

CITY OF CARPINTERIA PLANNING COMMISSION AGENDA

**David Allen
Jane L. Benefield
John Callender, Vice-Chair
Glenn La Fevers
John Moyer, Chair**



**City Council Chamber
5775 Carpinteria Avenue
Carpinteria, CA 93013
Time: 5:30 p.m.
Agenda Posted: 1/28/16**

FEBRUARY 1, 2016

THE PLANNING COMMISSION RESERVES THE RIGHT TO CHANGE THE ORDER IN WHICH ITEMS ARE HEARD. APPLICANTS NOT IN ATTENDANCE WHEN THEIR ITEM IS CALLED MAY HAVE THEIR ITEM CONTINUED TO THE NEXT REGULAR MEETING.

Any information presented to the Planning Commission by the public on any agenda item and during Public Comment using electronic media to be displayed on the overhead projector must be arranged with staff for review of materials in advance of the meeting and no later than Friday prior to the Planning Commission meeting.

Any written, printed or electronic material and/or exhibit presented at this meeting becomes the property of the City, and a copy must be provided to City staff.

This meeting will be broadcast live on Government Access Television Channel 21 and rebroadcast on Wednesday after the meeting at 8:00 p.m. and on Saturday at 5:00 p.m.

- 1. CALL TO ORDER and ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS**
- 4. PUBLIC COMMENT**

This time on the agenda provides an opportunity for the public to address the Planning Commission on items within the jurisdiction of the Commission and not listed on other sections of the agenda. Please limit comments to no more than five minutes. Depending on the number of speakers wishing to make comments, the Chair may further limit the time available to each speaker to control the amount of time spent on this part of the agenda. If you wish to speak on a **CONSENT CALENDAR** item, please do so during this part of the meeting.

Please be advised that California law does not allow the Planning Commission to discuss or take action on any issue presented by the public during this portion of the meeting. The Commission may ask a question for clarification, provide a brief response to public comment, refer the matter to staff for review and a later report or direct staff to place an item on a future agenda.

The City is not responsible for the content of statements made during the public comment period or the factual accuracy of any such statements.

5. CONSENT CALENDAR

Items on the Consent Calendar are considered to be routine and are normally enacted by one unanimous vote of the Commission. Individual items may be removed and considered separately at the request of a Commissioner. Any item removed from the Consent Calendar will be added to another section of the agenda.

a. Minutes of the regular Planning Commission meeting held January 4, 2016.

6. NEW PUBLIC HEARING

**a. Sinclair Remodel/Addition
Project 15-1800-CUP/CDP**

Planner: Nick Bobroff

Hearing on the request of Everett Woody to consider Project 15-1800-CUP/CDP (application filed November 30, 2015) for a Conditional Use Permit and a Coastal Development Permit to allow a remodel and 47 square foot addition to an existing legal nonconforming residence under the provisions of the Planned Residential Development (PRD-20) Zone District; and to approve an Exemption pursuant to §15301 and 15303 of the California Environmental Quality Act (CEQA) Guidelines. As part of the project, the applicant proposes to return the existing detached accessory structure to a one car garage, and provide one additional uncovered parking space located partially within the required street-side setback. The application involves APN 003-322-007, addressed as 607 Walnut Avenue.

1. Disclosure of Ex Parte Communications
2. Staff Presentation
3. Public Hearing
4. Planning Commission Action

7. OTHER BUSINESS

8. MATTERS PRESENTED BY COMMISSIONERS

9. DIRECTOR'S REPORT

- a. Distributed Information
 - i. Draft Action Minutes of the Architectural Review Board meeting of January 14, 2016
 - ii. City calendar for the month of February 2016
 - iii. Community Development Project Status Report as of January 28, 2016
 - iv. Construction Permit Report as of January 28, 2016

10. ADJOURNMENT

Notes

All actions of the Planning Commission may be appealed to the City Council. Appeals must be filed with the City Clerk within 10 calendar days of the Commission's action. Appeal deadline for items on this agenda: 5:00 p.m., February 11, 2016. The next regular Planning Commission meeting will be held on Monday, March 7, 2016 at 5:30 p.m. in the Council Chamber.

If you challenge any of the Planning Commission's decisions related to the agenda items above in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence to the Planning Commission prior to the public hearing.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact the Community Development Department by email at lorenae@ci.carpinteria.ca.us or by phone at (805) 755-4410 or the California Relay Service at (866) 735-2929. Notification two business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

MINUTES, PLANNING COMMISSION
CITY OF CARPINTERIA
CARPINTERIA, CALIFORNIA

January 4, 2016
Regular Meeting
Council Chamber
5:30 P.M.

CALL TO ORDER and ROLL CALL Chair Moyer called the meeting to order at 5:33 p.m. Commissioners Present: Jane L. Benefield John Callender, Vice-Chair Glenn La Fevers John Moyer, Chair Commissioners Absent: David Allen Others Present: Steve Goggia, Acting Community Development Director Shanna R. Farley-Judkins, Assistant Planner Jenna Shoaf, City Attorney's Office Dylan Johnson, City Attorney's Office Approximately 25 interested persons	CALL TO ORDER & ROLL CALL
PLEDGE OF ALLEGIANCE - Chair Moyer called for the flag salute.	PLEDGE OF ALLEGIANCE
INTRODUCTIONS, PRESENTATIONS, ANNOUNCEMENTS - None	ANNOUNCEMENTS
PUBLIC COMMENT - None	PUBLIC COMMENT
CONSENT CALENDAR a. Minutes of the regular Planning Commission meeting held December 7, 2015. MOTION Upon a motion by Commissioner Benefield, seconded by Commissioner Callender, the Planning Commission voted 3-0 (Benefield, Callender and Moyer in favor; La Fevers abstained) to approve the minutes of the regular Planning Commission meeting held December 7, 2015.	CONSENT CALENDAR
CONTINUED PUBLIC HEARING a. Short-term Rentals Ordinance Planner: Shanna R. Farley-Judkins Project 15-1785-LCPA/ORD	CONTINUED PUBLIC HEARING

Hearing on the request of the City of Carpinteria to consider Case No. 15-1785-LCPA/ORD, proposing to amend the City's Local Coastal Program to reflect changes to the City Municipal Code, Zoning Code and Zoning Map to include regulations regarding Short-term Rentals (Home Stays, Vacation Rentals and Home Exchanges). Changes to the Municipal Code include adoption of Chapter 14.52 titled, "Short-term Vacation Rentals," adoption of Chapter 14.53 titled, "Short-term Home Stay Rentals," adoption of Chapter 14.45 titled, "Short-term Rental Overlay District," addition of new definitions to Chapter 14.08, and addition of new use types to Chapter 14.12 R-1 Single-Family Residential District, 14.14 PRD Planned Residential Development District, 14.16 PUD Planned Unit Development and 14.18 MHP Mobile Home Park Planned Development District; and to approve an Exemption pursuant to §15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines. The project would impact a number of parcels throughout the City located in residential zone districts.

Assistant Planner Shanna Farley-Judkins presented the staff report. She reviewed the Ordinance's background, provisions, alternatives that could be considered, environmental information, and an analysis of General Plan/Coastal Plan policies. She said staff was recommending approval of the modification and development of an Overlay District, and adoption of Home Stays regulations, as presented in the staff report. Mrs. Farley-Judkins provided additional details in response to commissioners' questions.

PUBLIC HEARING OPENED

Chair Moyer opened the public hearing at 6:35 p.m.

Mike Wondolowski, President of Carpinteria Valley Association (CVA), said a high density of short-term rentals replacing single-family homes in a residential area and a conversion of residential to hospitality results in an overall loss of units. Regarding the term "economic sector" in reference to retail businesses in the commercial district, he explained how the economy is more complex than that and cited the example of less tax revenue being generated due to reduced residential property values from short-term rentals in R-1 neighborhoods. He said the economic sector is much larger than the retail business sector and recommended staff use appropriate terminology.

Mr. Wondolowski said the goal should not be, "How do we accommodate what is there now?" but "How do we do what's right for the community?" He said the cap numbers are not based on sound planning principles but who applied for licenses. He also pointed out that the loss of residential housing impacts neighborhoods differently, with a loss at the beach not as big an impact as a loss in other neighborhoods.

With respect to the Coastal Act's Section 30222 supporting short-term vacation rentals, he stated that short-term rentals are *not* visitor serving commercial recreational facilities and, if they are, don't belong in residential areas whatsoever. He said staff's statement that short-term rentals are enough like residential uses that they are okay is fundamentally inconsistent and asked for clarification of Section 30222.

Gail Marshall expressed concerns about allowing additional vacation rentals in some of the subareas, noting that Subarea 1 seems a likely place for an overlay but 2, 3 and 4 are much more problematic, such as the residential area adjacent to Palm Avenue. She does not favor the gentrification of Carpinteria at the cost of affordable housing for existing residents. The 17 units being lost could as easily be affordable as unaffordable and, regarding RHNA numbers, every unit given up is one we will have to find eventually. Although she does not wish to prohibit vacation rentals, we do not need to increase them, she said.

Vera Bensen expressed support for the ordinance and said it is especially important to protect the residential areas and their owners. She said our whole town can turn into a rental unit if the ordinance does not pass, and we need to preserve our small rural beach town.

Jim Reginato agreed with the first two speakers (Wondolowski and Marshall) and said with the vacancy rate at 0.291%, he does not see how the number of vacation rentals can be increased, and it should be lowered. His wife was contacted four times in the last month by in-town workers looking for long-term rentals, and the people cannot find housing. He said long-term rentals are more in the spirit of keeping Carpinteria a small beach town than having vacation rentals, and people buy homes with the expectation of not having a commercial enterprise next door.

Denver Compton agreed with the first two speakers (Wondolowski and Marshall) and expressed concern about the proposal to increase vacation rentals, noting that our town is very small, with a very limited stock of housing. He also expressed concern that a 30-day or less rental that was illegal is now going to be a 31-day for \$6,000/month rental, with a nightly rate in case someone checks out early. He asked that we take our time and look carefully, noting it is easy to sidestep regulations.

PUBLIC HEARING CLOSED

Chair Moyer closed the public hearing at 6:49 p.m.

Commissioner Callender said it is his preference that a new usage that

comes along with the Internet be something where we accept that it could have benefits for some people. He said he is in favor of extending the amortization period for legal, non-conforming users, and he would be fine having it into perpetuity as long as conditions are met (he does not necessarily feel strongly about it). Regarding the fees, he would avoid imposing a new burden by adding a high fee on property owners who are taking advantage of this opportunity, and renewal fees should be lower than initial ones. He feels we should stay out of the way of property owners and only impose the necessary amount of friction and drag on this economic activity.

Commissioner Benefield said we are leaning so far into the tourism business that it has created an imbalance and our purpose is to provide that balance. At this time Subareas 1 and 2 are the only areas that should be allowed to have vacation rentals, with the remaining areas amortized out for certainly longer than 2 years but not into perpetuity. There are enough vacation rentals, and with 607 hotels rooms and 210 campsites (8 people per site), we do not have a dearth of places. We must be cognizant primarily of our neighborhoods and residents and not the profit motive. She described the regulations in the staff report as excellent and said fines should be increased and application fees included. Regarding operating standards, they need to be posted and maintained so renters and neighbors can see them. With respect to the home stays, they are a great idea to promote our community and she likes few restrictions on them. She would increase the beach Subarea 1 from 190 to 200 and increase the Downtown Subarea 2 to 30, for a maximum total of 230 for the city.

Commissioner La Fevers explained that he was unable to participate at this time due to his absence at the previous meeting and was present in the event that the item comes up again in the future.

Chair Moyer expressed support for the staff report and its recommendations. In response to a comment made during the public hearing about pushing vacation rentals into the beach area, he pointed out that Subarea 1 has a pretty comfortable ratio of affordable rentals, and he would not want to push more vacation rentals there but prefer to spread them out. He would have left the number of units there the same but understands the necessity for wiggle room. Regarding signage, he is not a fan of it because it commercializes a residential area, and it does not remedy illegal activities in the R-1 zones. The more you restrict, the more illegal activity will go on, and a middle ground has to be met. He spoke about how it is expensive to maintain property and vacation rentals have enhanced units around Carpinteria. He expressed support for recommending the ordinance to the City Council.

Commissioner Benefield made it clear that she would not vote for the ordinance if Subareas 3 and 4 were included; however, she did not want the ordinance held up and wanted it to go to the City Council.

MOTION

Upon a motion by Commission Callender, seconded by Chair Moyer, the Planning Commission voted 2-1 (Callender and Moyer in favor; Benefield opposed, La Fevers abstained) to recommend the City Council adopt Ordinance 708 in its current form without modifications.

Interim Community Development Director Steve Goggia clarified that the ordinance would be forwarded to the City Council with Commissioner Benefield's reasons for opposing as stated.

RECESS

Chair Moyer called for a break at 7:30 p.m. The meeting reconvened at 7:40 p.m.

NEW PUBLIC HEARING

- a. The Gas Company Data Collection Unit**
Planner: Shanna R. Farley-Judkins
Project No. 15-1792-CUP/CDP

Project 15-1792-CUP/CDP Hearing on the request of Veronica Fistes of The Gas Company to consider Project 15-1792-CUP/CDP (application filed September 17, 2015) for a Conditional Use Permit and Coastal Development Permit to allow the installation of one Data Collection Unit on an existing Southern California Edison streetlight pole subject to the provisions of the Conditional Use Permit standards in Municipal Code §14.62 and to approve the Exemption pursuant to §15303 of the California Environmental Quality Act (CEQA) Guidelines. The data collection unit includes a small battery and communications box, two small antennas and a solar cell. The application involves a right-of-way site near APN 004-031-017 (4187 Carpinteria Avenue).

DISCLOSURE OF EX-PARTE COMMUNICATIONS

Commissioner La Fevers excused himself from the hearing because he is employed by Southern California Gas Company.

Assistant Planner Shanna Farley-Judkins presented the staff report, providing a project description, background and environmental information,

and an analyses of Zoning Code requirements and the General Plan/Coastal Plan. She said staff was recommending approval of the project.

PUBLIC HEARING OPENED AND CLOSED

Chair Moyer opened and closed the public hearing at 7:45 p.m., at which time no members of the public came forward.

MOTION

Upon a motion by Commissioner Benefield, seconded by Chair Moyer, the Planning Commission voted 3-0 (Benefield, Callender and La Fevers in favor; none opposed) to approve the CUP to allow the installation of the data collection antenna unit on the street pole on the Carpinteria Avenue right-of-way site near APN 004-031-017.

b. Medical Marijuana Regulations Ordinance Text Amendment
Planner: Dylan Johnson, Legal Counsel
Project No. 15-1801-ORD

Hearing to consider an Ordinance amending Title 14, Zoning, of the Carpinteria Municipal Code by amending Chapter 14.08, Definitions, and Chapter 14.59, Medical Marijuana Dispensary Regulations, with regards to cultivation, processing delivery, and dispensing of Medical Marijuana, and to approve an Exemption pursuant to §15060(c)(2), §15060(c)(3) and §15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines.

City Attorney Dylan Johnson presented the staff report.

PUBLIC HEARING OPENED & CLOSED

Chair Moyer opened and closed the public hearing at 7:35 p.m. No members of the public came forward during that time.

Commissioner Callender raised several concerns. He disagreed with staff's interpretation that the proposed ordinance did not constitute a change to the original ordinance. He said it imposes an additional burden on users of marijuana to say that they cannot purchase it from an authorized dispensary located outside city limits and have it delivered by anyone other than their approved primary caregiver or themselves. He said in staff's opinion, it would be easy to obtain, and he disagrees with that.

He said he had a problem that legal counsel and police opinion were

represented in a staff report from the original ordinance, but it contained no input from public health authorities, medical providers and patients' rights advocates. He noted they were also not represented in the report for the proposed amendment, and he asked to see them represented. Among other things, he commented that it was primarily a health issue and that saying that it would be easy to obtain medical marijuana is a difficult call to make without representation from public health authorities, medical providers and patients' rights advocates. It would not be easy for a caregiver to leave an immobile person.

He stated that he could see how an argument could be made that a dispensary could be deemed inconsistent with zoning, but he has a hard time seeing how a delivery from a location outside the city violates a zoning concern or ties in with any aspect of our zoning authority. He has a hard time seeing how he can vote in favor of the ordinance, he said.

Commissioner La Fevers said he had a slightly different perspective, explaining that our community has a strong interest in maintaining local control over this issue and this effort is a reaction to new state laws. Changes are being made to ensure we do not give up control over our program, and once the ordinance is in place it will be open to modifications in the future should unexpected consequences result. He said he would be inclined to support the modification as proposed.

Chair Moyer agreed with La Fevers. He said it is about local control, and if we do not do something the state can potentially take control. Somebody could apply to the state for a permit and the City would not have any control over it. He expressed dissatisfaction with the staff report and said it made judgment calls without any factual evidence about the backside of the dispensary program or the people who use medical marijuana, but he expressed support for the modification as proposed.

Commissioner Benefield agreed with Callender's comments. She said the ordinance takes control of cultivation and dispensaries, which are land use issues, but she is really bothered by the delivery part because it effectively takes away the ability to get marijuana if you need it. She noted it is vehicle trip issue, not a land use issue. She said she would not vote for the ordinance unless the delivery part is removed.

Acting Community Development Director Steve Goggia stated that Commissioner Callender's reading of medical marijuana dispensary is different than how he reads it. He explained that cultivation and delivery are hidden within the term medical marijuana dispensary, with deliveries considered mobile dispensaries. Somebody with a carload of marijuana

driving around and dropping it off from person to person would be prohibited, but a qualified caregiver could pick it up. He said he was not sure they were seeing eye to eye on how current code addresses deliveries.

Commissioner Callender read through the amended definition of medical marijuana dispensary and said his interpretation is that delivery was not prohibited in the original ordinance. He added that he has a hard time believing delivery to a patient by a person outside the city would be considered a mobile dispensary.

City Attorney Dylan Johnson acknowledged that it is confusing because the actual chapter and definitions are being amended. He explained that there could be different ways of interpreting the definition, and Callender's reading is as legitimate as the other.

Commissioner Callender said this represents a change to the ordinance and imposes an additional burden on a medical marijuana patient within the city of Carpinteria, a burden he sees as potentially significant. To approve it as part of a planning authority, he would need to see some kind of harm caused by allowing it (he noted there is a harm to the patients). He said this is a new element of the ordinance and he is at a loss to see justification for it.

City Attorney Dylan Johnson stated there is a concern with enforcement of delivery regulations, and it is easier to ensure a brick and mortar dispensary is complying with verifying i.d.'s of qualified patients and qualified caregivers than a with a host of delivery people within the city. In addition, there is an idea that possibly having vehicles transporting large amounts of medical marijuana could present some kind of target for someone looking to acquire it illegally.

Commissioner Benefield said she did not think those were good reasons, and the ordinance is changed drastically by adding the delivery portion. It is de facto keeping these people from getting medical marijuana, and it is her understanding is that delivery places are the only way you can get the medical marijuana now. The delivery section would have to be removed for the ordinance to gain her approval, she said.

Commissioner La Fevers asked how critical the delivery part of the ordinance was, and whether we would be at risk of no longer having a clear prohibition and subject to state regulations.

City Attorney Dylan Johnson explained that it is a hard question to answer. He suggested an option could be to leave the deliveries piece portion out of

the ordinance now and address it for later if the City Council or Planning Commission so chooses. La Fevers expressed support for Mr. Johnson's option and suggested to fellow commissioners that they move forward in order to gain control. Chair Moyer said he had no problem with the issue of local control but expressed his dissatisfaction with how the ordinance was written. He described it, among other things, as erroneous and lending itself to assuming criminality. He thanked Commissioner Callender for steering them in the right direction. Commissioner Callender said to vote in favor of even an amended version would constitute a vote essentially in favor of the existing ordinance, and he expressed deep concern about the existing ordinance. He spoke about how Carpinteria's fear of the unknown and change got in the way of a more compassionate position towards people who really need help. He said he was not willing to vote in favor, even without the delivery part. MOTION Commissioner Benefield motioned to recommend that the City Council adopt Ordinance Non 707 to amend Chapters 14.08 and 14.59 of Title 14 (Zoning) of the Carpinteria Municipal Code, with the removal of provisions/restrictions on delivery. City Attorney Dylan Johnson asked if the motion would involve removing 14.59.030(c) and Benefield said yes. Commissioner La Fevers seconded the motion and for purposes of discussion asked that a very clear representation of the discussion, not just relying on minutes, be presented as part of the staff report to the City Council. The Planning Commission approved the motion with a 3-1 vote (Benefield, La Fevers and Moyer in favor; Callender opposed).	
OTHER BUSINESS - None	OTHER BUSINESS
MATTERS PRESENTED BY COMMISSIONERS - None	MATTERS PRESENTED
DIRECTOR'S REPORT a. Distributed Information i. City calendar for the month of January 2016 ii. Community Development Project Status Report as of December 30, 2015 iii. Construction Permit Report as of December 30, 2015	DIRECTOR'S REPORT

Acting Community Development Director Steve Goggia reviewed the distributed information. He announced the Planning Commissioners Academy sponsored by the League of California Cities will take place March 2-4th in San Ramon, CA and those interested in attending to notify him. Commissioner Benefield said the City Council's Strategic Work Plan meeting is scheduled for January 23rd. She said the meetings are very helpful and encouraged all to attend.	
ADJOURNMENT - Chair Moyer adjourned the meeting at 8:20 p.m. ATTEST: _____ Secretary, Planning Commission _____ Chair, Planning Commission	ADJOURNMENT

DRAFT

PLANNING COMMISSION STAFF REPORT

MEETING DATE: February 1, 2016

ITEM FOR CONSIDERATION

Case 15-1800-CUP/CDP

Review of a request for a Conditional Use Permit and Coastal Development Permit to remodel an existing single family dwelling and rebuild/expand (by 40 square feet) an existing 122 square foot addition off the rear of the residence. As part of the project, the applicant proposes to return an existing detached accessory structure to a one car garage and provide one additional onsite uncovered parking space located partially within the required street-side setback.

Report prepared by: Nick Bobroff, Associate Planner
Community Development Department

 SIGNATURE

Reviewed by: Steve Goggia, Acting Director
Community Development Department

 SIGNATURE

Applicant: Mechelle Sinclair

Project Location: 607 Walnut Avenue

APN: 003-322-007

Zoning: Planned Residential Development (PRD-20)

General Plan Designation: Medium Density Residential (MDR)



I. RECOMMENDATION

Adopt the attached Resolution, thereby approving Project 15-1800-CUP/CDP to allow for the remodel of the existing single family residence, the rebuild/expansion (by 40 square feet) of an existing addition at the rear of the residence, the conversion of the existing detached accessory building to a one car garage, and the provision of one additional onsite uncovered parking space.

II. PROPOSED PROJECT DESCRIPTION

The proposed project entails remodeling an existing single family residence and rebuilding/expanding (by 40 square feet) an existing 122 square foot addition attached to the rear of the residence to accommodate an expanded master bedroom suite. As part of the remodel, a pair of dormers would be added to the existing second floor roof and the interior second floor plan would be reconfigured to make better use of the space within the roof structure. An existing 90 square foot, raised rear deck would also be replaced with a new approximately 255 square foot rear deck of the same height. The resulting remodel/addition would increase the square footage of the residence from 1,941 square feet to 1,981 square feet; the maximum height of the residence would remain at 25 feet.

The project also includes returning the existing detached accessory exercise/play room building to its original use as a single car garage. The applicants also seek to create one additional uncovered onsite parking space, located adjacent to the garage and partially within the required street-side setback.

Conditional Use Permit: The existing residence is considered legal non-conforming in terms of the front building setback requirement and onsite parking. The proposed new dormers would structurally alter a portion of the residence's roof located within the front setback. The applicants also seek permission to create a new uncovered onsite parking space adjacent to the detached garage and located partially within the required street-side setback. A Conditional Use Permit is required to allow these nonconforming elements of the project pursuant to Carpinteria Municipal Code (CMC) Chapter §14.82.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans are attached as Exhibit 1, Attachment B.

III. BACKGROUND

Site Characteristics

The subject property is located at the northwest corner of the Walnut Avenue and Sixth Street intersection in the City's downtown neighborhood. The 4,893 square foot parcel is presently improved with a two-story single family dwelling of 1,941 square feet and a detached 206 square foot accessory structure. The residence is oriented toward Walnut Avenue; the detached accessory structure and (former) driveway access are taken from Sixth Street. Currently no onsite parking is provided.

The 607 Walnut Avenue residence is considered legal nonconforming with respect to the front setback and onsite parking requirements. Whereas current zoning regulations require a minimum 20-foot setback from the front property line (i.e., Walnut Avenue), the existing residence enjoys an 11-foot setback from the front property line. With respect to parking, a single family residence is required to provide two parking spaces housed within a garage, however as stated earlier, there is currently no onsite parking provided.

The Downtown/Old Town Neighborhood includes a variety of residential, commercial and institutional/civic uses. The buildings that make up the Neighborhood comprise a variety of styles and eras, although many of the residences date back to the 1940s or earlier. The subject property is bordered by single family residences to the north and west, a veterinary clinic across Sixth Street to the south, and the Carpinteria Children's Project campus to the east. Both Walnut Avenue and Sixth Street feature relatively wide right-of-ways (80 feet and 70 feet, respectively) with narrow paved streets. The unpaved edges of the right-of-way along both frontages serves as additional landscape area for the subject residences and creates the perception that the residences are set farther back from the public realm than they actually are. Both frontages are improved with curbs and gutters, however neither frontage features public sidewalks.

The site is zoned Planned Residential Development (PRD-20) and has a General Plan land use designation of Medium Density Residential (MDR). The project is not subject to any Overlay districts.

Historical Significance

The original residence dates back to approximately the 1890s and is of the Queen Anne Victorian style. Two additions, one located at the rear of the residence and the other along the interior side yard, were added to the home sometime during the 1920s. The detached accessory structure (originally a garage) also appears to have been constructed around this time. In light of the age and perceived historic character of the home, staff asked the applicants to have a Historic Resources report prepared for the residence to determine whether the home is historically significant for CEQA purposes.

According to the report prepared by Post/Hazeltine Associates, the residence was found to have sufficient historical integrity to meet or exceed the minimum eligibility criteria for listing at the Santa Barbara County Landmark level, as well as listing in the California Register of Historical Resources and National Register of Historic Places. Because the structure was found to meet the eligibility criteria for one or more of the landmark listings, it is considered a significant cultural resource under the California Environmental Quality Act. A copy of the Phase I/II Historic Resources Report is attached as Exhibit 4. See Section IV. Environmental, below for additional discussion concerning the cultural resources significance determination.

Project History

In 1992, Building Permit no. 4859 was issued to the previous owner of 607 Walnut Avenue to allow what had been a detached one car garage to be converted to an "exercise/play room" with a full bathroom (a copy of the Building Permit is attached as Exhibit 5). A review of City records suggests the conversion was processed at the staff level, as no planning case files are on record for the subject address. Further research into the matter also indicates the conversion was granted in error, as there was no requirement for the provision of replacement onsite parking included with the permit. As such, the garage conversion eliminated the property's only off-street parking space.

In the interest of remedying this situation, staff informed the applicants' representative that staff was considering making a recommendation to the Commission that the detached accessory structure be

returned to a garage as a condition of approval to the CUP/CDP. Staff explained that pursuant to the City's zoning requirements (including those in effect in 1992), each single family residence is to have two parking spaces provided in a garage. While retuning the accessory structure to a garage would only provide one parking space, this would still be an improvement over the existing improperly permitted condition and would return the residence to its original legal nonconforming status with respect to parking.

Upon further discussions with the applicants' representative, several alternative arrangements were also considered: a.) demolish the existing accessory structure and replace it with a new detached two-car garage; or b.) return the accessory structure to a garage and provide one additional uncovered parking space onsite. Staff explained that while either option would require the Commission's express approval (to allow a new structure/parking space within the street-side setback), the end result would improve the parking situation for the property, and could thus likely garner support from staff. Ultimately, the applicants chose to amend their project description to include returning the existing accessory structure to a garage and providing one additional onsite uncovered parking space immediately adjacent to the existing accessory structure/garage. This arrangement, if approved by the Commission, would provide the property with two off-street parking spaces. Additional discussion concerning this request is included in Section V. Analysis, below.

Architectural Review Board

The project was reviewed at a preliminary level by the Architectural Review Board at their January 14, 2016 meeting. Overall, the Board was supportive of the project, noting it was a great example of how to preserve the historic character of a residence while improving its livability for the owners. The majority of the Board's comments related to minor revisions to architectural details to ensure the historic character of the home is properly preserved and to better integrate the elements of new construction (i.e., dormers, rear addition, etc.) with the existing residence. Specifically, the Board asked for the following revisions:

- Utilize shingle siding in the dormer ends to match the gable ends of the house;
- Use a more substantial trim/fascia dimension on the dormers;
- Dormer windows should be spaced evenly apart (including from the edges);
- Utilize windows for the dormer that are consistent in style to those found on the existing residence (i.e., "one over one");
- Utilize a heavier fascia on the rear (to be) rebuilt addition;
- Break up the wall plane between the existing residence and (rebuilt) rear addition using a vertical trim board and/or maintaining the existing minor (three to four-inch) step in; and
- Consider replacing trim/fascia on the existing laundry room addition (on the interior side yard) with a more substantial trim/fascia to better match the rest of the residence.

The Board also touched briefly on the nonconforming parking situation. A couple of the Boardmembers expressed general support for exploring options that would provide onsite parking for the residence. A copy of the Draft ARB Minutes is attached as Exhibit 2.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to Section 15301 [replacement or reconstruction] and 15303 [new construction or conversion of small structures] of the Guidelines for the implementation of the California Environmental Quality Act (CEQA). Class 1 Categorical Exemptions consist of the “operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment or topographical features, involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination.” The types of existing facilities included under Class 1 exemptions include interior and exterior alterations to existing structures, restoration/rehabilitation of damaged structures, and additions up to 50% of the existing floor area of the structure. Class 3 Categorical Exemptions “consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.” Examples of the types of structures included under this Exemption include a new single family dwelling, and accessory structures such as garages or carports.

The cited Categorical Exemptions are warranted for the project given the minor scope of the proposed project and the manner in which the improvements have been designed. While the existing residence was found to be a significant cultural resource for CEQA purposes, upon review of the proposed changes the historians concluded the upgrades to the property were consistent with the Secretary of the Interior’s Standards for Rehabilitation of historic buildings and would thus not result in a significant impact to the structure’s historical integrity. This finding was based, in part, upon the fact that only a limited amount of the original structure’s roof would be altered to allow for the new dormers; and all of the other exterior changes (rebuild/expansion of rear addition, upgrade to laundry room exterior, garage re-conversion, etc.) affect parts of the structure that are not original to the home and that do not contribute toward the structure’s historical significance. Consistent with the applicable standards, all new elements of construction were designed to be compatible in style and character to that of the original residence. Conditions of approval concerning methods of reconstruction and final design review of the project by the architectural historians have been included to ensure the project is completed in the appropriate manner.

In light of the above information, the exemption is appropriate. A copy of the Notice of Exemption is included with this report as Exhibit 3.

V. ANALYSIS

The proposed project involves remodeling and slightly enlarging an existing single family residence on a residentially zoned property. As such, staff has reviewed the project in terms of its compliance with the development standards of Chapter 14, Zoning, of the Carpinteria Municipal Code, and with the policies and objectives of the General Plan/Coastal Land Use Plan.

Zoning Code Requirements

The following table lists the project's conformance with Municipal Code requirements.

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	50 feet from centerline of street or 20 feet from property line, whichever is greater.	Existing: 51 feet from centerline of street, 11 feet from the property line.* Proposed: No change
Side (North)	5 feet	Existing: 6 feet Proposed: No change
Street-side (South)	15 feet or 25% of lot width (13 feet 6 inches), whichever is less	Existing: 15 feet Proposed: 15 feet
Rear	15 feet	Existing: 34 feet (SFD), 1 foot (accessory structure) Proposed: 34 feet (SFD)
Height	30 feet	Existing/Proposed: 25 feet
Building Coverage	50% max. (2,447 square feet)	27% (1,318 square feet)
Common Open Space	20% min. (979 square feet)	70% (3,406 square feet)
Density	20 units per acre (2 units max.)	Existing/Proposed: 1 single family dwelling
Parking	2 spaces provided in a garage	Existing: No onsite parking provided Proposed: One garage space, one uncovered space*

**See Nonconforming Structures and Parking discussion below*

Legal Non-Conforming Structures

The existing residence is legal nonconforming with respect to the front setback and parking requirements. In the PRD-20 zone district, the front setback requirement is 50 feet from street centerline or 20 from the property line, whichever is the greater of the two. Because Walnut Avenue is an 80-foot wide right-of-way, the 20-foot setback from the property line is the greater of the two setback standards. The existing residence is located approximately 11 feet from the front property line, making it legal nonconforming as to this setback requirement. The proposed project would remodel and (slightly) expand the existing single family residence. Construction of the new dormers would require structural alterations to a portion of the residence's existing roof structure, which is located within the front setback area. Specifically, the dormers would encroach by approximately 18 inches; the reasons for the dormers to extend into the front setback are both aesthetic and to better improve the livability and head

room in the residence's existing second floor plan. Structural alterations and similar improvements that would extend the life of a legal nonconforming structure may be considered by the Planning Commission through a Conditional Use Permit.

The Zoning Code also requires each single family residence to provide two parking spaces housed within a garage. As discussed previously, there is currently no onsite parking provided. Returning the accessory structure to a garage and providing an additional uncovered parking space next to it would provide the minimum number of required onsite parking spaces, however, the new additional space would encroach partially into the required street-side setback and would not be located within a garage.¹ The Planning Commission may consider this request to modify the applicable (setback and parking) standards to allow the new uncovered parking space as part of the Conditional Use Permit.

Conditional Use Permit

Chapter 14.82 of the City's Municipal Code outlines the review process for projects involving a legal nonconforming use or structure. Section 14.82.010 of that Chapter sets out the general policy that extension, expansion or enlargement of an existing nonconforming use or structure is prohibited unless specifically authorized by the Municipal Code. Section 14.82.061 (Nonconformance of residential uses as to yards, height or parking) stipulates that improvements can be made to nonconforming residential structures that would prolong the life of the structure(s) subject to the approval of a Conditional Use Permit. The relevant section from chapter 14.82 is provided below:

§14.82.061 Nonconformance of Residential Uses as to Yards, Height or Parking states:

1. *Notwithstanding any other provision of this code, if a residential use of four or fewer dwelling units is conforming as to use but nonconforming as to yards, height or parking, improvements which may result in prolonging the life of such nonconforming use may be authorized by the Planning Commission subject to a Conditional Use Permit.*
2. *In considering and issuing such a Conditional Use Permit, the Commission must find, at a minimum, the following:*
 - a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood;*
 - b. *The habitable capacity of the unit or units will not be increased beyond that previously existing; and*
 - c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

¹ Pursuant to the Carpinteria Municipal Code, the required rear setback in the PRD zone district is 15 feet deep, and runs across the entire width of the lot, from side property line to side property line. The street-side setback, which measures 15 feet or 25% of the lot width (13 feet five inches in this case), whichever is the lesser of the two; runs from the rear setback line to the front property line. Parking and accessory structures (like garages) are allowed to be located within the rear setback provided they meet the standards outlined in CMC §14.50.020; these structures/uses are not however typically permitted in the required front or side setback areas. Given these setback parameters, of the proposed 220 square foot (11-foot by 20-foot) parking area, approximately 94 square feet (seven feet by 13 feet five inches) of it would be located within the required street-side setback area.

The Conditional Use Permit (CUP), as a planning tool, allows the Planning Commission to exercise broad discretion over a proposed use or project and in taking an action to approve or deny a project. Through the use of the CUP, the Commission can allow improvements which prolong the life of a nonconformity including structural repairs, remodels, additions and similar new construction to a residential unit or units (such as the proposed dormer construction within the setback). Through the broad discretion afforded to the Commission under a Conditional Use Permit, the Commission may also modify development standards to accommodate a project (such as the new uncovered parking space located partially within the street-side setback).

In order to grant such a CUP, the Commission must make three required findings. A discussion of the proposed development's consistency with these findings is provided for the Commission's consideration.

- a. *Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood;*

The existing single family residence is legal nonconforming in terms of the front setback requirement and onsite covered parking. The existing residence is located 11 feet from the front property line rather than 20 feet from the front property line as required by the Municipal Code. Additionally, there is no onsite parking currently provided. The proposed project would reconstruct and slightly expand an existing addition off the rear of the residence in roughly the same footprint/location to accommodate an interior master bedroom suite remodel. New dormers would also be added to the existing second floor roof to provide better head height throughout a reconfigured second floor plan. Finally, the existing detached accessory structure would be returned to a one car garage, and one additional uncovered parking space would be added to the property. The new uncovered space would be located immediately adjacent to the garage, but would partially encroach into the required street-side setback.

The proposed remodel and small addition would not significantly alter the size, bulk, scale or character of the existing residence. The modest encroachment of the new dormers into the required front setback would not change the placement or orientation of the home relative to the front property line or street edge. Because of the layout of the home and its placement on the property relative to the established setback lines, any attempt to avoid placing the dormers partially within the required front setback would not be as aesthetically pleasing, and would limit the useable floor area of the second floor. The rebuilt and slightly expanded addition at the rear of the residence would be located entirely within the allowed building envelope; it too would have little to no impact on the perceived size or scale of the residence. It would however improve the appearance of the home by better architecturally integrating this addition with the rest of the residence.

Returning the existing detached accessory structure to a garage and providing one additional uncovered space onsite would also be an improvement for the property and a potential benefit for the surrounding neighborhood. By providing two dedicated onsite parking spaces, the project could reduce the potential demands on limited on street public parking spaces available in the vicinity of the project site. The expanded curb cut and driveway necessary to

accommodate the additional uncovered parking space may result in the net loss of one on street parking space, but the benefits of returning the accessory building to a garage and providing this additional uncovered parking space on the property outweigh this potential loss of an on street public parking space. Placement of the uncovered parking space partially within the street side setback is the only viable option for providing an additional off street parking space without significantly impacting the usability of the property's private rear yard. The uncovered parking stall aligns with the location of the existing accessory structure and neighboring residences' driveways which are informally used for parking. In light of these factors, it is not anticipated that the placement of the new uncovered parking space within the required setback would pose an adverse effect on the surrounding neighborhood.

- b. *The habitable capacity of the unit or units will not be increased beyond that previously existing;*

The term "habitable capacity" is not defined in Chapter 14.82. However, reading that chapter in context, the Planning Commission has previously interpreted the restriction in CMC 14.82.061 on increasing habitable capacity to refer to a restriction on adding additional dwelling units. (See CMC 14.82.010(3).) The property is presently developed with a three-bedroom single family dwelling. The project would not result in a net increase to the number of bedrooms or units maintained on the property, therefore staff believes that the Commission can make this finding.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

This finding requires the Commission to make a policy decision that the beneficial purpose driving the continued existence of a nonconforming use or structure outweighs the purpose behind uniform application of the City's zoning regulations. CMC 14.82.061 authorizes structural alteration/repair/reconstruction of a nonconforming use if the improvement(s) will address the shortage of adequate housing in the City. The existing single family dwelling is a good example of the historic cottages that originally comprised the downtown neighborhood. Due to its age and architectural integrity, it has also been found to be a historically significant residence worthy of preservation. Approval of the CUP would allow the owners to repair and upgrade the residence, and gain two onsite parking spaces. The Commission could find that the policy of promoting adequate housing is advanced when improvements result in safer, modernized and improved living conditions for the residents without imposing significant impacts on the community or environment.

Given the analysis provided here, staff believes that the Commission can make the required findings to grant a Conditional Use Permit for the proposed project.

General Plan/Coastal Plan Policies

The project site has a General Plan/Coastal Plan designation of Medium Density Residential (MDR). The City's Community Design Element of the General Plan contains both general overarching policies and specific sub-area policies. The project site is in Design Sub-area 2 (Downtown/Old Town District).

Land Use Element

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City's edge.*

The proposed project is located within an urbanized part of the City on a lot that is currently improved with a single family dwelling and detached accessory building (formerly a garage). The project entails remodeling the residence, rebuilding and slightly expanding an existing addition at the rear of the home, adding rooftop dormers, converting the detached accessory building back into a garage, and providing one additional uncovered onsite parking space. The rebuilt/expanded addition would be located in the approximately the same building footprint and would not significantly change the overall size or appearance of the structure. Similarly, the new dormers would not noticeably alter the existing residence's perceived mass or scale, and the existing maximum height of the residence at 25 feet would remain unchanged.

The architectural style, materials and general layout of the property (including the legal non-conforming front setback) is compatible with the surrounding neighborhood. The new dormers and reconstructed/expanded addition would retain the historical architectural treatment/style of the existing structure. The conversion of the accessory structure back into a garage and the provision of one additional uncovered onsite parking space would improve the property's existing parking situation. Overall, the existing character of the property would not noticeably change as a result of this project. With these improvements and features, the project preserves the small beach town character of Carpinteria.

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with the principles established in the Community Design Element.*

The existing residence is representative of the small, older cottages that give the Downtown/Old Town neighborhoods some of their distinctive "small beach town" charm. The proposed improvements were reviewed by the Architectural Review Board and found to be consistent with the objectives and policies of the Community Design Element. The size, placement, styling and detailing of the existing residence would be maintained for the new dormers and reconstructed/expanded addition. The project is meant to improve the overall living conditions of the residence, while preserving the historically significant character of the existing home. Overall, these improvements would enhance the subject property and the surrounding neighborhood.

Community Design Element

Objective CD-1: *The size, scale and form of buildings and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

The proposed project would remodel and construct a small addition to an existing single family residence. The requested improvements include rebuilding and expanding (by 40 square feet) an existing addition off the back of the residence and adding roof dormers to the existing second floor. Overall, the proposed improvements would not significantly change the size, scale or form of the building as viewed from the adjacent public streets. The maximum height of the residence would remain (at 25 feet) and the total square footage would increase from 1,941 square feet to 1,981 square feet. The new square footage would fill in the existing "step" in the Sixth Street-facing side elevation to create a slightly larger interior space for a remodeled master bedroom suite. The proposed dormers and rebuilt rear addition were reviewed and found to be acceptable for the historically significant residence by the project architectural historians. With the incorporation of several minor changes to architectural details (which have since been incorporated into the drawings), the project was also supported by the Architectural Review Board.

The conversion of the detached accessory building back into a garage would not affect the appearance of the property in any noticeable manner. The exterior of the existing structure would remain; the interior would be demolished and a new slab poured for the garage floor. The new uncovered parking space proposed to be placed next to the garage, and partially within the required street-side setback would be similarly situated and used as residential driveways are on neighboring properties. The uncovered space would be finished in permeable cobble stone pavers. While the ARB has not reviewed this aspect of the project yet, several Boardmembers expressed general support for the concept of providing additional parking onsite through this type of arrangement.

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the City.*

As discussed previously under the Design Review section, the existing residence dates back to approximately the 1890s and is considered a good example of a modest/simple interpretation of the Queen Anne Victorian style of architecture. Because of the intact historic integrity of the residence, it was found to meet the eligibility criteria for landmark status at the local, state and national levels. The project architectural historians have reviewed the proposed scope of work and found it to be compatible with, and appropriate for, the existing residence. The improvements were found to not significantly affect the structure's historical significance. The Architectural Review Board has also found the proposed project to be appropriately designed to integrate with the existing residence.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the "living rooms" of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

Policy CD-5b: *Garages should not dominate views from any public street.*

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

The existing residence is oriented toward Walnut Avenue and features a small, raised and covered entry porch located at the corner of the home. A low picket fence surrounds the property's two street frontages and a small 206 square foot detached accessory structure (to be converted back to a garage) sits at the rear corner of the property at the Sixth Street right-of-way line. The proposed project, which entails rebuilding and expanding an existing addition off the rear of the residence, and adding rooftop dormers to the home, would not alter any of these existing characteristics of the property. Similarly, the proposed alterations would not materially change the scale, color or roof form of the residence in such a way that the residence could no longer be found compatible with surrounding homes. The addition of a new uncovered parking space adjacent to the detached garage would be similar in character to how neighboring residences' driveways are used and thus would not be out of character with surrounding development.

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas, which maintain and enhance the quality of Carpinteria's streetscape.*

Objective CD-10a: *Minor variations in front yard building alignments within a block are encouraged. Relatively steady setback patterns clearly define the public space of the street and reinforce small town character.*

The existing residence is located partially within the required 20-foot front setback. As part of the proposed project, the new rooftop dormers would also partially encroach (by 18 inches) into the setback area. With the approval of the Conditional Use Permit, the Planning Commission may allow the proposed structural alterations to the residence (i.e., constructing the new dormers). The new dormers would not materially affect the existing frontage characteristics or established setback patterns of the surrounding residential area.

Returning the existing detached accessory structure to a garage and constructing a new uncovered parking space immediately adjacent to it would not have a significant adverse effect on the property's frontage characteristics. The new uncovered parking space would align with the adjacent existing garage, be constructed of a decorative material and provide an additional off street parking space for the property owners.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

Lighting for the property is not shown on the preliminary plans at this time. However, a condition of approval has been included requiring any new or replacement lighting to be consistent with the City's night-sky friendly lighting provisions. Additionally, the conditions of approval require that lighting be reviewed as part of the ARB's final design review responsibilities.

SUB AREA 2 OBJECTIVES & POLICIES

Policy CDS2-a: *Ensure that new intensified land uses within the Downtown remain consistent with the City's "small beach town" image.*

The proposed project would allow for an interior reconfiguration of an existing single family residence to better serve the current owners. As part of the project, the total maximum square footage of the residence would be increased by 40 square feet. In light of the existing structure's approximately 120-year age, its largely intact original design characteristics, and its historical significance, it would be considered one of the residences in the downtown neighborhood that contributes directly to the City's celebrated "small beach town" image. Both staff and ARB have determined that neither the rebuilt addition off the rear of the home or the new rooftop dormers would materially alter the character of this historically significant residence. Similarly, addressing the current nonconforming parking situation by converting the existing detached accessory structure back to a garage and providing one additional uncovered parking space onsite improves the livability and usability of the property, without noticeably changing the existing character of the property.

Implementation Policy 20: *Driveways should be as narrow as practical to make pedestrian use of the sidewalks safer and more pleasant. Parking of vehicles across the sidewalk should be prohibited and enforced.*

There is an existing driveway cut already in place to serve the detached accessory structure that is to be returned back to a garage. This driveway approach would need to be widened to accommodate the new additional uncovered space immediately adjacent to the garage. While there are no sidewalks along the Sixth Street frontage, there is sufficient shoulder area between the edge of roadway and property lines for pedestrians to walk. The parking areas (both in the garage and the uncovered space) are sufficiently deep enough to accommodate a car without it having to encroach or overhang into the right-of-way; similarly the depth of the approach in front of the garage is too shallow to allow a car to park in front of the garage. Given these factors, it is not anticipated that the existing/expanded driveway would disrupt pedestrian travel along Sixth Street.

Noise Element

Policy N-5b: *The City will require that construction activities adjacent to sensitive noise receptors be limited as necessary to prevent adverse noise impacts.*

Policy N-5c: *The City will require that construction activities employ techniques that minimize the noise impacts on adjacent uses.*

The City's standard conditions relating to construction timing and noise attenuation have been included in the attached Conditions of Approval.

VI. DEVELOPMENT IMPACT FEES

As the project involves upgrades to an existing single family dwelling and would not result in a net increase of dwelling units, the project is exempt from payment of the City's Development Impact Fees. However, the project may still be subject to fees from other Special Districts including the Carpinteria-Summerland Fire Protection District, the Carpinteria Valley Water District and/or the Carpinteria Sanitary District.

VII. ACTION OPTIONS

1. Approve Project Number 15-1800-CUP/CDP to grant a Conditional Use Permit and Coastal Development Permit to remodel an existing single family residence, rebuild and expand by 40 square feet an existing addition at the rear of the residence, convert an existing detached accessory structure back to a one car garage, construct one new uncovered parking space located partially within the required street-side setback, and adopt the findings in Exhibit 1, Attachment A and Conditions of Approval as proposed in Exhibit 1, Attachment C. (staff's recommendation)
2. Direct the applicant to prepare project revisions and return to a future Commission meeting.
3. Conceptually deny the project as proposed. Direct staff to return with findings for denial to the Planning Commission's next meeting.

VIII. ATTACHMENTS

Exhibit 1 Resolution PC-16-002
Attachment A: Findings
Attachment B: Reduced Plans
Attachment C: Conditions of Approval

Exhibit 2 Notice of Exemption

Exhibit 3 Draft January 14, 2016 Architectural Review Board Meeting Minutes

Exhibit 4 Phase I/II Historic Resources Report prepared by Post/Hazeltine Associates

Exhibit 5 Building Permit no. 4859; Garage Conversion

Exhibit 1
Resolution PC-16-002

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016

RESOLUTION NO. PC-16-002

**A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION
APPROVING THE CONDITIONAL USE PERMIT AND COASTAL
DEVELOPMENT PERMIT NO. 15-1800-CUP/CDP TO ALLOW FOR THE
REMODEL OF AN EXISTING SINGLE FAMILY RESIDENCE, THE
RECONSTRUCTION AND EXPANSION OF AN EXISTING ADDITION, THE
CONVERSION OF AN EXISTING ACCESSORY STRUCTURE TO A ONE CAR
GARAGE AND THE PROVISION OF ONE ADDITIONAL ONSITE
UNCOVERED PARKING SPACE. THE PROJECT IS LOCATED AT 607
WALNUT AVENUE (APN 003-322-007).**

REQUESTED BY MECHELLE SINCLAIR

WHEREAS, the Carpinteria Planning Commission has considered an application for a Conditional Use Permit and Coastal Development Permit filed by Mechelle Sinclair on November 30, 2015 to allow a remodel to an existing single family residence including the reconstruction and expansion of an existing addition, the conversion of an existing detached accessory structure to a one car garage, and the provision of one additional onsite uncovered parking space; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on January 21, 2015; and

WHEREAS, the Carpinteria Architectural Review Board has considered the proposed project on January 14, 2016 and recommended preliminary approval; and

WHEREAS, the Planning Commission has conducted a hearing and received evidence regarding the application for the Conditional Use Permit and Coastal Development Permit; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act pursuant to Sections 15301 and 15303 of the California Environmental Quality Act Guidelines; and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Plan and the Zoning Code standards that are relevant to the project.

**NOW THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS
FOLLOWS:**

1. The Conditional Use Permit and Coastal Development Permit are approved, making the Findings outlined in Attachment A.

2. The Conditional Use Permit and Coastal Development Permit for the project shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 1st day of February 2016, by the following called vote:

AYES: COMMISSIONERS:

NOES: COMMISSIONER(S):

ABSENT: COMMISSIONER(S):

John Moyer, Chair

ATTEST:

Steve Goggia, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 1st day of February 2016.

Exhibit 1
Attachment A: Findings

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016

ATTACHMENT A FINDINGS

PLANNING COMMISSION HEARING PROJECT NO.15-1800-CUP/CDP FEBRUARY 1, 2016

SINCLAIR RESIDENCE REMODEL

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

- a. An application for a Conditional Use Permit and Coastal Development Permit was submitted on November 30, 2015, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on January 21, 2016. Said application and all related material have been available for public review at City offices since the date of submittal.
- b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.
- c. The project has been reviewed by the City's Architectural Review Board at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property and residents within 100 feet of the property.
- d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet of the subject property, residents within 100 feet of the property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

The Planning Commission finds that the project is exempt from the California Environmental Quality Act under Categorical Exemptions §15301 [existing facilities] and 15303 [new construction or conversion of small structures]. Class 1 Categorical Exemptions (§15301) allow for minor repair, maintenance or alteration of existing structures involving negligible or no expansion of use beyond that existing at the time of the project's review. This exemption includes interior and exterior remodels, and small additions to existing structures. Class 3 Categorical Exemptions (§15303) allow for construction of limited numbers of new, small structures and the conversion of existing small structures from one use to another. Class 3 Exemptions may include, but is not limited to, construction of a single family residence and accessory structures such as garages.

1.3 Conditional Use Permit Findings

- a. *The site for the proposed use is adequate in size and shape to accommodate the use.*

As discussed in the Planning Commission staff report dated February 1, 2016 and hereby incorporated by reference, the project involves a remodel and construction of a small addition to an existing single family residence located partially within the required front setback. The remodel and addition qualify as structural alterations to the residence, and therefore require that a Conditional Use Permit be approved. The new 40 square foot addition would be placed entirely within the allowed building envelope, however the structural alterations necessary for the new rooftop dormers would encroach into the required front setback. The property is also legal nonconforming with respect to the provision of onsite, covered parking. As part of the project, the applicants are proposing to improve the parking situation by returning the existing detached accessory structure to a one car garage and providing one additional uncovered space on the property. The uncovered parking space would be located partially within the required street-side setback, and thus also requires approval through the Conditional Use Permit.

With the approval of the CUP for the new structural alterations and the uncovered parking space partially within the street-side setback, the project would be consistent with all applicable aspects of the Zoning Code. The proposed improvements would not significantly increase the size, bulk or scale of the residence and no new dwelling units would be created. The new onsite parking spaces would be an improvement over the existing nonconforming situation in which no onsite parking is provided. The property would continue to be well below the 50% maximum allowed building coverage requirement and provide far more than the minimum amount of required common open space; much of which is preserved along the two street frontages.

- b. *The site for the proposed use is served by streets and highways that are properly designed to carry the type and quantity of traffic generated by the subject use.*

The remodel and minor addition to the existing residence will not generate any new traffic or parking demands as no new dwelling units are proposed. The project site is currently served by existing, improved streets that adequately serve the property. As part of the project, two new onsite parking spaces would be created where there is currently no onsite parking provided. The new onsite parking may help to incrementally reduce demands on available public on street parking resources in the area. The project would therefore be adequately served by existing streets and highways.

- c. *The granting of the permit will not materially adversely affect such necessary community services as sewage disposal, fire protection, water supply, and police protection.*

Local service providers were notified of project information regarding the proposed improvements. The service providers did not specify any concerns regarding the project. The project would not change the intensity of the existing use, nor would it negatively impact such services as sewage disposal, fire protection, water supply or police protection.

- d. *The granting of the permit will not be detrimental to the health, safety and general welfare of the neighborhood.*

The proposed project consists of a remodel and construction of a small 40 square foot addition to an existing single family residence. As part of the project, an existing detached accessory building would be returned to its original use as a one car garage, and one additional onsite uncovered parking space would be created. The project would not increase the habitable capacity nor substantially increase the habitable square footage of the residence. The new onsite parking spaces would be an improvement over the existing conditions (i.e., no onsite parking) and may help to reduce demands on limited on street public parking resources. Municipal Code §14.12.082 requires a Conditional Use Permit to allow the nonconforming situations concerning the front setback encroachment and parking requirements to continue. The project therefore would not impact the health, safety and general welfare of the neighborhood as the use or intensity will not be materially affected.

- e. *The proposed use is consistent with the Coastal Plan, General Plan, and applicable specific plan.*

The project involves a remodel and construction of a small addition to an existing single family dwelling. The project would also convert an existing accessory building back to a one car garage and create one additional uncovered parking space on the property. The residence is legal nonconforming as to the front setback requirements, and onsite parking requirements, and therefore requires that a Conditional Use Permit be approved to allow the structural alterations to the home and the encroachment of the new uncovered parking space into the street-side setback. As discussed in the Planning Commission staff report dated February 1, 2016 and hereby incorporated by reference, the project is consistent with the

General Plan's applicable Land Use, Community Design Element and Noise Element Objectives and Policies in that the project involves minor improvements to a single family residence in its present location and configuration. As the existing site improvements would be largely maintained, the improvement can be found to fit within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale. The use of the dwelling will not change.

- f. The proposed use will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The proposed project includes a remodel and construction of small addition to an existing single family residence in a developed urban area and does not impact natural environments, habitat areas or wildlife. The construction activities have been conditioned to avoid water runoff, dust, noise and other impacts to the surrounding neighborhood. The project therefore would not cause a substantial impact to the environment.

- g. The proposed development will not conflict with recorded easements acquired by the public-at-large for access through or use of the property within the proposed development or any easements granted to any public agency or required as a condition of approval.*

There are no known recorded easements on the property for public access.

1.4 Nonconforming Structure Finding

- a. Continuation or upgrading the residential unit or units will not have an adverse effect on the surrounding neighborhood.*

The existing single family residence is legal nonconforming in terms of the front setback requirement and onsite covered parking. The existing residence is located 11 feet from the front property line rather than 20 feet from the front property line as required by the Municipal Code. Additionally, there is no onsite parking currently provided. The proposed project would reconstruct and slightly expand an existing addition off the rear of the residence in roughly the same footprint/location to accommodate an interior master bedroom suite remodel. New dormers would also be added to the existing second floor roof to provide better head height throughout a reconfigured second floor plan. Finally, the existing detached accessory structure would be returned to a one car garage, and one additional uncovered parking space would be added to the property. The new uncovered space would be located immediately adjacent to the garage, but would partially encroach into the required street-side setback.

The proposed remodel and small addition would not significantly alter the size, bulk, scale or character of the existing residence. The modest encroachment of the new dormers into the required front setback would not change the placement or orientation of the home relative to the front property line or street edge. Because of the layout of the home and its placement on

the property relative to the established setback lines, any attempt to avoid placing the dormers partially within the required front setback would not be as aesthetically pleasing, and would limit the useable floor area of the second floor. The rebuilt and slightly expanded addition at the rear of the residence would be located entirely within the allowed building envelope; it too would have little to no impact on the perceived size or scale of the residence. It would however improve the appearance of the home by better architecturally integrating this addition with the rest of the residence.

Returning the existing detached accessory structure to a garage and providing one additional uncovered space onsite would also be an improvement for the property and a potential benefit for the surrounding neighborhood. By providing two dedicated onsite parking spaces, the project could potentially reduce demands on limited on street public parking spaces available in the vicinity of the project site. The expanded curb cut and driveway necessary to accommodate the additional uncovered parking space may result in the net loss of one on-street parking space, but the benefits of returning the accessory building to a garage and providing this additional uncovered parking space on the property outweigh this potential loss of an on-street public parking space. Placement of the uncovered parking space partially within the street-side setback is the only viable option for providing an additional off-street parking space without significantly impacting the usability of the property's private rear yard. The uncovered parking stall aligns with the location of the existing accessory structure and neighboring residences' driveways which are informally used for parking. In light of these factors, it is not anticipated that the placement of the new uncovered parking space within the required setback would pose an adverse effect on the surrounding neighborhood.

- b. *The habitable capacity of the unit or units will not be increased beyond that previously existing.*

The term "habitable capacity" is not defined in Chapter 14.82. However, reading that chapter in context, the Planning Commission has previously interpreted the restriction in CMC 14.82.061 on increasing habitable capacity to refer to a restriction on adding additional dwelling units. (See CMC 14.82.010(3).) The property is presently developed with a three-bedroom single family dwelling. The project would not result in a net increase to the number of bedrooms or units maintained on the property, therefore this finding can be made.

- c. *The shortage of adequate housing within the City justifies the continuation of the nonconforming use and authorization to make improvements necessary to upgrade the living conditions in the unit or units.*

The Planning Commission finds that the continued existence of a nonconforming residence outweighs the purpose behind uniform application of the City's zoning regulations. CMC 14.82.061 authorizes structural alteration/repair/reconstruction of a nonconforming use if the improvement(s) will address the shortage of adequate housing in the City. The existing single family dwelling is a good example of the historic cottages that originally comprised

the downtown neighborhood. Due to its age and architectural integrity, it has also been found to be a historically significant residence worthy of preservation. Approval of the CUP would allow the owners to repair and upgrade the residence, and gain two onsite parking spaces. The Commission could find that the policy of promoting adequate housing is advanced when improvements result in safer, modernized and improved living conditions for the residents without imposing significant impacts on the community or environment.

1.5 Coastal Development Permit Finding

- a. *The proposed development is in conformity with the City's certified Local Coastal Program.*

The project involves a remodel and construction of a small 40 square foot addition to an existing single family residence. The project would also convert the existing detached accessory structure back to a one car garage and create one additional onsite uncovered parking space. The existing residence is legal nonconforming as to the front setback requirement and onsite parking requirements, and therefore requires that a Conditional Use Permit be approved to allow the structural alterations to the house and the encroachment of the new uncovered parking space into the street-side setback. As discussed in the Planning Commission staff report dated February 1, 2016 and hereby incorporated by reference, the project is consistent with the General Plan's applicable Land Use, Community Design Element and Noise Element Objectives and Policies in that the project involves minor improvements to an existing residence, which would remain substantially in its present configuration. As the existing improvements would be largely maintained, the proposed project can be found to fit within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale.

Exhibit 1
Attachment B: Reduced Plans

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016

SINCLAIR FAMILY RESIDENCE

GENERAL NOTES

1. SEE ALL CITY ORDINANCES, ALL ORDINANCES TO THIS PROJECT, AND ALL ORDINANCES TO THIS PROJECT.
2. SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND DETAILS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FEES.
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VICINITY MAP



SHEET INDEX

A-1 COVER SHEET/SHEET INDEX

A-2 SITE PLAN

A-3 FLOOR PLANS

A-4 ELEVATIONS

A-5 PHOTOGRAPHS

PROJECT TEAM

DESIGN CONSULTANT:
GIL GARCIA AND EVERETT MOODY
123 E. ARRELLA STREET
SANTA BARBARA, CA 93101
805.462.2999 OR 805.684.2588

GENERAL CONTRACTOR:
DAVID CLARK
1898 PAQUITA DRIVE
CARPINTERIA, CA 93013
805.684.4006

PROJECT DATA

OWNER:
JACK AND NICHOLLE SINCLAIR
1898 PAQUITA DRIVE
SANTA BARBARA, CA 93101
PHONE 479.899.4046

APN: 003-322-007
ZONE: R-3
SITE AREA: 11 ACRE GROSS OR 4,893.71 SQ. FT.
GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL
HIGH FIRE AREA: NO
BUILDING AVERAGE HEIGHT: 25'-0"

CODE INFORMATION

BUILDING TYPE: R-3
CONSTRUCTION TYPE: TYPE V-NON
ROOF TYPE: CLASS 'A'

BUILDING HEIGHT: NOT TO EXCEED 27'-0" ABOVE EXISTING GRADE
BUILDING SQUARE FOOTAGE: UNLIMITED

THIS PROJECT WILL COMPLY WITH:
CFC 2013
CFC 2013 CALIFORNIA RESIDENTIAL CODE
CFC 2013 CALIFORNIA GREEN CODE
CFC 2013 CALIFORNIA ENERGY CODE 2013
CFC 2013
CFC 2013
CFC 2013

THE DRAINAGES ARE IN COMPLIANCE WITH CURRENT COUNTY ORDINANCE 146.71 AND 4766.

THIS PROJECT IS SUBJECT TO HIGH FIRE HAZARD AREA PROVISIONS OF CFC SECTION R307.

FLOOR AREA CALCULATIONS

	GROSS AREA	NET AREA
MAIN RESIDENCE FLOOR AREA *	1,941 SF	1,847 SF
BEDROOM ADDITION *	40 SF	27 SF
STUDIO	206 SF	183 SF
TOTAL AREA =	2,187 SF	2,107 SF

LOT COVERAGE

	BUILDING AREA	PERCENT OF SITE
EXISTING BUILDING AREA *	1,271 SF	28%
BEDROOM ADDITION *	47 SF	1%
TOTAL AREA *	1,318 SF	27%

SCOPE OF WORK

1. 40 SQUARE FOOT MASTER BEDROOM ADDITION
2. NEW DORMERS ON NORTH AND SOUTH SIDE OF THE RESIDENCE.
3. NEW SECOND STORY FLOOR PLAN

SYMBOLS

- ELEVATION (14-100)
- NUMBERED NOTE
- CODE REVIEW NOTE
- EXIT SIGN

COVER SHEET

SINCLAIR FAMILY RESIDENCE

CARPINTERIA, CA 93013

NOT SCALEABLE - ANYTIME

11.13.2015

A-1

Angeli de Covolo, Inc.
1222 E. Arrellano Street
Santa Barbara, California 93101
805.462.2999

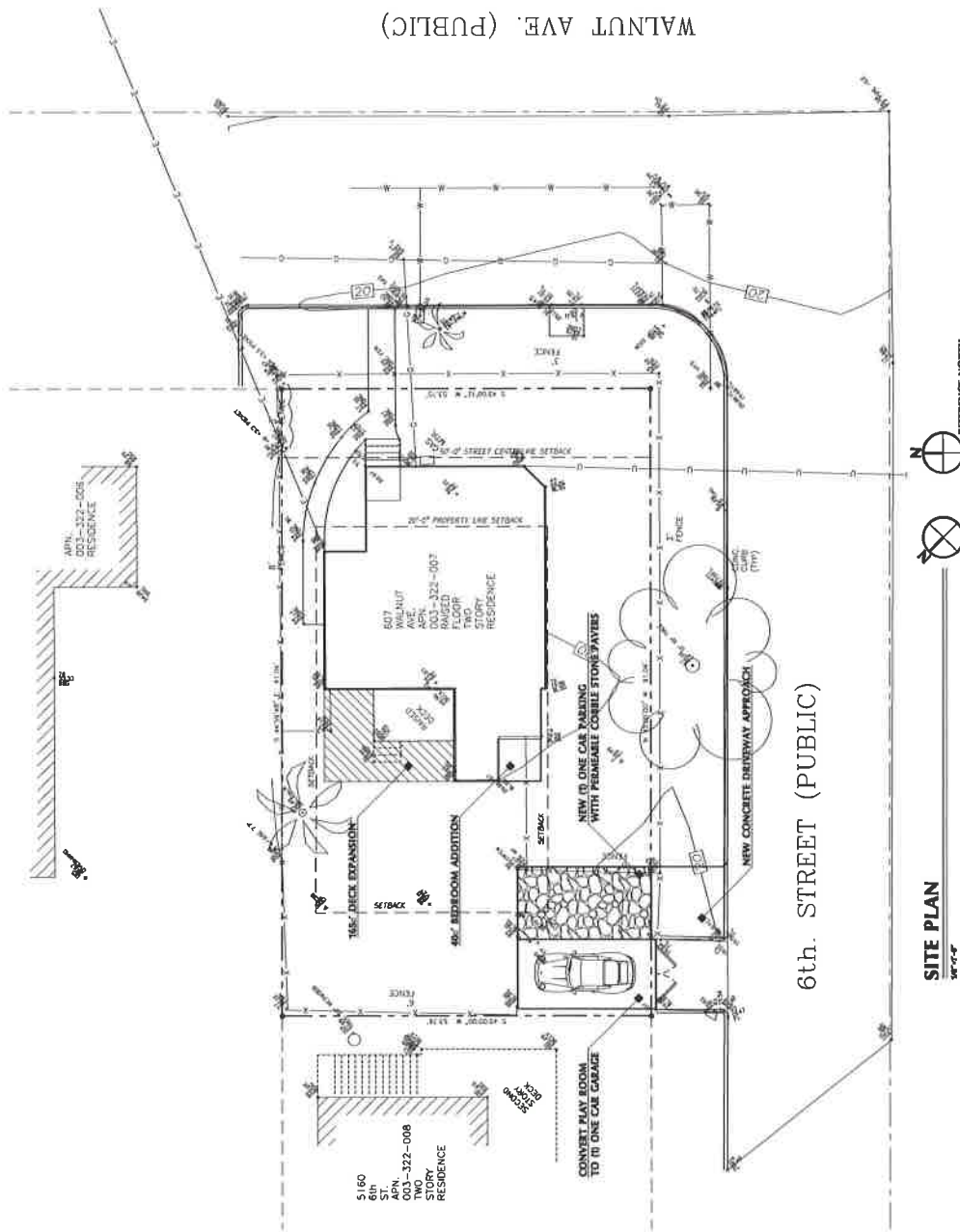
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DATE	11-13-2005
PROJECT NAME	607
PROJECT ADDRESS	607
PROJECT CITY	607
PROJECT STATE	607
PROJECT ZIP	607

SHEET CONTENTS
SITE PLAN

807 WALNUT AVENUE
CARPINTERIA, CA 91003

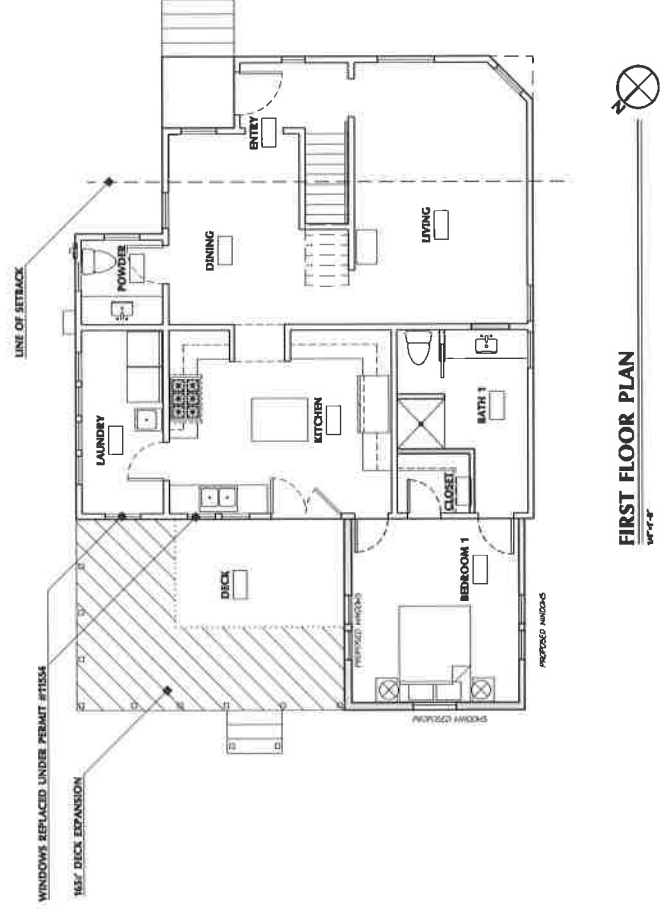
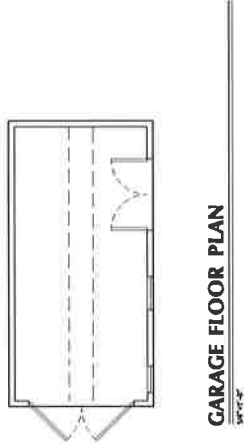
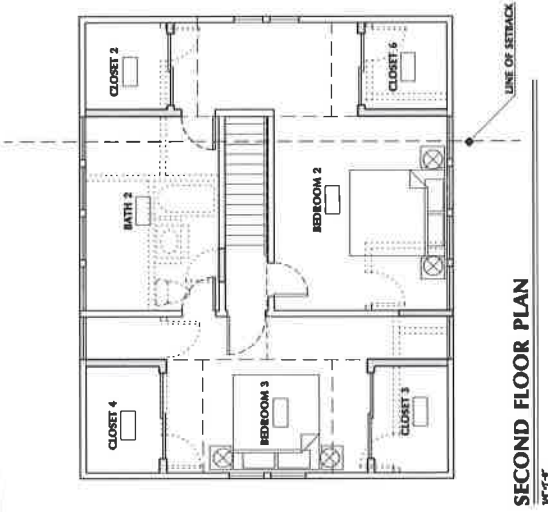
SINCLAIR FAMILY RESIDENCE

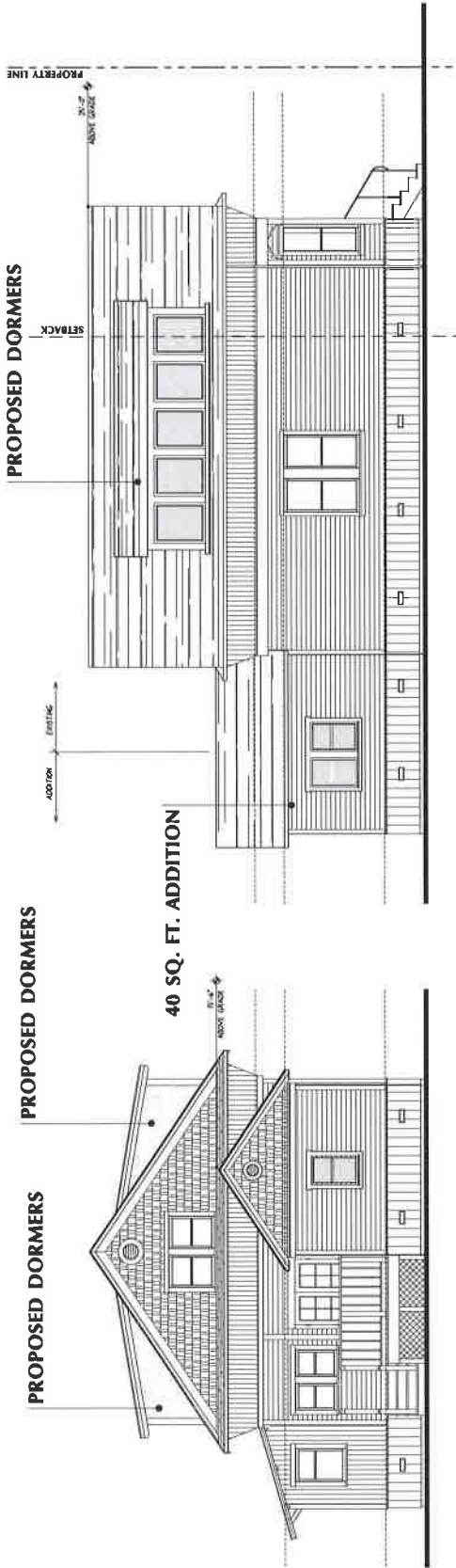
Angelii de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 432 2999





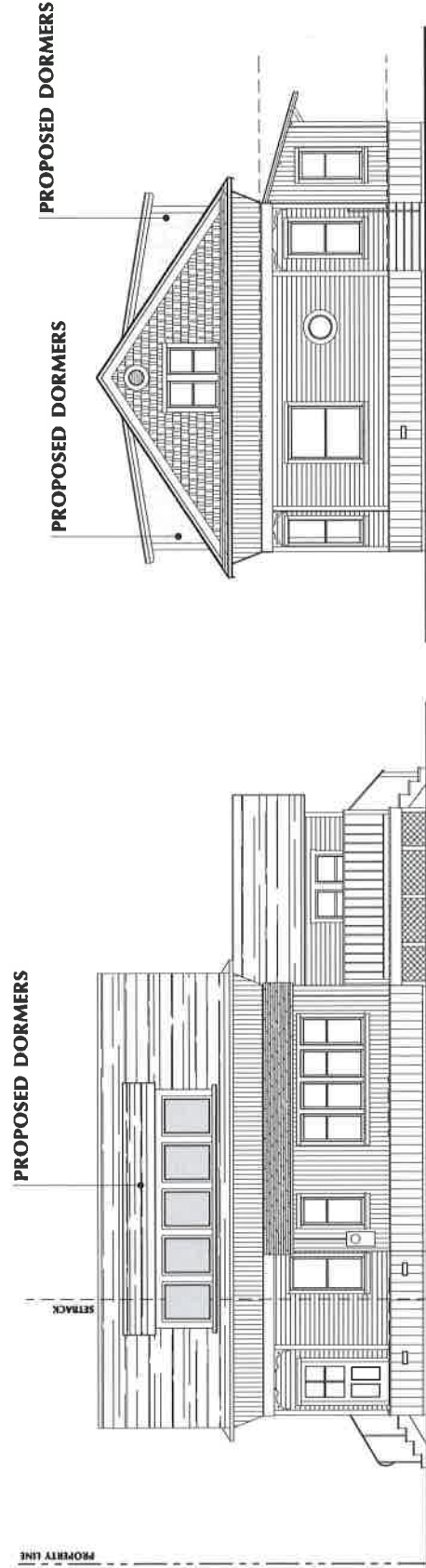
1. VERIFY ALL PROPERTY LINES VERIFY ANY PROPOSED CHANGES WITH THE EXISTING PROPOSED CONSTRUCTION
2. ALL ITEMS NOT APPROVED TO BE REMOVED ARE TO BE REJECTED TO AN NEW ITEM.
3. HALLS TO REMAIN
4. HALLS TO BE REMOVED
5. NEW HALLS



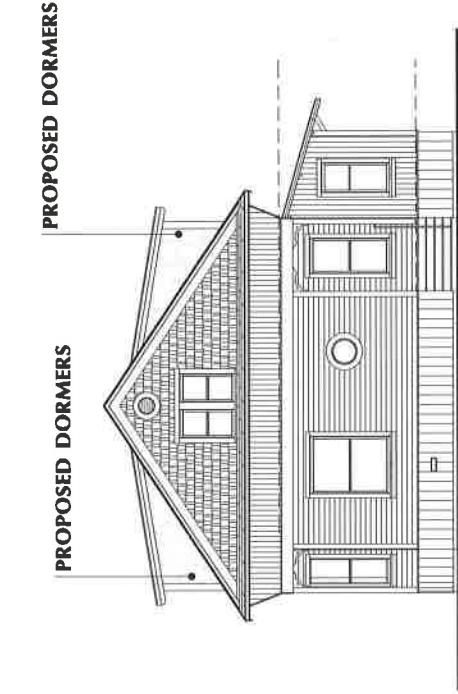


1 WEST ELEVATION
SCALE 1/4" = 1'-0"

2 SOUTH ELEVATION
SCALE 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE 1/4" = 1'-0"



4 EAST ELEVATION
SCALE 1/4" = 1'-0"

DATE	11/23/2018
BY	WTS
LOT	107
SECTION	107
DATE	11/23/2018
BY	WTS

SHEET CONTENTS
PHOTOGRAPHS

407 MARKET AVENUE
CARPINTERIA, CA 91013

SINCLAIR FAMILY RESIDENCE

DATE	11/23/2018
BY	WTS
LOT	107
SECTION	107
DATE	11/23/2018
BY	WTS



Angeli de Covolo, Inc.
122 E. Arrellaga Street
Santa Barbara, California 93101
805 482 2999



SOUTH ELEVATION
WTS



EAST ELEVATION
WTS



NORTH ELEVATION
WTS



WEST ELEVATION
WTS

Exhibit 1
Attachment C: Recommended Conditions of
Approval

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016

**PLANNING COMMISSION HEARING
PROJECT NO. 15-1800-CUP/CDP
607 WALNUT AVENUE (APN 003-322-007)
FEBRUARY 1, 2016**



**ATTACHMENT C: CONDITIONS OF APPROVAL
SINCLAIR RESIDENCE REMODEL**

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Conditional Use Permit and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated February 1, 2016) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

The project description is as follows:

Request for a Conditional Use Permit and Coastal Development Permit to allow a remodel of an existing single family residence and a rebuild/expansion (by 40 square feet) of an existing 122 square foot addition attached to the rear of the residence to accommodate an expanded master bedroom suite. As part of the remodel, a pair of dormers would be added to the existing second floor roof and the interior second floor plan would be reconfigured to make better use of the space within the roof structure. An existing 90 square foot, raised rear deck would also be replaced with a new approximately 255 square foot rear deck of the same height. The resulting remodel/addition would increase the square footage of the residence from 1,941 square feet to 1,981 square feet; the maximum height of the residence would remain at 25 feet.

The project also includes returning the existing detached accessory exercise/play room building to its original use as a single car garage. One additional uncovered

onsite parking space would be created, located adjacent to the garage and partially within the required street-side setback.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT SPECIFIC CONDITIONS

2. Final design review by the Architectural Review Board is required. Final review shall include, but is not limited to, lighting, colors and materials, and landscaping, as applicable. **Plan Requirements:** Final working drawings shall be submitted to the Community Development Department for ARB review. **Monitoring:** CDD staff shall review Building plans for consistency with approved Final ARB plans.
3. Prior to final review by the Architectural Review Board, the applicant shall provide a copy of the most current plans to the project architectural historians for review and approval. **Plan Requirements:** Written confirmation from the architectural historians that the final plans are consistent and appropriate for the historically significant residence shall be submitted to CDD prior to the project returning to the ARB.
4. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. **Plan Requirements:** The locations of all exterior lighting fixtures shall be depicted on a Lighting Plan to be reviewed and approved by the ARB. **Monitoring:** CDD shall review plans prior to the Building Permit approval for consistency with the approved plans. CDD shall site inspect prior to occupancy clearance.
5. All materials and colors used in construction and all landscape materials shall be as represented to the Community Development Department and any deviation will require the express review of CDD staff.
6. In the event repairs to the existing historical building fabric (including but not limited to existing siding, ornamental trimwork or historic windows) is found to be necessary, all replacement materials shall match the house's historic building materials in dimension, materials and appearance. If extensive amounts of historic fabric requirement replacement, work on this portion of the residence shall cease

until a replacement plan is developed and approved by a City of Carpinteria-approved architectural historian. **Plan Requirements:** This requirement shall be printed on the final building plans. **Monitoring:** CDD staff shall inspect the project periodically to ensure compliance with this requirements. **Timing:** If a replacement plan is required, said plan shall be approved by CDD prior to beginning extensive repair work.

7. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays (e.g. Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.
8. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site by following the dust control measures listed below. During clearing, grading, earth moving, excavation or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
 - a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this shall include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency shall be required whenever the winds speed exceeds 15 miles per hour. Reclaimed water should be used whenever possible.
 - b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
 - c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped from the point of origin.
 - d. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.

Plan Requirements: All requirements shall be shown on the grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction activities. **Monitoring:** CDD shall ensure measures are on plans. Grading and Building Inspectors shall spot check and ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

9. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.
10. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.
11. All construction equipment shall be maintained in proper operating condition and fitted with standard noise reduction features (e.g., mufflers). **Timing:** During all construction activities. **Monitoring:** CDD staff shall notify the contractor of this requirement prior to construction and spot check in the field.
12. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on demolition plans. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates. **Timing:** Materials shall be recycled as necessary throughout demolition and grading activities. **Monitoring:** Public Works shall review and approve a completed WMP prior to issuance of a Building Permit.
13. Best available erosion and sediment control measures shall be implemented during grading and construction. Best available erosion and sediment control measures may include but are not limited to use of sediment basins, gravel bags, silt fences, geo-bags or gravel and geotextile fabric berms, erosion control blankets, coir rolls,

jute net and straw bales. Storm drain inlets shall be protected from sediment-laden waters by use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters, and excavated inlet sediment traps. Sediment control measures shall be maintained for the duration of the construction period. Construction entrances and exits shall be stabilized using gravel beds, rumble plates, or other measures to prevent sediment from being tracked onto adjacent roadways. Any sediment or other materials tracked off site shall be removed the same day as they are tracked using dry cleaning methods. **Plan Requirements:** An erosion and sediment control plan shall be submitted to and approved by Public Works prior to issuance of a Grading or Building Permit. The plan shall be designed to address erosion and sediment control during all phases of development of the site. **Timing:** The plan shall be implemented prior to the commencement of construction. **Monitoring:** Public Works shall perform site inspections throughout construction.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

14. This Conditional Use Permit is not valid until a Building Permit for the development has been obtained. Failure to obtain said Building Permit shall render this Conditional Use Permit null and void. Prior to the approval of the Building Permit, all of the conditions listed in this Conditional Use Permit that are required to be satisfied prior to approval of a Building Permit must be satisfied. Upon issuance of the Building Permit, the Conditional Use Permit shall be valid. The effective date of this Permit shall be the date of expiration of the appeal period, or if appealed, the date of action by the City Council.
15. The applicant's acceptance of this permit and/or commencement of construction and/or operations under this permit shall be deemed acceptance of all conditions of this permit by the permittee.
16. Within one year after the effective date of this permit, construction shall commence. Construction cannot commence until a Building Permit has been issued. Failure to commence the construction pursuant to a valid Building Permit shall render the Conditional Use Permit null and void.
17. All time limits may be extended by the Planning Commission for good cause shown, provided a written request, including a statement of reasons for the time limit extension request is filed with Community Development prior to the expiration date.
18. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.

19. All applicable conditions of approval and mitigation measures shall be printed in their entirety on applicable pages of grading/construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.
20. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions of Approval.
21. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.
22. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full.
23. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.
24. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.
25. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Conditional Use Permit and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

26. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.

SPECIAL DISTRICT CONDITION LETTERS

27. Compliance with the attached Departmental and District letters is required as follows:
- a. City of Carpinteria Public Works Department dated January 27, 2016
 - b. Santa Barbara County Air Pollution Control District dated January 4, 2016

Approved by the Planning Commission on February 1, 2016

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

Applicant/Property Owner

Date

CITY OF CARPINTERIA, CALIFORNIA



Department of Public Works Memorandum

To: Nick Bobroff
Associate Planner

From: Matt Maechler
Department of Public Works

Date: January 27th, 2016

Subject: 607 Walnut Ave, 15-1800

The Department of Public Works has reviewed the project and has the following Conditions of Approval.

PUBLIC RIGHT OF WAY ENCROACHMENTS

1. An Engineering Permit is required to widen the existing driveway apron (or 'concrete driveway approach') on Sixth St.
2. An Engineering Encroachment Permit is required for the portions of the existing garage structure and fence located within City Right of Way. An Encroachment Permit can be obtained through the Department of Public Works.
3. Plans shall be submitted for frontage improvements on Sixth St. prior to issuance of Engineering Permits for review by the City Engineer. Frontage improvements, including driveway apron, sidewalk, street signs, street trees, and other facilities as determined by the City Engineer, are to be installed in conformance with the standards, specifications, and policies of the City at the locations shown on the improvement plans. Unless otherwise specified, the City utilizes the County of Santa Barbara Engineering Standards.
4. Paving and driveway aprons shall transition into existing public improvements as required by the City Engineer. Construction shall be completed prior to issuance of Certificate of Occupancy.

UTILITY CONDITIONS

1. No new utility poles shall be installed.

End of Conditions of Approval



**Santa Barbara County
Air Pollution Control District**

Our Vision  Clean Air

January 4, 2016

Nick Bobroff
City of Carpinteria
Community Development Department
5775 Carpinteria Avenue
Carpinteria, CA 93013

RECEIVED

JAN 07 2016

CITY OF CARPINTERIA

Re: APCD Suggested Conditions on 607 Walnut Avenue, 15-1800-DP/CDP

Dear Mr. Bobroff:

The Air Pollution Control District (APCD) has reviewed the referenced project, which consists of proposed plans to construct a 47 square foot (sq ft) addition at the rear of the existing residence, remodel the existing second floor interior plan, and add two roof dormers to the second floor space. As part of the rear addition, an existing 130 sq ft previous bathroom addition would be removed and rebuilt with a gable roof to accommodate a ground floor master bedroom suite remodel. There is no grading proposed with this project. The subject property, a 4,893-sq ft parcel zoned PRD-20 and identified in the Assessor Parcel Map Book as APN 003-322-007, is located at 607 Walnut Avenue in the City of Carpinteria.

Air Pollution Control District staff offers the following suggested conditions:

1. Advisory: The applicant should determine whether any structure(s) proposed for demolition or renovation contains asbestos that is friable or has the potential to become friable during demolition or disposal. If any structure does contain friable asbestos, the asbestos should be removed by a contractor that is state certified for asbestos removal. For additional information regarding asbestos in construction, please refer to APCD's website at www.ourair.org/asbestos/.

If you or the project applicant have any questions regarding these comments, please feel free to contact me at (805) 961-8893 or via email at NightingaleK@sbcapcd.org.

Sincerely,



Krista Nightingale,
Air Quality Specialist
Technology and Environmental Assessment Division

cc: Everett Woody/Gil Garcia
TEA Chron File

Exhibit 2
Notice of Exemption

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk

County of: Santa Barbara
105 E Anapamu Street, Rm 407
Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

(Address)

Project Title: Sinclair Residence Remodel

Project Applicant: Mechelle Sinclair, 607 Walnut Avenue, Carpinteria, CA 93014

Project Location - Specific:
607 Walnut Avenue. Located on the northwest corner of the Walnut Avenue and Sixth Street intersection
(APN: 003-322-007)

Project Location - City: Carpinteria Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:

Remodel an existing single family residence including adding rooftop dormers. Rebuild and expand (by 40 square feet) an existing addition at the rear of the house. Convert an existing detached accessory building to a one car garage and create one additional on-site uncovered parking space.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Mechelle Sinclair

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
☒ Categorical Exemption. State type and section number: Sections 15301 and 15303
☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:

This project involves a remodel and small addition to a single family dwelling. The proposal is located within an urbanized part of the City on a developed property that has no habitat value for endangered, rare or threatened species. The improvements would not result in an increased demand on existing public services and are found to be appropriate to the historical character of the residence.

Lead Agency
Contact Person: Nick Bobroff, Associate Planner Area Code/Telephone/Extension: 805/6845405/407

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project? ☒ Yes ☐ No

Signature: _____ Date: 02/01/2016 Title: Associate Planner

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Exhibit 3
Draft January 14, 2016
Architectural Review Board
Meeting Minutes

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016

PROJECT REVIEW

- 3) Applicant: Gil Garcia and Everett Woody, agent/designer for Jack and Mechelle Sinclair
Planner: Nick Bobroff
Project: 15-1800-CUP/CDP
Project Location: 607 Walnut Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Gil Garcia and Everett Woody, agent/designer for Jack and Mechelle Sinclair to consider Project 15-1800-CUP/CDP for preliminary review of a request to remodel an existing single family residence and construct a 47 square foot addition. The property is a 4,893 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-322-007 addressed as 607 Walnut Avenue.

Staff presented the project to the Board and explained a Conditional Use Permit is required for the structural modifications to the residence.

Public Comment:

None

Boardmember Discussion:

Overall the Board found the project to be a nice improvement to the property, noting it would largely preserve the historic home while also improving its livability.

Boardmembers Ellinwood and Johnson had several suggestions for changes/comments. Concerning the dormers' design and detailing, they recommended the dormer ends be clad in shingle siding to match the gable ends. They also felt the dormers should utilize more substantial trim and fascias to better tie into the existing house. Dormer windows should be pulled back from the corners the same distance as the spacing between the dormer windows and should be of a "one over one" design like the windows on the rest of the home.

Concerning the (to be) rebuilt rear addition, the Board again noted a heavier fascia would be appropriate, and that either a vertical trim board placed at the back corner of the original historic residence (to differentiate it from the addition) or the new addition should continue to step in slightly (~ 4 inches), like the existing addition does. The Board indicated they preferred this latter approach. The Board also suggested the house would benefit from the inclusion of a heavier trim and fascia on the existing laundry room addition (on the north side) of the house.

Boardmember Johnson asked if the applicant had considered any possible solutions for providing onsite parking. Boardmember Johnson indicated he would be generally supportive of a surface parking area if it could be made to work.

ACTION: Motion by Boardmember Reginato seconded by Boardmember Ellinwood to recommend preliminary approval of the project to the Planning Commission with the following comments:

- Use shingle siding in the dormer ends;
- Use more substantial trim/fascia on dormers;
- Dormer windows should be pulled back from corners a distance equal to the spacing between the dormer windows;

- Use windows for dormers that are consistent in style with the remainder of the house (i.e., “one over over”);
- Use a heavier fascia on the rear addition;
- Break up the (rebuilt) rear addition from the original historic house through use of either a vertical trim board or stepping the addition in slightly (~4 inches) (preferred);
- Use a heavier trim/fascia on existing laundry room addition.

VOTE: 4-0

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held November 12, 2016.

ACTION: Motion by Boardmember _____, seconded by Boardmember _____, to approve the minutes as presented.

VOTE: 0-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

1. Olson Residence Exterior Materials: Applicant requested permission to replace approved exterior siding materials with real cedar shingles stained “Taupe” for both ground and second floor exterior. Corner shingles to be “laced.” Garage door to be stained to match shingle color. Board approved of requested changes.
2. Bornhurst Residence Exterior Materials: Applicant requested permission to replace the approved cedar siding for the rear second floor pop-out (only) with architectural aluminum panels to match the previously approved detached rear yard accessory structure. The Board indicated they still preferred the cedar siding but would be okay with the aluminum panels since the affected element is in the rear yard.
3. Corktree Cellars Revised Sign: Applicant requested permission to install a new reclaimed wood façade around the restaurant entry way. New sign lettering would be installed directly on the reclaimed wood surface above the entry way. The Board indicated they needed additional information and better details before they could make an informed decision. They asked to see how the wood façade element would relate to the rest of the building. They also sought revisions concerning how the wood façade would integrate with adjacent window trims, entry way head height and how, or if, the façade would return into the recessed entry way.
4. Casa del Sol Revisions:

ADJOURNMENT

Chair Johnson adjourned the meeting at ____ p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, February 11, 2016.

All Boardmembers present indicated they would be in attendance.

Exhibit 4
Phase I/II Historic Resources Report
Prepared by Post/Hazeltine Associates

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016

PHASE 1-2 HISTORIC RESOURCES REPORT
FOR

**607 Walnut Avenue
Carpinteria, California**

(APN 003-322-007)

**Prepared for:
Jack & Mechelle Sinclair**

**Prepared by:
Post/Hazeltine Associates
2607 Orella Street
Santa Barbara, 93105
Tel: (805) 682-5751
E-mail: posthazeltine@cox.net**

**April 21, 2015
(Revised December 22, 2015)**

RECEIVED

DEC 28 2015

**COMMUNITY DEVELOPMENT
DEPARTMENT**

1.0 INTRODUCTION AND PROJECT DESCRIPTION

This Revised Phase 1-2 Historic Resources Report for 607 Walnut Avenue (APN 003-322-007), Carpinteria, California was prepared for the owners Jack and Mechelle Sinclair. This document is a revision to the Phase 1-2 Historic Resources Report dated April 21, 2015 prepared by Post/Hazeltine Associates. The revised report evaluates alterations to project plans evaluated in the April 2015 Historic Resources Report. The revised plans were prepared by Everett J. Woody of the firm of Angeli de Covolo, Inc. The applicant proposes alterations to the existing house including installing dormers on roof and rebuilding two additions off the house's north and west elevations. The 0.11-acre project parcel is located on the west side of the 600 block of Walnut Avenue in Carpinteria, California (Figures 1-2a). Existing improvements include a 1,513-square foot single-family house with a detached garage. The study will document the historic context of the property and its physical appearance today, as well as provide an assessment of its potential historic, architectural, and cultural significance. If the property is found to be a significant historic resource the impact of the proposed project on the historic resource would be evaluated. The report was written by Pamela Post, Ph.D., primary author and Timothy Hazeltine and follows the guidelines for Phase 1-2 Historic Cultural Resource Reports used by the City of Carpinteria. The Phase 1 component of the report encompasses Section 2.0 through Section 5.5 and the Phase 2 component of the report encompasses Section 6.0 through Section 7.0 of the report.

PHASE 1 SECTION

2.0 SITE HISTORY

2.1 History of Carpinteria (1782-1900)

The project parcel is located within the Carpinteria Valley, a narrow strip of land extending north approximately 10 miles from the Rincon to Montecito and due west from the Santa Ynez Mountains to the Pacific Ocean. The valley was initially inhabited by the Chumash, whose village, "Mishopshnow," was located near what is now the present town of Carpinteria. During the Spanish and Mexican periods (1782-1848), with the exception of cattle grazing, the valley remained undeveloped. Following California's acceptance into the Union (1850) the area began to be settled by Americans, many of them farmers drawn to the valley's rich alluvial soil and benign climate. By the early 1860s a small settlement had been platted near the mouth of Santa Monica Creek (Toro Canyon Master Plan 2001: 4.11-1). Originally known as *La Carpinteria*, the town's name was anglicized in the 1870s, as "Carpenteria" (in 1900 the Post Office reverted to the town's original spelling of Carpinteria). By 1870 there were 427 people living in the township, most of them agriculturists (1870 United States Census). Farms in the valley were generally small. Ranging in size from five to fourteen acres, they were devoted primarily to the raising of beans, barley, grapes, and olives

(Caldwell, 2000: 5, 9). Early settlers included Russel Heath (reputably Carpinteria's first American settler, he arrived in 1858), Oren and Rosina Caldwell who came in 1868, and Milton Smith, who purchased beach front property in 1863 and later built a small pier to the north of Carpinteria at La Serena for the farmers to ship agricultural goods.

Originally, the small town, which, by 1870, included a post office, blacksmith shop, and several saloons, was located south of Carpinteria Cemetery on Cravens Lane (Caldwell 1979: 6-7). In 1875 the Crushed Rock and Asphaltum Company of San Francisco leased 30 acres on Carpinteria Bluffs from two local farmers for use as an asphaltum mine (the bluff's tar seeps, which had first been used by the Chumash, were well known). The mine, which employed as many as 200 workers, comprised, in addition to the surface mines, barracks and a dining hall for the miners (Caldwell 1979: 77-78). After its extraction, the asphaltum was shipped to refineries via Serena Wharf (asphaltum continued to be extracted from the Carpinteria waterfront until the mid-1930s). Linden Avenue, located just to the west of the mine, soon developed a number of saloons, stores, and boarding houses. In 1887, the Southern Pacific Railroad completed a rail line linking coastal Santa Barbara County with Los Angeles. The new line included a small station on Linden Avenue. The rail line not only made travel to Carpinteria more convenient it also provided an efficient method of transporting the valley's crops to Los Angeles. Within a few years of the railroad's arrival, the town's post office was moved from its old location near Cravens Lane to the 600 block of Linden Avenue. With the relocation of the post office, the town of Carpinteria began to develop along Linden Avenue, replacing the original location near Cravens Lane as the center of the valley's commercial and social life.

By the late 1890s, the town boasted a school, hotel, churches, social halls and stores. Most of the development centered on the intersection of Linden Avenue and Tenth Street. With a few notable exceptions, the town's houses were modestly-scaled wood-framed houses whose architectural embellishments were limited to architectural trimwork (remaining examples include the houses at 4923 and 4953 Seventh Street). One of the few high style houses remaining from the late 19th century is the Queen Anne style house at 5395 Eighth Avenue. It was during this period that Walnut Avenue began to develop, with small scale residential housing, most of them designed as vernacular type or in the Queen Anne style, such as the house at 607 Walnut Avenue, built in circa-1890. Throughout the 19th century, agriculture remained the foundation of the local economy. By the mid-1880s, lima beans and walnuts had replaced wheat and barley as the valley's most lucrative crops. By the late 1890s, the state's nascent citrus industry had begun to establish itself in Santa Barbara County, drawn to the area by the availability of water for irrigation, and mild, almost frost-free climate. C. D. Hubbard, a local resident, was instrumental establishment of Carpinteria Valley's thriving lemon industry (Scott 1992: 3) during the late 19th century.

2.2 Carpinteria 1900-1945

Significant improvements were made to the region's transportation system, in the early 20th century, most notably the completion, in 1901, of the northern segment of the Southern Pacific Railroad Company's coastal route linking Santa Barbara County to Northern California and the completion in 1912 of the Rincon Road, a causeway linking Carpinteria to Ventura. The completion of the causeway provided automobiles with their first reliable route to Carpinteria from Southern California. By the early 1920s, cars and trucks began to replace horses as the Carpinteria Valley's primary mode of transportation. Tenth Street was soon lined with businesses, such as gas stations, garages, and even small motels that catered to travelers and local residents. Throughout the 1900s and into the late 1920s modestly-scaled residences continued to be built along Walnut Avenue and 6th Street, though by this time the Craftsman style had begun to supersede the Queen Anne in popularity. Changing demographics, fueled in part, by the town's growing population of agricultural workers, led to development of separate enclaves for the town's Hispanic and white residents. Most of the Hispanic residents were located in the neighborhoods on the northwest side of Linden Avenue while the whites were primarily located to the southeast of Linden Avenue. In 1920, the school system was segregated, with Aliso School being set aside for the Hispanic children (the school was not desegregated until 1947). By the late 1920s, residential development was almost entirely focused on the new residential tracts being developed in or adjacent to the Vallecito Tract. The most notable development in Carpinteria during this period was the gradual transformation of Carpinteria Beach into a recreation destination. Local boosters billed it as the "World's Safest Beach" (Caldwell 1979: 4). Unlike earlier resorts, such as the Potter Hotel in Santa Barbara or the Miramar in Montecito, which were focused on an upper class clientele, the beach was marketed to short-term visitors of more modest means who traveled by car, stayed for the weekend, and patronized the town's cafes, motels and motor courts. With the onset of the Great Depression in 1929 the community's economic development, which was largely based on agriculture, faltered. While the economy improved after America's entry into World War II in 1941, shortages of building supplies curtailed new construction. Consequently, little development occurred in the town until after the end of World War II in 1945.

2.3 Carpinteria 1945-2015

The close of World War II ushered in a profound period of change for Carpinteria. In 1954, the old Coast Highway was relocated to the north and transformed into a four-lane freeway. The construction of the freeway led to the destruction of part of the Vallecito and Cramer Tract and physically separated the old town from the residential tracts located to the north of downtown (Scott 1992: 4). With the improved transportation provided by the new freeway, Carpinteria began to develop suburban housing tracts, many of whose residents worked in nearby Santa Barbara. As was common during this period new commercial

development was located near or adjacent to the freeway rather than in the town's historic core. During the postwar period agriculture remained an important component of the economy where it increasingly focused on the production of avocados and hothouse and nursery plants rather than the more labor-intensive crops that had characterized the Carpinteria Valley in the late 19th and early 20th centuries. Beginning in the late 1980s, Carpinteria's old town began its revitalization with small stores, small inns and restaurants. Today, the old town once again serves as a popular destination for both visitors and residents.

2.4 History of the Property at 607 Walnut Avenue (Circa-1890-2015)

No building permit exists for the house at 607 Walnut Avenue. According to a guide of Carpinteria's older homes the house was built in circa-1890; though it could have been built as late as circa-1910 (the Queen style was popular between circa-1880 and circa-1910) (*Carpinteria Bungalows and Distinctive Houses*, 2004: 19). Its modest size and simple interpretation of the Queen Anne style suggests that the house was likely built by a contractor or the owner, possibly using a design from a pattern book. The utilitarian garage is a vernacular type and was built sometime after 1920, but by no later than 1929 (1920 and 1929 Sanborn maps of Carpinteria). Popularly known as the Lewis House, it is associated with James Lewis, who first arrived in Carpinteria in 1911. Lewis, however, was not responsible for the construction of the house nor was he its first occupant, since he and his family were living on 8th Street in 1920 (1920 United States Census). The earliest record of James Lewis' occupancy of the house at 607 Walnut Avenue is in 1927 (1927 Carpinteria telephone directory). Lewis continued to live in the house from at least 1927 until his death in 1951 (1927-1951 Carpinteria telephone directories). In the succeeding years the house was owned by a number of individuals. In 2015, the house was purchased by Jack and Mechelle Sinclair.

2.5 The Queen Anne Style

The Queen Anne style was popular between circa-1880 and circa-1910. Character-defining elements of the style include steeply-pitched gabled or hipped roofs, patterned wood siding, asymmetrical facades with partial or wrap-around porches and richly detailed millwork. More elaborate Queen Anne style houses were often embellished with turrets or towers. Expanses of planer wall surface were avoided through the incorporation of bays, towers, overhangs, and projections, and the use of contrasting wall cladding such as horizontal or vertical siding with a variety of wood shingles such as fish scale or scalloped. Frequently, gable pediments, corbels, porch posts and doors were even more elaborately embellished with scrollwork and carved reliefs. The house at 607 Walnut Avenue is a modest example of a Queen Anne style and exhibits its basic characteristics, including an emphasis on verticality, patterned materials, steeply-pitched gable roof and the porch's decorative trim.

2.6 James A. Lewis (1868-1951)

James A. Lewis was born in Columbia, Mississippi on February 16, 1868. Lewis first came to Carpinteria in 1911 to assume the ministry of the community's First Methodist Church. Ill with an unspecified illness he was advised to seek a costal climate finding Carpinteria the ideal choice for his recovery (unattributed obituary, January 11, 1951). Before this he served as pastor to congregations in Missouri, Colorado, and New Mexico. Married to Florence Lewis, the couple would eventually have four children, including a son, Harold and three daughters, Margaret Lewis, Mrs. William Powell and Mrs. Wayne Jackson. For the next three years Lewis served as minister to the First Methodist Church, but was forced to retire when he fell ill again. Lewis subsequently applied for the position of Carpinteria Postmaster, holding that position for the next 21 years from 1914 until 1935. Shortly after leaving the post office Lewis returned to the ministry, serving as pastor for churches in Piru and Oceano (unattributed obituary, January 11, 1951). Unfortunately, Lewis had to leave the ministry once again for poor health, this time permanently. Throughout his life, Lewis continued to participate in community activities, including serving a number of times as Chairman of the Community Chest, participating as a member of the Lions Club and acting as past master of the Carpinteria Masonic Lodge. James Lewis died in Santa Barbara in early January 1951 at the age of 81 (unattributed obituary, January 11, 1951).

3.0 SITE DESCRIPTION

3.1 General Description and Setting

The parcel at 607 Walnut Avenue is set on a rectangular parcel at northwest corner of the intersection of Walnut Avenue and 6th Street (see Figure 2a). As noted in Section 1.0 two buildings are located on the property. These include the following: 1) a one-and-a-half-story house located near the southeast corner of the parcel and 2) a detached, one-story one-bay garage located near at the southwest corner of the lot. A Gothic style picket fence of recent construction extends along the street frontages on Walnut Avenue and 6th Street. Wood plank fencing extends along the north and west property lines. The parcel is informally landscaped with trees and shrubs, the most prominent being a large Canary Island Date Palm (*Phoenix canariensis*) located on the rear yard and a very tall Washingtonia species located in the planter strip on Walnut Avenue. Adjacent properties on the west side of Walnut Avenue are developed with single-family houses while the east side of Walnut Avenue is the site of Main Elementary School. The north side of 6th Street is lined with residential buildings, including a two-story house on the adjacent parcel.

3.2 The House

General Description

The Queen Anne style one-and-a-half story, wood-framed house was built sometime between 1890 and 1910 (Figure 3). The house has rectangular footprint with a clipped corner facing the intersection of Walnut Avenue and 6th Street and a small shed-roofed addition projecting off the rear of the house and an enclosed porch off the north elevation. Constructed of standard dimensional lumber the house is set on a raised post and pier foundation sheathed in vertical board skirting. The exterior walls of the house are covered in narrow, horizontal, tongue-and-groove siding delineated by vertical and horizontal boards at the cornice line and the corners of the house. The canted cornice that caps the top plate is sheathed in vertical boards, while the front gable element of the modified gable on hipped roof is covered in shingles. Fenestration is primarily composed of one-over-one double-hung wood sash. A small porch, recessed under the main roof, is located at the northeast corner of the house and shelters the front door.

East Elevation (Street façade, facing Walnut Avenue)

The east elevation, which is the house's entrance façade, features a recessed porch at its east end supported by a chamfered wood post embellished with scrollwork (Figures 4 & 5 and see Figure 3). The two-panel, four-light wood door is set in the south wall of the porch, while the west wall of the porch is a one-over-one wood sash window. The existing porch railing is a single horizontal two-by-four, while the porch's steps are flanked by a metal pipe railing. The façade's remaining fenestration consists of a circular one-light window, flanked by a one-over-one wood sash window. The front-facing gable roof is embellished with a paired one-over-one wood sash windows capped by a circular vent. A one-over-one wood sash window is set in the chamfered south end of the elevation. The corner of the elevation's cornice moldings over the chamfered window is embellished with scrollwork. A small, recessed shed-roofed addition with fixed windows extends off the north end of the elevation.

Alterations and Modifications to the East Elevation

The following modifications have been made to the east elevation since the house was constructed in circa 1890-1910:

- The original skirting has been replaced with new skirting that broadly emulates the type of vertical board skirting that would have characterized the original building.
- The shed roofed addition on the north elevation is depicted on the 1920 Sanborn Fire Insurance map as having been a roofed porch,

which at some time after 1929 was enclosed. The original porch was built after the original house was constructed, since the east wall of the enclosed porch intersects with an original window frame.

South Elevation

This elevation faces 6th Street (Figure 6 and see Figure 5). This elevation is composed of the main block of the house, flanked on west end by a small shed-roofed addition that was built in two phases. This side of the house features a pair of double hung wood sash windows set near the center of the elevation. The east end of the slightly recessed shed-roofed addition is clad in horizontal siding that matches the house's siding type. At the east end of the original shed-roofed addition is a small extension clad in vertical board siding. The addition's fenestration is composed of a single one-light casement window and a two-light slider.

Alterations and Modifications to the South Elevation

The following modifications have been made to the south elevation since the house was constructed in circa 1890-1910:

- The original skirting has been replaced with new skirting that broadly emulates the type of vertical board skirting that would have characterized the original building.
- The original shed-roofed addition was built sometime between 1920 and 1929. An addition sheathed in vertical board siding was built sometime after 1929.

West Elevation (Rear Elevation)

This elevation is L-shaped in configuration with its recessed portion formed by the original house and an enclosed porch on the house's north elevation, flanked on the south by the shed-roofed addition built in two phases between 1929 and the present (Figure 7 and see Figure 6). The shed-roofed enclosed porch at the north end of the elevation is clad in vertical board siding and features a two-light wood frame window. The visible section of the original house is clad in both horizontal and vertical board siding and its fenestration is composed of double French doors, flanked on its north by a one-light window. A pair of one-over-one wood sash windows is set in the shingle-clad end gable. The shed-roofed addition at the south end of the elevation is sheathed in vertical board siding. A small raised porch, surrounded by a railing, is set at the intersection of the shed-roofed addition and the original wing of the house.

Alterations and Modifications to the West Elevation

The following modifications have been made to the west elevation since the house was constructed in circa 1890-1910:

- The original skirting has been replaced with new skirting that broadly emulates the type of vertical board skirting that would have characterized the original building.
- The original shed roofed addition at the south end of the elevation was built sometime between 1920 and 1929. An addition sheathed in vertical board siding was built sometime after 1929.
- The French doors appear to have been installed within the last 10 years.
- The shed-roofed porch (now enclosed) at the north end of the elevation was built before 1920 and enclosed sometime after 1929.
- The deck appears to have been built within the last 15 or 20 years.

North Elevation

The north elevation is essentially L-shaped in configuration with most of the main block of the house encapsulated by a shed-roofed porch built sometime before 1920 but after the initial construction of the house (Figure 8 and see Figures 4 & 7). This porch was enclosed sometime after 1929 with vertical board siding and fenestration composed of fixed and wood slider windows, flanked on the west by a three-panel wood door that was originally glazed in its upper register. The door which is now sealed shut, originally opened onto a wood stoop that has since been removed.

Alterations and Modifications to the North Elevation

The following modifications have been made to the north elevation since the house was constructed in circa 1890-1910:

- The original skirting has been replaced with new skirting that broadly emulates the type of vertical board skirting that would have characterized the original building.
- The original shed-roofed addition at the south end of the elevation was built sometime before 1920. It was enclosed sometime after 1929.

3.3 Detached Garage

A one-car garage is located to the west of the house abutting the west property line. It is accessed from 6th Street via a shallow driveway lined with concrete curbs. Built of standard dimensional lumber, the wood-framed building is sheathed in horizontal clapboards and is capped by a moderately-pitched front gable roof covered in composition shingles (Figures 9 & 10). The south elevation facing 6th Street features a pair of tongue-and-groove sheathed garage doors with diagonal bracing. Fenestration is composed of French doors and a rectangular window on the east elevation

Alterations and Modifications to the Detached Garage

The following modifications have been made to garage since its construction:

- The French doors on the east elevation appear to be recent additions.

4.0 EVALUATION AND ANALYSIS

The house and garage at 607 Walnut Avenue will be evaluated for integrity and historic/cultural significance using County of Santa Barbara, State of California and National criteria (the City of Carpinteria currently uses the County of Santa Barbara's historic resources guidelines as an evaluative framework for assessing potentially significant historic properties and assessing project impacts to significant historic resources).

4.1 Criteria for Evaluation of Evaluation of Historical Resources

The criteria to be used in determining the preliminary historic and architectural significance of buildings and/or properties are (the City of Carpinteria is currently using the significance criteria developed by the County of Santa Barbara):

Any structure 50 years or older is considered potentially significant and shall be subjected to the following criteria (County of Santa Barbara Resource Management Department Cultural Resource Guidelines Historic Resources Element: 1986, Revised January, 1993).

A significant resource a) possesses integrity of location, design, workmanship, material, and/or setting; b) is at least fifty years old; and c) demonstrates one or more of the following:

- 1) is associated with an event, movement, organization, or person that/who has made an important contribution to the community, state or nation;*
- 2) was designed or built by an architect, engineer, builder, artists, or other designer who has made an important contribution to the community, state, or nation;*
- 3) is associated with a particular architectural style or building type important to the community, state, or nation;*

- 4) embodies elements demonstrating a) outstanding attention to design, detail, craftsmanship, or b) outstanding use of a particular structural material, surface material, or method of construction or technology;
 - 5) is associated with a traditional way of life important to an ethnic, national, racial, or social group, or to the community-at-large;
 - 6) illustrates broad patterns of cultural, social, political, economic, or industrial history;
 - 7) is a feature or cluster of features which a sense of time and place that are important to the community, state, or nation;
 - 8) is able to yield information important to the community or is relevant to the scholarly study of history, historical archaeology, ethnography, folklore, or cultural geography.
- The level of significance for these criteria are established by rating each significance attribute of the resource (detailed below) according to the following scale:

The integrity, age and association of the property will be given a significance ranking ranging from 1 to 3 (with E for exceptional). The property's level of significance will be based on the ranking of each category.

E = exceptional
 3 = high; very good
 2 = good
 1 = fair

5.1.2 Integrity

E = pristine integrity in all 5 categories
 3 = very good integrity in at least 3 categories
 2 = good integrity in at least 1 category
 1 = fair to poor integrity in all categories

Integrity means that the resource retains the essential qualities of its historic character. These guidelines recognize five components of integrity: location, design, setting, materials, and workmanship.

5.1.2a Integrity of Location

Integrity of location means that the resource remains at its original location.

The house was built between circa-1890 and circa-1910 and has remained in place since its construction date. Therefore, the house receives a ranking of "very good" (3) for integrity of location.

5.1.2b Integrity of Design

Integrity of design means that the resource accurately reflects its original plan. However, it is rare to find structures that have not been modified in some manner. Therefore, the County guidelines recognize that building additions that

accurately incorporate design elements found in the original structure do not compromise a building's integrity of design.

The house has undergone few alterations since its initial date of construction with the exception of a small addition off the rear of the house, constructed sometime between 1930 and 1940 and the enclosure of the porch on the north elevation at some unknown date. Overall, the house has retained sufficient integrity to convey its architectural style and original appearance. Therefore, the house receives a ranking of (3) or "very good" for its integrity of design.

5.1.2c Integrity of Setting

Integrity of setting means those buildings, structures, or features associated with a later development period have not intruded upon the surrounding area to the extent that the original context is lost.

The house's period of significance encompasses the period between circa-1890 to 1910, the period when the Queen Anne style house was built. It was during this period that the neighborhood surrounding the 600 block of Walnut Avenue and 6th Street was just beginning to develop with modestly-scaled houses that primarily catered to the community's working and middle class residents, many of whom worked in the nearby packing houses along the Southern Pacific Railroad Line. It was in the 1930s, that the town began to market itself as a weekend get-away, with its beach referred to as the "World's Safest Beach." Following the onset of the Depression development on in Carpinteria virtually ceased. After World War II Carpinteria's waterfront underwent a gradual redevelopment as the last of the town's asphaltum mines shut down and residential development began to focus on the construction of suburban tracts located north of the U.S. 101 Freeway. During the post-World War II development in the waterfront area emphasized the construction of modestly-scaled apartments and duplexes rather than the building of single-family houses, which had previously characterized the neighborhood. While the neighborhood has undergone some alterations since the construction of the house at 607 Walnut Avenue it has continued to retain much of its stock of late 19th and early 20th century houses. Therefore, the house at 607 Walnut Avenue, which has in large measure retained the essential features of its original setting, receives a ranking of (3) "very good" for integrity of setting.

5.1.2d Integrity of Materials

Integrity of materials means that the physical elements present are still present, or if materials have been replaced, the replacement(s) have been based on the original.

The house has retained most of its original fabric. Later modifications and alterations, for the most part, have been done in such a manner that they are

compatible in scale, massing and materials to the original house. Therefore, the house at 607 Walnut Avenue receives a ranking of (3) "very good" for integrity of materials.

5.1.2e Integrity of Workmanship

Integrity of Workmanship means that the original character of construction details is present. These elements can not have deteriorated or been disturbed to the extent that their value as examples of craftsmanship have been lost.

Constructed of standard construction materials of the day such as manufactured siding, doors, windows and hardware employed in a conventional manner the house exhibits the level of craftsmanship found in modest houses built during the late 19th and early 20th centuries. Therefore, the house at 607 Walnut Avenue receives a ranking of (2) "good" for integrity of workmanship.

Summary Statement of Integrity

The house receives a ranking of (3) for possessing "very good" integrity in at least one category.

5.1.3 Age

*E = 125 years old or older
3 = 100 years old or older
2 = 75 years old or older
1 = 50 years old or older*

Comment: A "E" designation is based on the premise that any manmade feature which survives for 125 years or more is intrinsically exceptional and therefore subject to special consideration be virtue of its age, irrespective of other ratings.

Based on the County's ranking system, the house at 607 Walnut Avenue, which is between 105 and 125 years of age, receive a ranking of "3" for age.

5.1.4 Association

Association with an event, movement, organization, or person that/who has made an important contribution to the community, state or nation;

*E = Resource has a central or continuous association with an event...
3 = Resource has a direct association with an event...
2 = Resource has an indirect association with...
1 = Resource has a distant association with...*

Comment: The significance of the event, movement, organization, or person must be established before this criterion is applied.

There is no definitive documentation to determine the first occupant of the house. One of the longest termed occupants was James Lewis who lived in the house from at least 1927 until shortly before his death in 1951. Later the property was owned by a number of other individuals. While James Lewis lived in the house for at least 24 years, neither he nor subsequent occupants of the house rise to the level of importance that would convey historical significance to the property. While the association with Lewis is not significant, the house does have a strong association with the Americanization Period (1890-1915), a time when the Carpinteria Valley was developing into a regional center of the citrus industry, an economic activity that would be a mainstay of the local economy until the 1970s. Therefore, the house at 607 Walnut Avenue receives a ranking of "2" in regard to this criterion.

5.1.5 Designer:

Was designed or built by an architect, engineer, builder, artist, or other designer important to the community, state or nation:

E = a designer that has made important contributions to the community and to the state or nation.

3 = a designer that has made important contributions to the community.

2 = an "attributed to" designer who made important contributions to the community.

1 = designer is unknown.

Comment: This significance attribute focus on overall designer contributions rather than on the aesthetic merits of the design itself.

There is no documentation that the house was designed by an architect or designer. According to a publication on historic Carpinteria homes, the house was built in circa-1890 (Carpinteria Valley Association 2004: 55). Therefore, the house at 607 Walnut Avenue, which is not associated with a historically significant architect, designer, contractor or carpenter, who made important contributions to the development of Carpinteria, receives a ranking of "1" for this criterion.

5.1.6 Architectural Style or Building Type:

Is associated with a particular architectural style or building type, important to the community, state, or nation:

E = retains all of the attributes associated with its style or type or is a good example of its style or type if few survive.

3 = retains most of the attributes associated with its style or type or is remodeled in a recognizable style that does not destroy the original style or type.

2 = retains few, but sufficient attributes associated with its style or type.

1 = undecipherable as a style or type or is one of many examples of its style or type.

Comment: Vernacular building types and industrial architecture are equal in research to well defined and studied architectural styles.

In its design and materials the house is an example of the Queen Anne style, whose character-defining features that include an emphasis on verticality, steeply-pitched roofs, asymmetrical façade, patterned shingles, and turned porch supports and scrollwork. Since the house at 607 Walnut Avenue has retained almost all of the attributes associated with its architectural style it receives a ranking of "3" for architectural style or building type (We would note while the garage is substantially intact, it is an example of a common vernacular architectural type that is not related to the Queen Anne style of the house).

5.1.7 Construction Materials

E = outstanding or very early example if few survive.

3 = outstanding or very early example if many survive; good example if few survive.

2 = good example if there are many examples of any material(s) and/or method(s) not generally in current use.

1 = common example of any method(s) and/or material(s).

Comment: examples of outstanding construction methods or structural materials include those which successfully address challenging structural problems, or which are treated as visible elements that contribute significantly to the resources overall design quality, or which exhibit fine craftsmanship.

The house was built using modified balloon framing and standard building materials of the day, such as pre-manufactured windows, doors, and dimensional lumber. Therefore, the house at 607 Walnut Avenue receives a ranking of "1" for construction materials.

5.1.8 Traditional Lifeways

E = resource has a central association with a tradition spanning three or more generations.

3 = resource has a direct association with a tradition spanning three or more generations

2 = resource has a direct association with a tradition spanning two generations or an indirect association with a tradition spanning two or more generations.

1 = resource has a distant association with a tradition spanning two or more generations.

Comment: traditional lifeways, as used here, pertain to cultural patterns that have attained antiquity commensurate with the age requirement to which tangible

resources are held. A central association ("E" rating) implies a quality of uniqueness between the resource and the tradition.

The house at 607 Walnut Avenue is not associated with a traditional lifeway. Therefore, the house at 607 Walnut Avenue receives a ranking of "not applicable" for this criterion.

5.1.9 Association with Broad Themes of Local, State, or National History

E = resource has a central association with theme(s)

3 = resource has a direct association with themes(s)

2 = resource has an indirect association with theme(s)

1 = resource has a distant association with theme(s)

Comment: The theme and its significance must be established before this criterion is applied. A helpful measure of this criterion is to consider how useful the resource would be for teaching or writing about cultural history.

The house's period of significance (circa-1890-1910) encompasses the Americanization period (1890-1915). During the Americanization period, Anglos, now the most numerous ethnic group in the County of Santa Barbara, gained control of the county's economic and political infrastructure. During this period homesteading and the division of Mexican Period land grants in the Carpinteria Valley provided the opportunity for newly-arrived settlers to establish small farms, ranches, and dairies. With the arrival of the Southern Pacific Railroad's rail lines in 1887 (to Los Angeles) and in 1901 (to San Francisco) agriculture became the most important component of the county's economy. During this period new residential development in this area of Carpinteria was comprised primarily of modestly-scaled houses built for the working and middle classes, many of whom worked in the nearby packing houses located along the Southern Pacific rail line. The Queen Anne style house at 607 Walnut Avenue, built sometime between the last decade of the 19th century and circa-1910, contributes to the historical theme of residential settlement in Carpinteria during the Americanization Period. Therefore, the house at 607 Walnut Avenue receives a ranking of "3" in regard its association with broad themes of local, state, or national history (We would like to note that the garage does not have a strong association with this particular historic theme as it relates to the settlement of Carpinteria's downtown area in the late 19th and very early 20th centuries).

5.1.10 Conveys (an) Important Sense of Time and Place

E = an individual resource or a unified urban or rural landscape which defines a period of 100 or more years ago.

3 = an individual resource or a unified urban or rural landscape which defines a period of 75 or more years ago.

2 = an individual resource or a unified urban or rural landscape which defines a period of 50 years or more.

1 = an individual resource or a unified urban or rural landscape which defines a period less than 50 years old.

Comment: A useful measure of this criterion is to consider the resource(s) has/have a prominence that contributes to a historic, visual, or environmental continuity. Would a typical resident notice the resource(s) and remember it/them?

The house has retained sufficient integrity to convey its original design and architectural style. Later additions are compatible in scale and massing to the original architectural scheme. The house continues to convey the essential features of its appearance when it was first developed in circa-1890. Therefore, the house at 607 Walnut Avenue receives a ranking of "3" for its ability to convey an important sense of time and place. (We would like to note that the garage contribute in only a minor way to the setting of the house and is not integral to the history of the parcel or neighborhood).

5.1.11 Ability to Yield Important Information

This attribute of significance is not quantifiable. Generally, when this criterion is invoked, it is an indication that the resource under study requires further examination by a professional from a related discipline. Nevertheless, it is incumbent upon the historical specialist to consider what qualities of the resource or the project area might enable it to yield information that is important to another scholarly discipline.

Further study of the property would not yield information important to historical or cultural studies. The application of this criterion to potential archaeological deposits is beyond the purview of this report.

Summary Quantification of Historic Resource Criteria

In assessing the three major categories and the 13 subsets within the various categories in the County of Santa Barbara's significance for evaluation of historical resources, it is the professional opinion of *Post/Hazeltine Associates* that the property at 607 Walnut Avenue achieves the following historic resource ranking:

5.1.2 Integrity (3)

- a. Integrity of location = very good
- b. Integrity of design = very good
- c. Integrity of setting = very good
- d. Integrity of materials = good
- e. Integrity of workmanship = good

5.1.3 Age (3)

- 5.1.4 Association with an event, movement, organization or person important to the community, state, or nation = 2
- 5.1.5 Designer = 1
- 5.1.6 Architectural style or building type = 3
- 5.1.7 Construction materials = 1
- 5.1.8 Traditional lifeways = 0
- 5.1.9 Association with broad themes of local, state, or national history = 3
- 5.1.10 Conveys an important sense of time and place = 3

- 5.1.11 Is able to yield information important to the community or is relevant to the scholarly study of history, historical archaeology, ethnography, folklore, or cultural geography. (The application of this criterion is beyond the purview of this report).

The house at 607 Walnut Avenue receives a ranking of "3" ("very good") for Integrity, "3" for Age. It receives an overall ranking of "2.1" for Association. Therefore, the property retains sufficient integrity and potential significance to require evaluation using the significance criteria outlined below:

The property also must meet one or more of the following Significance Criteria to be considered a significant resource:

- 1) *Is associated with an event, movement, organization, or person that /who has made an important contribution to the community, state or nation;*
- 2) *Was designed or built by an architect, engineer, builder, artist, or other designer who has made an important contribution to the community, state or nation;*
- 3) *Is associated with a particular architectural style, or building important to the community, state or nation;*
- 4) *Embodies elements demonstrating (a) outstanding attention to design, detail or method of construction, or (b) outstanding use of a particular structural material, surface material, or method of construction or technology;*
- 5) *Is associated with a traditional way of life important to an ethnic, national, racial, or social group, or to the community at large;*
- 6) *Illustrates broad patterns of cultural, social political, economic, or industrial history;*
- 7) *Is a feature or cluster of features which conveys a sense of time and place that is important to the community, state or the nation;*
- 8) *Is able to yield information important to the community, or is relevant to scholarly studies in the humanities, and social sciences.*

The property will be evaluated under Criteria 3, and 7; the remaining criteria are not applicable to the property.

Criterion 3:

The house at 607 Walnut Avenue has retained sufficient integrity to convey its transitional Queen Anne style. Its character-defining features include such features as, an emphasis on verticality, steeply-pitched roofs, asymmetrical façade, patterned shingles and turned porch supports and scroll work. The house exemplifies the type of modestly-scaled Queen Anne style houses being built in Carpinteria between circa - 1890 and 1910. Therefore, the house at 607 Walnut Avenue **qualifies** for designation under *Criterion 3*.

Criterion 7

The house at 607 Walnut Avenue has maintained the essential features of its original

design. The modestly-scaled house is representative of the type of residential properties that characterized Carpinteria during the period between circa-1890 and circa-1910. Because relatively few examples have survived in Carpinteria of this type of residential development, the house is an important reminder of this period in the city's history. Therefore, the house at 607 Walnut Avenue qualifies for listing as a significant historic resource under this criterion for its ability to convey an important sense of time and place.

5.2 Determination for Eligibility by the State Historical Resources Commission for listing in the California Register of Historical Resources

(a) For purposes of this section, the term "historical resources" shall include the following:

- 1.) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4850 et seq.).*
- 2.) A resource included in a local register of historical resources, as defined in section 5020.1(k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1(g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*
- 3.) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architecturally, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record. Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852) including the following:*
 - a) Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage;*
 - b) Is associated with the lives of persons important in our past;*
 - c) Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or*
 - d) Has yielded, or may be likely to yield, information important in prehistory or history.*

The house meets Criteria 3a since these housing types while reductive in their stylistic detailing and small in size, have a direct association with the settlement of Carpinteria at the turn-of-the- century, a time when the completion of the Southern Pacific Railroad's Coast line allowed the region's citrus industry to develop into a mainstay of the local economy. The house meets Criteria 3c because it is an exemplar of a modest interpretation of the Queen Anne style that characterized working and middle class housing being built in the Carpinteria Valley between the late 19th and early 20th

centuries. Therefore, the house at 607 Walnut Avenue is eligible for listing in the California Register of Historical Resources.

5.3 Evaluation of Eligibility for the National Register of Historic Places

The quality of significance in American history, architecture, archaeology, and culture is present in districts, sites, buildings, structures, and objects of State and local importance that possess integrity of location, design, setting, materials, workmanship, feeling and association, and:

- (a) That are associated with events that have made a significant contribution to the broad patterns of our history; or*
- (b) That are associated with the lives of persons significant in our past, or*
- (c) That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction, or*
- (d) That has yielded, or may be likely to yield, information important in prehistory or history.*

The house meets Criterion c because it is an exemplar of the type of modest interpretation of the Queen Anne style that characterized working and middle class housing being built in the Carpinteria Valley and much of the nation between the late 19th and early 20th centuries. The house meets Criterion a since these housing types, while reductive in their stylistic detailing and small in size, have a direct association with the settlement of Carpinteria at the turn-of-the- century, a time when the completion of the Southern Pacific Railroad's Coast line allowed the region's citrus industry to develop into a mainstay of the local economy and helped California become the nation's leading agriculture center during the early 20th century. Therefore, the house at 607 Walnut Avenue is eligible for listing in the National Register of Historic Places.

5.4 Contributing and Non-Contributing Buildings, Structures and Features on the Property at 607 Walnut Avenue

House

Contributors (must be preserved to retain the resource's historic significance and integrity:

- Original wing of the house
- Chamfered corner facing intersection
- Original roof configuration and framing
- Ornamental trimwork
- Original one-over-one wood sash windows
- Circular window
- Horizontal wood siding

- Open front porch
- Skirting type but not its material

Non-Contributors (may be removed or altered):

- Enclosed porch on north elevation
- Shed-roofed addition on west elevation
- Porch railing
- Front step railing.
- French door on west elevation

Other Structures and Features

Contributors:

- Palm tree in planter strip

Non-Contributors

- Garage
- Plank fencing
- Picket fence
- Landscaping

5.5 Summary Statement of Significance

This Phase 1-2 Historic Resources Report has determined that the house at 607 Walnut Avenue meets both Criteria 3 and 7, which makes it eligible for listing as a significant historic resource at the County of Santa Barbara Landmark level. It also is eligible for listing in the California Register of Historical Resources and the National Register of Historic Places. Therefore, the house at 607 Walnut Avenue is a significant historic resource for the purposes of environmental review.

PHASE 2 SECTION

6.0 EVALUATION OF PROJECT IMPACTS

The house at 607 Walnut Avenue is eligible for listing as a significant historic resource at the local level and for listing in the California Register of Historical Resources and the National Register of Historic Places. The County of Santa Barbara, Planning and Development in: *Environmental Thresholds and Guidelines Manual (October 2008)* provides guidelines for evaluating impacts to significant historic resources. Generally if a proposed project meets the Secretary of the Interior's Standards for the Treatment of Historic Properties it is considered to be consistent with City of Carpinteria policies regulating alterations to significant

historic resources. The *Standards* list four distinct, but interrelated approaches to the treatment of historic properties: 1) Preservation, 2) Rehabilitation, 3) Restoration, and 4) Reconstruction. The proposed project will be evaluated using the Secretary of the Interior's Standards for Rehabilitation. As defined by the *Standards* rehabilitation is defined as: *the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving portions or features which convey its historical, cultural or architectural values* (NPR 1995).

The Secretary of the Interior's Standards for Rehabilitation

- 1) A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- 2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.
- 3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- 4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.
- 5) Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- 6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- 7) Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- 8) Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
- 9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be

compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

10) New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).

6.1 Proposed Project at 607 Walnut Avenue

The applicant proposes to make alterations to the house's north, south and west elevations. Proposed alterations include inserting dormer windows on the north and south elevations, rebuilding an existing addition off the house's north elevation, replacing fenestration on the west elevation and and rebuilding an addition off the west end of the house. Designed by Angeli de Covolo, Inc., the proposed alterations draw their inspiration from the house's existing Queen Anne style architecture (see Appendix A for architect's drawings).

6.1.1 Proposed Alterations to the House

The proposed project includes: 1) Alterations to the north elevation would include installation of a shed-roofed dormer with five operable sash windows with one-over-one glazing, the insertion of two, one-over-one, wood sash windows to the east end of the elevation and the replacement of existing shed-roofed wing's fenestration, including a wood paneled door with a three part wood frame window; 2) On the south elevation a roof level, shed-roofed dormer with a series of five, two-light slider windows would be inserted into the existing gable roof; and 3) On the west elevation the existing shed roof wing would be replace with a new wing housing a master bedroom; this addition, which would be capped by a gable roof, would increase the square-footage of the first floor by 47 square feet and make the wing flush with the existing wall plane of the house's main wing. The other changes to the west elevation would include the replacement of the existing wood deck with a larger wood deck, and the replacement of an existing one-light window with a pair of two-over two wood sash windows (see Appendix A for project plans).

Application of the Standards for Rehabilitation to the House

1) A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

The property has historically functioned as a single-family property and will continue to do so. Therefore, the proposed project meets Standard 1.

2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard 2 is met because:

- The shed-roofed wing proposed off the north elevation proposed for alteration postdates the construction of the house and is not a character-defining element of the building; therefore, removing the existing fenestration would not impair the building's architectural integrity. The proposed scheme for the replacement fenestration which would feature a triple wood frame window is within the design vocabulary of the existing house. Therefore the proposed scheme for remodeling the house's north elevation would not alter the historic character of the building.
- The wing projecting off the west elevation proposed for rebuilding postdates the original construction of the house and is not a character-defining element of the building. Therefore its removal would not alter the historic character of the building.
- The proposed design of the dormers which would feature shed roofs, shingle siding and one-over-one windows would not result in the loss of significant historic building fabric since much of the existing roof framing would remain in place. Moreover, the scale, material and design of the dormers, which feature materials and window types found on the historic house, emulate architectural features of the existing house and would not introduce materials or design elements out of character with the house's Queen Anne style architecture.
- The removal of a short section of the original canted cornice at the south end of the west elevation would not remove a substantial amount of this architectural feature since the remainder would remain intact on the rest of the house's original wing.

3) Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

The project does not propose the incorporation of conjectural features or construction fabric from other historic properties. Therefore, the proposed project meets Standard 3.

4) Changes to a property that have acquired historic significance in their own right will be retained and preserved.

The wings off the house's north and west elevations were added after the original construction of the house and do not embody historic or architectural significance in their own right. Therefore, the proposed project meets Standard 4.

5) Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Because the proposed alterations are primarily confined to a portion of the roof on the north and south elevations and alterations to the non-historic wings off the house's north and west elevations, the proposed project would not result in the loss of significant historic fabric. The alterations to the roof to install the dormers would leave most of the existing roof framing in place. Therefore, the proposed project meets Standard 5.

6) Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

At this time the project does not propose repairs to historic building fabric. Should such repairs be necessary for example to the existing siding, ornamental trimwork or historic windows, the replacement materials shall match the house's historic building materials in dimension, material and appearance. Should extensive amounts of historic fabric require replacement, the replacement plan shall be approved by a City of Carpinteria-approved architectural historian.

7) Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.

The project does not propose chemical or physical treatments to historic fabric. Therefore the proposed project meets Standard 7.

8) Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

The application of this criterion to archaeological deposits is beyond the purview of this report.

9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.

The proposed alterations to the house would maintain the existing historic fenestration, trimwork, front porch, siding and massing and volume of the original wing of the house which would preserve the resource's architectural and design integrity.

Alterations to the non-historic additions off the north and west elevations would not affect significant historic materials or design features that contribute to the historic character and significance of the building since the additions proposed for alteration are not contributors to the building's historic or architectural significance. Other changes including the replacement of an existing two-light slider on the shed-roofed addition off the north end of the east elevation, the replacement of the existing fenestration of this wing's north elevation; the replacement of an existing one-light window set near the north end of the west elevation with a pair of small one-over one wood sash windows and the insertion of dormer on the existing gable roof would not substantially impact the design integrity of the original wing of the house because the proposed alterations have been designed to emulate but not precisely copy the existing fenestration in size or arrangement. Therefore, these alterations would not impact the building's integrity of design or materials.

The construction of an addition capped by a gable roof off the southwest corner of the house in place of the existing shed-roofed one-story wing would alter the south elevation would remove the approximately one-foot recession that delineates the division between the original house and the additions. The proposed scheme would substitute a gable roof for the existing shed roof and would remove a section of the canted cornice element at the south end of the west elevation. While the proposed roof type would not match the original shed style, it would be sufficiently differentiated from the historic wing of the house because it would feature a lower ridge height and is recessed to the rear of the building. The loss of a relatively short section of the canted cornice would not substantially impact the building's integrity of materials or design since the house would retain the rest of its original cornice existing on all four sides of the house. The visual distinction between the addition and the original wing would be further enhanced if a vertical trim board matching the existing trimwork defining the corners of the house was placed at the intersection of the original wing and the addition to provide a subtle division between historic fabric and the addition. Therefore, these modifications would not impair the building's integrity of design or materials.

The rear deck is reductive in design and employs a simple railing type and latticework which are in character with the house's original architecture. Moreover, the installation of this addition would not remove or alter historic building fabric and is located on the rear elevation out of public view. Therefore, this alteration would not impair the building's integrity of design or materials.

The addition's fenestration on has been designed to emulate existing windows but a slightly different scale which provides a subtle distinction between the historic fabric and the proposed additions. The dormers while not a historic feature of the building, employ materials such as wood shingle siding, simple wood surrounds and divided light windows that references both in materials, design and proportions the house's existing fenestration and cladding. The massing of the dormers and the employment of a shed roof and a slightly different size fascia for the dormers maintains the linearity of the house's side gable roof helps the dormers meld into the existing architectural scheme. Therefore because the additions and alterations would not substantially affect the building's integrity of design and materials meets Standard 9.

10) New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).

The dormers proposed for the north and south elevations could be removed in the future and the central section of the roof could be returned to its historic condition with no additional impact to significant historic fabric. The new wing off the west elevations could be removed in the future with minimal impact to historic building fabric or details which are confined to the original house. Therefore, the proposed project meets Standard 10.

7.0 CONCLUSIONS

This Revised Phase 1-2 Historic Structures Report has determined that the house at 607 Walnut Avenue, California, (APN 003-322-007) is a significant resource for the purposes of environmental review. Implementation of the revised project, which meets the Secretary of the Interior's Standards for Rehabilitation, is consistent with City of Carpinteria Historical and Archaeological policies. Therefore, implementation of the proposed project would have a less than significant impact to the house at 607 Walnut Avenue which is a historic resource for the purposes of environmental review.

8.0 BIBLIOGRAPHY AND REFERENCES

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City of Carpinteria, Community Development, Planning Department
County of Santa Barbara Tax Assessor's Office
Santa Barbara Historical Society, Gledhill Library

University of California, Santa Barbara, Main Library, Special Collections

Maps

U. S. Geodetic Survey Maps, 1870, 1878.

U. S. Land Commission Map, 1855.

1919 Harold G. Chase Map Depicting Parcels and Owners Between Carpinteria and Santa Barbara.

Sanborn Fire Insurance Maps 1920 and 1929.

Other Sources

1920 United States Census

David W. Griggs, Director, Carpinteria Valley Museum of History,

Maps and Figures

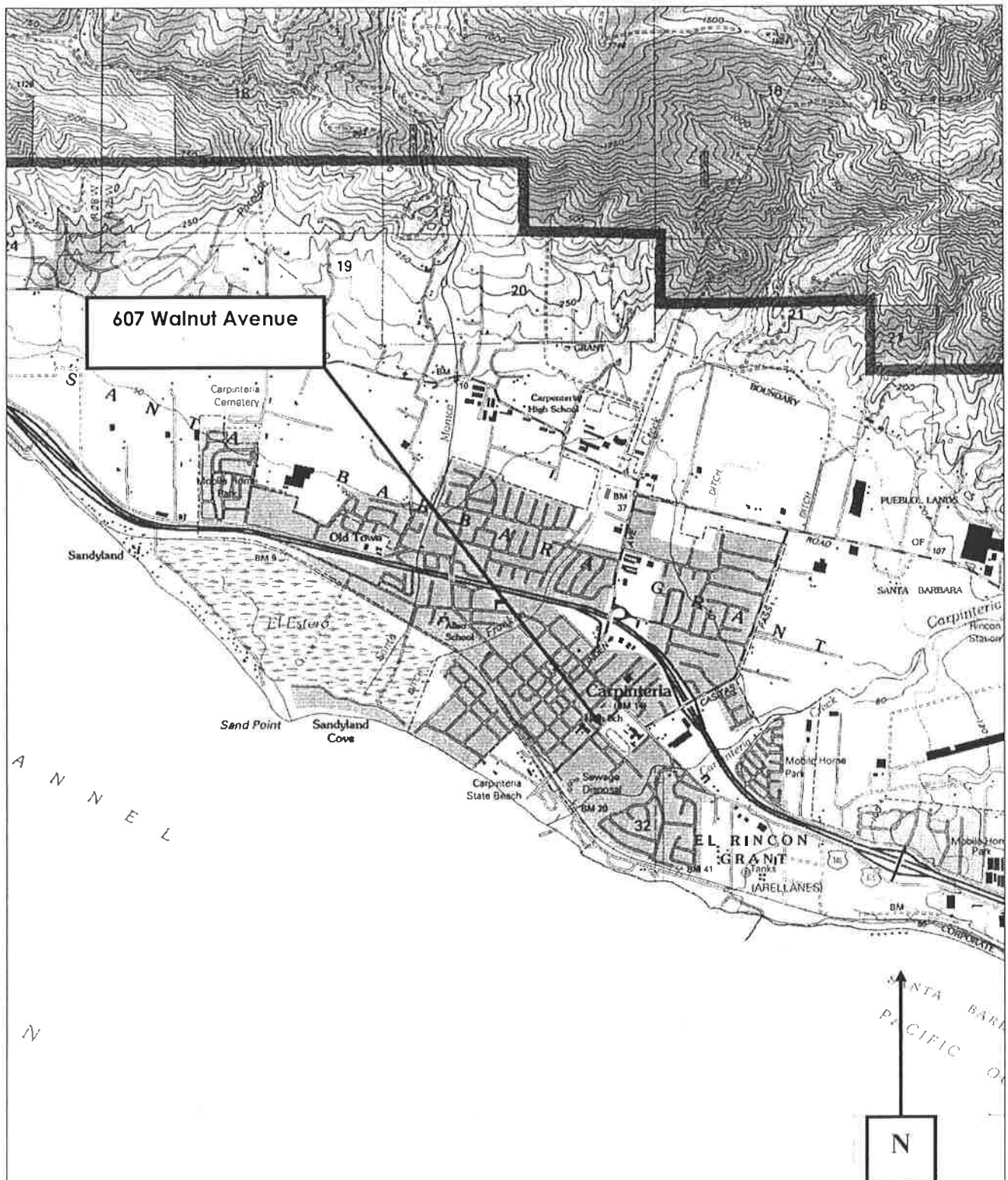


Figure 1
Location Map
607 Walnut Avenue, Carpinteria

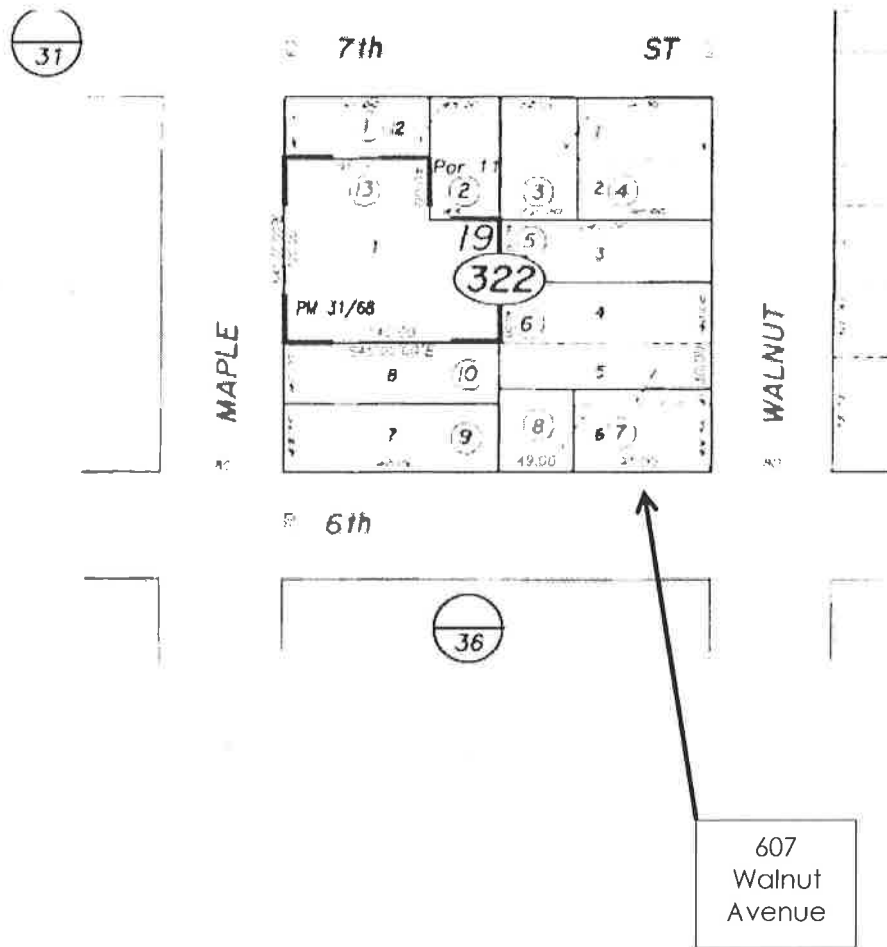


Figure 2
Assessor's Parcel Map for 607 Walnut Avenue, Carpinteria
(APN 003-322-007)

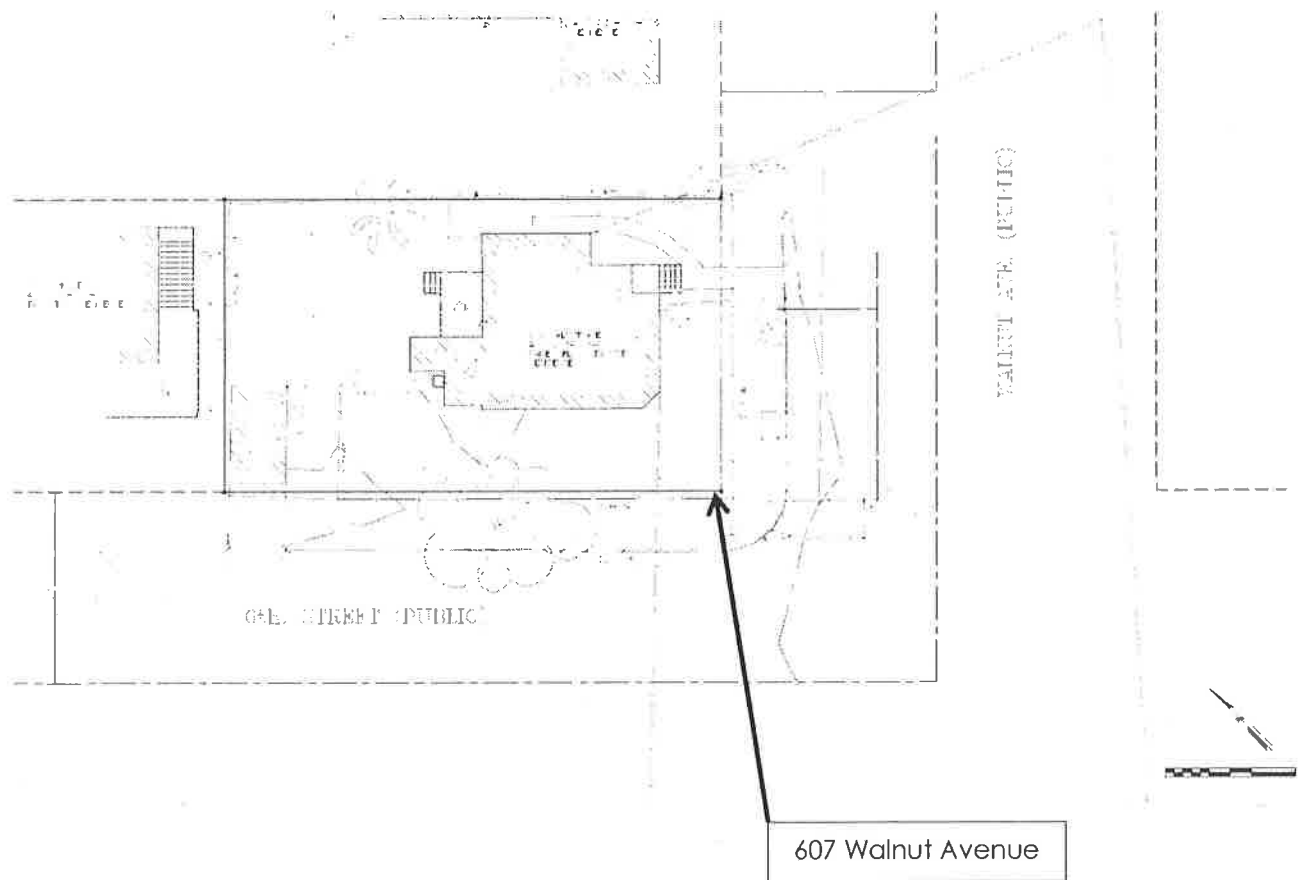


Figure 2a
Site plan for 607 Walnut Avenue, Carpinteria
(APN 003-322-007)



Figure 3
East and South Elevations



Figure 4
East Elevation, detail of porch (with partial North Elevation)

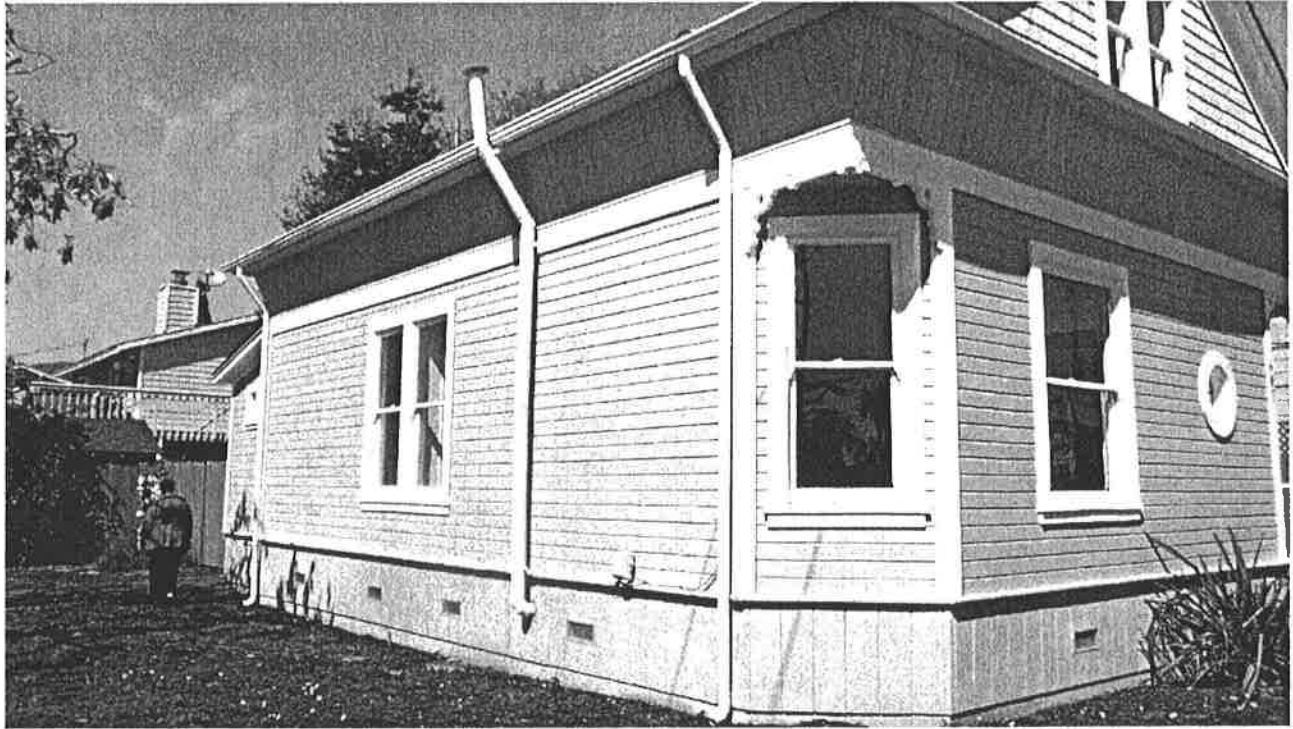


Figure 5
East and South Elevations, with detail of chamfered corner



Figure 6
South Elevation and part of West Elevation



Figure 7
West and North Elevations



Figure 8
Central Section of North Elevation



Figure 9
South Elevation of Garage

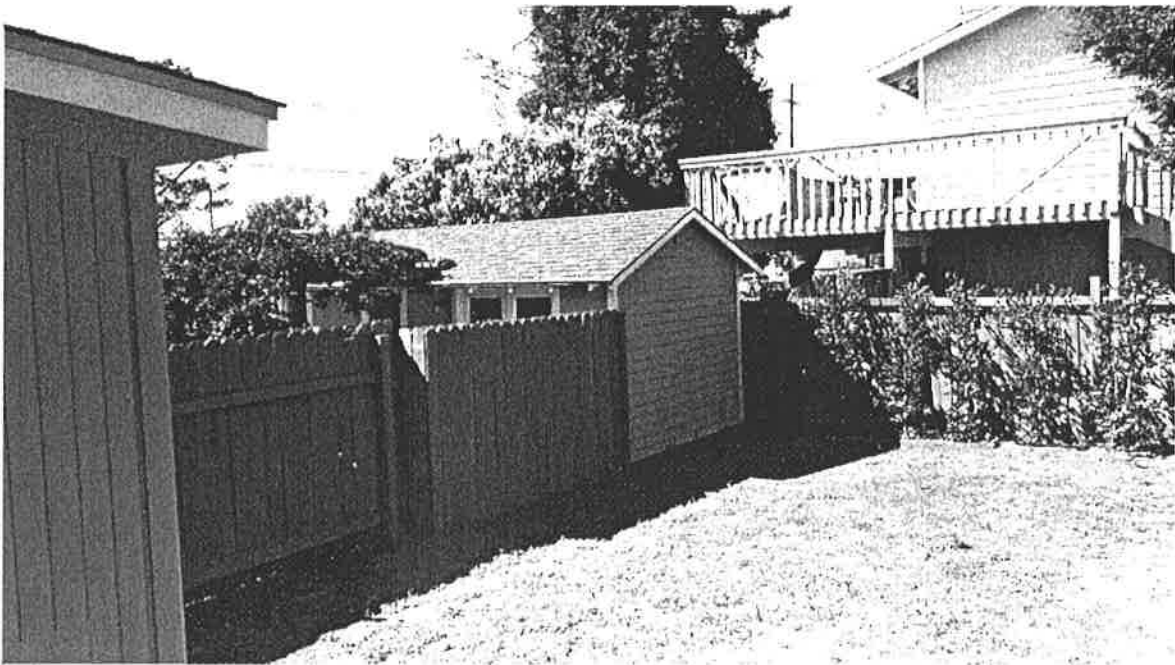


Figure 10
North and East elevations of Garage

Appendix A

Architect's Plans

Angeli de Covolo, Inc.

SINCLAIR FAMILY RESIDENCE

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA ELECTRICAL CODE (CEC).
2. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE, AS SET FORTH IN THE CITY OF SAN JOSE, CALIFORNIA, AND THE COUNTY OF SANTA CLARA, CALIFORNIA.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE, CALIFORNIA, AND THE COUNTY OF SANTA CLARA, CALIFORNIA.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE, CALIFORNIA, AND THE COUNTY OF SANTA CLARA, CALIFORNIA.

SYMBOLS

- ELEVATION: 1000.00
- NUMBERED NOTE: 1000.00
- CODE REVIEW NOTE: 1000.00
- EXIT SIGN: 1000.00

VICINITY MAP



SHEET INDEX

A-1 COVER SHEET/SHEET INDEX

A-2 SITE PLAN

A-3 FLOOR PLANS

A-4 ELEVATIONS

A-5 PHOTOGRAPHS

PROJECT TEAM

DESIGN CONSULTANTS:
GIL GARCIA AND EVERETT WOODY
22 E. ABRELLA STREET
SANTA BARBARA, CA 93101
805 452 2999 OR 805 684 2588

GENERAL CONTRACTOR:
DAVID CLARK
1000 PASEO DE LA UNIV. DRIVE
SANTA BARBARA, CA 93106
805 684 9606

PROJECT DATA

OWNER:
JACK AND MICHELLE SINCLAIR
22 E. ABRELLA STREET
SANTA BARBARA, CA 93101
PHONE 479 699 4046

APN: 003-322-007
PROJ-20
SITE AREA: 11 ACRES GR055 OR 4,693.71 SQ. FT.
GENERAL PLAN DESIGNATION: MEDIUM DENSITY RESIDENTIAL
HIGH FIRE AREA: NO
BUILDING AVERAGE HEIGHT: 25'-0"

CODE INFORMATION

BUILDING TYPE: R-3
CONSTRUCTION TYPE: TYPE V-NON
ROOF TYPE: CLASS 'A'

BUILDING HEIGHT: NOT TO EXCEED 22'-0" ABOVE EXISTING GRADE
BUILDING SQUARE FOOTAGE: UNLIMITED
THIS PROJECT WILL COMPLY WITH:
CBC 2013
CEC 2013
CALIFORNIA RESIDENTIAL CODE
CALIFORNIA ENERGY CODE
CALIFORNIA ENERGY CODE 2013
CFC 2013
CFC 2013
CFC 2013
CFC 2013
THE DRAWINGS ARE IN COMPLIANCE WITH CURRENT COUNTY ORDINANCE 14671 AND 4766
THIS PROJECT IS SUBJECT TO HIGH FIRE HAZARD AREA PROVISIONS OF CBC SECTION 14327

SCOPE OF WORK

1. 47 SQUARE FOOT MASTER BEDROOM ADDITION
2. NEW DORMERS ON NORTH AND SOUTH SIDE OF THE RESIDENCE
3. NEW SECOND STORY FLOOR PLAN

SHEET CONTENTS
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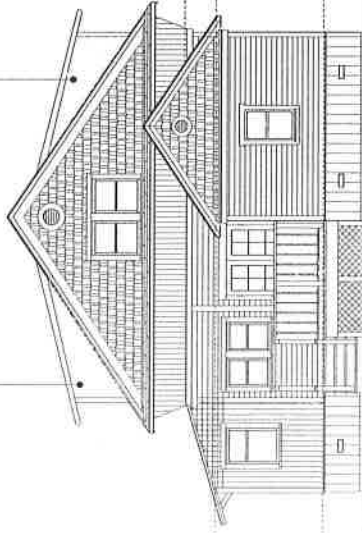
A-1

Angel de Covolo, Inc.
122 E. Arroyo Street
Santa Barbara, California 93101
805 452 2999

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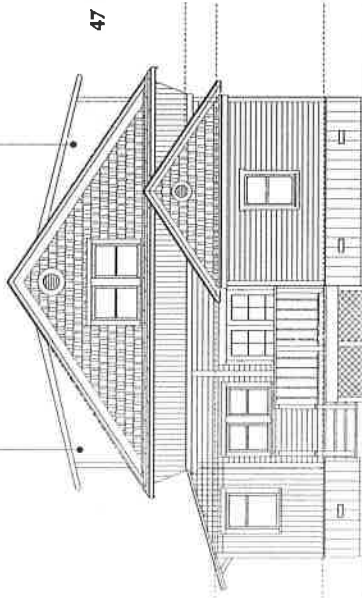
SINCLAIR FAMILY RESIDENCE
122 E. Arroyo Street
Santa Barbara, California 93101

PROPOSED DORMERS



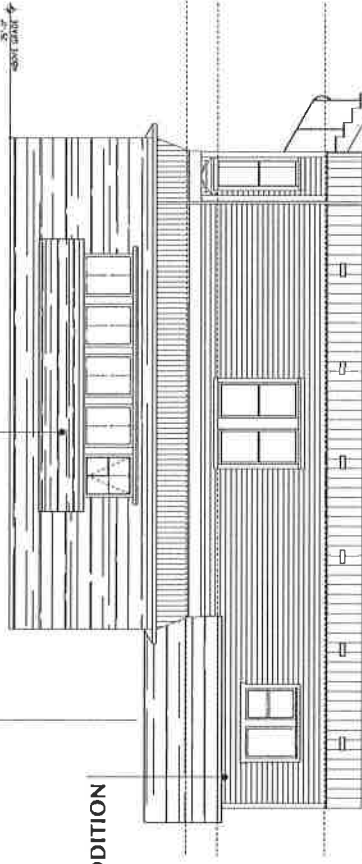
1 WEST ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED DORMERS



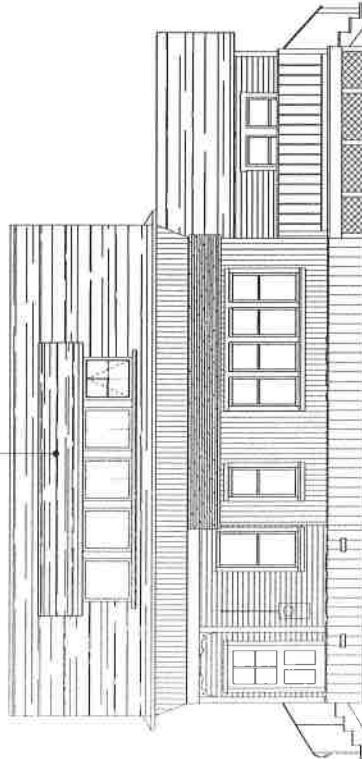
3 NORTH ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED DORMERS



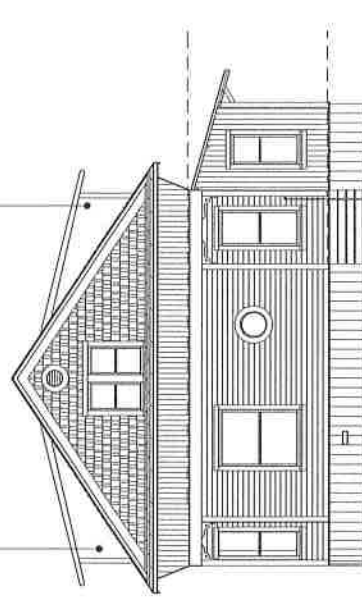
2 SOUTH ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED DORMERS



4 EAST ELEVATION
SCALE 1/4" = 1'-0"

PROPOSED DORMERS



DATE	10/1/10
BY	ANGELI DE COVOLI, INC.
CHECKED	ANGELI DE COVOLI, INC.
APPROVED	ANGELI DE COVOLI, INC.

SINCLAIR FAMILY RESIDENCE
107 T. AVENUE
LA JOLLA, CA 92037

SHEET CONTENTS
EXTERIOR ELEVATIONS

NO.	DESCRIPTION	DATE
1	WEST ELEVATION	10/1/10
2	SOUTH ELEVATION	10/1/10
3	NORTH ELEVATION	10/1/10
4	EAST ELEVATION	10/1/10

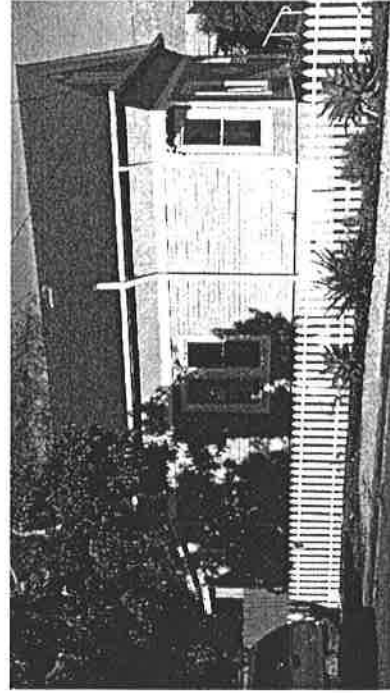


NO.	DATE	DESCRIPTION

NO.	DATE	DESCRIPTION



EAST ELEVATION
 NTS



SOUTH ELEVATION
 NTS



WEST ELEVATION
 NTS

NORTH ELEVATION
 NTS

Exhibit 5
Building Permit no. 4859
(Garage Conversion)

Sinclair Residence Remodel
607 Walnut Avenue

PC Hearing, February 1, 2016



APPLICATION and PERMIT

PERMIT
NO. 04859DIVISION OF BUILDING AND SAFETY — CITY OF CARPINTERIA
5775 Carpinteria Avenue, Carpinteria, Calif. 93013
Phone 684-5405Date of Application 3-18-92Address of Job 607 Walnut Ave.Lot _____ Parcel 3-322-07 Tract _____Owner Ian & Anna Cronshaw Address 607 Walnut Ave, Carpinteria Phone 969Contractor Owner/Builder Address same as above Phone sameArch., Eng. or D'tsm'n. Owner/Builder Address same Phone _____

TYPE	BUILDING GROUP	DIVISION
☐ Erect		
☐ Add		
☐ Alter <u>VN</u>	<u>R</u>	<u>3</u>
☐ Convert		
☐ Demolish		
☐ Move		

Rooms	ROOF	EXT. WALLS	FLOOR
☐ Families	☐ Wood Shingles	☐ Wood Siding	☐ Wood
☐ Stories	☐ Comp. Shingles	☐ Stucco	☐ Slab
	☐ Tile	☐ Masonry	☐
	☐ Built Up	☐ Steel	
	☐	☐	

AREA	
Sq. ft. @	Bldg. \$
Sq. ft. @	Porch \$
Sq. ft. @	Garage \$
Sq. ft. @	Carport \$
Sq. ft. @	Auto. Sprinklers \$
<u>200</u> Sq.ft. <u>43.00</u> Alteration	\$ <u>8,600.00</u>
	\$
Total Valuation	\$ <u>8,600.00</u>

House Type _____

Remarks:

REROOF ACCESSORY BUILDING UPGRADE

FEE	PLUMBING	\$30.00
	Traps	
	Water Heater	
	Water Piping	
	Sewer Connection	
	Gas Piping Outlets	

FEE	ELECTRICAL	\$30.00
	Temp. Service	
	Outlets	
	Service	
	Sq. Ft. Bldg.	
	Sq. Ft. Gar	
Main Ser.	Amps	

FEE	MECHANICAL	\$30
	Fan(s)	
	Furnace	
	Repair or Alter.	
	Air Conditioning	
	Sq. Ft. Bldg.	

SUMMARY OF FEES	
Advance Plan Check	\$
Building Permit	\$ <u>129.00</u>
Plan Check	\$ <u>113.85</u>
Plumbing Permit	\$ <u>30.00</u>
Electrical Permit	\$ <u>30.00</u>
Mechanical Permit	\$
SUBTOTAL	\$ <u>302.85</u>
SMIP	\$ <u>.86</u>
NEW CONSTRUCTION TAX	\$
TOTAL FEE	\$ <u>303.71</u>
ADV. PLAN CHECK	<u>-100.00</u>
BALANCE	

Receipt No.	
Date	<u>3-18-92</u>
Received By	<u>LC</u>

Receipt No.	
Date	<u>4-2-92</u>
Received By	<u>LS</u>

Maximum Floor Live Load	
Certificate of Occupancy Number	
Date Certificate Issued	

Date of Approval	<u>3-18-92</u>
BUILDING OFFICIAL	
City of Carpinteria	
By	<u>ROB CAMPBELL (LS)</u>

CERTIFICATE OF APPLICANT

I hereby acknowledge that I have read this application, front and back, and state that the above is correct and agree to comply with all City Ordinances and State Laws regulating Building Construction.

Owner or Authorized Agent

ACTION MINUTES

The meeting was called to order at 5:30 p.m. by Richard Johnson, Chair.

ROLL CALL

Boardmembers present: Richard Johnson
Scott Ellinwood
Rachelle Gahan
Jim Reginato

Boardmembers absent: Dylan Chappell

OTHERS PRESENT: 15 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

- 1) Applicant: Kevin Moore, agent/architect for Tyler Rameson, Jade Capital LLC
Planner: Nick Bobroff
Project: 15-1793-DPR/CDP
Project Location: 699 Linden Avenue
Zoning: Central Business (CB) with a Visitor-serving Commercial (V) Overlay

Hearing on the request of Kevin Moore, agent/architect for Tyler Rameson, Jade Capital LLC, to consider Project 15-1793-DPR/CDP for final review of a proposal to remodel the former Tony's Restaurant. Proposed building improvements include various accessibility improvements, exterior façade improvements, construction of a 136 square foot walk-in cooler addition and expansion of the existing rear patio enclosure (including new perimeter fencing and shade trellis). The property is a 9,375 square foot parcel zoned Central Business (CB) with a Visitor-serving Commercial (V) Overlay and shown as APN 003-312-040, addressed as 699 Linden Avenue.

Staff presented the updated project to the Board and described the changes that had been made since the Board's last review. Staff asked the Board to provide input on the revisions, final project details, colors and materials, and landscape plan. The project representative presented explained they had responded to the Board's direction.

Public Comment:
None

Boardmember Discussion:

The Board was in unanimous agreement that their previous concerns and suggested revisions had been appropriately addressed. There was some discussion concerning the height reduction to the corner element and whether it was preferred over the original (taller) height, but the Board ultimately agreed that the reduced corner element height was acceptable.

With respect to the proposed exterior materials, the Board indicated they were supportive of the finishes and colors selected. The Board also indicated they preferred tile option "2." Boardmember

Gahan noted the landscape plan was well done, but noted the carex could have some durability issues if exposed to ongoing foot traffic.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Gahan to recommend final approval as submitted.

VOTE: 4-0

PROJECT REVIEW

- 2) Applicant: Ed deVicente of DMHA Architects, agent/architect for Habitat for Humanity
Planner: Shanna Farley-Judkins
Project: 15-1798-DP/CDP/TPM
Project Location: 4949 Sawyer Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Ed deVicente of DMHA Architects, agent/architect for Habitat for Humanity to consider Project 15-1798-DP/CDP/TPM for preliminary review of construct three residential condominium units within two detached two-story structures. The proposed units' habitable space would be 1,239 square feet, 1,269 square feet and 1,268 square feet, each having three bedrooms. The project would provide three carport spaces and one uncovered parking space. The project includes a front setback and parking modification. The property is a 6,950 square foot parcel zoned Planned Residential Development and shown as APN 003-153-005 addressed as 4949 Sawyer Avenue.

Staff presented an introduction of the primary project to the Board. The project representatives, Ryan Mills, Ed deVicente, Jon Peterson and Katie Klein, provided a detailed project description and background to the Habitat for Humanity housing model. Ryan Mills explained the importance of project siting which went into the design and location of the proposed units, taking into consideration neighboring structures, location near transit and the downtown, creating air space between the two structures and creating private spaces for the future residents. The applicants and Board clarified aspects of the projects affordability, parking restrictions, grading and storm water management.

A letter was submitted, from Gaby Mendoza, to the Board. The letter summarized concerns related to privacy, traffic and parking, management and care of the property, housing restrictions and other nuisance concerns from a new residential use.

Public Comment:

Gaby and Rafael Mendoza, neighbors residing at 4929 Sawyer Avenue, identified privacy concerns related to the new two-story project. They identified existing traffic concerns in the neighborhood and noted that upon their research most households own three cars. Rafael Mendoza suggested that the project could potentially have nine cars with three households. Gaby Mendoza noted concern about the management of the housing and the number of people living in each unit. Jon Peterson, of Habitat for Humanity, clarified that the eventual residents on the site will be homeowners of their condo unit and will have their own mortgage. Mr. Peterson noted that based on federal regulations, they will have no more than seven occupants in each unit and would more likely be households of four to six members. He also noted that the homeowners will be self-managing and will operate a

Home Owner's Association, which Habitat for Humanity will assist with updates and improvements at the site. Rafael Mendoza asked if the project could be one story to address privacy concerns. Mr. Mendoza asked the Board could clarify the next steps for the project. Staff explained that the project, if recommended by the Board, would be presented to the Planning Commission. Ryan Mills, project architect, suggested that the neighbors visit the habitat for Humanity project in Santa Barbara on Canon Perdido. He noted this project was of similar scale and was constructed in 2010.

Boardmember Discussion:

Boardmember Ellinwood noted that the project was oriented to reduce privacy impacts to neighbors by the placement of the structures, separation created by the driveway aligning with the neighbor's driveway, he believed that that privacy concerns had been adequately addressed and meets the minimum requirements required of the Municipal Code. Boardmember Ellinwood appreciated the simple design of the homes and believed it was consistent with the neighborhood pattern but suggested that larger window be considered on the front elevation. He suggested that the applicant consider more contrasting colors between the body color and trim, suggesting a slightly darker color making the trim more visible.

Boardmember Reginato believed the architecture was generally pleasing. He suggested that the porch roof, on the east elevation, should be extended across the entire front of the home. He suggested that the mechanical door on unit two be moved or painted or that the "eye brow" roof above be extended to fully cover the door. Boardmember Reginato suggested that the gutter downspouts angled back to the building to be less visible. He asked if the applicant had considered permeable pavers. Boardmember Ellinwood agreed that permeable paving or permeable asphalt could be beneficial to the site.

Boardmember Gahan agreed with Boardmember Reginato regarding extension of the front eave across the front of the home. She believed the landscaping was nice but suggested that the front yard landscaping enclosing the front patio should be low and open. She appreciated the seat wall in the common back yard area.

Boardmember Johnson felt that landscaping along the fence and driveway would help breakup the walls and provide privacy to the neighbors. He agreed that the front eave should extend across the front of the home. He also agreed that permeable pavers would provide a benefit to the site.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to recommend preliminary approval of the project to the Planning Commission with the following comments:

- Extend the front porch eave across the front elevation;
- Align the gutter downspouts vertically with the face of the building;
- Modify the color palette to include more contrasting colors;
- Add vining plants to the driveway fence; and
- Explore use of permeable pavers, if feasible.

VOTE: 4-0 (Chappell absent)

PROJECT REVIEW

- 3) Applicant: Gil Garcia and Everett Woody, agent/designer for Jack and Mechelle Sinclair
Planner: Nick Bobroff
Project: 15-1800-CUP/CDP
Project Location: 607 Walnut Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of Gil Garcia and Everett Woody, agent/designer for Jack and Mechelle Sinclair to consider Project 15-1800-CUP/CDP for preliminary review of a request to remodel an existing single family residence and construct a 47 square foot addition. The property is a 4,893 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-322-007 addressed as 607 Walnut Avenue.

Staff presented the project to the Board and explained a Conditional Use Permit is required for the structural modifications to the residence.

Public Comment:

None

Boardmember Discussion:

Overall the Board found the project to be a nice improvement to the property, noting it would largely preserve the historic home while also improving its livability.

Boardmembers Ellinwood and Johnson had several suggestions for changes/comments. Concerning the dormers' design and detailing, they recommended the dormer ends be clad in shingle siding to match the gable ends. They also felt the dormers should utilize more substantial trim and fascias to better tie into the existing house. Dormer windows should be pulled back from the corners the same distance as the spacing between the dormer windows and should be of a "one over one" design like the windows on the rest of the home.

Concerning the (to be) rebuilt rear addition, the Board again noted a heavier fascia would be appropriate, and that either a vertical trim board placed at the back corner of the original historic residence (to differentiate it from the addition) or the new addition should continue to step in slightly (~ 4 inches), like the existing addition does. The Board indicated they preferred this latter approach. The Board also suggested the house would benefit from the inclusion of a heavier trim and fascia on the existing laundry room addition (on the north side) of the house.

Boardmember Johnson asked if the applicant had considered any possible solutions for providing onsite parking. Boardmember Johnson indicated he would be generally supportive of a surface parking area if it could be made to work.

ACTION: Motion by Boardmember Reginato seconded by Boardmember Ellinwood to recommend preliminary approval of the project to the Planning Commission with the following comments:

- Use shingle siding in the dormer ends;
- Use more substantial trim/fascia on dormers;
- Dormer windows should be pulled back from corners a distance equal to the spacing between the dormer windows;

- Use windows for dormers that are consistent in style with the remainder of the house (i.e., “one over one”);
- Use a heavier fascia on the rear addition;
- Break up the (rebuilt) rear addition from the original historic house through use of either a vertical trim board or stepping the addition in slightly (~4 inches) (preferred);
- Use a heavier trim/fascia on existing laundry room addition.

VOTE: 4-0

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held November 12, 2016.

ACTION: Motion by Boardmember _____, seconded by Boardmember _____, to approve the minutes as presented.

VOTE: 0-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

1. Olson Residence Exterior Materials: Applicant requested permission to replace approved exterior siding materials with real cedar shingles stained “Taupe” for both ground and second floor exterior. Corner shingles to be “laced.” Garage door to be stained to match shingle color. Board approved of requested changes.
2. Bornhurst Residence Exterior Materials: Applicant requested permission to replace the approved cedar siding for the rear second floor pop-out (only) with architectural aluminum panels to match the previously approved detached rear yard accessory structure. The Board indicated they still preferred the cedar siding but would be okay with the aluminum panels since the affected element is in the rear yard.
3. Corktree Cellars Revised Sign: Applicant requested permission to install a new reclaimed wood façade around the restaurant entry way. New sign lettering would be installed directly on the reclaimed wood surface above the entry way. The Board indicated they needed additional information and better details before they could make an informed decision. They asked to see how the wood façade element would relate to the rest of the building. They also sought revisions concerning how the wood façade would integrate with adjacent window trims, entry way head height and how, or if, the façade would return into the recessed entry way.
4. Casa del Sol Revisions:

ADJOURNMENT

Chair Johnson adjourned the meeting at ____ p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, February 11, 2016.

All Boardmembers present indicated they would be in attendance.

Secretary, Architectural Review Board

ATTEST:

Chair, Architectural Review Board

DRAFT



February 2016



Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
	1 5:30pm Planning Commission—CCTV	2 7:30am – 4:30pm First Responder Awareness Class – CC 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm	3 8am Parks/Rec Staff Mtg—Green Rm 11am Work Harassment Training – CC 2pm Work Harassment Training – CC	4 7:30am – 5pm CPR Training - CC 8:30am Carpinteria First Mtg—Green Cf Rm 2pm All CDD Staff Mtg – Green Conf Rm	5 5:30pm 1 st Friday Events— Downtown	6 13 9am Carpinteria Beautiful – CC 10am –2pm ABOP – PW Yard
7	8 9am Large Projects Coordination Mtg – Blue Rm 3pm Council Closed Session – CC & Blue Rm 5:30pm City Council Mtg – CC TV	9 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm 2:30pm Planning Staff Mtg – Green Rm 4:30pm School Board Closed Session – CC & Green Conf Rm 5:30pm School District Board Mtg – CCTV	10 8am Parks/Rec Staff Mtg—Green Rm 8am-3pm First Responder Training – CC 2pm All Employee Healthcare Committee – Green Conf Rm 4pm Hazard Mitigation Plan Update – Blue Rm 5:30pm Water Board Mtg – CCTV	11 2pm Management Safety Mtg – Green Rm 2:30pm Code Compliance Mtg – Blue Rm 4pm Integrated Pest Mgmt Mtg – Blue Rm 5:30pm ARB Mtg – CC	12 13 9am Carpinteria Beautiful – CC 10am –2pm ABOP – PW Yard	
14 <i>Valentine's Day</i>	15 Presidents Day (City Hall Closed) Happy Birthday David Huff!	16 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm 2:30pm Planning Staff Mtg – CC 5:30pm Fire District Board— CCTV	17 8am Parks/Rec Staff Mtg – CC 10am RWQC Board Salt Marsh Mtg – CC 4:30pm Teen Court – CC & Green Rm	18 8:30am Carp First Mtg—Green Cf Rm 10:30am IDAG Mtg – Blue Rm 2pm Region Coordination Committee—CC 2:30pm Code Compliance Mtg— Blue Rm 5:30pm Tree Advisory Board Mtg – CC	19 10am HOST Steering Committee Mtg – Green Conf Rm	20 10am –2pm ABOP – PW Yard
21	22 9am Large Projects Coordination Mtg – Blue Rm Happy Birthday Brian! 3pm Council Closed Session – CC & Blue Rm 5:30pm City Council Mtg – CC TV	23 10am Staff Mtg – Blue Rm 2pm PW Staff Mtg – Blue Rm 2:30pm Planning Staff – Green Rm 4:30pm School Board Closed Session – CC & Green Conf Rm 5:30pm School District Board Mtg – CCTV	24 8am Parks/Rec Staff Mtg—Green Rm 5:30pm Water Board Mtg – CCTV	25 7am – 5pm CPR Training – CC 11am Homeless Population Mtg – Blue Rm 2:30pm Code Compliance Mtg – Blue Rm 5:30pm Traffic Safety Committee – CC	26 10am –2pm ABOP – PW Yard	27 10am –2pm ABOP – PW Yard
28	29					

City of Carpinteria
Planning Activity Summary

January 2016

- | | | | |
|-----------------------------|--------------------|---------------------------|------------------------|
| 1. In 30-day review process | 5. Schedule for PC | 9. Schedule for final ARB | 13. BP issued |
| 2. Incomplete | 6. PC approved | 10. Final ARB Approval | 14. Under construction |
| 3. Schedule for ARB | 7. Schedule for CC | 11. Schedule for CCC | 15. C of O issued |
| 4. Director's Decision | 8. CC Approved | 12. In plan check | |

Last Edited 01/28/16

Project #	Owner / Applicant	Address	Street	Project Description	Activity	Planner	Status	Code Violation
16-1806-CON	Swinford	710	Palm Avenue	Concept review of proposal to demolish and replace (E) SFD, garage and 2nd unit	Submitted 1/22/16.	Nick	1	
12-1634-CON	Rincon Bluff Resort	6351	Carpinteria Avenue	Conceptual review of 162-room resort with conference rooms, restaurants, spa, pool, etc. on 21.65 acres	BlueRidge Development is putting together a revised concept proposal. Met with applicants and CCC 4/28/14 and 1/15/15. Met onsite with CCC 5/4/15; follow-up in February 2016.	Steve	2	
15-1777-DP/CDP	R.P. Enterprises	6155 and 6175	Carpinteria Avenue	Industrial Research Mixed-use Campus	Submitted 6/24/15. Incomplete 7/22/15. Resubmitted plans 11/10/15. Second incomplete 12/3/15.	Steve	2	
15-1778-CUP/CDP	Vernon	550	Maple Avenue	Blanket CUP for misc. industrial/manufacturing/commercial uses	Submitted 6/29/15. Incomplete 7/28/15. Application on hold per applicant request 9/16/15.	Nick	2	
15-1781-DP/CDP	Cruz	4675	Carpinteria Avenue	(N) Mixed Use bldg. 500 sq ft commercial and two one bedroom apts	Submitted 7/9/15. Incomplete 8/6/15.	Nick	2	
15-1782-DP	Freeman	789	Linden	Construct two-car garage with studio above	Submitted 7/23/15. Incomplete 8/18/15.	Steve	2	
15-1783-SIGN/FENC	Arbor Trailer Park	4677	Carpinteria Avenue (Ninth Street)	New frontage fences and signage	Submitted 08/05/15. Need survey from PW. Incomplete 08/17/15.	Shanna	2	
15-1799-CDP	6155 Carpinteria Avenue LLC	6155	Carpinteria Avenue	Landscape improvements & new pedestrian pathway	Submitted 11/17/15. Incomplete 12/16/15.	Nick	2	
15-1804-CDP	Hawkins	5567	Calle Arena	Construct (N) SFD w/ attached two-car garage	Submitted 12/29/15. Incomplete 1/28/16.	Nick	2	
13-1683-CDP	Schildknecht	4634	Ninth Street	New Single Family Residence	Submitted 10/17/13. Prelim ARB 11/14/13. Continued to future ARB. Inactive.	Shanna	3	
14-1719-CUP/CDP	City of Carpinteria		Carpinteria Ave Bridge	Replace Carpinteria Ave Bridge over Carpinteria Creek	NOP & Scoping Document released 7/3/14. Scoping Hearing 7/22/14. Project overview to PC 9/2/14. Project update to CC 11/10/14. ARB CON 2/12/15. Preparing draft EIR for public release Spring 2016.	Nick	3	
15-1767-CDP	Wood	650	Concha Loma Drive	New Single Family Residence	Submitted 4/28/15. Incomplete 5/27/15. Resubmitted 7/13/15. Complete 8/10/15. CEQA Initial Study underway. To ARB concept review 10/15/15.	Nick	3	

15-1798-DP/PM/CD	Habitat for Humanity	4949	Sawyer Avenue	Three residential condominiums	Submitted 11/5/15. IDAG Routing 11/10/15. Incomplete 11/17/15. IDAG 11/19/15. Complete 11/25/15. Prelim ARB 1/14/16. Tent PC March.	Shanna	3	
15-177-ARB	Blum	606	Linden Avenue	Exterior Alterations	Submitted 6/8/15. ARB final 07/16/15. Director approved 7/21/15. Awaiting Building Permit submittal.	Shanna	4	
15-1788-CDP	Gobbell	5398	Star Pine Road	Convert (E) accessory building into a second dwelling unit	Submitted 8/19/15. Incomplete 9/4/15. Resubmittal 9/11/15. Complete 9/28/15. Prelim/Final ARB 10/15/15. CDD Director approved 10/29/15.	Nick	4	
15-1791-ARB	Bush	4310	La Quinta Drive	211 sf addition to, and remodel of, (E) 2-story SFD	Submitted 9/10/15. Incomplete 9/23/15. Prelim ARB 10/15/15. CDD Director approved 10/29/15.	Nick	4	
04-1175-DP/CDP/LC	Venoco, Inc.	5675	Carpinteria Avenue	Paredon Oil and Gas Extended Reach Drilling	Complete 9/11/14. MRS EIR contract approved 1/26/15. MOU for JRP approved 1/26/15. Venoco request to defer EIR rec'd 1/29/15. Application was to resume before end of 2015.	Steve	5	
05-1210-ZTA/LCPA	City of Carpinteria		Citywide	Zoning Code Update	Kick-off meeting 4/20/05. Joint Study Session 5/16/05. All administrative draft chapters delivered 5/12/06. Final Draft meeting with consultant 9/14/07. Public draft to be released in spring 2016.	Steve	5	
15-1800-DP/CDP	Sinclair	607	Walnut Avenue	47 sq ft bathroom addition & new 2nd floor dormers	Submitted 11/30/15. Incomplete 12/10/15. Resubmitted 12/28/15. Prelim ARB Approval 1/14/16. Complete 1/21/16. To PC 2/1/16.	Nick	5	
15-1801-ORD	City		Citywide	Zone Code Amendments	To PC 1/4/16. To CC 1/11/16 and 1/25/16	Steve	5	
09-1534-DP/CDP	Carpinteria Valley Arts Council	855	Linden Avenue	Community arts building	Submitted 11/19/09. Incomplete 12/17/09. Resubmitted 4/22/10. Incomplete 5/10/10. Resubmitted 9/29/10. Complete 10/28/10. Prelim ARB 1/27/11. ERC hearing 4/21/11. PC approved 6/6/11. PC granted four-year time extension 6/1/15.	Nick	6	
14-1722-TPM/CDP	Godfrey	1056	Eugenia Place	Subdivide (e) mixed use building into three condominiums	Submitted 6/19/14. Incomplete 7/17/14. Resubmitted 10/20/14. Complete 10/29/14. PC approved 11/3/14. FLAN sent 11/18/14.	Nick	6	

15-1773-CUP/CDP	Wright	4921	Third Street	Convert carport to one car garage	Submitted 6/8/15. Incomplete 6/30/15. Resubmitted 7/6/15. Complete 7/23/15. ARB rec approval 7/16/15. PC approved 9/8/15. FLAN to CCC 9-23-15, appeal period expires 10-7-15.	Nick	6	
14-1742/TPM/CDP	D'Urbano	4315	Carpinteria Avenue	Two-way lot split in CPD Zone	Submitted 11/21/14. Complete 12/18/14. PC approved 3/2/15. Final Map under review.	Steve	7	
15-1785-LCPA/ORD	City of Carpinteria		Citywide / residential Zones	Short-term Vacation Rental Ordinance	Initiated by CC 08/10/15. Moratorium 10/26/15. Memo to CC 11/12/15. Discussion at PC 12/07/15. Draft Ord to PC 01/04/16. PC rec Approval to CC 01/04/16. Tent CC 02/08/16.	Shanna	7	
13-1650-DP/CDP	M3 Multifamily, LLC	4819	Carpinteria Avenue	6,000 square foot commercial building and two 600 square foot apartments	Submitted 1/9/13. Incomplete 2/7/13. Prelim ARB 10/17/13. PC approved 12/2/13. ARB "in-progress" 3/27/14. PC approved 36-month TEX 12/1/14.	Nick	9	
14-1733-DP/CDP/TF	Sanctuary Beach Condominiums (Norman's Tennis Court)	4925	Carpinteria Avenue	Four residential condominiums	Complete 12/30/14. ARB Prelim 2/12/15 continued to 4/16/15, then 5/14/15. To PC 8/3/15; continued to 10/5/15 for redesign. ARB revised preliminary 9/17/15. Planning	Steve	9	
15-1751-DPR/CDP	City of Carpinteria	5775	Carpinteria Avenue	City Hall foyer add'n and landscape	Submitted 1/26/15. Complete 2/3/15. ARB Prelim 2/12/15. PC approved 3/2/15. CCC appeal period ended 3/30/15. Project to be phased.	Steve	9	
15-1760-CUP/CDP	City of Carpinteria		East end of Carpinteria Avenue	Rincon Trail	MND to ERC 6/27/12. Submitted 3/11/15. Complete 4/14/15. PC approved 5/4/2015. Needs County P&D application and approval. Tied to Linden/Casitas interchanges and Via Real extension Caltrans project.	Steve	9	
15-1795-DPR/CDP	Montana Ave. Capital Partners	6303-6309	Carpinteria Avenue	Remodel of exterior façade and refurbish landscape	Submitted 9/29/15. ARB Prelim. 10/15/15. Director Approved 10/16/15. NOFA sent to CCC 10/27/15. Pending final ARB.	Steve	9	
15-1797-CDP/ARB	George, Bob and Amanda	1347	Camino Trillado	Second floor addition and remodel of SFD	Submitted 10/19/15. Complete 10/27/15. Prelim ARB 11/12/15. Director Approval 11/13/15. Appeal period ends 11/23/15. Pending final ARB, Tent 02/11/16.	Shanna	9	

05-1204-DPCDP	Venoco, Inc.	5663	Carpinteria Avenue	Dump Road Gate and Signs	PC Hearing 1/3/06. Cont'd to 2/6/06. PC Approved. Neighbor appeal to CC. CC conceptually granted appeal; cont'd to 5/8/06. Gate withdrawn by applicant. CC approved sign program 5/8/06. Appealed to CCC.	Steve	11	
09-1522-CUP/CDP/L	Caltrans		Linden-Casitas Interchanges and Via Real Extension	Reconstruct overcrossings and extend Via Real across Carpinteria Creek	Submitted 2009. PC recommended approval 05/18/15. CC first reading and recommended approval of ORD and LCPA 06/22/15 and 07/27/15. Submitted to CCC 08/21/15. CCC hearing in October in Orange County. CC approved CUP/CDP 11/23/15. FLAN sent to CCC 12/1/15. No appeal.	Steve	11	
14-1711-RZ/GPA/LC	City of Carpinteria	Citywide		Consistency Rezones and Land Use Map Amendments	PC approved 8/4/14. CC approved 1st reading 9/8/14. Submitted to CCC 9/25/14. Incomplete by CCC 10/10/14. Resubmitted 1/26/15. Submittal complete 2/10/15. CCC to schedule for hearing in early 2016.	Nick	11	
14-1712-ORD/LCPA	City of Carpinteria	Citywide		Zoning Code Amendments per Housing Law	PC recommended approval 7/7/14. CC approved first read 7/28/14. Sent to CCC 9/25/14. Incomplete 10/10/14. Resubmitted to CCC 1/26/15. CCC submittal complete 2/10/15. CCC to schedule for hearing in 2016.	Steve	11	
15-1786-CUP/CDP	Verizon Wireless	6267	Carpinteria Avenue	Wireless Telecommunications Facility	Submitted 08/14/15. Incomplete 08/31/15. Complete 11/11/15. PC 12/07/15. PC Action letter 12/8/15. Appeal period ends 12/17/15. CCC appeal period ends 1/8/16. Awaiting Building Permits.	Shanna	11	
15-1792-CUP/CDP	The Gas Co.		Carpinteria Avenue	New Data Collection Antenna in ROW	Submitted 09/17/15. Routing slip 09/23/15. Incomplete 10/13/15. Complete 10/28/15. To PC 01/04/16. PC approved 01/04/16. PC Action letter 01/05/16. Appeal period ends 01/14/16. Followed by CCC appeal period.	Shanna	11	
05-2002-DP/CDP	Venoco, Inc.	5663	Carpinteria Avenue	Parking Lot Fence & Signs	ARB Prelim 9/15/05. PC approved 1/3/06. Venoco appealed. CC granted appeal and approved 48" fence on 2/13/06. Appealed to CCC.	Steve	12	
12-1612-DP/CDP/TR	Gonzales	4610	Fourth Street	Demolish SFD - construct four condos	Application submitted 1/13/12. Complete 11/16/12. Preliminary ARB 12/13/12 and 1/17/13. PC approved 3/4/13. Final ARB 6/12/14. TE approved by PC 4/6/15. In Building Permit review. Needs FMC.	Steve	12	

15-1776-ARB	Millhollin	5481	El Carro Lane	Addition to SFD; new two-car garage	Submitted 06/23/15. Complete 07/06/15. Prelim/Final ARB 07/30/15. Director approved 08/12/15. In building review.	Shanna	12	
15-1787-CDP	St. Joseph Church	1500	Linden Avenue	Addition to meeting room (storage closet)	Submitted 08/14/15. Incomplete 08/31/15. Director approved 09/14/15. BP approved 10/15/15.	Shanna	12	
15-1793-DPR/CDP	Jade Capital LLC	699	Linden Avenue	163 sf addition to, and remodel of (E) restaurant	Submitted 9/18/15. Complete 10/16/15. Prelim ARB approval 10/29/15. PC 12-7-15 approved. Final ARB approval 1/14/16. BP submitted 1/20/16; in plan check.	Nick	12	
14-1714-ARB	St. George	5408	Shemara Street	Second floor addition and remodel of SFD	Submitted 05/15/14. Incomplete 05/29/14. Prelim ARB 09/11/14. Resubmitted Final ARB 07/30/15. In building plan check 10/1/15. BP Issued 11/3/15.	Shanna	13	
15-1765-DPR/CDP	Vernon, Carol	1160/1180	Eugenia Place	Landscape and hardscape improvements, ADA upgrades	Submitted 4/24/15. Prelim/Final ARB 5/14/15. Complete 5/22/15. Director approved 5/28/15. BP submitted 11-6-15. BP issued 12/8/15.	Nick	13	
15-1775-DPR/CDP	Carpinteria Valley Historical Society	956	Maple Avenue	Replace driveway gate; add perimeter fence	Resubmitted 7/27/15. Prelim/Final ARB approval 7/30/15 w/ revisions. Revised plans submitted 8/20/15. Director approved 9/2/15. BP approved 10/22/15.	Nick	13	
15-1780 15-1780	Herman	1423	Camino Trillado	157 sq. ft. SFD addition	BP Submitted 7/6/15. Director Approved 07/09/15. BP#11458 issued 7/21/15.	Shanna	13	
15-1802-CDP	CVWD	5300	Foothill Road	Construct new rollapart building to house (E) well pump and motor	Submitted 12/17/15. Found to be minor revision to previous CUP for well site (09-1503-CUP/CDP). Director Approved 12/23/15. BP issued 1/21/16.	Nick	13	
04-1172-DP/CDP	Franssen	750	Palm Avenue	Construct one new SFD and create two condominiums	Revised plans submtited 9/15/06. Incomplete 10/9/06. Resubmitted 10/30/06. Prelim ARB 11/30/06. Complete 12/21/06. To PC 1/2/07. Revised Prelim ARB 1/25/07. PC approved 2/5/07. CC approved map clearance 12/10/07. PC approved one year TEX 2/4/08. Grading Permit issued 2/4/09. Final ARB for Unit 2 10/1/09. BP issued, under construction. CoFo issued on rear unit.	Nick	14	

07-1407-TM/PM/DP	Resmark - Residential; Investec - Research Park	6380	Via Real	Lagunitas Mixed Use Project: 85,000 sq. ft. office building and 73 residential units	Submitted 11/01/07. Incomplete 11/29/07. Complete 2/29/08. ARB 7/17/08, 2/26/09, 5/14/09, 6/11/09. ERC 8/26/08. CC approved 9/8/08. Appealed to CCC. CCC found NSI 11/13/08. ARB Revised Prelim for landscaping/lighting 12/17/09. PM recorded July 2010. ARB Revised Prelim 2/17/11, 6/16/11; Final Landscape/Lighting 7/14/11. ARB Final for residences 8/25/11. Map Recorded 8/22/11. All residential units complete. Revised ARB Prelim for Office Bldg 8/15/13.	Steve	14	
08-1483-CDP	Salzgeber	447	Concha Loma Drive	Install water well and storage tank for agricultural purposes	Submitted 12/18/08. Incomplete 1/16/09. Resubmitted 3/20/09. Incomplete. Resubmitted 9/1/09. Director approved 5/7/10. Permit issued 10/19/10. Well constructed and sealed 11/10. Awaiting installation of pump and storage tank.	Nick	14	
09-1500-CUP/CDP	Caltrans		US 101 - Mussel Shoals to Carpinteria Creek	Add median HOV lane from eastern City boundary to 1/2 mile east of Casitas Pass Road	Submitted 4/14/09. Complete 5/12/09. Concept ARB 8/13/09. Prelim ARB 11/12/09. PC approved 1/4/10. Final ARB 4/15/10. Project started in March 2012; construction in Carpinteria finished in 2014. Project to be completed 2016. Monitoring landscape.	Steve	14	
09-1535-CUP/CDP	Carpinteria Sanitary District	ROW	Carpinteria Avenue	Bluffs Sewer Replacement	Submitted 11/25/09. Incomplete 12/22/09. PC approved 2/1/10. Reviewed easement documents 8/11. Preconstruction meeting 9/22/11. PW Encroachment Permits issued early October. Construction ongoing 2/29/12. Reveg to City parcel 3/12. Bluffs abandonment under construction. Hydroseeded 12/12. Plantings verified by City Biologist 2/27/13. Additional weeding 4/22/13 verified by City Biologist. Need to verify growth spring 2016.	Shanna	14	
11-1584-DP/CDP	Dorrance Way Group	4785	Dorrance Way	New SFD	Submitted 4/15/11. Incomplete 5/5/11. Resubmittal 6/21/11. Complete 9/23/11. PC approved 10/3/11. Final ARB 3/28/13. 13. PC approved TEX 9/3/13. ARB revised final 11/14/13. BP issued; under construction 5/27/14.	Nick	14	

11-1585-DP/CDP	Dorrance Way Group	4775	Dorrance Way	New SFD	Submitted 4/15/11. Incomplete 5/5/11. Resubmittal 6/21/11. Complete 9/23/11. PC approved 10/3/11. Final ARB 3/28/13. PC approved TEX 9/3/13. Revised ARB 1/16/14. BP issued; under construction 5/27/14.	Nick	14	
11-1586-DP/CDP	Dorrance Way Group	4765	Dorrance Way	New SFD	Submitted 4/15/11. Incomplete 5/5/11. Resubmitted 6/21/11. Complete 9/23/11. PC approved 10/3/11. Final ARB 3/28/13. PC approved TEX 9/3/13. Revised ARB 1/16/14. BP issued; under construction 5/27/14.	Nick	14	
12-1649-DPR/CDP	Pini	5585	Carpinteria Avenue	Casa del Sol Motel and Apartment Renovation	Submitted 11/2/12. Complete 11/29/12. Preliminary ARB 12/13/12; continued to 1/17/13. PC approved 2/4/13. ARB Final 9/12/13. PC approved TEX 3/3/14. BP issued 1/26/15. Revisions to BP submitted 5/11/15 and issued 5/26/15. Under construction.	Steve	14	
13-1677-ARB	Olson	1477	Santa Ynez Ave	Remodel and addition	Submitted 7/26/13. Prelim/Final ARB 8/15/13. Complete 8/20/13. Director approved 8/21/13. BP issued; under construction. Awaiting final inspection.	Nick	14	
13-1682-CDP/ARB	Van Eyck	1248	La Brea	Addition and Remodel to Existing SFD	Submitted 10/11/13. Complete 10/16/13. ARB 11/14/13. Prelim ARB 12/12/13. Cont Prelim 1/16/14. Final ARB 3/13/14. Director approved 3/14/14. BP approved 5/22/14; under construction.	Shanna	14	
13-1695-CUPR/CDP	Island Brewing Company	5049	Sixth Street	Expansion of brewery and tasting room	Submitted 12/17/13. Complete 1/29/14. PC approved 2/3/24. BP for interior improvements issued 5/6/15. Under construction.	Nick	14	
14-1704-CDP	City of Carpinteria Parks & Recreation Dept	100	Holly Avenue	Replace (E) Lifeguard tower w/ new lifeguard tower and storage building	Submitted 1/30/14. Incomplete 2/28/14. Resubmitted 3/11/14. Complete 3/19/14. Prelim ARB 3/27/14. Director approved 4/29/14. Under construction.	Nick	14	

14-1710-CUP/CDP	Schaff/S&S Seeds	6410	Cindy Lane	New warehouse and distribution facility	Submitted 4/25/14. Complete 5/23/14. PC approved 6/2/14. BP submitted 6/30/14; in plan check. Final ARB 9/11/14. LLA recorded. Interior demolition completed. BP issued 7/15. Revised BP submitted for 1000 Mark Ave 9/25/15. Revised BP issued 10/21/15. Under Construction.	Nick	14	
14-1716-ARB/CDP	Hill	5661	Canalino Drive	Remodel & Addition to (E) SFD	Submitted 5/30/14. Complete 6/24/14. Prelim ARB 7/17/14. Director approved 7/23/14. Final ARB 11/13/14. Submitted for Plan Check 12/11/14. BP issued; under construction.	Nick	14	
14-1726-CDP/ARB	Dautch	5554	Calle Arena	438 sq. ft. second story addition	Submitted 7/23/14. Complete 8/12/14. Prelim ARB 9/11/14. Cont Prelim 10/16/14. Director approved 10/27/14. Final ARB 1/15/15. In building review 01/27/15. BP Issued on 10/28/15. In construction.	Shanna	14	
14-1729-ARB/CDP	MTI Capital, Inc.	1275	Cramer Circle	New SFD	Submitted 8/13/14. Incomplete 9/8/14. Complete 9/29/14. ARB prelim 11/13/14. Director approved 2/2/15. Final ARB Approval 3/12/15. BP submitted 3/31/15. BP Routing Letter 06/17/15. BP issued 6/25/15. Under construction.	Steve	14	
14-1729-ARB/CDP	MTI Capital, Inc.	1275	Cramer Circle	New SFD	Submitted 8/13/14. Incomplete 9/8/14. Complete 9/29/14. ARB 10/16/14; ARB prelim 11/13/14. Director approved 2/2/15. Final ARB Approval 3/12/15. BP submitted 3/31/15. BP Routing Letter 06/17/15. BP issued 6/25/15. Under construction.	Steve	14	
14-1730-ARB/CDP	MTI Capital, Inc.	1289	Cramer Circle	New SFD	Submitted 8/13/14. Incomplete 9/8/14. Complete 9/29/14. ARB 10/16/14; ARB prelim 11/13/14. Director approved 2/2/15. Final ARB Approval 3/12/15. BP submitted 3/31/15. BP Routing Letter 06/17/15. BP issued 6/25/15. Under construction.	Steve	14	
14-1731-ARB/CDP	Olverd	5157	Ogan Road	New SFD and garage	Submitted 8/13/14. Prelim ARB 10/16/14, cont'd to 11/13/14. Final ARB 12/11/14. Submitted for BP review 12/22/14. Routing to applicant via email and sent on 6/17/15. BP issued 6/15. Under construction.	Shanna	14	

14-1734-CDP	Mimaki	5800	Via Real	Agricultural Grading and Creek Restoration	CO sent 7/9/14. 30-day extension granted. Application submitted 8/21/14. Incomplete 9/19/14. Resubmitted 10/20/14. Temp. erosion control plan submitted 10/26/14. Complete 11/19/14. Public Draft MND 6/12/15. ERC hearing 7/6/15. PC approved 8/3/15. Final Restoration Plan approved 8/31/15. Final Grading Plan approved 10/22/15. Under Construction 10/26/15.	Nick	14	YES
14-1738-ARB	Bornhurst	5566	Retorno Drive	690 sq ft second story addition	Submitted 11/4/14. Complete 11/24/14. Prelim ARB 1/15/15. Director approved 2/2/15. Final ARB 4/16/15. BP submitted 4/23/15. BP issued 8/27/15, under construction.	Nick	14	
14-1740-DP/CDP	Olson, Erik	4879	Dorrance Way	Demo E SFD; Build New SFD	Submitted 11/14/14. Incomplete 12/9/14. Prelim ARB 1/15/15. Complete 1/27/15. PC approved 02/02/15. Final ARB 3/12/15. BP Issued 5/5/15; under construction.	Shanna / Nick	14	
14-1746-ARB	Koch	1151	Church Lane	Remodel (E) SFD, construct 650 sq ft addition	Submitted 12/18/14. Complete 1/15/15. Prelim ARB 1/15/15. Director approved 1/29/15. Final ARB 4/16/15. BP submitted 4/29/15. BP approved & issued. Under construction. Minor revisions approved 8/28/15.	Nick	14	
14-1747-ARB/CDP	Krausgrill	4640	Ninth Street	Demo (E) SFD; construct (N) SFD	Submitted 12/24/14. Incomplete 1/21/15. Resubmitted 1/30/15. Prelim ARB 2/12/15. Complete 2/20/15. Prelim ARB approval 2/12/15. Director Approved 3/18/15. Final ARB 4/16/15. BP submitted 4/29/15. BP issued 7/28/15. Under construction 8/15.	Nick	14	
14-1748-CDP	Lundin	5380	Ogan Road	SFD addition	Submitted 12/23/14. Director approved 01/05/15. NTPO recorded. BP issued; under construction.	Shanna	14	
14-1761	Bonilla	1478	Alva Street	Addition to (E) SFD	Submitted 04/03/15. Director approved 04/07/15. NTPO recorded. BP Issued 5/8/15. Under construction.	Shanna	14	
14-1764	Malone	4961	Foothill Road	Addition to E SFD master bedroom / wetbar	Submitted 04/14/15. Director approved 04/17/15. BP issued 04/27/15; under construction.	Shanna	14	

15-1752-CUP/CDP	Steadfast	5464	Carpinteria Avenue	76-Bed Assisted Living Facility	Submitted 2/4/15. Incomplete 3/3/15. Resubmitted 3/18/15. Prelim ARB 4/16/15. Complete 4/22/15. PC approved 5/4/15. Submitted for building plan check 7/20/15. Final ARB 8/27/15. BP Issued 11/3/15	Steve	14	
15-1759-SIGN	St Joseph's Chapel	4691	Seventh Street	New Sign	Submitted 3/26/15. Fee submitted 04/23/15. Sign Approved / ARB waived by Director 4/23/15. Sign installed, awaiting response to lighting.	Shanna	14	
15-1789-ARB	Bock	560	Concha Loma Drive	Covert (E) attached garage into living space & covert (E) accessory building into a detached garage	Submitted 8/20/15. Incomplete 9/9/15. Prelim ARB 9/17/15. Director Approved 10/28/15. Final ARB approved 10/29/15. BP issued 11-30-15. Under construction.	Nick	14	
15-1803-FENCE	Bernardo Cruz	1484	La Paloma Dr	New fence over 3' in front yard and over 6' in side/rear yards	Submitted 12/29/15. Revisions requested of applicant 1/4/16. Revised plans submitted 1/7/16. Director Approved 1/7/16. Under construction.	Nick	14	
16-1805-FENCE	Iverson/Johnson	1335	Camino Trillado	Fence Permit	Submitted 1/6/16. Approved by Director 1/7/16. Approval letter sent to owner 1/7/16. Pending final inspection.	Shanna	14	
15-1766-CUP/CDP	Carpinteria Sanitary District	1212	Casitas Pass Road	Relocate Sewer Line	Submitted 04/28/15. Complete 05/20/15. PC approved 06/01/15. Draft Easement doc submitted 08/31/15 w/ City Attorney. Easement to Parks Department. Requires CC approval. Construction began 09/28/15. Construction completed 11/15. Awaiting final bio billing.	Shanna	15	
15-1768-FENCE	McInerney	1364	Cramer Circle	Fence Permit	Submitted 04/30/15. Incomplete email 05/05/15. Incomplete Letter 06/11/15. Prelim/Final ARB 07/16/15. Applicant advised to reduce height and make open. Revised plans 09/28/15. ARB "matters by staff" review 10/15/15. Director approved. Compliance letter to allow until 12/23/15 to modify to approved plans. Final inspection conducted 1/7/16. Case closed. Refund Requested,	Shanna	15	YES

Building Permit Report

1/1/2016 - 1/28/2016

Permit #	Permit Date	Site Address	Owner Name	Project Description	Valuation	Status	Issued Date	Code Compliance Violation	Fire Permit Required
11635	1/28/2016	5446 Eighth Street	CREEKWIND OWNERS ASSOC	Replacing existing balcony 'like for like' and bringing rail up to code	8,000	In Review Building			
11634	1/26/2016	699 Linden Avenue	Jade Capital LLC	Demolition of interior finishes, partition walls, electrical, plumbing fixtures. To prepare existing restaurant for tenant improvements and exterior changes.	20,000	Issued	1/26/2016		
11633	1/26/2016	5436 El Carro Lane	JOHNSON, DAVID R	Remove existing comp shingles. 22 squaresclass A landmark lifetime shingles and attic vents	11,300	Issued	1/26/2016		
11632	1/25/2016	4485 El Carro Lane	JEREP CHARLES F/DORIS I	Remove existing roof. Re-roof with composition singles	10,000	Issued	1/25/2016		
11631	1/22/2016	4941 Nipomo Drive	Das Williams	Solar PV System, 16x280W Modules Plus 1 3800 Inverter	19,500	In Review Building			
11630	1/21/2016	560 Arbol Verde	NOVA, GARY M	Service upgrade to 100 am to 200 amp	1,500	Issued	1/21/2016		
11629	1/20/2016	5951 Hickory St # 4	ADLER ROBIN/JOY ELLIOTT	Remove and replace deck coating system, plywood and fascia	2,000	Issued	1/20/2016		
11628	1/20/2016	5946 Birch Street # 4	GONZALEZ, LUCIA	Remove and replace deck coating system, plywood and fascia	2,000	Issued	1/20/2016		
11627	1/20/2016	5940 Hickory Street # 4	LINCOLN TR CUSTODIAN E/B/O HARRY	Remove and replace deck coating system, plywood and fascia	2,000	Issued	1/20/2016		
11626	1/20/2016	5935 Birch Street # 4	WITMER FAMILY 2004 TRUST 8/11/04	Remove and replace deck coating system, plywood and fascia	2,000	Issued	1/20/2016		
11625	1/20/2016	5911 Hickory St # 4	BLIXT, MARJORIE	Remove and replace deck coating system, plywood and fascia	2,000	Issued	1/20/2016		

11624	1/20/2016	4505 Carpinteria Avenue Unit B	TOWNE, CAROLYN	Remove and replace rear upper Patio Door, Remove tile Deck coating system, replace with desert crete 7 layer system.	6,000	Issued	1/20/2016		
11623	1/20/2016	699 Linden Avenue	Jade Capital LLC	Interior/ Exterior remodel to restaurant . Demo raised floor, new restrooms, new exterior doors, new walk-in fridge, new lighting, structural upgrades, new grease interceptor	500,000	In Review Building			
11622	1/20/2016	850 Linden Avenue	850 LINDEN, LLC	Convert existing Haggan market to Smart & Final Extra. Remove existing pharmacy and replace with casework.	20,000	In Review Building			Yes
11620	1/14/2016	5305 El Carro Lane	City of Carpinteria	Contruct building for weather and noise protection for the existing well.	49,000	Issued	1/15/2016		
11619	1/14/2016	1422 Tomol Drive	ALLEVATO CAMILLO EUGENIO/DENIS F.M.	Tear off (E) comp, install Certainteed Landmark Lifetime comp. 21 squares	9,600	Issued	1/14/2016		
11618	1/13/2016	1335 Camino Trillado	IVERSON, ZOE A.	Add one new 120 VAC outlet in garage	210	Issued	1/13/2016		
11617	1/13/2016	220 Elm Avenue	SAPYTA, MARK A	Remove/replace carport beam 6x12 (dryrot). R/R patio cover beams, 4x10, 4x8, at mail center (dryrot). Beams are like for like. R/R area lighting (e) to be new exterior fluorescent located in the carports.	6,000	Issued	1/13/2016		

Total Records: 18

1/28/2016