed across the vegetated area (for example, with a splash block) to avoid erosion and promote infiltration.

Splashblocks or flatwork shall be provided where concentrated flow may cause localized erosion.

- ✓ Vegetated area has amended soils, vegetation, and irrigation as required to maintain soil stability and permeability.

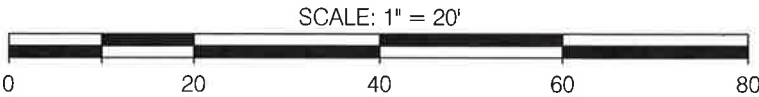
The vegetated area will be landscaped per landscape plans and reviewed for potential issues with localized and overland flow. Geotechnical report indicates mixed sand soils to a depth of 10.5 feet where water table was encountered which should provide sufficient infiltration rates.

- ✓ Any area drains within the vegetated area have inlets at least 3 inches above surrounding grade

Inlet top of grates are located within drainage swale path and shall be raised 3 inches above the proposed flowline.



6937 SF - LANDSCAPE AREA



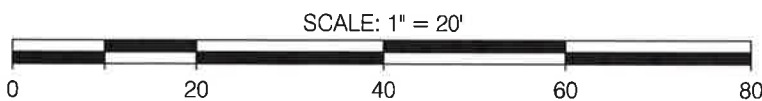
DRAINAGE EXHIBIT
PRE-PROJECT
HABITAT FOR HUMANITY
CARPINTERIA
OCTOBER 19, 2015



924 Chapala St., Suite D
Santa Barbara, CA 93101
(805) 962-9966
www.ashleyvance.com
CIVIL • STRUCTURAL



- 3075 SF - IMPERVIOUS ROOF AND FLATWORK AREA
- 1850 SF - ASPHALT PAVEMENT AREA
- 2012 SF - LANDSCAPE AREA



DRAINAGE EXHIBIT
POST-PROJECT
HABITAT FOR HUMANITY
CARPINTERIA
 OCTOBER 19, 2015



www.ashleyvance.com

924 Chapala St., Suite D
 Santa Barbara, CA 93101
 (805) 962-4966

CIVIL • STRUCTURAL

Exhibit 1
Attachment C: Recommended
Conditions of Approval

Habitat for Humanity
Sawyer Avenue Affordable Housing Project
PROJECT 15-1798-DP/TPM/CDP

Planning Commission Hearing
March 7, 2016

**ATTACHMENT C
CONDITIONS OF APPROVAL**

**HABITAT FOR HUMANITY CONDOMINIUMS
PROJECT NO. 15-1798-DP/TPM/CDP
4949 SAWYER AVENUE (APN: 003-153-005)**

**PLANNING COMMISSION HEARING
March 7, 2016**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan, Tentative Parcel Map and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated March 7, 2016), and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows:

The site would be developed with a three-unit condominium project with three covered and one uncovered parking spaces. The lot is 6,950 square feet and has been historically vacant. The project would include two structures, the front structures would measure 1,239 square feet and include one residential unit and the rear structure would measure 2,537 square feet and include two residential units. A carport would be attached to the rear of the front unit. The carport would cover three parking spaces. An additional uncovered guest parking space is provided. The maximum height of the structures would be 24 feet three inches above the lowest finished grade.

Unit 1 would be a three-bedroom unit with a covered entry, a first floor area of 537 square feet and a 702 square foot second floor area, for a total of 1,239 square feet of living space.

Unit 2 would be a three-bedroom unit with a covered entry, a first floor area of 653 square feet and a 616 square foot second floor area, for a total of 1,269 square feet of living space.

Unit 3 would be a three-bedroom unit with a covered entry, a first floor area of 651 square feet and a 617 square foot second floor area, for a total of 1,268 square feet of living space.

The proposal includes new landscaping and grading of approximately two cubic yards of cut and 532 cubic yards of fill, resulting in approximately 530 cubic yards of import.

Tentative Parcel Map: The tentative parcel map would allow each unit to be held in separate ownership with all units governed by a common homeowners' association (condominium development).

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. For the life of the project, each household unit shall own no more than one vehicle. This requirement shall be written in the project CC&Rs, enforced by the Home Owner's Association and maintained in perpetuity. Any changes to this requirement will require review by the City and approved by CDD and or the Planning Commission.
3. Adequate space shall be made available to allow vehicles to be parked within all parking required parking spaces. This requirement shall be written into the project CC&Rs.
4. All exterior night lighting fixtures installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels and designated as dark sky compliant. **Plan Requirements:** The locations of all exterior lighting fixtures shall be depicted on the building plan set to be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD shall review plans prior to the Building Permit approval. CDD shall site inspect prior to final inspection.
5. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction

shall occur on State holidays (e.g., Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** Two signs stating these restrictions shall be provided by the applicant and posted on site. **Timing:** Signs shall be in place prior to the beginning of and throughout all grading and construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.

6. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
7. To prevent construction and/or employee trash from blowing offsite, covered receptacles shall be provided onsite prior to commencement of grading or construction activities. Waste shall be picked up weekly or more frequently as directed by CDD staff. **Plan Requirements and Timing:** Prior to Building Permit issuance, applicant shall designate and provide to CDD the name and phone number of a contact person to monitor trash/waste and organize a clean-up crew. Trash control shall occur throughout all grading and construction activities. **Monitoring:** CDD shall inspect periodically throughout grading and construction activities.
8. Best available erosion and sediment control measures shall be implemented before demolition or construction activities occur. Best available erosion and sediment control measures may include but are not limited to use of sediment basins, gravel bags, silt fences, geo-bags or gravel and geotextile fabric berms, erosion control blankets, coir rolls, jute net and straw bales. Storm drain inlets shall be protected from sediment-laden waters by use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters, and excavated inlet sediment traps. Sediment control measures shall be maintained for the duration of the demolition, grading, and construction period and until graded areas have been stabilized by structures, long-term erosion control measures or landscaping. Construction wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. Construction entrances and exits shall be stabilized using gravel beds, rumble plates, or other measures to prevent sediment from being tracked onto adjacent roadways. Any sediment or other materials tracked offsite shall be removed the same day as they are tracked using dry cleaning methods. **Plan Requirements:** An erosion and sediment control plan shall be submitted to and approved by CDD and Public Works prior to issuance of a Demolition Permit. **Timing:** The plan shall be implemented prior to the commencement of construction activities. **Monitoring:** City Inspectors shall perform site inspections throughout construction.

9. In compliance with the Water Conservation in Landscaping Act of 2006 (Assembly Bill 1881, Laird)) as amended by the May 29, 2015 Information Bulletin 2015-03 from the Department of Housing and Community Development and Chapter 15.90 of the City's Municipal Code: Water Efficient Landscaping, a Landscape Documentation Package containing the following elements shall be prepared by a design professional: PROJECT INFORMATION; WATER EFFICIENT LANDSCAPE WORKSHEET; SOIL MANAGEMENT REPORT; LANDSCAPE DESIGN PLAN; IRRIGATION DESIGN PLAN; and GRADING DESIGN PLAN. The preparation of a Certificate of Completion containing the following elements shall also be prepared by a design professional: CERTIFICATION OF INSTALLATION (per the approved plan); FINAL SOILS INFORMATION; IRRIGATION SCHEDULING PARAMETERS; MAINTENANCE SCHEDULES; and IRRIGATION AUDIT REPORT. **Plan Requirements and Timing:** Prior to approval of a Building Permit, the applicant shall submit a Landscape Documentation Package to the CDD for review and approval. The CDD shall send a copy of the Documentation Package to the Carpinteria Valley Water District. The applicant shall enter into an agreement with the City to install required landscaping and irrigation and maintain required landscaping for the life of the project. Subsequent to installation of the approved Grading, Landscape and Irrigation Plans, the applicant shall submit a Certificate of Completion to CDD for review and approval. The Landscape Documentation Package and Certificate of Completion forms are available at the CDD, and are required to be approved by the CDD prior to Occupancy Clearance. **Monitoring:** CDD shall conduct site visits to ensure installation and maintenance of landscape and irrigation.
10. A \$500 landscape installation performance security shall be provided by the applicant prior to issuance of a Building Permit. The installation security shall be released upon satisfactory installation of all landscape materials (plants, irrigation and mulch). **Monitoring:** CDD shall inspect landscaping and improvements for compliance with approved plans prior to authorizing release of the security.
11. Landscaping shall be maintained for the life of the project.
12. In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a CDD-qualified archaeologist and Native American representative are retained by the applicant to evaluate the significance of the find pursuant to Phase 2 investigations of the City Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with City Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and shall spot check in the field.
13. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled and disposed of in a manner which minimizes the potential for storm water contamination. Proper washout practices shall be followed. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the demolition and grading plans

submitted to Public Works for review prior to issuance of a Demolition and Grading Permit. **Monitoring:** Public Works shall site inspect prior to the commencement and as needed during all demolition and grading activities.

14. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
15. The Homeowners' Association shall be responsible for the long-term maintenance of the water quality conditions of approval. **Plan Requirements and Timing:** The proposed maintenance responsibilities and schedule shall be included in the CC&Rs or in a maintenance program. The CC&Rs/maintenance program shall be submitted for review by CDD and Public Works prior to approval of a Building Permit. Annual records of the maintenance activities shall be maintained by the HOA/landowner and submitted to CDD upon request. **Monitoring:** CDD shall review the maintenance records or site inspect, as needed. Costs shall be borne by the Homeowners' Association or landowner.
16. In accordance with Chapter 15.80 of the Carpinteria Municipal Code, the applicant shall pay Development Impact Fees to the City prior to Occupancy Clearance. The amount of the fees, currently estimated to be \$62,306, will be determined at the time the fees are paid.
17. Compliance with the attached Departmental and District letters is required as follows:
 - a. City of Carpinteria Public Works Dept./Engineering dated January 20, 2016
 - b. Carpinteria–Summerland Fire Protection District February 22, 2016
 - c. Carpinteria Sanitary District dated November 25, 2015
 - d. Carpinteria Valley Water District dated November 23, 2015
 - e. Santa Barbara County Air Pollution Control District dated November 16, 2015

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

18. Approval of the Final Development Plan shall expire two years after approval by the Planning Commission, unless prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The decisionmaker with jurisdiction over the project may, upon good cause shown, grant a time extension.

19. No permits for development, including grading, shall be issued except in conformance with an approved Final Development Plan. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan dated March 7, 2016. Substantial conformity shall be determined by the Community Development Department Director.
20. On the date a subsequent Development Plan is approved for this site, any previously approved but unbuilt plans shall become null and void.
21. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.
22. No permits for development, including grading, shall be issued prior to recordation of the Tentative Parcel Map No. 25,195.
23. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
24. Prior to the issuance of any Building Permits, the applicant shall submit final plans to the City for review by the Architectural Review Board. Final plans shall include but not be limited to complete construction drawings and details concerning signing, lighting, colors and exterior materials, landscaping and irrigation.
25. Prior to recordation of the Tentative Parcel Map and subject to CDD approval as to form and content, the applicant shall include all of the mitigation measures, conditions, agreements and specific plans associated with or required by this project approval on a separate informational sheet to be recorded with the parcel map. All applicable conditions and mitigation measures of the project shall be printed on grading and/or building plans and shall be graphically illustrated where feasible. For any subsequent development on any parcels created by the project, each set of plans accompanying a Building Permit application shall contain these conditions.
26. If the proposed map is revised from the approved tentative map, or if changes to conditions are sought, approval shall be in the same manner as for the originally approved tentative map.
27. Prior to recordation of the map, applicant shall pay applicable Quimby fees.
28. Prior to recordation, the applicant shall record CC&Rs which provide for shared maintenance responsibilities by all parcels for the appurtenant landscaping, fencing and

access, subject to approvals from CDD, Public Works and the City Attorney. The CC&Rs shall also include by reference responsibilities for all parcels to maintain property in compliance with all conditions of approval for the project.

29. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.
30. Utilities shall be installed underground.
31. The Tentative Map shall expire three years after approval or conditional approval by the final decisionmaker unless otherwise provided in the Subdivision Map Act, Government Code §66452.6.
32. The applicant shall pay the statutory school fees in effect at the time of issuance of building permits to the Carpinteria Unified School District. The applicant shall submit final square footage calculations and a copy of the fee payment to the school district prior to issuance of building permits. CDD shall ensure payment is made prior to issuance of a Building Permit.
33. An approval granted by the Planning Commission does not constitute a Building Permit or authorization to begin any construction. An appropriate permit issued by the Building Division must be obtained prior to constructing, enlarging, moving, converting, or demolishing any building or structure within the City.
34. If, at any time, the City or Planning Commission determines that there has been, or may be, a violation of the findings or conditions of this Development Plan Revision or of the Municipal Code regulations, a public hearing may be held before the Planning Commission to review this permit. At said hearing, the Planning Commission may add additional conditions, or recommend enforcement actions, or revoke the permit entirely, as necessary to ensure compliance with the Municipal Code, and to provide for the health, safety, and general welfare of the City. The applicant shall reimburse the City for all costs associated with gaining compliance with the original conditions of approval.
35. All requirements of the City of Carpinteria (including but not limited to public improvements as defined in the City of Carpinteria Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.
36. The standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.
37. No Building Permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a Building Permit or prior to final inspection when allowed by the Community Development Director.

38. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at 1-800-227-2600 a minimum of 48 hours prior to the start of construction.
39. All applicable final conditions of approval shall be printed in their entirety on applicable pages of construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
40. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
41. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full.
42. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
43. The owner/applicant/developer ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Development Plan, Tentative Parcel Map and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permit fees, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.
44. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Developer/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated

by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.

45. Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to Building Permit issuance.

Approved by the Planning Commission on March 7, 2016.

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant / Owner	Date
-------------------	------

CITY OF CARPINTERIA, CALIFORNIA



Department of Public Works Memorandum

To: Shanna Farley-Judkins
Associate Planner

From: Matt Maechler and Erin Maker
Department of Public Works

Date: January 20, 2016

Subject: 4949 Sawyer Ave, 15-1798

The Department of Public Works has reviewed the project and has the following Conditions of Approval.

PROJECT SPECIFIC CONDITIONS

1. Plans shall be submitted for frontage improvements on Sawyer Ave. prior to issuance of Engineering Permits for review by the City Engineer. Frontage improvements, including driveway apron, sidewalk, street signs, street trees, and other facilities as determined by the City Engineer, are to be installed in conformance with the standards, specifications, and policies of the City at the locations shown on the improvement plans. Unless otherwise specified, the City utilizes the County of Santa Barbara Engineering Standards.
2. Paving and driveway aprons shall transition into existing public improvements as required by the City Engineer. Plans shall be submitted prior to issuance of building permits for review by the City Engineer. Construction shall be completed prior to issuance of Certificate of Occupancy.
3. An Engineering Permit for the project will be required for any work within the public right-of-way and drainage improvements (outside of the building). The deposit for the Permit will be determined based on the estimated construction cost of the work being performed. A standard indemnification form will also be required.
4. Landscaping proposed within the City right-of-way shall be reviewed and approved by the Department of Public Works prior to issuance of an Engineering Permit.
5. The applicant shall submit two (2) sets of improvement plans prepared by a California Registered Civil Engineer. Said plans shall include but not be limited

to any street, utility, grading, retaining wall/fence and/or storm drain improvements and shall be submitted to the Department of Public Works for review and approval prior to issuance of an Engineering Permit. The current plans do not have legible callouts for frontage improvements.

6. Prior to performing any grading, the applicant shall obtain an Engineering Permit from the Public Works Department, in accordance with Chapter 8.36 of the Carpinteria Municipal Code, and pay the required permit deposits/fees.

UTILITY CONDITIONS

1. Prior to occupancy of the project, all new utility services to the house shall be placed underground and completed prior to any paving required for the project. No new utility poles shall be installed.
2. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of engineering/building permits.

STORMWATER MANAGEMENT

1. Applicant shall submit an erosion and sediment control plan prior to project approval. The plan shall contain site-specific best available erosion and sediment control measures to be implemented before demolition or construction activities occur. All erosion and sediment control plans shall be reviewed and approved by Public Works prior to start of work.
2. This project is subject to the requirements of the County of Santa Barbara Technical Guide for Low Impact Development for the project site, which shall include any frontage or right-of-way improvements. The applicant shall submit a Storm Water Control Plan (SWCP) complying with the Technical Guide that includes the following elements: identification of potential pollutant sources that may affect the quality of the storm water discharges; the proposed design and placement of structural and non-structural PCR's to address identified pollutants; a proposed Operation and Maintenance Plan; a method for ensuring maintenance of all PCR's over the life of the project; and certification by a licensed civil engineer, architect, or landscape architect.

SOLID WASTE

1. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt).

During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates.

End of Conditions of Approval



CARPINTERIA~SUMMERLAND FIRE PROTECTION DISTRICT

RECEIVED

FEB 22 2016

COMMUNITY DEVELOPMENT
DEPARTMENT

February 22, 2016

Shanna Farley
Assistant Planner
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

RE: Project 15-1798 DP / Three new Residential Units
APN 003-153-005 / 4949 Sawyer Ave.

Dear Shanna Farley:

The following items are necessary for fire protection:

1. All new buildings/ structures shall be protected by an approved automatic fire sprinkler system. Each unit shall be provide with a system designed to meet the NFPA 13D Standard. Prior to installation, plans for the proposed fire sprinkler systems shall be designed by a qualified person and submitted to the prevention bureau for approval.
2. Smoke detectors and Carbon Monoxide Alarms must be installed in all residences in accordance with the National Electric Code Per the provisions of the 2013 California Building and Fire Codes.
3. Application for address changes for the building shall be submitted to the Fire District, Fire Prevention Bureau.
4. Address numbers must be posted at the driveway and on the buildings such that they are visible from the street. Numbers shall be a minimum 4 inches high on a contrasting background.
5. Roof access must meet the requirements stated in the Carpinteria Municipal Code.

"Pride in Service"

6. Access, when access ways are gated, a Fire District approved emergency entry system shall be installed in an accessible location. Prior to installation, the Fire District shall approve the location and type.
7. Public fire hydrants supplying the required fire flow within the required driving distance from the structures shall be provided. Existing plan must indicate the location of the fire hydrant nearest to the project address.
8. Per Carpinteria-Summerland Fire District Ordinance No. 2003-01 pertaining to fees and service charges, a permit application fee is assessed on all plans reviews.
9. Pursuant to C.S.F.P.D. Ordinance No. 92-02 and Carpinteria City Ordinance No. 599, prior to issuance of a "Certificate of Occupancy", the Carpinteria-Summerland Fire Protection District mitigation fee must be paid.
10. Any future changes, including further division, intensification of use, or increase in hazard classification, may require additional conditions in order to comply with applicable fire district development standards.

If you need additional information on Fire District conditions, please contact me at 566-2451.

Sincerely,

A handwritten signature in black ink, appearing to read "Ed Foster", with a long horizontal flourish extending to the right.

Ed Foster
Fire Marshal
Fire Prevention Bureau

cc: Applicant



CARPINTERIA
Sanitary District

5300 Sixth Street
Carpinteria, CA 93013

Phone (805) 684-7214 • Fax (805) 684-7213

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NOV 25 2015

COMMUNITY DEVELOPMENT
DEPARTMENT

November 25, 2015

Shanna Farley-Judkins
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, California 93013

Subject: Project No. 15-1798-DP
Habitat for Humanity (H4H)
Sawyer Avenue Homes
4949 Sawyer Avenue (APN: 003-153-005)
Applicant: H4H

Dear Ms. Farley-Judkins:

Thank you for the opportunity to provide comments on the subject project. The project applicant proposes to construct three new residential units at the subject site. The Carpinteria Sanitary District (District) recommends that the following conditions be incorporated into the review/approval process to address sewer system improvements:

1. All sewer improvements shall conform to approved District construction standards for materials and methods.
2. A sewer construction permit is required for any and all work on the building sewer and lateral sewer that will serve the residential units. The permit shall be procured and applicable fees paid prior to issuance of Building Permits. The applicant shall submit an engineered drawing to the District showing any proposed sewer connections, alterations or additions. During the construction phase, it is the applicant's and contractor's responsibility to notify the District of any sewer improvements or modifications not noted on the approved plans.
3. During construction, all installed sewer pipes and fittings shall be inspected by the District prior to placing trench backfill. Failure to request or obtain an inspection will require complete re-excavation and reconstruction of the work. All sewer improvements shall be pressure tested in accordance with District standard procedures prior to final acceptance.

4. A Development Impact Fee (DIF) shall be paid to the District for each newly constructed "equivalent dwelling unit" (EDU). Currently, the DIF is \$3,259 per EDU; subsequent increases in DIF's are subject to District Board approvals. For the proposed project, a DIF of **\$ 9777.00** shall be paid to the District prior to issuance of required permits.
5. District sewer service charges (SSC's) are collected through the County of Santa Barbara property tax rolls on an annual basis. Prior to obtaining a Certificate of Occupancy, the applicant shall pay District applicable SSC's due for the period between building occupancy and the following June 30th. The current annual SSC is **\$614.16** per dwelling unit.
6. If you have any questions regarding the comments provided by the District, please contact me at (805) 684-7214, ext. 13.

Sincerely,
CARPINTERIA SANITARY DISTRICT

A handwritten signature in black ink, appearing to read "Lance Lawhon", is written over the printed name.

Lance Lawhon
Engineering Technician

C: H4H



Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

BOARD OF DIRECTORS

Alonzo Orozco
President
Polly Holcombe
Vice President
Richard Forde
Matthew Roberts
June Van Wingerden

GENERAL MANAGER

Charles B. Hamilton

November 23, 2015

City of Carpinteria
5775 Carpinteria Ave.
Community Development Department
Atten: Shanna R. Farley Judkins, Assistant Planner
Carpinteria Ca. 93013

SUBJECT: 4949 SAWYER AVE. HABITAT FOR HUMANITY PROJECT, COMMNET LETTER

Hello Shanna

Based on the information presented to the District at the November 19, IDAG meeting and review of the applicant's project submittal, listed are the District comments for the project.

- Each unit will be required to be individually metered; the owner will be responsible for the applicable meter fees. (See attached Fee Estimate)
- The parcel currently does not have service with the District.
- The location of all residential meters will need to be shown on the site plan.
- The location of the HOA landscape meter will need to be shown on the site plan and irrigation plan.
- The HOA irrigation meter will require meter protection by an USC Foundation approved backflow device (RP).
- The fees and deposit will be required to be paid prior to the District signing the building permit along with District approved site plan and irrigation plan.

If you have any questions please feel free to contact me at brian@cvwd.net or (805)-684-2816x103

Very truly yours,
Carpinteria Valley Water District

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NOV 23 2015

**COMMUNITY DEVELOPMENT
DEPARTMENT**

Brian King, P.E.
Associate Engineer

BVK/bvk

C: Habitat for Humanity (applicant) 6860 Cortona Drive, Goleta CA. 93117
Ed deVicente DMHA Architects (agent) 1 N. Calle Cesar Chavez, Suite 102, Santa Barbara, CA. 93103
File copy

CARPINTERIA VALLEY WATER DISTRICT

FEE ESTIMATE FOR

Project Name: 4949 Sawyer Ave.

Project Number: C-XX

Description:

Three new meters and service connection for three new Single Family Residents and one meter for HOA landscape meter.

Owner Habitat for Humanity

Contact Jon Peterson

6860 Cortona Drive, Goleta Ca, 93117

805-692-2226

Date of Fee estimate 11/23/2015

Estimate valid through: 06/30/2016

Capital Cost Recovery Fees (CCRF) Meters

Description	Qty	Unit Fee	Fee
3/4 inch meters SFR	3	\$12,579.00	\$37,737.00
3/4 inch meter HOA landscape	1	\$12,579.00	\$12,579.00
CCRF SUBTOTAL =			\$50,316.00

Capital Cost Recovery Fees (CCRF) Fire Service Line

Description	Qty	Unit Fee	Fee
N/A			\$0.00
			\$0.00
CCRF SUBTOTAL =			\$0.00

CARPINTERIA VALLEY WATER DISTRICT
FEE ESTIMATE

Installation Deposits per CVWD Rules and Regs (9a) and Appendix C**

Description	Qty	Unit Fee	Fee
Meter installation service line	3	\$9,000.00	\$27,000.00
Meter installation service line	1	\$9,000.00	\$9,000.00

DEPOSITS SUBTOTAL = \$36,000.00

TOTAL FOR CCRF & DEPOSITS = \$86,316.00

These fees will be required to be paid prior to the meter being installed.

_____ initial

At the time the meter is installed the account will be opened.

_____ initial

**The Deposit is an estimate of the time and material cost to the District. If the actual cost of work exceeds the Deposit the applicant will be billed for the remaining balance of the total cost for the work done. If the total cost of the work is less than the Deposit then the balance of the Deposit will be refunded to the applicant.

_____ initial

Brian King , Associate Engineer
Carpinteria Valley Water District

Signature
Owner



**Santa Barbara County
Air Pollution Control District**

Our Vision  Clean Air

November 16, 2015

Shana Farley-Judkins
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93103

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NOV 18 2015

CITY OF CARPINTERIA

Re: APCD Suggested Conditions on 4949 Sawyer Avenue, 15-1798-DP

Dear Ms. Farley-Judkins:

The Air Pollution Control District (APCD) has reviewed the referenced project, which consists of the construction of three low income residential condominium units within two two-story buildings. The three units will have a gross area of 3,776 square feet (with net square footage of the three units at 1,032 SF, 1,107 SF, and 1,106 SF respectively), and a total building footprint of 1,841 square feet. The project site is currently vacant land. Grading consists of approximately 700 cubic yards of fill. The subject property, a 0.16-acre parcel zoned PRD-20 and identified in the Assessor Parcel Map Book as APN 003-153-005, is located at 4949 Sawyer Avenue in the City of Carpinteria.

Air Pollution Control District staff offers the following suggested conditions:

1. Standard dust mitigations (**Attachment A**) are recommended for all construction and/or grading activities. The name and telephone number of an on-site contact person must be provided to the APCD prior to issuance of grading/building permit issuance.
2. The State of California considers particulate matter emitted by diesel engines carcinogenic. Therefore, during project grading, construction, and hauling, construction contracts must specify that contractors shall adhere to the requirements listed in **Attachment B** to reduce emissions of particulate matter from diesel equipment as well as of ozone precursors.
3. All portable diesel-fired construction engines rated at 50 bhp or greater must have either statewide Portable Equipment Registration Program (PERP) certificates or APCD permits prior to grading/building permit issuance. Construction engines with PERP certificates are exempt from APCD permit, provided they will be on-site for less than 12 months.
4. Natural gas-fired fan-type central furnaces with a rated heat input capacity of less than 175,000 Btu/hr and water heaters rated below 75,000 Btu/hr must comply with the emission limits and certification requirements of APCD Rule 352. Please see www.ourair.org/wp-content/uploads/rule352.pdf for more information.
5. Small boilers and water heating units (rated between 75,000 and 2.0 million Btu/hr) must comply with the emission limits and certification requirements of APCD Rule 360. Combinations of units totaling 2.0 million Btu/hr or greater are required to obtain a District permit prior to building permit issuance. Please see www.ourair.org/wp-content/uploads/rule360.pdf for more information and a list of certified boilers (note: any units fired on fuel(s) other than natural

Louis D. Van Mullem, Jr. • Air Pollution Control Officer
260 North San Antonio Road, Suite A • Santa Barbara, CA • 93110 • 805.961.8800
OurAir.org • twitter.com/OurAirSBC

gas must be certified by the SBCAPCD on a case-by-case basis, even if the unit is certified when fired on natural gas).

6. At a minimum, prior to occupancy, any feasible greenhouse gas reduction measures from the following sector-based list should be applied to the project:
 - Energy use (energy efficiency, low carbon fuels, renewable energy)
 - Water conservation (improved practices and equipment, landscaping)
 - Waste reduction (material re-use/recycling, composting, waste diversion/minimization)
 - Architectural features (green building practices, cool roofs)
7. Asphalt paving activities shall comply with APCD Rule 329, *Cutback and Emulsified Asphalt Paving Materials*.

If you or the project applicant have any questions regarding these comments, please feel free to contact me at (805) 961-8890 or via email at BarhamC@sbcapcd.org.

Sincerely,



Carly Barham,
Air Quality Specialist
Technology and Environmental Assessment Division

Attachments: Fugitive Dust Control Measures
Diesel Particulate and NO_x Emission Measures

cc: Ed deVicente, DMHA Architects
TEA Chron File



ATTACHMENT A
FUGITIVE DUST CONTROL MEASURES

These measures are required for all projects involving earthmoving activities regardless of the project size or duration. Proper implementation of these measures is assumed to fully mitigate fugitive dust emissions.

- During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this should include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency should be required whenever the wind speed exceeds 15 mph. Reclaimed water should be used whenever possible. However, reclaimed water should not be used in or around crops for human consumption.
- Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
- If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist, or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
- Gravel pads shall be installed at all access points to prevent tracking of mud onto public roads.
- After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.
- The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering, as necessary, to prevent transport of dust offsite. Their duties shall include holiday and weekend periods when work may not be in progress. The name and telephone number of such persons shall be provided to the Air Pollution Control District prior to land use clearance for map recordation and land use clearance for finish grading of the structure.

Plan Requirements: All requirements shall be shown on grading and building plans and as a note on a separate information sheet to be recorded with map. **Timing:** Requirements shall be shown on plans or maps prior to land use clearance or map recordation. Condition shall be adhered to throughout all grading and construction periods.

MONITORING: Lead Agency shall ensure measures are on project plans and maps to be recorded. Lead Agency staff shall ensure compliance onsite. APCD inspectors will respond to nuisance complaints.



ATTACHMENT B
DIESEL PARTICULATE AND NO_x EMISSION MEASURES

Particulate emissions from diesel exhaust are classified as carcinogenic by the state of California. The following is an updated list of regulatory requirements and control strategies that should be implemented to the maximum extent feasible.

The following measures are required by state law:

- All portable diesel-powered construction equipment shall be registered with the state's portable equipment registration program OR shall obtain an APCD permit.
- Fleet owners of mobile construction equipment are subject to the California Air Resource Board (CARB) Regulation for In-use Off-road Diesel Vehicles (Title 13 California Code of Regulations, Chapter 9, § 2449), the purpose of which is to reduce diesel particulate matter (PM) and criteria pollutant emissions from in-use (existing) off-road diesel-fueled vehicles. For more information, please refer to the CARB website at www.arb.ca.gov/msprog/ordiesel/ordiesel.htm.
- All commercial diesel vehicles are subject to Title 13, § 2485 of the California Code of Regulations, limiting engine idling time. Idling of heavy-duty diesel construction equipment and trucks during loading and unloading shall be limited to five minutes; electric auxiliary power units should be used whenever possible.

The following measures are recommended:

- Diesel construction equipment meeting the California Air Resources Board (CARB) Tier 1 emission standards for off-road heavy-duty diesel engines shall be used. Equipment meeting CARB Tier 2 or higher emission standards should be used to the maximum extent feasible.
- Diesel powered equipment should be replaced by electric equipment whenever feasible.
- If feasible, diesel construction equipment shall be equipped with selective catalytic reduction systems, diesel oxidation catalysts and diesel particulate filters as certified and/or verified by EPA or California.
- Catalytic converters shall be installed on gasoline-powered equipment, if feasible.
- All construction equipment shall be maintained in tune per the manufacturer's specifications.
- The engine size of construction equipment shall be the minimum practical size.
- The number of construction equipment operating simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time.
- Construction worker trips should be minimized by requiring carpooling and by providing for lunch onsite.

Plan Requirements: Measures shall be shown on grading and building plans. **Timing:** Measures shall be adhered to throughout grading, hauling and construction activities.

MONITORING: Lead Agency staff shall perform periodic site inspections to ensure compliance with approved plans. APCD inspectors shall respond to nuisance complaints.

Exhibit 2
Architectural Review Board
Minutes of January 14, 2016

Habitat for Humanity
Sawyer Avenue Affordable Housing Project
PROJECT 15-1798-DP/TPM/CDP

Planning Commission Hearing
March 7, 2016

Gahan noted the landscape plan was well done, but noted the carex could have some durability issues if exposed to ongoing foot traffic.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Gahan to recommend final approval as submitted.

VOTE: 4-0

PROJECT REVIEW

- 2) Applicant: Ed deVicente of DMHA Architects, agent/architect for Habitat for Humanity
Planner: Shanna Farley-Judkins
Project: 15-1798-DP/CDP/TPM
Project Location: 4949 Sawyer Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Ed deVicente of DMHA Architects, agent/architect for Habitat for Humanity to consider Project 15-1798-DP/CDP/TPM for preliminary review of construct three residential condominium units within two detached two-story structures. The proposed units' habitable space would be 1,239 square feet, 1,269 square feet and 1,268 square feet, each having three bedrooms. The project would provide three carport spaces and one uncovered parking space. The project includes a front setback and parking modification. The property is a 6,950 square foot parcel zoned Planned Residential Development and shown as APN 003-153-005 addressed as 4949 Sawyer Avenue.

Staff presented an introduction of the primary project to the Board. The project representatives, Ryan Mills, Ed deVicente, Jon Peterson and Katie Klein, provided a detailed project description and background to the Habitat for Humanity housing model. Ryan Mills explained the importance of project siting which went into the design and location of the proposed units, taking into consideration neighboring structures, location near transit and the downtown, creating air space between the two structures and creating private spaces for the future residents. The applicants and Board clarified aspects of the projects affordability, parking restrictions, grading and storm water management.

A letter was submitted, from Gaby Mendoza, to the Board. The letter summarized concerns related to privacy, traffic and parking, management and care of the property, housing restrictions and other nuisance concerns from a new residential use.

Public Comment:

Gaby and Rafael Mendoza, neighbors residing at 4929 Sawyer Avenue, identified privacy concerns related to the new two-story project. They identified existing traffic concerns in the neighborhood and noted that upon their research most households own three cars. Rafael Mendoza suggested that the project could potentially have nine cars with three households. Gaby Mendoza noted concern about the management of the housing and the number of people living in each unit. Jon Peterson, of Habitat for Humanity, clarified that the eventual residents on the site will be homeowners of their condo unit and will have their own mortgage. Mr. Peterson noted that based on federal regulations, they will have no more than seven occupants in each unit and would more likely be households of four to six members. He also noted that the homeowners will be self-managing and will operate a

Home Owner's Association, which Habitat for Humanity will assist with updates and improvements at the site. Rafael Mendoza asked if the project could be one story to address privacy concerns. Mr. Mendoza asked the Board could clarify the next steps for the project. Staff explained that the project, if recommended by the Board, would be presented to the Planning Commission. Ryan Mills, project architect, suggested that the neighbors visit the habitat for Humanity project in Santa Barbara on Canon Perdido. He noted this project was of similar scale and was constructed in 2010.

Boardmember Discussion:

Boardmember Ellinwood noted that the project was oriented to reduce privacy impacts to neighbors by the placement of the structures, separation created by the driveway aligning with the neighbor's driveway, he believed that that privacy concerns had been adequately addressed and meets the minimum requirements required of the Municipal Code. Boardmember Ellinwood appreciated the simple design of the homes and believed it was consistent with the neighborhood pattern but suggested that larger window be considered on the front elevation. He suggested that the applicant consider more contrasting colors between the body color and trim, suggesting a slightly darker color making the trim more visible.

Boardmember Reginato believed the architecture was generally pleasing. He suggested that the porch roof, on the east elevation, should be extended across the entire front of the home. He suggested that the mechanical door on unit two be moved or painted or that the "eye brow" roof above be extended to fully cover the door. Boardmember Reginato suggested that the gutter downspouts angled back to the building to be less visible. He asked if the applicant had considered permeable pavers. Boardmember Ellinwood agreed that permeable paving or permeable asphalt could be beneficial to the site.

Boardmember Gahan agreed with Boardmember Reginato regarding extension of the front eave across the front of the home. She believed the landscaping was nice but suggested that the front yard landscaping enclosing the front patio should be low and open. She appreciated the seat wall in the common back yard area.

Boardmember Johnson felt that landscaping along the fence and driveway would help breakup the walls and provide privacy to the neighbors. He agreed that the front eave should extend across the front of the home. He also agreed that permeable pavers would provide a benefit to the site.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to recommend preliminary approval of the project to the Planning Commission with the following comments:

- Extend the front porch eave across the front elevation;
- Align the gutter downspouts vertically with the face of the building;
- Modify the color palette to include more contrasting colors;
- Add vining plants to the driveway fence; and
- Explore use of permeable pavers, if feasible.

VOTE: 4-0 (Chappell absent)

Exhibit 3
Notice of Exemption

Habitat for Humanity
Sawyer Avenue Affordable Housing Project
PROJECT 15-1798-DP/TPM/CDP

Planning Commission Hearing
March 7, 2016

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara

105 E Anapamu Street, Rm. 407 ■

Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

(Address)

Project Title: Habitat for Humanity - Sawyer Avenue Affordable Condominiums

Project Applicant: DMHA Architects - Ed deVicente

Project Location - Specific:

4949 Sawyer Avenue, approximately 130 feet west of the Sawyer Avenue/ Linden Avenue intersection

Project Location - City: Carpinteria Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

Construct a three-unit residential condominium, in two two-story structures.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Habitat for Humanity - Jon Peterson

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: Class 1; § 15303 (b)
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

The project would construct a three-unit residential condominium, within two structures. The subject property is currently vacant within an urbanized area with all public services and facilities available. There are no environmentally sensitive habitats or species of concern on the property.

Lead Agency
Contact Person: Shanna R. farley-Judkins Area Code/Telephone/Extension: (805) 755-4405

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☐ Yes ☐ No

Signature: _____ Date: _____ Title: _____

☐ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

ACTION MINUTES

The meeting was called to order at 5:30 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Scott Ellinwood
Rachelle Gahan

Boardmembers absent: Dylan Chappell
Jim Reginato

OTHERS PRESENT: 14 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Brian Banks and Kent Mixon for Bob and Amanda George
Project Number: 15-1797-ARB
Planner: Shanna Farley-Judkins
Project Location: 1347 Camino Trillado
Zoning: Single Family Residential (7-R-1)

Hearing on the request of Brian Banks for Bob and Amanda George for the final review of a request to consider a remodel and first and second floor additions to an existing single family residence. The total square footage for the residence and attached two-car garage would increase from 1,712 square feet to 2,505 square feet. The maximum height of the residence would increase from 13 feet eight inches to 21 feet six inches. A paved walkway would be removed in front of the home and would be replaced by a new concrete pathway. A covered patio and landscaped area would be added to the front of the home. The property is a 0.43-acre parcel zoned Single Family Residential (7-R-1) and shown as APN 001-241-008 addressed as 1347 Camino Trillado.

Staff presented a brief summary of the projects final revisions and how the project addressed prior comments of the Board.

Kent Mixon and Brian Banks, representing the George family, explained the changes made to the project, including changes to the windows on the north elevation. Mr. Mixon explained that they chose not to include a trellis element on the garage as he believed it conflicted with the roof alignment. They explained that they now intended to use large potted plants flanking either side of the garage to soften the frontage. He noted that the materials were revised to add variation. The applicants explained the change in the height of the structure due to increased plate heights used to preserve existing interior work that exists in the home. He also noted the need to remove the home's chimney due to the addition of the new second floor and noted that the new fireplace would be direct vented.

Public Comment:
None

Boardmember Discussion:

The Board agreed that the project would be attractive and supported the project. Boardmember Ellinwood noted that the changes were in keeping with the Board's earlier guidance.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Gahan to recommend final approval of the project as submitted.

VOTE: 3-0 (Chappell, Reginato absent)

PROJECT REVIEW

- 2) Applicant: Bryan Pollard, architect for Jim and Donna Swinford
Project Number: 16-1806-CON
Planner: Nick Bobroff
Project Location: 710 Palm Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Bryan Pollard, architect for Jim and Donna Swinford to consider Project 16-1806-CON for conceptual review of a request to redevelop an existing two-unit residential property. Two options are to be considered: Option A would replace all existing structures with a new two-story 2,189 square foot primary single family residence and a detached two-story secondary structure comprised of a 787 square foot three-car garage and a 630 square foot one bedroom apartment above. Option B would replace the existing primary residence and detached garage with a new two-story 2,189 square foot single family residence and an attached three-car 594 square foot garage. Under Option B, the existing rear apartment unit would remain but would be connected to the new structures. The property is a 6,975 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-325-013 addressed as 710 Palm Avenue.

Staff presented the conceptual proposal, described the two options and identified the issue areas for the Board to discuss.

Jim Swinford, owner, introduced his wife and himself. He described his history with the property and their desire to create a residence that best fulfills their needs.

Bryan Pollard, architect, described the goals and intent of the project. He presented each design and noted that Option A best fit his clients' desires. He noted that either option added approximately 1,000 square feet of new development to the site (compared to the existing setting). He clarified that the balcony included (in both options) for the primary residence was small in size and meant to provide views toward the mountains. He felt it was best located on the side elevation rather than the front or rear elevations.

Public Comment:

Leslie Gascoigne pointed out that the residences on Olive Ave are zoned Single Family Residential. She felt that the properties fronting on Palm Avenue, which are zoned for multiple units, should take the reduced density of these neighboring parcels into consideration when considering new development. She described a nearby project that constructed a new two-story structure in the back

half of the lot (Franssen Condominiums) and the resultant impacts to her property's privacy and mountain views. She noted that the residence at 710 Palm Avenue is identified in the "Carpinteria Bungalows and Distinctive Houses" booklet and felt that either of the proposed options would unacceptably eliminate the bungalow character of the existing residence. In terms of size, bulk, mass, scale and character, she felt both options were incompatible with the neighborhood and inconsistent with the City's General Plan. She adamantly felt that Option A was "out of the question."

Louise Hansen agreed with Ms. Gascoigne's comments and reiterated that she believed both options were inconsistent with applicable Zoning Code regulations and General Plan policies.

Nancy Van Antwerp's property shares a rear property line with the subject property. She noted that she does not experience any privacy impacts from the existing units on the property and would thus be supportive of Option B which maintains the existing unit. She stated she was not in support of Option A due to the increased potential for privacy impacts resulting from the new second floor apartment unit. She asked that the design of the primary residence also take into account the potential for privacy impacts from any second floor windows and/or decks. She suggested it would be nice if the three car garage shown in Option B could be broken up, perhaps by leaving one or two spots uncovered. Overall, she felt Option B was consistent with the neighborhood and the City's General Plan.

Alphonse Franssen stated that he believed Option B was superior in that it resulted in fewer impacts to surrounding neighbors. He agreed that the garage portion of the structure would benefit from additional articulation and that the primary residence's balcony would be more appropriately oriented to face the street. Overall, he felt the project would make a nice addition to the neighborhood.

Kathy Dirado owns the property immediately next door (to the north). She stated her support for the project, noting that she hopes to eventually propose something similar for her property. She appreciated that the design maintained the bungalow style and character of the existing residence. She expressed concern over any new second floor decks facing her property, noting they could result in privacy impacts. She clarified that she preferred Option B (she had previously submitted a letter indicating she supported Option A).

George Johnson stated he was strongly opposed to Option A; he felt it would result in unacceptable privacy impacts and have a significant detrimental effect on the established bungalow character of the neighborhood. He feared that as more two story structures are introduced to the area, the historic single story bungalow character of the neighborhood would be lost. He noted, that of the two options, Option B was better, but that he still felt either option resulted in too much new square footage being added to the property. He suggested that he would prefer to see an all single story design, but that if the front unit were allowed to go two story, then the back unit should be required to meet the minimum rear setback requirements. He also pointed out that neither option left much room on the lot for usable yard areas or landscaping.

Boardmember Discussion:

Boardmember Ellinwood appreciated the effort to show the two conceptual options within the neighborhood context. He noted the strong opposition from neighbors to Option "A" and agreed they voiced important concerns, particularly with respect to privacy impacts. He also pointed out he was not in support of the balcony on the side elevation of the primary residence as shown in both options. He felt it resulted in unnecessarily impacted privacy and would be better oriented to face the street.

He suggested it could be tucked into the front elevation roof in a less conspicuous manner than what had been presented. He challenged the architect to create a more elegant and expressive design for the primary residence; clarifying it can still mimic the character, style and scale of the existing residence, but does not need to match the appearance of the existing house so closely. He also suggested that the garage structure between the two units would benefit from additional animation (such as articulating the facades, incorporating different roof planes or plate heights, introducing cross gable or dormer elements, etc).

Boardmember Gahan appreciated that the new primary residence so closely maintained the look and feel of the existing residence. She felt Option “B” best fit the community and noted she was comfortable with the massing and layout. She agreed with Boardmember Ellinwood that the garage would benefit from either further articulation or being broken up with one (or more) uncovered spaces in place of a garage bay.

Boardmember Johnson agreed with Boardmember Ellinwood that the front elevation would benefit from further animation. He also agreed that the garage are needed work and suggested perhaps part of the garage could utilize a flat roof or trellis to help break up the massing. Similarly, he suggested all or part of the garage be stepped in to break up the linear side elevation plane. He agreed the side deck on the primary residence should be eliminated (or relocated to the front) and that the area along the driveway be made more attractive with landscaping, etc. To minimize potential privacy impacts he recommended avoiding second floor windows on the rear elevation of the new primary residence.

ACTION: Receive public comment and provide conceptual feedback to the applicant.

VOTE: N/A

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held January 14, 2016.

ACTION: Motion by Boardmember , seconded by Boardmember , to approve the minutes as presented.

VOTE:

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

ADJOURNMENT

Chair Johnson adjourned the meeting at p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, March 17, 2016.

All Boardmembers present indicated they would be in attendance.

Secretary, Architectural Review Board

ATTEST:

Chair, Architectural Review Board

DRAFT



MARCH 2016



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
		1 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm	2 8am Parks/Rec Staff Mtg–Green Cf Rm 8:30am–12:30pm UST Technical Advisory Group Mtg – CC 2pm Mtg w/Faith Lutheran – Blue Rm 5:30pm Special Plan Commission – CC TV	3 8am Downtown BAB–Green Cf Rm 8:45am Carp 1st Comm–Green Cf Rm 10:15am Gen Govt./Admin Mtg–Blue Rm 12:15 Lunch & Learn – CC 2pm All CDD Staff Mtg – Green Conf Rm	4 5:30pm 1 st Friday Events Down– town	
6	7 9am Large Projects Coordination Mtg – Blue Rm 5:30pm Planning Commission–CC TV	8 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm 2:30pm Planning Staff Mtg – Green Cf Rm 4:30pm School Board Closed Session – CC & Green Conf Rm 5:30pm School District Board – CC TV	9 8am Parks/Rec Staff Mtg–Green Cf Rm 5:30pm Water District Board Mtg – CC TV	10 2:30pm Code Compliance Mtg– Blue Rm 5pm CERT Mtg – CC	11 	12 9am Carpinteria Beautiful – CC 10am – 2pm ABOP – PW Yard
13 Daylight Savings Time Begins	14 3pm Council Closed Session – CC & Blue Rm 5:30pm City Council Mtg – CC TV	15 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm 2:30pm Planning Staff Mtg – Green Cf Rm 5:30pm Fire District Board Mtg – CC TV	16 8am Parks/Rec Staff Mtg–Green Cf Rm 11:30am Set-up for Lunch & Learn – CC 12:15pm Lunch & Learn – CC 2pm Region Coordination Committee – Green Conf Rm 2:30pm C3H Homelessness Mtg – CC 4:30pm Teen Court – CC & Green Rm	17 8:30pm Carp First Committee Mtg – Green Conf Rm 10:30am IDAG Mtg – Blue Rm <i>St. Patrick's Day</i> 2:30pm Code Compliance Mtg– Blue Rm 5:30pm ARB Mtg – CC	18 9am – 12pm BEACON Mtg – CC	19
20 <i>Palm Sunday</i>	21 8am–5pm PRA Training – CC 9am Large Projects Coordination Mtg – Blue Rm 5:30pm Special Plann Comm–CC TV	22 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm 2:30pm Planning Staff Mtg – Green Cf Rm 4:30pm School Board Closed Session – CC & Green Conf Rm 5:30pm School District Board – CC TV	23 8am Parks/Rec Staff Mtg – CC 5:30pm Water District Board Mtg – CC TV	24 8:30am Caltrans Mtg – Green Cf Rm 11am Homeless Population Mtg – BI Rm 2:30pm Code Compliance Mtg– Blue Rm	25 <i>Good Friday</i>	26 10am – 2pm ABOP – PW Yard
27 <i>Easter</i>	28 3pm Council Closed Session – CC & Blue Rm 5:30pm City Council Mtg – CC TV	29 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm 2:30pm Planning Staff Mtg – Green Cf Rm	30 8am Parks/Rec Staff Mtg – CC <i>Happy Birthday Melissa!</i> <i>Happy Birthday Jon!</i>	31 2:30pm Code Compliance Mtg– Blue Rm		

Building Permit Report - Feb

02/01/2016 - 02/29/2016

Issued Date	Permit #	Parcel #	Site Address	Owner Name	Valuation	Project Description
2/29/2016	11662	004-009-015	4526 El Carro Lane	ALAYA, RITA	8,164	Tear off existing roof. Install lifetime composition on flat roof and torch down modified by tumen.
2/22/2016	11658	001-470-006	6380 Lagunitas	RESCAL LAGUNITAS 73, LLC	3,500	Add AC Condensor only
2/22/2016	11657	003-291-037	840 Concha Loma	PETERSON, CLARENCE L TRUSTEE (for) PETERSON,	10,000	Tear off existing existing composition install lifetime composition 24 squares
2/19/2016	11655	003-381-012	5573 Canalino Drive	PANIZZON LOUIS J/SUSANNE C TRUSTEES (for) PANIZZON	2,500	Remove (E) electrical service. Install (N) overhead 200 amp electrical service in new location.
2/19/2016	11654	004-027-012	1309 Linden Ave	KUNKEL, ERIC B	500	Replace wall heater in same location
2/17/2016	11653	001-252-010	1241 La Brea Lane	FERAMISCO, GARY	10,000	New ceiling in living room
2/17/2016	11652	004-031-017 (4191)	4191 #12 Carpinteria	Carpinteria Business Park co: SIMA	5,000	Demolish non bearing walls, (no structural) and associated plumbing fixtures and electrical. Demo areas of slab for future installation floor drains.
2/16/2016	11651	003-171-019	5285 Ogan Road	ABBOTT JUANITA J TRUSTEE (for) ABBOTT FAM TR	500	Fill in old septic tank left unfilled when home was tied into sewer 50 years ago with 2 yards of sand.
2/12/2016	11650	004-013-013	1299 Santa Monica	CASTRO FAMILY LIVING TRUST 4/4/03	1,500	Underground electric service from house to pole. Approximately 25 feet.
2/12/2016	11649	003-382-003	5517 Calle Arena	DAMEN MICHAEL BENJAMIN/PATRICIA STONE	0	Demolish Cottage destroyed by fallen tree
2/11/2016	11647	003-600-012	4646 Aragon Drive	NOYES, JEANNETTA DARLENE	11,000	Tear off existing shingle and install new 30 year comp shingle roof on the existing SFR, detached converted garage, partio and carport..
2/10/2016	11646	004-006-011	5051 Foothill road	MARY LOUISE SANCHEZ TRUST 5/31/01	2,500	Re-roof
2/8/2016	11645	003-552-041	1342 June Avenue	RODRIGUEZ, GENARO CORNEJO	9,887	Tear off existing composition install certained landmark lifetime composition. 24 Squares
2/5/2016	11643	003-103-012	1245 Cramer Circle	Gerardo Rivera	250	Remove existing kitchen cabinets and plumbing from secondary kitchen. Patch drywall and paint.
2/4/2016	11642	003-171-019	5285 Ogan Road	ABBOTT JUANITA J TRUSTEE (for) ABBOTT FAM TR	3,200	Replacing gas line from meter to the house. Underground approximatly 80 feet of gas line.
2/9/2016	11640	003-263-014	850 Linden Avenue	BVE LLC	4,900	Install two sets of illuminated channel letters/logo. One at 25" OAH x 21' OAW. One at 34 1/4" OAH x 27" 1/4 OAW.
2/3/2016	11639	004-005-007	1532 Linden Avenue	ARCHDIOCESE LA ED/WELF CORP	18,500	Removed 1 layer of comp shingle. Re-roof with class A shingles & 30 pound felt.
2/1/2016	11637	003-360-001	5141 Sixth Street	Vernon, Thom	10,000	Re-tile bathroom, new tub & vanity, kitchen counter, sink, re-finish floor, drywall, new electrical throughout and panel.
2/17/2016	11636	004-031-017 (4191)	4191 - 8 Carpinteria	Carpinteria Business Park co: SIMA	40,000	Expansion of brewery with additional unit "9" to the east. Expansion will include additional floor drains, electrical & gas lines, walkin coolor and brewhouse.
2/1/2016	11635	003810012	5446 Eighth Street	CREEKWIND OWNERS ASSOCIATION	8,000	Replacing existing balcony 'like for like' and bringing rail up to code

2/12/2016	11622	003-263-014	850 Linden Avenue	850 LINDEN, LLC	20,000	Convert existing Haggan market to Smart & Final Extra. Remove existing pharmacy and replace with casework.
2/1/2016	11541	004-005-007	1532 Linden Avenue	ARCHDIOCESE LA ED/WELF CORP	25,000	Addition of 140 Sq. Ft. Meeting Hall Addition

Total Records: 22

3/2/2016