City of Carpinteria
City Council Regular Meeting Agenda
Tuesday, May 28, 2013
Council Chamber, 5775 Carpinteria Avenue

5:30 p.m. Regular Meeting

INFORMATION ABOUT CITY COUNCIL MEETINGS:

- The time at which an item on the agenda is scheduled to be heard is an estimate only. The City Council may consider and act on an agenda item in any order it deems appropriate. In addition, an item may be considered earlier or later than the Estimated Time, depending on the length of time which is devoted to other agenda items. All persons interested in an item listed on the agenda are advised to be present throughout the meeting to ensure that they are present when the item is called.

- The regular meeting will be broadcast live over Government Access Television Channel 21. The City Council meetings will be rebroadcast on Wednesdays at 8:00 p.m. and Saturdays at 5:00 p.m.

- Materials related to an Agenda item submitted to the City Council after distribution of the agenda packet are available for public inspection in the City Clerk's Office at 5775 Carpinteria Avenue, Carpinteria, during normal business hours. Such documents are also available on the City of Carpinteria website at www.carpinteria.ca.us subject to staff's ability to post the documents before the meeting.

- Any written or printed material and/or exhibits presented at a City Council meeting or work session become the property of the City.

- Any information presented to the City Council by the public on any agenda item and during Public Comment using electronic media to be displayed on the overhead projector must be arranged with staff for review of materials in advance of the meeting and no later than Friday prior to the Council meeting.

- As a courtesy to others and to avoid interference with the public address system, please refrain from using cell phones in the Council Chambers and please turn off all audible pagers and rings.

- If you wish to speak on a matter scheduled for consideration in a closed session, you will have an opportunity to address the City Council before the Council retires to its closed session deliberations.

ESTIMATED

TIME:

5:30 p.m. **CALL TO ORDER**

ROLL CALL

PLEDGE OF ALLEGIANCE

INTRODUCTIONS, PROCLAMATIONS AND PRESENTATIONS

5:32 p.m. **PUBLIC INFORMATION REPORTS AND ANNOUNCEMENTS**

5:33 p.m. **CITY MANAGER'S REPORT**

The City Manager will report to the City Council regarding various City and/or community events and/or matters of interest. There will be no City Council discussion except to ask questions or refer matters to staff; and no action will be taken unless listed on a subsequent agenda.

5:35 p.m. **PRESENTATIONS BY CITIZENS/PUBLIC COMMENT**

This is a time for public comments on matters not otherwise on the agenda but within the subject matter jurisdiction of the City Council. The Public Comment period is limited to 15 minutes and divided among those persons desiring to speak. No person shall speak longer than three minutes; however, the Mayor may establish shorter periods based on the time available and/or the number of persons waiting to speak. Persons wishing to speak on a specific item will be recognized at the time the agenda item is considered.

Please be aware that items on the consent calendar are considered to be routine and are normally enacted by one unanimous vote of the Council. If you wish to speak on a consent calendar item, or on a matter scheduled for consideration in a closed session at the end of the agenda, please do so during the Presentations by Citizens/Public Comment portion of the meeting.

The City and the City Council are not responsible for the content of statements made during the public comment period, or the factual accuracy of any such statements.

AGENDA MODIFICATIONS: The City Council may modify the regular agenda by tabling items, adding urgency items to the agenda, or changing the order in which items are considered. Changes to the Consent Calendar are considered at the time the Consent Calendar is considered.

5:50 p.m. **CONSENT CALENDAR (to be approved by roll call vote on one motion with all resolutions and ordinances as read by title only).** Individual items may be removed and considered separately at the request of a Councilmember. Any item, which is removed from the Consent Calendar, will be added to the end of the agenda under Other Business.

1. Minutes of the regular meeting held May 13, 2013.

2. Expenditures for the period ending May 21, 2013.

3. Resolution No. 5465, entitled A Resolution of the Carpinteria City Council Authorizing Destruction of Certain Records in the City Clerk's Office.

ADMINISTRATIVE MATTER: NONE

PUBLIC HEARING:

5:51 p.m. 4. Request for a Revised Development Plan and Coastal Development Permit to Consider Revisions to the Previously Approved Islands Apartments Remodel at 261 Linden Avenue. The Requested Revisions Include New Fencing/Walls, Landscape/Hardscape Revisions, New Outdoor Gas Fireplaces for Each Ground Floor Unit, and a New Parking Lot Security Gate; Owners Barbara and Peter Coeler; Applicants George Manuras, Contractor and William Araluce, Architect

Recommendation: Adopt Resolution No. 5467, as read by title only, thereby approving the requested project revision to the previous approved Islands Apartments Remodel with modifications as recommended by staff.

Staff presenter: Nick Bobroff, Associate Planner

a. Staff Report
b. Public Hearing
c. City Council Determination

6:25 p.m. 5. Continuation of the Street Lighting District No. 1 for Fiscal Year 2013-14 and Related Protest Hearing

Recommendation:

1. Following the Staff Report, open the public hearing and receive any testimony and/or protests concerning the continuation of Assessment District No. 1 for Fiscal Year 2013-14.

2. Close the public hearing and continue the District for Fiscal Year 2013-14, by adopting Resolution 5461, as read by title only.

Staff presenter: John Thornberry, Administrative Services Director

a. Staff Report
b. Public Hearing
c. City Council Determination

6:35 p.m. 6. Continuation of Carpinteria Right-of-Way Assessment District No. 3 for Fiscal Year 2013-14 and Related Protest Hearing

Recommendation:

1. Following the Staff Report, open the public hearing and receive any testimony and/or protests concerning the continuation of Assessment District No. 3 for Fiscal Year 2013-14.

2. Close the public hearing and continue the District for Fiscal Year 2013-14, by adopting Resolution 5462, as read by title only.

Staff presenter: John Thornberry, Administrative Services Director

a. Staff Report
b. Public Hearing
c. City Council Determination

6:45 p.m. 7. Continuation of the Parking and Business Improvement Area Assessment District No. 4 for Fiscal Year 2013-14 and Related Protest Hearing

Recommendation:

1. Following the Staff Report, Open the public hearing and receive any testimony and/or protests concerning the continuation of the Assessment District No. 4 for Fiscal Year 2013-14, to include the addition of an annual inflationary adjustment to the general assessment amount.

2. Close the public hearing and continue the District for Fiscal Year 2013-14, by adopting Resolution 5463, as read by title only.

Staff presenter: Charles W. Ebeling, Public Works Director

a. Staff Report
b. Public Hearing
c. City Council Determination

7:00 p.m. 8. Public Hearing confirming the Engineer's Report, Ordering the Improvement and Levying Annual Assessment for Assessment Dist. No. 5 for Fiscal Year 2013-14

Recommendation:

1. Following the Staff Report, Open the public hearing and receive any testimony and/or protests concerning the continuation of the Assessment District No. 5 for Fiscal Year 2013-14.

2. Close the public hearing and continue the District for Fiscal Year 2013-14, by adopting Resolution 5464, as read by title only.

Staff presenter: Matt Roberts, Parks and Recreation Director

a. Staff Report
b. Public Hearing
c. City Council Determination

OTHER BUSINESS:

7:10 p.m. 9. Determination that the Parking of Business Related Vehicles in Conjunction with a Home Occupation, Under Certain Conditions, is Consistent with Carpinteria Municipal Code Section 14.50.030

Recommendation:

1. Determine that the parking of business related vehicles in a residential zone district in association with a home occupation is not, by itself, a violation of the City's Home Occupation Regulations and further that the illegal parking of vehicles (including but not limited to overweight vehicles or those of excessive length), vehicle dispatching, nuisance activities such as vehicle loading, noise, odor and litter, and any other violation of local or state law will remain prohibited and subject to enforcement.

2. Adopt Resolution No. 5458, as read by title only, entitled A Resolution of the City Council of the City of Carpinteria Determining that the Parking of Business Related Vehicles in

Conjunction with a Home Occupation, Under Certain Conditions, is Consistent with Carpinteria Municipal Code Section 14.50.030.

Staff presenter: Sylvia Echeverria, Code Compliance Supervisor

a. Staff Report
b. Public Comment
c. City Council Determination

7:25 p.m. 10. Letter of Support for the Federal Transportation Investment Generating Economic Recovery (TIGER) Program Grant Application for the Carpinteria Creek U.S. 101 Bridge Widening Project

Recommendation: Authorize the Mayor to sign a letter of support, consistent with the request from the Santa Barbara County Association of Governments (SBCAG), to the Federal TIGER program grant application for the Carpinteria Creek U.S. 101 Bridge widening project.

Staff presenter: Dave Durflinger, Assistant City Manager

a. Staff Report
b. Public Comment
c. City Council Determination

7:35 p.m. **COMMITTEE REPORTS, INQUIRIES AND OTHER MATTERS PRESENTED BY COUNCILMEMBERS**

Informational reports from Councilmember representatives on the committees, commissions and organizations listed below. This is also an opportunity for Councilmembers to request information from staff or seek support from fellow Councilmembers for future agenda items.

1. Representatives to Regional Agencies and Committees

a. Beach Erosion Authority for Clean Oceans and Nourishment (BEACON) (Shaw/Alt. Carty)
b. California Joint Powers Insurance Authority (CJPIA)(Clark/Alt. Shaw)
c. Channel Counties Division, League of California Cities (Nomura/Alt. Shaw)
d. Santa Barbara Association of Governments (SBCAG)(Clark/Alt. Nomura)
e. Santa Barbara County Air Pollution Control District (APCD)(Clark/Alt. Nomura)
f. Santa Barbara Joint Housing Task Group (Carty &Shaw)
g. Central Coast Collaborative on Homelessness (C3H)(Carty)

h. South Coast Task Force on Youth Gangs Leadership and Executive Council (Carty & Clark)

2. Joint and Special Committees

a. City Council/Chamber of Commerce Board of Directors Committee (Carty & Nomura)
b. City Council/Public Safety Committee (Clark & Shaw)
c. City Council/School Board Committee (Stein & Carty)
d. City Council/Utilities Committee (Stein & Nomura)
e. City Council/First District Supervisor Committee (Stein & Carty)

3. Ad Hoc Committees

a. Budget Committee (Stein & Clark)
b. Public Facility Site Acquisition/Development Committee (Carty & Nomura)
c. Transportation Committee (Stein & Shaw)

4. City Representatives on other Committees

a. Community Media Access Center (Gary Dobbins)
b. Santa Barbara Coastal Vector Control District (Ronald Hurd)
c. Santa Barbara Metropolitan Transit District (Chuck McQuary)

7:38 p.m. **ADJOURNMENT**

The next regular meeting to be held on **Monday, June 10, 2013**, at **5:30** P.M., in the Council Chamber, City Hall, 5775 Carpinteria Avenue, Carpinteria, California.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact the City Clerk's Office at 684-5405, extension 403 or the California Relay Service at (866) 735-2929. Notification 72 hours prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Wednesday, May 22, 2013, in the City Clerk's Office, on the City Hall Public Notices Board, and on the Internet.

City Council Meeting: 05/28/13
Agenda Section: Consent
Agenda Item # 1

City of Carpinteria
City Council Minutes
Regular Meeting
Council Chambers
Monday, May 13, 2013

CALL TO ORDER

The meeting was called to order by Mayor Stein at 5:30 p.m.

ROLL CALL

Councilmembers present:

Councilmember Al Clark
Councilmember Wade Nomura
Councilmember Fred Shaw
Vice Mayor Gregg Carty
Mayor J. Bradley Stein

Staff members present:

Dave Durflinger, City Manager
Peter Brown, City Attorney
Fidela Garcia, City Clerk
Jackie Campbell, Community Services Director
Kevin Silk, Assistant to the City Manager
Charles Ebeling, Public Works Director/City Engineer/Traffic Engineer
Arlene Balmadrid, Human Resources Manager

PLEDGE OF ALLEGIANCE

All present were led in the salute to the flag by Mayor Stein.

INTRODUCTIONS, PROCLAMATIONS AND PRESENTATIONS: NONE

PUBLIC INFORMATION REPORTS AND ANNOUNCEMENTS:

Mayor Stein announced that the Community Emergency Response Training (CERT) class graduated last week. He commended Volunteer and Emergency Preparedness Coordinator Julie Jeakle, Bega Lighting, and the Boy Scouts for volunteering in this program. He noted that there were now over 200 qualified CERT members in the community and he invited public to participate in the training.

CITY MANAGER'S REPORT

Jackie Campbell provided handouts for the public describing two programs for increased homeownership opportunities in the City. She stated that the first program was the City's Workforce Homebuyer Down Payment Loan Program which provides down payment deferred loans of up to $75,000. She announced that a workshop would be held on May 15 at 6:00 p.m. at the Catalino School cafeteria. She also stated that another program was the Affordable Housing Inclusionary Program for the second lottery for units at Lagunitas. She noted that the application period would end June 17 and the lottery would be held after the applications are reviewed. She stated that the Community Development Department manages the Animal Control Program and two of the sheltered dogs would be adopted. She noted that Wesley, a pit bull, would be adopted by his foster family and would soon move to New Jersey. She also noted that Bart, a mixed-breed, would be adopted by a family in the Carpinteria area.

Dave Durflinger, City Manager, provided the City Manager's Report:

- Old, working refrigerators will be picked up on May 18 and 19. Contact Edison 800-234-9722 to schedule a pick up or visit www.sceep.org for additional information. Edison will issue $35 for each refrigerator for up to two refrigerators.
- Architectural Review Board (ARB) Meeting on May 16 at 5:30 p.m. in the Council Chambers to discuss the Linden Avenue/Casitas Pass Road Freeway Interchanges Project. It is possible the ARB will conclude their review at this meeting and make their recommendation to the Planning Commission.
- Amgen Bicycle Tour will be coming through Carpinteria on May 15. There will be rolling street closures on Foothill Road.

PRESENTATIONS BY CITIZENS/PUBLIC COMMENT:

Ernest K. Linz commented on Consent Calendar Item 3. He stated that he was responding to an advertisement from the California State Health Department stating that secondary smoke is dangerous to health. He expressed concern that City Planners indicated that the City will never be a smoke-free town and he urged the City Council to take this into consideration and make the town a green town.

AGENDA MODIFICATIONS: NONE

CONSENT CALENDAR

Mayor Stein stated that he would abstain from approval of the Minutes of April 22, 2013, because he was not present at the meeting.

Councilmember Shaw noted a correction to Page 5 of the minutes in reference to the cost for the platform which should be $3,500. Councilmember Nomura note that his comments were not included where he expressed his concern regarding including signage as part of the cost estimate coming forward. Steve Goggia, Senior Planner, stated for the record that the cost for signage was included in the cost estimate. Dave

Durflinger, City Manager, stated that the minutes will reflect that there is interest from the City Council in ensuring that signs be included in any estimate

Motion by Mayor Stein, seconded by Councilmember Clark, to approve the Consent Calendar with the minutes as amended and resolution/ordinance as read by title only.

Upon voice vote, motion carried. Mayor Stein abstained from Item 1.

1. Minutes of the regular meeting held April 22, 2013.

2. Expenditures for the period ending May 7, 2013.

3. Second Reading and Adoption of Ordinance No. 662, Amending Chapter 8.52: Smoking Regulations, Chapter 14.08: Definitions, Chapter 14.20: CPD Commercial Planned Development District and Chapter 14.22: CB Central Business District of the Carpinteria Municipal Code.

4. Resolution No. 5418 entitled, A Resolution of the Carpinteria City Council Authorizing Destruction of Certain Records in the City Clerk's Office.

ADMINISTRATIVE MATTER: NONE

PUBLIC HEARING: NONE

OTHER BUSINESS:

5. A new lease agreement regarding the Seaside Building, located at 5103 Carpinteria Avenue between the City of Carpinteria and the Friends of the Carpinteria Public Library

Recommendation: Approve the new lease of the Seaside Building between the City of Carpinteria and Friends of the Carpinteria Public Library.

Kevin Silk, Assistant to the City Manager, presented the staff report. He noted a correction to the staff report by stating that the Friends of the Library currently has the right to request consecutive one year options and not just two one year options as stated in the report and that granting any option is at the discretion of the City as is with the current lease. He further stated that the dates in Sections 18.3 and 18.5 had been corrected to reflect current dates.

Dave Durflinger, City Manager, addressed the public benefits for the lease arrangement.

Foster Markolf, Friends of the Library Board Member, stated that the organization would be allocating $65,000 from the sale of books towards the library's operating budget. He thanked City Attorney Peter Brown and Assistant to the City Manager Kevin Silk for their efforts in drafting the new lease. He noted that the Friends of the Library would facilitate a renovation of the library's multi-purpose room in August.

Motion by Councilmember Clark, seconded by Councilmember Nomura, to authorize the Mayor to enter into a new lease of the Seaside Building between the City of Carpinteria and Friends of the Carpinteria Public Library.

Upon voice vote, motion carried.

6. Approval of Contract with Drake Haglan and Associates for Preliminary Engineering, Environmental, Right of Way, Permitting and Final Design Services for Carpinteria Avenue Bridge Replacement Project

Recommendation: That the City Council authorize the City Manager to execute an agreement with Drake Haglan and Associates, Inc. for preliminary engineering including conceptual design, environmental review, right-of-way engineering, permitting and final design services for the Carpinteria Avenue Bridge Replacement Project.

Charles W. Ebeling, Public Works Director, presented the staff report and PowerPoint presentation. He responded to a question regarding placement of utility lines by stating that his assumption would be that utility lines would be installed in a box girder inside the bridge. He also responded to a question regarding raising the elevation of the road to address the 100-year flood zone by stating that staff had done a preliminary conceptual design and it would be challenging to clear the 100-year flood plain and not impact the adjacent intersection at Arbol Verde. He further responded to a question regarding coordinating construction with the Linden Avenue/Casitas Pass Bridge construction by stating that construction would be scheduled so that all roadways would remain open with intermittent closures and that he did anticipate any material effect on traffic circulation within the City.

No public comment.

Motion by Councilmember Nomura, seconded by Councilmember Shaw, to authorize the City Manager to sign the agreement for professional engineering services with Drake Haglan and Associates, Inc. for preliminary engineering services for the Carpinteria Avenue Bridge Replacement Project.

Upon voice vote, motion carried.

7. Adopt Resolution No. 5460 Approving the Positions and Related Descriptions for Civil Engineer and Engineering Technician, and Authorize the City Manager to

Establish a Part-time Maintenance Worker Position, All Being Part of the Department of Public Works

Recommendation: That the City Council approve the positions and related descriptions for a Civil Engineer and Engineering Technician, and authorize the City Manager to establish a Part-time Maintenance Worker position to improve efficiency and reduce costs in the Department of Public Works.

Charles W. Ebeling, Public Works Director, and Arlene Balmadrid, presented the staff report. Mr. Ebeling noted a correction to the salary range for the part-time Maintenance Worker position which should be $14.00 per hour to $17.12 per hour.

No public comment.

Motion by Councilmember Clark, seconded by Councilmember Nomura, to adopt Resolution No.5460, as read by title only, with the change to the salary range for the part-time Maintenance Worker position, approving the positions and related descriptions for the positions of Civil Engineer and Engineering Technician; and authorize the City Manager to establish a part-time Maintenance Worker position and position description in the City of Carpinteria Public Works Department.

Upon voice vote, motion carried.

8. Report on Parking and Business Improvement Area Assessment District No. 4 for Fiscal Year 2013-14

Recommendation: Adopt Resolution Nos. 5456 and 5457, as read by title only, thereby acting to accept the mandatory annual report and budget and to set the matter of the continuation of Parking and Business Improvement Area District No. 4 for fiscal year 2013-2014 for public hearing at the regular City Council meeting of May 28, 2013.

Charles W. Ebeling, Public Works Director, presented the report.

No public comment.

Motion by Councilmember Shaw, seconded by Councilmember Nomura, to adopt Resolution Nos. 5456 and 5457, as read by title only, thereby acting to accept the mandatory annual report and budget; and to set the matter of the continuation of Parking and Business Improvement Area District No. 4 for fiscal year 2013-2014 for public hearing at the regular City Council meeting of May 28, 2013.

Upon voice vote, motion carried.

9. Approval of the Amended Measure A Project Cooperative Agreement for the Safe Routes to School and Bicycle and Pedestrian Project Funding Grants

Recommendation: That the City Council authorize the Mayor to sign the amended Measure A Project Cooperative Agreement with the Santa Barbara County Association of Governments to receive $263,623 in grant funding for Safe Routes to School and Bicycle and Pedestrian Projects Cycle 2.

Charles W. Ebeling, Public Works Director, presented the staff report. He responded to a question regarding distribution of county-wide bicycle maps at the Host Kiosk by stating that the City agreed to support the production of the county-wide bicycle map which will be distributed in the City and county-wide.

No public comment.

Motion by Vice Mayor Carty, seconded by Councilmember Clark, to authorize the Mayor to sign the amended Measure A Project Cooperative Agreement with the Santa Barbara County Association of Governments to receive $263,623 in grant funding for Safe Routes to School and Bicycle and Pedestrian Projects Cycle 2.

Upon voice vote, motion carried.

COMMITTEE REPORTS, INQUIRIES AND OTHER MATTERS PRESENTED BY COUNCILMEMBERS

Councilmember Shaw reported that he attended the Joint Affordable Housing Task Group meeting where they discussed sequestration and funding cuts to Section 8 housing. He noted that Jaime Valdez distributed a list of pending legislation, including SB 391 which could replenish lost redevelopment funds in the State by approximately $5 million. He stated that these funds would be created by having a $75 recordation fee on non-home sales of real estate transactions. He also reported that People Self-Help Housing was reallocating funding to create plots to grow gardens at Casa de las Flores project.

Vice Mayor Carty reported that the Central Coast Collaboration on Homelessness met last Thursday where they finalized their purpose statement and received various reports from different committees. He stated that he would obtain the minutes to provide to the City Council. He also reported that he attended a joint meeting of representatives of the City Council and the County of Santa Barbara First District Supervisor's Office, Salud Carbajal, where they discussed law enforcement issues. City Manager Dave Durflinger added that they also discussed collaborative projects for trails, including the Rincon Trail and Padaro Lane Trail, and Measure A projects and local allocations.

Councilmember Nomura reported that he attended the annual meeting of the Santa Barbara Convention and Visitors Bureau. He inquired how the City was incorporating this as part of the City's tourism plan. City Manager Dave Durflinger responded that the Bureau and hotel industry came before the City Council to report that they would conduct a self-assessment in order to do regional promotion in the Santa Barbara area. He noted that the City Council approved an allocation toward this effort.

ADJOURNMENT

The meeting was adjourned at 6:38 p.m. by Mayor Stein.

J. Bradley Stein, Mayor

ATTEST:

Fidela Garcia, CMC
City Clerk

CITY COUNCIL MEETING: 5/28/13
AGENDA SECTION: CONSENT
AGENDA ITEM NO. 2

9:53 AM

05/22/13

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
98124	05/08/13 14:16:59	5/8/13	80350	A T & T MOBILITY	A T & T MOBILI...	ACCOUNT 337015224648	100010...	
98030	05/07/13 14:42:30	4/23/13	APR 2013 ...		A T & T MOBILI...	CELL PHONE - PW SUPERVISOR	253130...	-114.63
					A T & T MOBILI...	CELL PHONE - PW CREW	101330...	-13.19
					A T & T MOBILI...	CELL PHONE - PW CREW	333230...	-11.19
					A T & T MOBILI...	CELL PHONE - PW CREW	253130...	-82.02
TOTAL								-221.03
98125	05/08/13 14:17:00	5/8/13	80351	AG ENT INC	AG ENT INC		100010...	
98084	05/08/13 10:40:25	4/30/13	12688		AG ENT INC	LINDEN & CARP AVE	236122...	-45.00
98085	05/08/13 10:40:47	4/30/13	12681		AG ENT INC	CARP CREEK PARK	236122...	-45.00
TOTAL								-90.00
98126	05/08/13 14:17:00	5/8/13	80352	ALLIANT INSURANC...	ALLIANT INSU...	INVOICE #120975	100010...	
98075	05/08/13 10:27:03	4/22/13	120975		ALLIANT INSU...	13-14 CRIME RENEWAL	101532...	-1,774.00
TOTAL								-1,774.00
98127	05/08/13 14:17:01	5/8/13	80353	AT & T MOBILITY	AT & T MOBILI...	ACCOUNT #832685259	100010...	
98031	05/07/13 14:52:45	4/23/13	APR 2013 ...		AT & T MOBILI...	CODE ENFORCEMENT	104721...	-124.91
					AT & T MOBILI...	CODE ENFORCEMENT	104721...	-74.18
					AT & T MOBILI...	CODE ENFORCEMENT	104721...	-61.19
TOTAL								-260.28
98128	05/08/13 14:17:01	5/8/13	80354	CA STATE PARKS	CA STATE PAR...	DAY USE FEES MAR-APR 2013	100010...	
98073	05/08/13 10:24:27	4/15/13	MAR-APR...		CA STATE PAR...	STATE PARK FEES	232310...	-4,287.00
TOTAL								-4,287.00
98129	05/08/13 14:17:02	5/8/13	80355	CalPERS	CalPERS	MAY 2013 HEALTH	100010...	
98072	05/08/13 10:23:36	4/15/13	MAY 2013...		CalPERS	MAY 2013 HEALTH	105119...	-4,587.95
					CalPERS	MAY 2013 HEALTH	101119...	-1,089.86
					CalPERS	MAY 2013 HEALTH	101219...	-1,991.25
					CalPERS	MAY 2013 HEALTH	101319...	-1,379.95
					CalPERS	MAY 2013 HEALTH	101419...	-4,621.78
					CalPERS	MAY 2013 HEALTH	101619...	-1,174.92
					CalPERS	MAY 2013 HEALTH	103019...	-3,379.65
					CalPERS	MAY 2013 HEALTH	253119...	-4,139.85

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

	Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
						CalPERS	MAY 2013 HEALTH	104119...	-4,872.78
						CalPERS	MAY 2013 HEALTH	104219...	-1,306.24
						CalPERS	MAY 2013 HEALTH	106919...	-2,114.86
						CalPERS	MAY 2013 HEALTH	102219...	-2,441.45
						CalPERS	MAY 2013 HEALTH	236119...	-1,379.95
						CalPERS	MAY 2013 HEALTH	333219...	-2,441.45
						CalPERS	MAY 2013 HEALTH	104419...	-1,379.95
						CalPERS	MAY 2013 HEALTH	101619...	-110.23
						CalPERS	MAY 2013 HEALTH	486819...	-530.75
TOTAL									-38,942.87
	98130	05/08/13 14:17:02	5/8/13	80356	CARPINTERIA VETE...	CARPINTERIA ...		100010...	
	98116	05/08/13 13:36:44	4/4/13	189962		CARPINTERIA ...	DOG LICENSE	104721...	-50.00
	98117	05/08/13 13:37:10	4/11/13	190334		CARPINTERIA ...	DOG LICENSE	104721...	-75.00
	98118	05/08/13 13:37:35	4/19/13	190810		CARPINTERIA ...	DOG LICENSE	104721...	-65.00
TOTAL									-190.00
	98131	05/08/13 14:17:03	5/8/13	80357	CITY OF SANTA BAR...	CITY OF SANT...	JAN-MAR 2013 RHMTF\	100010...	
	98060	05/08/13 09:49:02	4/19/13	JAN-MAR ...		CITY OF SANT...	JAN - MAR 2013 RHMTF	420027...	-2,000.00
TOTAL									-2,000.00
	98132	05/08/13 14:17:03	5/8/13	80358	CLEAN HARBORS E...	CLEAN HARBO...	6W1348141R	100010...	
	98088	05/08/13 10:43:07	4/13/13	6W134814...		CLEAN HARBO...	HHW DISPOSAL	393722...	-20,086.77
TOTAL									-20,086.77
	98133	05/08/13 14:17:04	5/8/13	80359	COAST AUTO PARTS...	COAST AUTO ...	ACCT NO 1165	100010...	
	98039	05/07/13 14:57:25	4/30/13	APR 2013 ...		COAST AUTO ...	605853 VEHICLE MAINTENANCE	253130...	-69.40
TOTAL									-69.40
	98134	05/08/13 14:17:05	5/8/13	80360	COASTAL VIEW NEWS	COASTAL VIE...		100010...	
	98036	05/07/13 14:55:37	4/11/13	40743		COASTAL VIE...	LEGAL NOTICE	101130...	-181.50
	98034	05/07/13 14:54:31	4/25/13	40817		COASTAL VIE...	LEGAL NOTICE	101130...	-338.00
	98089	05/08/13 10:43:41	4/25/13	40804		COASTAL VIE...	WATERWAY CLEANUP	103720...	-338.00
	98121	05/08/13 13:38:49	4/25/13	40821		COASTAL VIE...	PET ADS	104730...	-60.00
	98032	05/07/13 14:53:36	5/2/13	40887		COASTAL VIE...	SMOKING ORD AD	101130...	-889.00
	98033	05/07/13 14:54:09	5/2/13	40903		COASTAL VIE...	LEGAL NOTICE	101130...	-193.20
	98035	05/07/13 14:54:58	5/2/13	40846		COASTAL VIE...	LEGAL NOTICE	101130...	-338.00

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

	Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
	98037	05/07/13 14:56:03	5/2/13	40885		COASTAL VIE...	LEGAL NOTICE	101130...	-132.00
	98038	05/07/13 14:56:23	5/2/13	40886		COASTAL VIE...	LEGAL NOTICE	101130...	-84.00
	98057	05/08/13 09:45:56	5/2/13	40852		COASTAL VIE...	FIRST FRIDAY	104430...	-750.00
	98058	05/08/13 09:46:43	5/2/13	40871		COASTAL VIE...	DISPLAY AD	104530...	-250.00
	98080	05/08/13 10:35:06	5/2/13	40836		COASTAL VIE...	SUMMER CAMP GUIDE	286230...	-237.50
						COASTAL VIE...	SUMMER CAMP GUIDE	486630...	-237.50
	98120	05/08/13 13:38:28	5/2/13	40889		COASTAL VIE...	PET ADS	104730...	-100.00
TOTAL									-4,128.70
	98135	05/08/13 14:17:05	5/8/13	80361	DATA TICKET INC	DATA TICKET I...	INVOICE 46189	100010...	
	98090	05/08/13 10:44:05	4/5/13	46189		DATA TICKET I...	CITATION PROCESSING	102221...	-132.00
TOTAL									-132.00
	98136	05/08/13 14:17:06	5/8/13	80362	DNA DESIGN & ART	DNA DESIGN &...	INVOICE #2013-102	100010...	
	98115	05/08/13 13:35:52	2/26/13	2013-102		DNA DESIGN &...	PBIA BANNER SPONSORSHIP	384522...	-150.00
TOTAL									-150.00
	98137	05/08/13 14:17:06	5/8/13	80363	DUDEK	DUDEK		100010...	
	98091	05/08/13 10:44:54	4/10/13	20131137		DUDEK	PROJ 1500 CALTRANS COORDI...	100025...	-702.60
	98092	05/08/13 10:45:42	4/10/13	20131139		DUDEK	PROJ 1522 - CASITAS PASS	100025...	-850.00
TOTAL									-1,552.60
	98138	05/08/13 14:17:07	5/8/13	80364	E-CONOLIGHT	E-CONOLIGHT	INVOICE #424582	100010...	
	98081	05/08/13 10:36:00	3/14/13	424582		E-CONOLIGHT	LIGHTING SUPPLIES	101322...	-311.04
						E-CONOLIGHT	POOL LIGHTING	486630...	-102.28
TOTAL									-413.32
	98139	05/08/13 14:17:07	5/8/13	80365	EASY LIFT TRANSPO...	EASY LIFT TRA...	INVOICE 5916	100010...	
	98093	05/08/13 10:46:10	5/1/13	5916		EASY LIFT TRA...	CLAIM PER CONTRACT FOR MAY	273422...	-1,000.00
TOTAL									-1,000.00
	98140	05/08/13 14:17:08	5/8/13	80366	EVERSHADE EXTERI...	EVERSHADE E...	INVOICE 6161	100010...	
	98094	05/08/13 10:46:40	4/25/13	6161		EVERSHADE E...	POWER WASHING/STEAM CLEA...	333222...	-8,750.00
TOTAL									-8,750.00

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

	Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
	98141	05/08/13 14:17:08	5/8/13	80367	FIDELITY SECURITY ...	FIDELITY SEC...	INVOICE 5285259	100010...	
	98053	05/08/13 09:38:36	4/30/13	5285259		FIDELITY SEC...	WELLNESS MAY 2013	101619...	-17.56
						FIDELITY SEC...	WELLNESS MAY 2013	104119...	-8.78
						FIDELITY SEC...	WELLNESS MAY 2013	103019...	-25.81
						FIDELITY SEC...	WELLNESS MAY 2013	104119...	-25.81
						FIDELITY SEC...	WELLNESS MAY 2013	102219...	-8.78
						FIDELITY SEC...	WELLNESS MAY 2013	253119...	-25.81
						FIDELITY SEC...	WELLNESS MAY 2013	333219...	-16.68
						FIDELITY SEC...	WELLNESS MAY 2013	106919...	-8.78
						FIDELITY SEC...	WELLNESS MAY 2013	104419...	-16.68
						FIDELITY SEC...	WELLNESS MAY 2013	253119...	-8.78
						FIDELITY SEC...	WELLNESS MAY 2013	101119...	-8.78
						FIDELITY SEC...	WELLNESS MAY 2013	102219...	-17.56
						FIDELITY SEC...	WELLNESS MAY 2013	106919...	-25.81
						FIDELITY SEC...	WELLNESS MAY 2013	103019...	-16.68
						FIDELITY SEC...	WELLNESS MAY 2013	105119...	-16.68
TOTAL									-248.98
	98142	05/08/13 14:17:09	5/8/13	80368	JEAKLE, JULIE	JEAKLE, JULIE	HOST/CERT REIMBURSEMENT	100010...	
	98123	05/08/13 14:14:31	5/8/13	REIMBUR...		JEAKLE, JULIE	HOST REIMBURSEMENT	102430...	-58.73
						JEAKLE, JULIE	CERT REIMBURSEMENT	104530...	-3.56
TOTAL									-62.29
	98143	05/08/13 14:17:09	5/8/13	80369	JOY EQUIPMENT PR...	JOY EQUIPME...	INVOICE 50906	100010...	
	98096	05/08/13 10:48:07	3/21/13	50906		JOY EQUIPME...	FIRE EXTINGUISHER SERVICE	253130...	-156.61
TOTAL									-156.61
	98144	05/08/13 16:55:48	5/8/13	80370	LESLIE'S POOL SUP...	LESLIE'S POO...	VOID:	100010...	
TOTAL									0.00
	98145	05/08/13 14:17:10	5/8/13	80371	LINCOLN FINANCIAL...	LINCOLN FINA...	MAY 2013 BILLING	100010...	
	98074	05/08/13 10:26:10	5/1/13	MAY 2013...		LINCOLN FINA...	MAY 2013	105119...	-59.18
						LINCOLN FINA...	MAY 2013	101119...	-81.13
						LINCOLN FINA...	MAY 2013	101219...	-116.49
						LINCOLN FINA...	MAY 2013	101319...	-30.57
						LINCOLN FINA...	MAY 2013	101419...	-154.66
						LINCOLN FINA...	MAY 2013	101619...	-145.82

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
					LINCOLN FINA...	MAY 2013	103019...	-170.16
					LINCOLN FINA...	MAY 2013	253119...	-170.43
					LINCOLN FINA...	MAY 2013	104119...	-333.09
					LINCOLN FINA...	MAY 2013	104219...	-178.65
					LINCOLN FINA...	MAY 2013	106919...	-153.57
					LINCOLN FINA...	MAY 2013	102219...	-123.06
					LINCOLN FINA...	MAY 2013	333219...	-70.64
					LINCOLN FINA...	MAY 2013	104419...	-88.90
					LINCOLN FINA...	MAY 2013	236119...	-57.21
					LINCOLN FINA...	MAY 2013	486819...	-31.94
TOTAL								-1,965.50
98146	05/08/13 14:17:11	5/8/13	80372	MISSION UNIFORM S...	MISSION UNIF...	APRIL 2013 UNIFORM	100010...	
98029	05/07/13 14:40:35	4/30/13	APRIL 20...		MISSION UNIF...	UNIFORM RENTAL - APR	253119...	-90.82
					MISSION UNIF...	UNIFORM RENTAL - APR	333219...	-90.82
					MISSION UNIF...	UNIFORM RENTAL - APR	101319...	-45.41
					MISSION UNIF...	UNIFORM RENTAL - APR	236119...	-45.40
TOTAL								-272.45
98147	05/08/13 14:17:11	5/8/13	80373	MONTECITO BANK &...	MONTECITO B...		100010...	
98041	05/07/13 15:22:52	4/23/13	4563		MONTECITO B...	FIRST FRIDAY AWARDS	104430...	-145.00
					MONTECITO B...	DISPLAY MATERIALS	104530...	-60.80
					MONTECITO B...	EMERGENCY PREP SUPPLIES	102430...	-60.39
98042	05/07/13 15:29:10	4/23/13	1577		MONTECITO B...	CITY MGR MEETING	101230...	-79.50
					MONTECITO B...	ANNUAL FEE	101230...	-20.00
98071	05/08/13 10:21:28	4/23/13	4270		MONTECITO B...	SIGNAGE	286230...	-35.00
98076	05/08/13 10:28:09	4/23/13	0740		MONTECITO B...	PW SUPPLIES	253130...	-150.00
					MONTECITO B...	CODE ENFORCEMENT SUPPLIES	104730...	-19.43
TOTAL								-570.12
98148	05/08/13 14:17:12	5/8/13	80374	QUALITY DISCOUNT ...	QUALITY DISC...	INVOICE 30500014	100010...	
98114	05/08/13 13:33:59	4/30/13	30500014		QUALITY DISC...	POOL RESALE ITEMS	486635...	-204.84
TOTAL								-204.84
98149	05/08/13 14:17:12	5/8/13	80375	RAYVERN LIGHTING ...	RAYVERN LIG...	INVOICE 24055-O	100010...	
98101	05/08/13 11:42:38	4/8/13	24055-0		RAYVERN LIG...	CITY HALL LIGHTING	101322...	-322.70
TOTAL								-322.70

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
98150	05/08/13 14:17:13	5/8/13	80376	SHAW, FRED	SHAW, FRED	GYM BENEFIT REIMBURSEMENT	100010...	
98122	05/08/13 13:56:11	4/25/13	GYM REI...		SHAW, FRED	GYM BENEFIT REIMBURSEMENT	101622...	-187.20
TOTAL								-187.20
98151	05/08/13 14:17:13	5/8/13	80377	SHEPPARD MULLIN ...	SHEPPARD M...	INVOICE #223051508	100010...	
98054	05/08/13 09:41:56	4/25/13	223051508		SHEPPARD M...	EMPLOYMENT MATTERS	107221...	-2,765.00
TOTAL								-2,765.00
98152	05/08/13 14:17:14	5/8/13	80378	SO CA EDISON	SO CA EDISON		100010...	
98043	05/07/13 15:31:17	4/23/13	2-00-378-2...		SO CA EDISON	CIVIC CENTER	101331...	-1,871.20
					SO CA EDISON	ROW	333231...	-225.76
					SO CA EDISON	PARKING	333231...	-136.99
					SO CA EDISON	PARKS	236131...	-524.68
					SO CA EDISON	POOL	486631...	-807.24
					SO CA EDISON	STREET LIGHTING	292322...	-398.73
					SO CA EDISON	BIKEWAYS	292322...	-54.61
97957	05/01/13 11:52:18	4/27/13	2-22-684-6...		SO CA EDISON	STREET LIGHTING	292322...	-27.77
97958	05/01/13 11:51:53	4/27/13	2-14-791-5...		SO CA EDISON	STREET LIGHTING	292322...	-91.21
TOTAL								-4,138.19
98153	05/08/13 14:17:15	5/8/13	80379	SOLID WASTE SOLU...	SOLID WASTE ...	INVOICE NO 94	100010...	
98104	05/08/13 11:44:20	5/1/13	94		SOLID WASTE ...	AB 939 COORDINATION	393722...	-516.00
TOTAL								-516.00
98154	05/08/13 14:17:15	5/8/13	80380	STAPLES ADVANTAGE	STAPLES ADV...	INVOICE 3197565740	100010...	
97857	04/24/13 10:50:00	4/13/13	3197565740		STAPLES ADV...	CITY CLERK SUPPLIES	101130...	-38.77
					STAPLES ADV...	OFFICE SUPPLIES	101330...	-223.61
TOTAL								-262.38
98155	05/08/13 14:17:16	5/8/13	80381	TOM WATTS AUTOM...	TOM WATTS A...		100010...	
98106	05/08/13 13:25:41	4/18/13	029112		TOM WATTS A...	VEHICLE REPAIR	253130...	-137.45
98107	05/08/13 13:26:14	4/22/13	029127		TOM WATTS A...	VEHICLE REPAIR	253130...	-60.00
98105	05/08/13 13:25:12	4/23/13	029139		TOM WATTS A...	VEHICLE REPAIR	253130...	-536.62
TOTAL								-734.07

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
98156	05/08/13 14:17:16	5/8/13	80382	TRI-CO BLUE PRINT ...	TRI-CO BLUE ...	INVOICE #041225	100010...	
97750	04/17/13 09:40:12	4/12/13	041225		TRI-CO BLUE ...	COPIES	103030...	-33.37
TOTAL								-33.37
98157	05/08/13 14:17:17	5/8/13	80383	TRIBUNE MEDIA SE...	TRIBUNE MEDI...	INVOICE 0593381	100010...	
98056	05/08/13 09:45:15	4/29/13	0593381		TRIBUNE MEDI...	PROJ 4863 - GATV	100025...	-54.64
TOTAL								-54.64
98158	05/08/13 14:17:17	5/8/13	80384	URS CORPORATION	URS CORPOR...	INVOICE #5487263	100010...	
97748	04/17/13 09:37:18	4/12/13	5487263		URS CORPOR...	SWMP MAPPING	277961...	-5,070.19
TOTAL								-5,070.19
98159	05/08/13 14:17:18	5/8/13	80385	VENCO POWER SW...	VENCO POWE...		100010...	
98108	05/08/13 13:27:17	1/15/13	0040191-IN		VENCO POWE...	STREET SWEEPING SERVICE - ...	253122...	-3,318.60
98109	05/08/13 13:27:55	1/15/13	0040427-IN		VENCO POWE...	STREET SWEEPING SERVICE - ...	253122...	-3,318.60
98110	05/08/13 13:28:28	3/15/13	0040672-IN		VENCO POWE...	STREET SWEEPING SERVICE - ...	253122...	-3,318.60
98111	05/08/13 13:28:55	4/15/13	0040905-IN		VENCO POWE...	STREET SWEEPING SERVICE - ...	253122...	-3,318.60
TOTAL								-13,274.40
98160	05/08/13 14:17:18	5/8/13	80386	VERIZON CALIFORNIA	VERIZON CALI...	01 1711 1265125033 01	100010...	
98068	05/08/13 10:16:19	4/22/13	01171112...		VERIZON CALI...	OUTSIDE PD	101330...	-86.33
TOTAL								-86.33
98161	05/08/13 14:20:15	5/8/13	80387	ALL AROUND LANDS...	ALL AROUND ...		100010...	
98079	05/08/13 10:30:23	4/18/13	S1650340....		ALL AROUND ...	PARKS SUPPLIES	236122...	-1.02
98086	05/08/13 10:41:28	4/18/13	S1650405....		ALL AROUND ...	ROW	333230...	-14.37
TOTAL								-15.39
98162	05/08/13 14:20:15	5/8/13	80388	CARPINTERIA VALL...	CARPINTERIA ...	APRIL 2013 BILLING	100010...	
98040	05/07/13 15:18:47	4/28/13	APR 2013 ...		CARPINTERIA ...	UTILITIES - CIVIC CENTER	101331...	-461.34
					CARPINTERIA ...	UTILITIES - PARKING/STREETS	333231...	-1,899.59
					CARPINTERIA ...	UTILITIES - PARKS	236131...	-5,113.34
					CARPINTERIA ...	UTILITIES - POOL	486631...	-710.16
					CARPINTERIA ...	UTILITIES - VETS HALL	486530...	-154.72

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
					CARPINTERIA ...	PROJ 4865 - VETS HALL	100025...	-314.14
TOTAL								-8,653.29
98163	05/08/13 14:20:16	5/8/13	80389	CARPINTERIA VETE...	CARPINTERIA ...	INVOICE 191216	100010...	
98119	05/08/13 13:38:02	4/26/13	191216		CARPINTERIA ...	DOG LICENSE	104721...	-50.00
TOTAL								-50.00
98164	05/08/13 14:20:16	5/8/13	80390	CONCRETE EXPRES...	CONCRETE EX...	ACCT #CAR050	100010...	
97924	04/30/13 15:20:57	4/17/13	40000		CONCRETE EX...	SANTA MONICA ROAD	277961...	-217.07
TOTAL								-217.07
98165	05/08/13 14:20:17	5/8/13	80391	GRAINGER	GRAINGER	ACCT #838183929	100010...	
98095	05/08/13 10:47:20	4/15/13	9116998221		GRAINGER	PW SUPPLIES	333230...	-110.50
TOTAL								-110.50
98166	05/08/13 14:20:17	5/8/13	80392	SO CA EDISON	SO CA EDISON		100010...	
98045	05/07/13 15:32:27	4/30/13	2-30-652-4...		SO CA EDISON	SEASIDE	486530...	-55.60
98046	05/07/13 15:33:25	4/30/13	2-32-832-7...		SO CA EDISON	PROJ 4865 - VETS HALL	100025...	-449.90
					SO CA EDISON	UTILITIES VETS HALL	486530...	-383.24
98044	05/07/13 15:31:49	5/1/13	2-26-504-7...		SO CA EDISON	STREET LIGHTING	292322...	-28.34
TOTAL								-917.08
98167	05/08/13 14:20:18	5/8/13	80393	STAPLES ADVANTAGE	STAPLES ADV...	INVOICE 3197690075	100010...	
97960	05/01/13 12:03:56	4/17/13	3197690075		STAPLES ADV...	VETS HALL	486530...	-86.38
					STAPLES ADV...	PW SUPPLIES	253130...	-63.45
					STAPLES ADV...	PARKS	236122...	-50.44
TOTAL								-200.27
98168	05/08/13 14:20:18	5/8/13	80394	VERIZON CALIFORNIA	VERIZON CALI...		100010...	
98069	05/08/13 10:18:53	4/25/13	01171112...		VERIZON CALI...	ASH AVE	101330...	-86.33
98067	05/08/13 09:59:16	4/28/13	01171111...		VERIZON CALI...	CIVIC CENTER	101330...	-771.01
					VERIZON CALI...	PW	253130...	-34.38
					VERIZON CALI...	BEACH	286230...	-120.80
					VERIZON CALI...	POOL	486630...	-235.25
					VERIZON CALI...	BEACH CONCESSION	286430...	-113.71

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
TOTAL								-1,361.48
98169	05/08/13 16:57:00	5/8/13	80395	LESLIE'S POOL SUP...	LESLIE'S POO...		100010...	
98061	05/08/13 16:55:16	4/26/13	308-234705		LESLIE'S POO...	POOL CHEMICALS	486633...	-401.04
98059	05/08/13 09:47:22	5/3/13	308-235134		LESLIE'S POO...	POOL CHEMICALS	486633...	-449.72
TOTAL								-850.76
98172	05/10/13 09:42:57	5/10/13	80396	US TREASURY	US TREASURY	TAX ID #95-2414438 - FORM 2504	100010...	
98171	05/10/13 09:42:08	5/10/13	95-2414438		US TREASURY	FORM 2504 REMITTANCE	160029...	-12,091.89
					US TREASURY	FORM 2504 REMITTANCE	101730...	-12,091.88
TOTAL								-24,183.77
98238	05/15/13 11:32:38	5/15/13	80397	76 FLEET SERVICES	76 FLEET SER...	ACCT #70201-00-105172-1	100010...	
98195	05/14/13 11:08:10	4/30/13	APRIL 20...		76 FLEET SER...	VEHICLE FUEL	101330...	-88.47
					76 FLEET SER...	VEHICLE FUEL	253130...	-64.87
					76 FLEET SER...	VEHICLE FUEL	333230...	-156.72
TOTAL								-310.06
98239	05/15/13 11:32:38	5/15/13	80398	AERIOCONNECT	AERIOCONNECT	ACCOUNT 672404	100010...	
98178	05/14/13 08:47:48	5/1/13	672404		AERIOCONNECT	DSL MONTHLY SERVICE CHAR...	101822...	-66.06
TOTAL								-66.06
98240	05/15/13 11:32:39	5/15/13	80399	BH SKATING PARKS ...	BH SKATING P...	INVOICE 12191201	100010...	
98205	05/15/13 09:49:05	5/10/13	12191201		BH SKATING P...	SNOW DAY SKATING RINK 2ND ...	104430...	-819.50
TOTAL								-819.50
98241	05/15/13 11:32:39	5/15/13	80400	C3 INTELLIGENCE, I...	C3 INTELLIGE...	INVOICE #1788	100010...	
98197	05/14/13 11:49:06	5/1/13	1788		C3 INTELLIGE...	BACKGROUND REPORTS	101632...	-64.00
TOTAL								-64.00
98242	05/15/13 11:32:39	5/15/13	80401	CALIFORNIA JPIA	CALIFORNIA J...	INVOICE #5759	100010...	
98198	05/14/13 11:50:05	5/1/13	5759		CALIFORNIA J...	HUMAN RESOURCES ACCADEMY	101622...	-375.00

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
TOTAL								-375.00
98243	05/15/13 11:32:40	5/15/13	80402	CARPINTERIA UNIFI...	CARPINTERIA ...	CAL GRIP GRANT	100010...	
97823	04/24/13 10:10:40	4/20/13	CAL GRIP...		CARPINTERIA ...	CAL GRIP GRANT	200026...	-10,244.64
TOTAL								-10,244.64
98244	05/15/13 11:32:40	5/15/13	80403	CENTRAL COAST IM...	CENTRAL COA...	INVOICE #AR24188	100010...	
98177	05/14/13 08:47:13	5/1/13	AR24188		CENTRAL COA...	COPIES	101822...	-132.76
TOTAL								-132.76
98245	05/15/13 11:32:41	5/15/13	80404	CHANNEL ISLANDS ...	CHANNEL ISLA...	10001	100010...	
98213	05/15/13 10:07:10	4/30/13	APR 2013 ...		CHANNEL ISLA...	ROW	333222...	-39.80
					CHANNEL ISLA...	ROW	333230...	-2.09
					CHANNEL ISLA...	POOL	486630...	-5.81
					CHANNEL ISLA...	ROW	286230...	-4.30
					CHANNEL ISLA...	TOWERS	286230...	-42.13
					CHANNEL ISLA...	BEACHES	286230...	-7.75
					CHANNEL ISLA...	ROW	286230...	-36.22
					CHANNEL ISLA...	POOL	486630...	-38.77
					CHANNEL ISLA...	ROW	286230...	-7.24
					CHANNEL ISLA...	GRAFFITI	333222...	-19.36
					CHANNEL ISLA...	POOL	486630...	-3.47
					CHANNEL ISLA...	BEACH	286230...	-14.01
					CHANNEL ISLA...	PARKS	236122...	-20.31
					CHANNEL ISLA...	POOL	486630...	-38.74
					CHANNEL ISLA...	ROW	333230...	-49.43
					CHANNEL ISLA...	PARKS	236122...	-151.19
					CHANNEL ISLA...	VETS HALL	486530...	-13.16
					CHANNEL ISLA...	PARKS	236122...	-5.38
					CHANNEL ISLA...	PARKS	236122...	-8.70
					CHANNEL ISLA...	PARKS	236122...	-2.13
					CHANNEL ISLA...	BEACHES	286230...	-13.05
					CHANNEL ISLA...	BEACHES	286230...	-21.74
					CHANNEL ISLA...	ROW	333230...	-35.84
					CHANNEL ISLA...	BEACHES	286230...	-18.43
					CHANNEL ISLA...	CODE ENF	102230...	-24.76
					CHANNEL ISLA...	GRAFFITI	333222...	-19.36
					CHANNEL ISLA...	GRAFFITI	333222...	-2.90
TOTAL								-646.07

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

	Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
	98246	05/15/13 11:32:42	5/15/13	80405	COASTAL VIEW NEWS	COASTAL VIE...		100010...	
	98183	05/14/13 08:57:54	5/9/13	40929		COASTAL VIE...	PET ADS	104730...	-80.00
	98184	05/14/13 08:58:35	5/9/13	40926		COASTAL VIE...	CLASSIFIED ADVERTISING - MG...	101630...	-80.64
	98210	05/15/13 09:53:37	5/9/13	40915		COASTAL VIE...	ABOP AD	203730...	-198.00
TOTAL									-358.64
	98247	05/15/13 11:32:42	5/15/13	80406	COLSON'S TOWING I...	COLSON'S TO...	INVOICE #35508	100010...	
	98175	05/14/13 08:45:08	4/18/13	35508		COLSON'S TO...	TOWING FEES UNIT 320	102222...	-60.00
TOTAL									-60.00
	98248	05/15/13 11:32:42	5/15/13	80407	COX COMMUNICATI...	COX COMMUN...	ACCT #001 3011 022093901	100010...	
	98176	05/14/13 08:46:16	5/1/13	MAY 2013...		COX COMMUN...	INTERNET SERVICES - MAY 2013	101822...	-132.00
TOTAL									-132.00
	98249	05/15/13 11:32:43	5/15/13	80408	DUDEK	DUDEK	INVOICE 20131519	100010...	
	98209	05/15/13 09:53:07	5/7/13	20131519		DUDEK	PROJ 1522 - LOCAL COASTAL P...	100025...	-3,479.69
TOTAL									-3,479.69
	98250	05/15/13 11:32:43	5/15/13	80409	EDD-SDI	EDD-SDI	ACCT #776-5147-9	100010...	
	98233	05/15/13 11:00:45	4/12/13	PAYROLL...		EDD-SDI	PAYROLL 05-16-13	100022...	-851.28
TOTAL									-851.28
	98251	05/15/13 11:32:44	5/15/13	80410	EDD-SIT	EDD-SIT	ACCT #932-0283-6	100010...	
	98234	05/15/13 11:01:23	5/15/13	PAYROLL...		EDD-SIT	PAYROLL 05-16-13	100022...	-3,352.33
TOTAL									-3,352.33
	98252	05/15/13 11:32:44	5/15/13	80411	HUGO'S AUTO DETAIL	HUGO'S AUTO ...	VEHICLE MAINTENANCE - MAR-...	100010...	
	98174	05/14/13 08:44:13	5/14/13	MAR-APR...		HUGO'S AUTO ...	VEHICLE MAINTENANCE - MAR-...	101330...	-150.00
TOTAL									-150.00
	98253	05/15/13 11:32:45	5/15/13	80412	MCCORMIX CORP	MCCORMIX C...	INVOICE 873133	100010...	
	98204	05/14/13 11:58:48	4/30/13	873133		MCCORMIX C...	PUBLIC WORKS FUEL	333230...	-242.60

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
TOTAL								-242.60
98254	05/15/13 11:32:46	5/15/13	80413	MNS ENGINEERS INC	MNS ENGINEE...		100010...	
98214	05/15/13 10:15:42	4/12/13	63202		MNS ENGINEE...	PROJ 5007 - LAGUNITAS	100025...	-145.00
98215	05/15/13 10:18:16	4/12/13	63203		MNS ENGINEE...	PROJ 5370	100025...	-217.50
					MNS ENGINEE...	PROJ 1654	100025...	-72.50
					MNS ENGINEE...	PROJ 5374	100025...	-398.75
					MNS ENGINEE...	PROJ 1652	100025...	-72.50
					MNS ENGINEE...	PROJ 5350	100025...	-108.75
					MNS ENGINEE...	PROJ 5369	100025...	-72.50
					MNS ENGINEE...	PROJ 5378	100025...	-36.25
					MNS ENGINEE...	GENERAL ENGINEERING SERVI...	253622...	-688.75
					MNS ENGINEE...	PROJ 1656	100025...	-72.50
98216	05/15/13 10:19:11	4/12/13	63204		MNS ENGINEE...	PROJ 5109 - DORRANCE WAY	100025...	-580.00
98217	05/15/13 10:19:46	4/12/13	63205		MNS ENGINEE...	PROJ 5100 - ISLAND APTS	100025...	-362.50
98219	05/15/13 10:42:56	4/12/13	63206		MNS ENGINEE...	MEASURE A GRANT 4	207927...	-1,087.50
					MNS ENGINEE...	MEASURE A GRANT 4	202027...	-1,087.50
98220	05/15/13 10:43:34	4/12/13	63207		MNS ENGINEE...	PROJ 5051 - DAHLIA COURT	100025...	-1,015.00
98221	05/15/13 10:44:12	4/12/13	63208		MNS ENGINEE...	GENERAL ENGINEERING SERVI...	253622...	-5,763.75
98222	05/15/13 10:45:46	4/12/13	63209		MNS ENGINEE...	PROJ 1601 - 5TH STREET	100025...	-435.00
98223	05/15/13 10:46:31	4/12/13	63210		MNS ENGINEE...	PROJ 5339 - JACOBSON	100025...	-36.25
98224	05/15/13 10:47:53	4/12/13	63211		MNS ENGINEE...	LINDEN/CASITAS PASS	310023...	-1,268.75
98225	05/15/13 10:48:28	4/12/13	63212		MNS ENGINEE...	FLOODPLAIN MGMT	253622...	-1,015.00
98226	05/15/13 10:49:04	4/12/13	63213		MNS ENGINEE...	EL CARRO SIDEWALK PROJECT	277041...	-1,740.00
98227	05/15/13 10:55:16	4/12/13	63215		MNS ENGINEE...	SANTA YNEZ AVE	277962...	-643.75
98228	05/15/13 10:56:06	4/12/13	63216		MNS ENGINEE...	PROJ 5100 - 3RD STREET	100025...	-1,051.25
98229	05/15/13 10:56:38	4/12/13	63217		MNS ENGINEE...	PROJ 5218 - EDISON BLANKET ...	100025...	-145.00
98230	05/15/13 10:57:23	4/12/13	63218		MNS ENGINEE...	SANTA YNEZ GUARDRAIL REPL...	277041...	-181.25
98231	05/15/13 10:57:52	4/12/13	63219		MNS ENGINEE...	EL CARRO SIDEWALK REPAIR	277041...	-130.00
98232	05/15/13 10:59:24	4/12/13	63214		MNS ENGINEE...	MEASURE A GRANT 1	207927...	-706.88
					MNS ENGINEE...	MEASURE A GRANT 1	202027...	-706.87
98182	05/14/13 08:57:30	4/17/13	63239		MNS ENGINEE...	PROJ 1002 - GAS CO BLANKET ...	100025...	-145.00
TOTAL								-19,986.25
98255	05/15/13 11:32:47	5/15/13	80414	MONTECITO BANK &...	MONTECITO B...	4379	100010...	
98181	05/14/13 08:56:30	4/23/13	4379		MONTECITO B...	PW SUPPLIES	103030...	-583.19
					MONTECITO B...	HHW DAY	393722...	-20.69
					MONTECITO B...	HHW DAY	393722...	-39.26
					MONTECITO B...	HHW DAY	393722...	-178.89
					MONTECITO B...	HHW DAY	393722...	-25.90
					MONTECITO B...	HHW DAY	393722...	-165.57
					MONTECITO B...	MEETINGS & TRAVEL - EBELING	103030...	-339.00

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
TOTAL								-1,352.50
98256	05/15/13 11:32:47	5/15/13	80415	MURPHY-KING REAL...	MURPHY-KING...	REFUND LICENSE FEE	100010...	
98196	05/14/13 11:10:01	4/25/13	REFUND ...		MURPHY-KING...	REFUND BUSINESS LICENSE FEE	101018...	-55.00
					MURPHY-KING...	REFUND BUSINESS LICENSE FEE	100026...	-1.00
					MURPHY-KING...	REFUND BUSINESS LICENSE FEE	101012...	-10.00
TOTAL								-66.00
98257	05/15/13 11:32:48	5/15/13	80416	PRAXAIR	PRAXAIR	INVOICE #45890186	100010...	
98099	05/08/13 11:39:09	4/20/13	45890186		PRAXAIR	CYLINDER RENTAL	253130...	-24.38
TOTAL								-24.38
98258	05/15/13 11:32:48	5/15/13	80417	SEUI LOCAL 620	SEUI LOCAL 620	UNION DUES	100010...	
98235	05/15/13 11:01:55	5/15/13	PAYROLL...		SEUI LOCAL 620	PAYROLL 05-16-13	100022...	-146.19
TOTAL								-146.19
98259	05/15/13 11:32:49	5/15/13	80418	STAPLES ADVANTAGE	STAPLES ADV...	INVOICE 3198024960	100010...	
98083	05/08/13 10:38:16	4/20/13	3198024960		STAPLES ADV...	POOL SUPPLIES	486630...	-545.39
TOTAL								-545.39
98260	05/15/13 11:32:49	5/15/13	80419	THE STORAGE PLACE	THE STORAGE...	STORAGE RENTAL MAY 2013	100010...	
98179	05/14/13 08:48:30	5/3/13	MAY 2013...		THE STORAGE...	OFFSITE STORAGE RENTAL	101322...	-305.00
TOTAL								-305.00
98261	05/15/13 11:32:50	5/15/13	80420	THE WAKEFIELD CO	THE WAKEFIE...	INVOICE #5118	100010...	
98180	05/14/13 08:53:30	4/12/13	5118		THE WAKEFIE...	BENCH DONATION	282816...	-1,060.00
					THE WAKEFIE...	BENCH DONATION	286230...	-295.40
TOTAL								-1,355.40
98262	05/15/13 11:32:50	5/15/13	80421	UNITED WAY OF SA...	UNITED WAY O...	PAYROLL CONTRIBUTION	100010...	
98236	05/15/13 11:02:13	5/15/13	PAYROLL...		UNITED WAY O...	PAYROLL 05-16-13	100022...	-20.00
TOTAL								-20.00

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
98263	05/15/13 11:32:51	5/15/13	80422	VANTAGEPOINT TRA...	VANTAGEPOIN...	PAYROLL DEPOSIT PLAN #303555	100010...	
98237	05/15/13 11:02:32	5/15/13	PAYROLL...		VANTAGEPOIN...	PAYROLL 05-16-13	100010...	-964.86
TOTAL								-964.86
98264	05/15/13 11:32:51	5/15/13	80423	VULCAN MATERIALS...	VULCAN MATE...		100010...	
98112	05/08/13 13:30:28	4/19/13	339839		VULCAN MATE...	COLD MIX	253130...	-509.68
98113	05/08/13 13:33:22	4/19/13	339840		VULCAN MATE...	COLD MIX	253130...	-88.15
TOTAL								-597.83
98265	05/15/13 11:32:52	5/15/13	80424	WAUSAU TILE INC	WAUSAU TILE ...	INVOICE 440553	100010...	
97922	04/30/13 15:17:59	4/19/13	440553		WAUSAU TILE ...	REPLACEMENT TRASH CAN LIDS	333230...	-1,491.12
TOTAL								-1,491.12
98266	05/15/13 11:36:03	5/15/13	80425	A-OK POWER EQUIP...	A-OK POWER ...		100010...	
98199	05/14/13 11:54:12	4/22/13	1721		A-OK POWER ...	PUBLIC WORKS SUPPLIES	253130...	-107.17
98200	05/14/13 11:54:35	4/22/13	1716		A-OK POWER ...	PUBLIC WORKS SUPPLIES	253130...	-130.41
TOTAL								-237.58
98267	05/15/13 11:36:03	5/15/13	80426	ABE NURSERY INC	ABE NURSERY...	INVOICE 28750	100010...	
98077	05/08/13 10:29:03	4/25/13	28750		ABE NURSERY...	TOMOL OAK TREE	236122...	-43.20
TOTAL								-43.20
98268	05/15/13 11:36:04	5/15/13	80427	ALL AROUND LANDS...	ALL AROUND ...	CUSTOMER #354	100010...	
98078	05/08/13 10:29:59	4/24/13	S1651720....		ALL AROUND ...	PARKS SUPPLIES	236122...	-29.79
TOTAL								-29.79
98269	05/15/13 11:36:04	5/15/13	80428	HINDERLITER DE LL...	HINDERLITER ...	INVOICE 0020653-IN	100010...	
98055	05/08/13 09:42:50	4/22/13	0020653-IN		HINDERLITER ...	CONTRACT SERVICES - SALES ...	101012...	-919.25
TOTAL								-919.25
98270	05/15/13 11:36:05	5/15/13	80429	HOUSE SANITARY S...	HOUSE SANIT...	INVOICE 099375	100010...	

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

	Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
	98203	05/14/13 11:57:10	4/22/13	099375		HOUSE SANIT...	ROW	333222...	-35.80
						HOUSE SANIT...	BEACHES	286122...	-35.80
						HOUSE SANIT...	PARKS	236122...	-35.80
TOTAL									-107.40
	98271	05/15/13 11:36:05	5/15/13	80430	KIMBALL MIDWEST	KIMBALL MID...	INVOICE 2939379	100010...	
	98097	05/08/13 10:48:35	4/22/13	2939379		KIMBALL MID...	PW SHOP SUPPLIES	333230...	-82.90
TOTAL									-82.90
	98272	05/15/13 11:36:06	5/15/13	80431	LEISURE CONCEPTS...	LEISURE CON...	INVOICE 21304199	100010...	
	98207	05/15/13 09:51:30	4/25/13	21304199		LEISURE CON...	BEACH CONCESSION MISCELL...	286430...	-623.67
TOTAL									-623.67
	98273	05/15/13 11:36:06	5/15/13	80432	MARBORG INDUSTRI...	MARBORG IND...	INVOICE 2962068	100010...	
	98098	05/08/13 10:49:17	4/25/13	2962068		MARBORG IND...	HHW DAY	393722...	-378.00
TOTAL									-378.00
	98274	05/15/13 11:36:07	5/15/13	80433	MARINE RESCUE PR...	MARINE RESC...	INVOICE 27274A	100010...	
	98082	05/08/13 10:37:25	4/24/13	27274A		MARINE RESC...	LIFEGUARD SUPPLIES	286232...	-3,323.40
TOTAL									-3,323.40
	98275	05/15/13 11:36:07	5/15/13	80434	PRAXAIR	PRAXAIR	INVOICE #45954240	100010...	
	98100	05/08/13 11:41:54	4/22/13	45954240		PRAXAIR	PW SUPPLIES	253130...	-29.21
TOTAL									-29.21
	98276	05/15/13 11:36:08	5/15/13	80435	SANTA BARBARA PE...	SANTA BARBA...		100010...	
	98102	05/08/13 11:43:32	4/18/13	40791		SANTA BARBA...	RODENT CONTROL	333222...	-125.00
	98103	05/08/13 11:43:58	4/18/13	40502		SANTA BARBA...	RODENT CONTROL	333222...	-65.00
TOTAL									-190.00
	98277	05/15/13 11:36:08	5/15/13	80436	SO CA EDISON	SO CA EDISON	2-01-201-6465	100010...	
	98189	05/14/13 09:18:26	5/7/13	2-01-201-6...		SO CA EDISON	STREET LIGHTING	292322...	-7,300.90

CITY OF CARPINTERIA
Warrant Register
May 8 - 21, 2013

Trans #	Entered/Last Modified	Date	Num	Name	Source Name	Memo	Account	Paid Amount
TOTAL								-7,300.90
98278	05/15/13 11:36:09	5/15/13	80437	STAPLES ADVANTAGE	STAPLES ADV...		100010...	
97962	05/01/13 12:05:36	4/24/13	3198122904		STAPLES ADV...	PARKS	236122...	-61.54
					STAPLES ADV...	PW	253130...	-30.77
97961	05/01/13 12:04:40	4/25/13	3198187221		STAPLES ADV...	POOL SUPPLIES	486630...	-285.23
98062	05/08/13 09:50:34	4/25/13	3198187223		STAPLES ADV...	EMERGENCY SERVICES	104530...	-161.99
98065	05/08/13 09:52:48	4/25/13	3198187222		STAPLES ADV...	OFFICE SUPPLIES	101330...	-81.26
					STAPLES ADV...	EMERGENCY SERVICES	104530...	-310.53
TOTAL								-931.32
98279	05/15/13 11:36:09	5/15/13	80438	VAN ATTA ASSOCIA...	VAN ATTA ASS...	INVOICE 3856	100010...	
97963	05/01/13 12:06:12	4/23/13	3856		VAN ATTA ASS...	SEASIDE PARK DESIGN	310024...	-3,188.75
TOTAL								-3,188.75
98280	05/15/13 11:36:10	5/15/13	80439	WATER GEAR INC	WATER GEAR I...	INVOICE 00226694	100010...	
97949	05/01/13 11:31:23	4/25/13	00226694		WATER GEAR I...	POOL RESALE ITEMS	486635...	-218.08
TOTAL								-218.08
98281	05/15/13 11:36:10	5/15/13	80440	WESTERN EXTERMI...	WESTERN EXT...	SB CO CLINIC MONTHLY SERVI...	100010...	
98206	05/15/13 09:50:39	4/30/13	MAR-APR...		WESTERN EXT...	PROJ 4865 SB CO CLINIC MONT...	100025...	-86.00
TOTAL								-86.00

TOTAL $217,361.80

AGENDA SECTION: CONSENT CALENDAR
AGENDA ITEM #3
REPORT # 13-51

STAFF REPORT
COUNCIL MEETING DATE
May 28, 2013

ITEM FOR COUNCIL CONSIDERATION:

Destruction of Certain Obsolete Records in the City Clerk's Office

Report prepared by: **Fidela Garcia, City Clerk**

Department: _____ Signature

Reviewed by:

City Manager _____ Signature **Admin. Services Dir.** _____ Signature

STAFF RECOMMENDATION:

Action Item X ; Non-Action Item ____

Adopt Resolution No. 5465, as read by title only, authorizing the destruction of certain obsolete records in the City Clerk's Office as specified in Exhibit A of the proposed resolution of approval.

I. BACKGROUND:

In a continuing effort to purge files that are no longer needed and in accordance with the City's policy and procedure for the retention and disposition of records and retention schedule, the City Clerk Office wishes to destroy certain obsolete records from the period 1998 through 2007.

II. POLICY:

The records proposed for destruction, exceed retention levels required by law and by City Council Resolution No. 4873, adopted April 12, 2004, concerning the retention and disposition of City records.

III. FINANCIAL CONSIDERATIONS:

Retention of records beyond the historical and/or legal retention requirements will result in additional storage costs.

IV. LEGAL ISSUES:

The City Attorney has reviewed and approved the list of documents to be destroyed contained in Exhibit A of the proposed resolution of approval.

V. ALTERNATIVES:

Continue to retain the records indefinitely.

VI. ATTACHMENTS:

A. Resolution No. 5465

ATTACHMENT A

RESOLUTION NO. 5465

RESOLUTION NO. 5465

A RESOLUTION OF THE CARPINTERIA CITY COUNCIL AUTHORIZING DESTRUCTION OF CERTAIN RECORDS IN THE CITY CLERK'S OFFICE

WHEREAS, California Government Code Section 34090 permits the destruction of certain records subject to certain conditions; and

WHEREAS, the City Clerk's office has recommended that certain records in their department be destroyed and the City Manager has approved said recommendation; and

WHEREAS, said records have now been retained for periods of time that exceed levels required by law and by City Council Resolution 4873, adopted April 12, 2004, Rules and Regulations Governing the Policy and Procedure for the Retention and Disposition of Records for the City; and

WHEREAS, the City Attorney has issued his consent to said recommendation and approval; and

WHEREAS, a list of records to be destroyed is attached hereto as Exhibit "A," dated May 28, 2013, consisting of nine pages.

NOW, THEREFORE, THE CARPINTERIA CITY COUNCIL HEREBY RESOLVES that those records identified in Exhibit A attached hereto are approved for destruction as recommended.

PASSED, APPROVED AND ADOPTED this 28th day of May 2013, by the following called vote:

AYES: COUNCILMEMBER:

NOES: COUNCILMEMBER:

ABSENT: COUNCILMEMBER:

_____
Mayor, City of Carpinteria

ATTEST:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held this 28th day of May 2013.

_____
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

_____
City Attorney

Exhibit A to Resolution No. 5465

CITY OF CARPINTERIA
REQUEST TO DESTROY OBSOLETE RECORDS

The City Manager/City Clerk Department requests authority to destroy obsolete records as detailed below.

Note: Unless otherwise noted all records are located at the City's Storage Facility.

Title or subject matter of records	No. of Records	Originals/Copies	Date Closed
City Clerk Files – 170 Risk Management (Claims Filed Against the City)			
Acosta, Vita 95	1 File	Originals/Copies	Closed as of 01/07/98
Adams, Cliff & Gayle G 83	1 File	Originals/Copies	Closed as of 01/07/98
Adler, John 90	1 File	Originals/Copies	Closed as of 01/07/98
Alexander, Cate & Carlton 07	1 File	Originals/Copies	4/27/2007
Allen Susan 91	1 File	Originals/Copies	Closed as of 01/07/98
Alpha Produce, Inc. 93	1 File	Originals/Copies	Closed as of 01/07/98
Anderson, Caroline Ann 94	1 File	Originals/Copies	Closed as of 01/07/98
Anderson, Eugene 66	1 File	Originals/Copies	Closed as of 01/07/98
Antu, Gabriel 07	1 File	Originals/Copies	11/21/2007
Arbor Investment Co. 80	1 File	Originals/Copies	Closed as of 01/07/98
Arco 85	1 File	Originals/Copies	Closed as of 01/07/98
Attkinson, Marian 94	1 File	Originals/Copies	Closed as of 01/07/98
Barba Rebecca 01	1 File	Originals/Copies	12/6/2001
Barker, Judd 04	1 File	Originals/Copies	7/22/2004
Bashore, Bambi R 80	1 File	Originals/Copies	Closed as of 01/07/98
Batchelder, Connie 00	1 File	Originals/Copies	Closed as of 01/07/98
Beltran, Juan/Gamaez, Adolfo 88	1 File	Originals/Copies	Closed as of 01/07/98
Benford, Linda R 80	1 File	Originals/Copies	Closed as of 01/07/98
Bently, Robert K. 82	1 File	Originals/Copies	Closed as of 01/07/98
Berke, Ronnie Lee 99	1 File	Originals/Copies	9/13/2000
Bob's Garage 90	1 File	Originals/Copies	Closed as of 01/07/98
Borello, Lucy 95	1 File	Originals/Copies	Closed as of 01/07/98
Brandman, Michael & Assoc. 86	1 File	Originals/Copies	Closed as of 01/07/98
Bridgeman, Lucas 03	1 File	Originals/Copies	5/11/2003
Brixie, Randy R. 90	1 File	Originals/Copies	Closed as of 01/07/98
Brooks Jessica 00	1 File	Originals/Copies	8/23/2000
Brown, Kathleen 00	1 File	Originals/Copies	7/23/2002
Broyles, Nancy M 81	1 File	Originals/Copies	Closed as of 01/07/98
Bruce, S and C 76	1 File	Originals/Copies	Closed as of 01/07/98

Buscher, Edwin 96	1 File	Originals/Copies	Closed as of 01/07/98
Campbell, Kent L 80	1 File	Originals/Copies	Closed as of 01/07/98
Campbell, Lauren 02	1 File	Originals/Copies	8/20/2002
Carmichael Norma 85	1 File	Originals/Copies	Closed as of 01/07/98
Carollo, Ronald L. 87	1 File	Originals/Copies	Closed as of 01/07/98
Carpinteria Burn Dump 02	1 File	Originals/Copies	Closed as of 01/07/98
Casello, Lena 86	1 File	Originals/Copies	Closed as of 01/07/98
Casillas, Elizabeth 04	1 File	Originals/Copies	7/22/2004
Castro, Isabel 93	1 File	Originals/Copies	Closed as of 01/07/98
Chacon, Mary Ellen 67	1 File	Originals/Copies	Closed as of 01/07/98
Charbonneau, Ann C 79	1 File	Originals/Copies	Closed as of 01/07/98
Charbonneau, Judith 05	1 File	Originals/Copies	9/27/2005
Chip Seal Project 77	1 File	Originals/Copies	Closed as of 01/07/98
Cocita, Joseph 89	1 File	Originals/Copies	Closed as of 01/07/98
Cone, Brenda Dawn 92	1 File	Originals/Copies	Closed as of 01/07/98
Cooper, Mary Lee 02	1 File	Originals/Copies	11/14/2003
Cordero, Daniel M 77	1 File	Originals/Copies	Closed as of 01/07/98
Cornejo, Gerardo 97	1 File	Originals/Copies	Closed as of 01/07/98
Cruz, Epigemnio Salinas 92	1 File	Originals/Copies	Closed as of 01/07/98
Culver, Christina 02	1 File	Originals/Copies	10/23/2002
Cundith, Betty J 78	1 File	Originals/Copies	Closed as of 01/07/98
D Prima, Micale 91	1 File	Originals/Copies	Closed as of 01/07/98
Daily, Marla 06	1 File	Originals/Copies	Closed as of 01/07/98
Davis, James 92 (Dahlia Court Aptmts.)	1 File	Originals/Copies	Closed as of 01/07/98
De La Cruz, Tony 77	1 File	Originals/Copies	Closed as of 01/07/98
Deck, Dorothea 75	1 File	Originals/Copies	Closed as of 01/07/98
Delamora, Rosa 03	1 File	Originals/Copies	7/15/2003
Di Santo, James E 67	1 File	Originals/Copies	Closed as of 01/07/98
Doubeck, Suzette 98	1 File	Originals/Copies	Closed as of 01/07/98
Dunlop, Cynthia/David 05	1 File	Originals/Copies	6/27/2006
Duran, Justin 94	1 File	Originals/Copies	Closed as of 01/07/98
Durrelle, Shawn 86	1 File	Originals/Copies	Closed as of 01/07/98
Edwards, Edwin 90	1 File	Originals/Copies	Closed as of 01/07/98
Eggception 79	1 File	Originals/Copies	Closed as of 01/07/98
Eichorn, Veronica 96	1 File	Originals/Copies	Closed as of 01/07/98
Eliassof, Robert 03	1 File	Originals/Copies	1/26/2004
Eller, Ethan Bradford 81	1 File	Originals/Copies	Closed as of 01/07/98
Ellert, James 01	1 File	Originals/Copies	5/25/2001
Ellis Diana E. 94	1 File	Originals/Copies	Closed as of 01/07/98
Enlow, D L 72	1 File	Originals/Copies	Closed as of 01/07/98

Escamilla, Enrique 87	1 File	Originals/Copies	Closed as of 01/07/98
Estabrook, Norman B 76	1 File	Originals/Copies	Closed as of 01/07/98
Estrada Family 74	1 File	Originals/Copies	Closed as of 01/07/98
Exxon Mobile 02	1 File	Originals/Copies	2/15/2002
Fair, Robert Boyd 87	1 File	Originals/Copies	Closed as of 01/07/98
Feeman, Patrick & Florence 84	1 File	Originals/Copies	Closed as of 01/07/98
Figueroa, Vincent E 80	1 File	Originals/Copies	Closed as of 01/07/98
Ford, David 94	1 File	Originals/Copies	Closed as of 01/07/98
Ford, Peggy 02	1 File	Originals/Copies	12/2/2002
Forney, Lanny G 69	1 File	Originals/Copies	Closed as of 01/07/98
France, Jane 06	1 File	Originals/Copies	2/13/2007
Francis, Parker 00	1 File	Originals/Copies	3/8/2001
Frendor, Ronald 92	1 File	Originals/Copies	Closed as of 01/07/98
Furlong, Lamar J 77	1 File	Originals/Copies	Closed as of 01/07/98
Garcia, Araceli 98	1 File	Originals/Copies	6/9/1999
Garcia, Elsa 98	1 File	Originals/Copies	6/9/1999
Garcia, Patricia 95	1 File	Originals/Copies	Closed as of 01/07/98
Garrison, Greg 04	1 File	Originals/Copies	12/22/2004
Gehrke, Michael 84	1 File	Originals/Copies	Closed as of 01/07/98
Gervasi, Betty 84	1 File	Originals/Copies	Closed as of 01/07/98
Gonazales, David A 77	1 File	Originals/Copies	Closed as of 01/07/98
Gonzales, Berry, Battle 74	1 File	Originals/Copies	Closed as of 01/07/98
Gonzales, Carina 07	1 File	Originals/Copies	7/25/2007
Gonzales, Edward 89	1 File	Originals/Copies	Closed as of 01/07/98
Gonzales, Jose 06	1 File	Originals/Copies	6/19/2007
Gonzales, Michael 99	1 File	Originals/Copies	11/29/1999
Goodmanson, Chadwick 78	1 File	Originals/Copies	Closed as of 01/07/98
Graham, Charles 79	1 File	Originals/Copies	Closed as of 01/07/98
Green, Randy 97	1 File	Originals/Copies	11/30/1999
Guarantee Ins. Co. 81	1 File	Originals/Copies	Closed as of 01/07/98
Guggenheim, David 87	1 File	Originals/Copies	Closed as of 01/07/98
Hall, Galen 84	1 File	Originals/Copies	Closed as of 01/07/98
Hall, Linda C. 85	1 File	Originals/Copies	Closed as of 01/07/98
Hanley, Helen 89	1 File	Originals/Copies	Closed as of 01/07/98
Hawkians, Kate 80	1 File	Originals/Copies	Closed as of 01/07/98
Heaney, Miller, Carey 72	1 File	Originals/Copies	Closed as of 01/07/98
Heathcote, Donald 81	1 File	Originals/Copies	Closed as of 01/07/98
Hebel, Sally A. 92	1 File	Originals/Copies	Closed as of 01/07/98
Heck, Alma 90	1 File	Originals/Copies	Closed as of 01/07/98
Heltman, Yvonne 05	1 File	Originals/Copies	12/9/2005

Herscovitch, Eve 86	1 File	Originals/Copies	Closed as of 01/07/98
Herzog, Margorie H. 90	1 File	Originals/Copies	Closed as of 01/07/98
Hess, Rex 03	1 File	Originals/Copies	10/27/2004
Hetland, Jim 86	1 File	Originals/Copies	Closed as of 01/07/98
Hobza, Robert 75	1 File	Originals/Copies	Closed as of 01/07/98
Hodal, Kevin	1 File	Originals/Copies	Closed as of 01/07/98
Hofmann, Eleanora 02	1 File	Originals/Copies	3/11/2003
Hofmann, Martha & Karl 89	1 File	Originals/Copies	Closed as of 01/07/98
Hoggarth, Rochelle 00	1 File	Originals/Copies	4/12/2001
Hoyle, Roberta L. 88	1 File	Originals/Copies	Closed as of 01/07/98
Hu, Janet 92	1 File	Originals/Copies	Closed as of 01/07/98
Ibarra, Alejandro 04	1 File	Originals/Copies	7/22/2004
IBM 80	1 File	Originals/Copies	Closed as of 01/07/98
Jacoby, Helen French 00	1 File	Originals/Copies	Closed as of 01/07/98
Jamieson, Judith 89	1 File	Originals/Copies	Closed as of 01/07/98
Jazo, Phillip 77	1 File	Originals/Copies	Closed as of 01/07/98
Jeroy, Noele E 77	1 File	Originals/Copies	Closed as of 01/07/98
Jimenez, Jose 88	1 File	Originals/Copies	Closed as of 01/07/98
Jimenez, Jose 99 (Temp. File)	1 File	Originals/Copies	9/30/1999
Jimenez, Nellie 75	1 File	Originals/Copies	Closed as of 01/07/98
Jolicoeur, James 85	1 File	Originals/Copies	Closed as of 01/07/98
Jones, Brian 89	1 File	Originals/Copies	Closed as of 01/07/98
Jones, Steve 84	1 File	Originals/Copies	Closed as of 01/07/98
Joos, Martha 97	1 File	Originals/Copies	1/26/1998
Juliar, Timothy 85	1 File	Originals/Copies	Closed as of 01/07/98
Kappel, Jovan (minor) 89	1 File	Originals/Copies	Closed as of 01/07/98
Karr, Dale K. 82	1 File	Originals/Copies	Closed as of 01/07/98
Keller, LeRoy 79	1 File	Originals/Copies	Closed as of 01/07/98
Kennedy, Mildred 84	1 File	Originals/Copies	Closed as of 01/07/98
Kester, Ray and Mary 85	1 File	Originals/Copies	Closed as of 01/07/98
Kilbourne, Kenneth 78	1 File	Originals/Copies	Closed as of 01/07/98
Kimbel, Kaytlen 98	1 File	Originals/Copies	7/28/1999
King, Jeanni A 77	1 File	Originals/Copies	Closed as of 01/07/98
Koepenik Vs. City of Carpinteria	1 File	Originals/Copies	5/28/2003
Koepenik, Nicholas 01	1 File	Originals/Copies	5/28/2003
Kosla, Edward 91	1 File	Originals/Copies	Closed as of 01/07/98
Lasini, Anthony 84	1 File	Originals/Copies	Closed as of 01/07/98
Laxman & Miyata 07	1 File	Originals/Copies	Closed as of 01/07/98
Lecroy, Barbara 90	1 File	Originals/Copies	Closed as of 01/07/98
Ledbetter, Dennis 83	1 File	Originals/Copies	Closed as of 01/07/98

Lendrihas, Sean 91	1 File	Originals/Copies	Closed as of 01/07/98
Lightner, Sue 91	1 File	Originals/Copies	Closed as of 01/07/98
Linder, Terry Ann 84	1 File	Originals/Copies	Closed as of 01/07/98
Lo, Jennifer K.W. 83	1 File	Originals/Copies	Closed as of 01/07/98
Longley, John C 80	1 File	Originals/Copies	Closed as of 01/07/98
Longmire, Lesley 92	1 File	Originals/Copies	Closed as of 01/07/98
Lopez Magdalena 89	1 File	Originals/Copies	Closed as of 01/07/98
Lopez, Beverly 91	1 File	Originals/Copies	Closed as of 01/07/98
Louise, Penny 06	1 File	Originals/Copies	12/17/2006
Loving, Frank 83	1 File	Originals/Copies	Closed as of 01/07/98
Luera, Richard 84	1 File	Originals/Copies	Closed as of 01/07/98
Lyons, Eric 79	1 File	Originals/Copies	Closed as of 01/07/98
Macias, Martin 83	1 File	Originals/Copies	Closed as of 01/07/98
Macias, Mitchell 02	1 File	Originals/Copies	7/19/2004
MacNeil, Eleanor 01	1 File	Originals/Copies	6/30/2004
Magestro, Ben 99	1 File	Originals/Copies	3/17/2000
Malatt, Phyllis 77	1 File	Originals/Copies	Closed as of 01/07/98
Manriquez, Martin (Daniel) 97	1 File	Originals/Copies	1/26/1998
Markely, Fred J 80	1 File	Originals/Copies	Closed as of 01/07/98
Marker, Jessie B 73	1 File	Originals/Copies	Closed as of 01/07/98
Marquez, Carly 06	1 File	Originals/Copies	4/27/2007
Marquez, Martha 99	1 File	Originals/Copies	1/19/2000
Marsh Lorna 98	1 File	Originals/Copies	6/8/1998
Marsh, Eric 91	1 File	Originals/Copies	Closed as of 01/07/98
Martin, Pauline Faye 93	1 File	Originals/Copies	Closed as of 01/07/98
Martinez, Lenore 77	1 File	Originals/Copies	Closed as of 01/07/98
Matsumura, Takami 87	1 File	Originals/Copies	Closed as of 01/07/98
Mayer, Nancy 93	1 File	Originals/Copies	Closed as of 01/07/98
McGowan, Terrance 83	1 File	Originals/Copies	Closed as of 01/07/98
McKee, Illa 02	1 File	Originals/Copies	8/18/2004
McNiel, Russell 77	1 File	Originals/Copies	Closed as of 01/07/98
McSkimming, Dan 04	1 File	Originals/Copies	10/27/2004
Medel, Henry 07	1 File	Originals/Copies	6/23/2007
Melkesian, Isabelle 90	1 File	Originals/Copies	Closed as of 01/07/98
Mendez, Alex S. 85	1 File	Originals/Copies	Closed as of 01/07/98
Methman, Mary 98	1 File	Originals/Copies	10/21/1999
Mishler, D & Williams, R 73	1 File	Originals/Copies	Closed as of 01/07/98
Mitchel, Steven W. 90	1 File	Originals/Copies	Closed as of 01/07/98
Monarch, Harry M. 86	1 File	Originals/Copies	Closed as of 01/07/98
Moncure, John P. 88	1 File	Originals/Copies	Closed as of 01/07/98

Monecki, Nina 92	1 File	Originals/Copies	Closed as of 01/07/98
Montanez/Estrada 88	1 File	Originals/Copies	Closed as of 01/07/98
Monte Vista Motel 79	1 File	Originals/Copies	Closed as of 01/07/98
Mora, Theres 90	1 File	Originals/Copies	Closed as of 01/07/98
Moran Zeller, Susan 06	1 File	Originals/Copies	7/31/2006
Morelli, Dennis 89	1 File	Originals/Copies	Closed as of 01/07/98
Moreno, Mary 99	1 File	Originals/Copies	9/24/1999
Morgan, Robert D. 93	1 File	Originals/Copies	Closed as of 01/07/98
Mullikin, Jonathan 94	1 File	Originals/Copies	Closed as of 01/07/98
Murray, Lori 01	1 File	Originals/Copies	9/7/2001
National Advertising 78	1 File	Originals/Copies	Closed as of 01/07/98
Nevarez, Catherine 92	1 File	Originals/Copies	Closed as of 01/07/98
Ni, Wayne 05	1 File	Originals/Copies	6/14/2005
Nobbe, Sharadi 07	1 File	Originals/Copies	10/24/2007
Nunez, Antonio 88	1 File	Originals/Copies	Closed as of 01/07/98
O'Brien, John Anthony 91	1 File	Originals/Copies	Closed as of 01/07/98
O'Reilly, Lisa & Randy 99	1 File	Originals/Copies	5/27/1999
Okun, Harry 70	1 File	Originals/Copies	Closed as of 01/07/98
Olivas, Rose Marie 01	1 File	Originals/Copies	4/22/2002
Ortiz, Humberto 06	1 File	Originals/Copies	4/24/2007
Oscal, Francisco 88	1 File	Originals/Copies	Closed as of 01/07/98
Osuna, Daniel 77	1 File	Originals/Copies	Closed as of 01/07/98
Pantoja, Elias 07	1 File	Originals/Copies	9/10/2007
Park, Alice 81	1 File	Originals/Copies	Closed as of 01/07/98
Parker, Anthony 85	1 File	Originals/Copies	Closed as of 01/07/98
Paro, Madge F 80	1 File	Originals/Copies	Closed as of 01/07/98
Patronyk, Gregg 94	1 File	Originals/Copies	Closed as of 01/07/98
Pauley, Penny 92	1 File	Originals/Copies	Closed as of 01/07/98
Peoples Self Help Housing 02	1 File	Originals/Copies	4/30/2002
Peralta, Alfredo 06	1 File	Originals/Copies	6/16/2006
Perez Tony F. 88	1 File	Originals/Copies	Closed as of 01/07/98
Perez, David Manuel 91	1 File	Originals/Copies	Closed as of 01/07/98
Perry, Jenny Kelly 91	1 File	Originals/Copies	Closed as of 01/07/98
Perry, Thomas 00	1 File	Originals/Copies	8/24/2001
Pesqueda, Luis 87	1 File	Originals/Copies	Closed as of 01/07/98
Peterson, Eric 84	1 File	Originals/Copies	Closed as of 01/07/98
Pinkard, Brian 88	1 File	Originals/Copies	Closed as of 01/07/98
Ponce, Michelle 97	1 File	Originals/Copies	1/7/1998
Pope, Ned 85	1 File	Originals/Copies	Closed as of 01/07/98
Rada, Augustine 04	1 File	Originals/Copies	7/22/2004

Rayner, Bernhard F 78	1 File	Originals/Copies	Closed as of 01/07/98
Razo, Ronald & Nicholas 80	1 File	Originals/Copies	Closed as of 01/07/98
Reef, Motel 84	1 File	Originals/Copies	Closed as of 01/07/98
Requejo, Julia 02	1 File	Originals/Copies	3/11/2003
Reyes, Edmundo 90	1 File	Originals/Copies	Closed as of 01/07/98
Rief, Jack 03	1 File	Originals/Copies	3/16/2004
Rios, Juanita 88	1 File	Originals/Copies	Closed as of 01/07/98
Roberick, Alice 94	1 File	Originals/Copies	Closed as of 01/07/98
Robinson, Lucy 02	1 File	Originals/Copies	5/26/2005
Roderick, Alice 94	1 File	Originals/Copies	Closed as of 01/07/98
Rodriguez, Charlene Rubio 93	1 File	Originals/Copies	Closed as of 01/07/98
Rodriguez, J and D 81	1 File	Originals/Copies	Closed as of 01/07/98
Rogers, Jacqueline 87	1 File	Originals/Copies	Closed as of 01/07/98
Rollins, Noreen 98	1 File	Originals/Copies	3/8/1999
Rose, Carl B 74	1 File	Originals/Copies	Closed as of 01/07/98
Ross, Harold 90	1 File	Originals/Copies	Closed as of 01/07/98
Rossman, Richard 80	1 File	Originals/Copies	Closed as of 01/07/98
Ryan, Brian E 91	1 File	Originals/Copies	Closed as of 01/07/98
Ryan, Elsie 86	1 File	Originals/Copies	Closed as of 01/07/98
Ryan, Thomas G 77	1 File	Originals/Copies	Closed as of 01/07/98
Ryckman, Gerald Owen 96	1 File	Originals/Copies	Closed as of 01/07/98
Safeway Stores, Inc. 80	1 File	Originals/Copies	Closed as of 01/07/98
Salinas, Epigemnio Cruz 92	1 File	Originals/Copies	Closed as of 01/07/98
Salter, Raymond 92	1 File	Originals/Copies	Closed as of 01/07/98
Sanchez, Connie J. 82	1 File	Originals/Copies	Closed as of 01/07/98
Sanchez, Mary 89	1 File	Originals/Copies	Closed as of 01/07/98
Sanchez, Victoriano 86	1 File	Originals/Copies	Closed as of 01/07/98
Sansom, Elizabeth 92	1 File	Originals/Copies	Closed as of 01/07/98
Santa Barbara County 78	1 File	Originals/Copies	Closed as of 01/07/98
Saunders, Robert Patrick 82	1 File	Originals/Copies	Closed as of 01/07/98
Scalla Frank 96	1 File	Originals/Copies	Closed as of 01/07/98
Schenberg, Amy 84	1 File	Originals/Copies	Closed as of 01/07/98
Security Pac Natl Bank 79	1 File	Originals/Copies	Closed as of 01/07/98
Sfektu, Phyllis "Paulette" 95	1 File	Originals/Copies	Closed as of 01/07/98
Shaffner/Smith 87	1 File	Originals/Copies	Closed as of 01/07/98
Sierra, Virginia G. 90	1 File	Originals/Copies	Closed as of 01/07/98
Slator, Raymond 92	1 File	Originals/Copies	Closed as of 01/07/98
Smith, Beth Wayland 82	1 File	Originals/Copies	Closed as of 01/07/98
Smith, Charles J 78	1 File	Originals/Copies	Closed as of 01/07/98
Smith, Susan J. 95	1 File	Originals/Copies	Closed as of 01/07/98

So CA Edison Co 73	1 File	Originals/Copies	Closed as of 01/07/98
So CA Gas Co 73	1 File	Originals/Copies	Closed as of 01/07/98
So Pacific Transp Co 79	1 File	Originals/Copies	Closed as of 01/07/98
Spencer, Richard R. 95	1 File	Originals/Copies	Closed as of 01/07/98
Stewart, James 81	1 File	Originals/Copies	Closed as of 01/07/98
Stoddard, Rebecca 94	1 File	Originals/Copies	Closed as of 01/07/98
Storn, Irvin 92	1 File	Originals/Copies	Closed as of 01/07/98
Tack, John Edward 86	1 File	Originals/Copies	Closed as of 01/07/98
Tagles, Daniel 80	1 File	Originals/Copies	Closed as of 01/07/98
Tepper, Edmund 73-75	1 File	Originals/Copies	Closed as of 01/07/98
Thibodeau, Tamara 99	1 File	Originals/Copies	7/28/1999
Thomas, Clifford M. 86	1 File	Originals/Copies	Closed as of 01/07/98
Tieso, Gary 75	1 File	Originals/Copies	Closed as of 01/07/98
Tieso, Gary J 78	1 File	Originals/Copies	Closed as of 01/07/98
Tieso, Gary J 79	1 File	Originals/Copies	Closed as of 01/07/98
Tillery, Kenneth 92	1 File	Originals/Copies	Closed as of 01/07/98
Tisdel, Fay 85	1 File	Originals/Copies	Closed as of 01/07/98
Trelatsky, Dorothy 93	1 File	Originals/Copies	Closed as of 01/07/98
Vallejo, Eva 80	1 File	Originals/Copies	Closed as of 01/07/98
Valles, Miguel 95	1 File	Originals/Copies	Closed as of 01/07/98
Vercal Plastics 75	1 File	Originals/Copies	Closed as of 01/07/98
Villa Del Mar/Archer 84	1 File	Originals/Copies	Closed as of 01/07/98
Villas of Carpinteria Owners Assoc. 96	1 File	Originals/Copies	Closed as of 01/07/98
Villas Pinos Owners Assoc. 01	1 File	Originals/Copies	6/4/2001
Villas Pinos Owners Assoc. 04	1 File	Originals/Copies	5/11/2004
Villas Pinos Owners Assoc. 98	1 File	Originals/Copies	10/22/1998
Weld, Alice 93	1 File	Originals/Copies	Closed as of 01/07/98
Wheatley, Roger 99	1 File	Originals/Copies	11/19/1999
White, R & Williams, J 75	1 File	Originals/Copies	Closed as of 01/07/98
Widiner, Robbie 71	1 File	Originals/Copies	Closed as of 01/07/98
Widinier, Karl 87	1 File	Originals/Copies	Closed as of 01/07/98
Wikinson, Ronald 92	1 File	Originals/Copies	Closed as of 01/07/98
Wilcox, Veronica 00	1 File	Originals/Copies	10/16/2000
Willburn, David L 78	1 File	Originals/Copies	Closed as of 01/07/98
Williams, Hilleary 92	1 File	Originals/Copies	Closed as of 01/07/98
Williams, Michael 85	1 File	Originals/Copies	Closed as of 01/07/98
Williams, Ray 91	1 File	Originals/Copies	Closed as of 01/07/98
Williams, Shane 93	1 File	Originals/Copies	Closed as of 01/07/98
Williford, Richard 77	1 File	Originals/Copies	Closed as of 01/07/98
Wullaert, Richard 98	1 File	Originals/Copies	12/2/1998

Xerox Corp 80	1 File	Originals/Copies	Closed as of 01/07/98
Yosemite Insurance 78	1 File	Originals/Copies	Closed as of 01/07/98
Zeller, Susan Moran 06	1 File	Originals/Copies	Closed as of 01/07/98
Zemke, Nick 94	1 File	Originals/Copies	Closed as of 01/07/98
Zicherman, Joshua 87	1 File	Originals/Copies	Closed as of 01/07/98
Zimmerman, Charles L 80	1 File	Originals/Copies	Closed as of 01/07/98

I hereby certify that:

- The record(s) are under the management or control of the Department head.
- To the best of his/her knowledge, the descriptive titles, information, and classifications contained in the request form are true and accurate.
- The minimum retention time periods required by City Resolution No. 4873 Retention Schedule) have been satisfied for all records included in the request form.
- Retention of the record is no longer required for operation of the department, or to satisfy a city council policy adopted by resolution, or a city Council request, or by the city for administrative, historical, research, fiscal, legal, or cultural purposes.
- The destruction or other disposition of the record will not violate state law, these Rules, or other applicable law.
- Destruction of the record(s) is hereby recommended.

Date:

Job Title: _____

_____
Signature of Department Head or authorized Designee, requesting destruction of records

Approved for Destruction:

_____
City Attorney

Date: _____

Approved for destruction at City Council meeting held _____.

PUBLIC HEARINGS
AGENDA ITEM #4
REPORT # 13-52

STAFF REPORT
COUNCIL MEETING DATE
May 28, 2013

ITEM FOR COUNCIL CONSIDERATION

Request for a Revised Development Plan and Coastal Development Permit to consider revisions to the previously approved Islands Apartments Remodel at 261 Linden Avenue. The requested revisions include new fencing/walls, landscape/hardscape revisions, new outdoor gas fireplaces for each ground floor unit, and a new parking lot security gate.

Owners: Barbara and Peter Coeler
Applicants: George Manuras, Contractor and William Araluce, Architect

Report prepared by: Nick Bobroff, Associate Planner
Community Development Department

Signature

Reviewed by: Jackie Campbell
Community Development Director

Signature

Reviewed by: Dave Durflinger
City Manager

Signature

RECOMMENDATION

Action Item **X** ; Non-Action Item __

1. Adopt the attached Resolution, thereby approving the requested project revisions with modifications as recommended by staff.

Motion 1. I move to adopt Resolution No. 5467 as ready by title only thereby approving the requested project revisions to the previously approved Islands Apartments Remodel with modifications as recommended by staff.

I. SUMMARY

On December 27, 2010, the City Council considered an appeal of the Planning Commission's approval of a Development Plan and Coastal Development Permit to allow a comprehensive remodel to the Islands Apartments at 261 Linden Avenue, and a reduction to the total number of dwelling units from eight down to five to allow the second floor of the structure to become a single family residence for the property owners. The appeal was heard at the request of the neighboring property owners who opposed certain aspects of the project related to privacy concerns, potential view impacts, a rear property line wall and the use/layout of the rear parking area. The Council ultimately found that the applicants made revisions to their project throughout the development review process to sufficiently address the concerns raised by the property owner. To that end, the Council denied the neighbors' appeal and upheld the Planning Commission's approval of the project.

After completing final review with the City's Architectural Review Board and plan check by the City's Building Inspector in spring 2011, a Building Permit was issued in August 2011. Recently, as the project has neared completion, it has come to the Community Development Department staff's attention that various deviations from the approved plans have occurred. These changes include extending the rear property line wall out toward Third Street, installing gates and outdoor gas fireplaces on the ground floor patios along the Linden Avenue frontage, constructing a new wood fence/stone wall trash enclosure along the (south) side building elevation, changing the paving material/design for the rear parking area and relocating utility connections and related infrastructure.

During the construction phase, staff alerted the contractor that these changes were not permitted and must be removed or an application submitted to the City for consideration of these design revisions. Staff also required that the applicant submit plans for any additional contemplated changes to the project. In turn, the applicant submitted as-built drawings for the above-described features and plans for two additional elements: a 30-inch high stone wall along the Third Street property line and a five-foot high vehicle gate across the driveway with integrated stone columns and a pedestrian gate.

Due to the extent of the changes and the contentious nature of the project's initial review, particularly with respect to the design and use of the rear half of the site, the Community Development Director opted to refer the requested revisions back to the City Council for consideration. The Council is being asked to consider the itemized revisions as part of a Revised Development Plan and Coastal Development Permit. If approved, the revised DP/CDP would supersede the previous approval and would allow for the requested revisions to become part of the approved project.

While staff finds most of the proposed revisions to be minor in nature and to provide subtle but tangible improvements to the originally approved plan, staff believes it is important to make it clear to owners and applicants that even minor changes require approval from the City prior to construction and that making changes prior to approval is unacceptable and not tolerated. Staff also has concerns about the proposed driveway gate and associated elements not being in keeping with the neighborhood character. Staff believes the use of a gate is not compatible with a pedestrian-friendly street frontage, the regular use of the gate(s) has the potential to create nuisance issues for the immediately adjacent neighbor whose front door is located close to the proposed gate location, and the solid, five-foot high gate(s) would make it difficult to ensure that the rear parking area is being used for parking and is made available to occupants of the units.

Therefore, staff is recommending approval of the revisions with the exception of the driveway gate, which staff recommends be eliminated from the plans or substantially revised to address the concerns described in this report.

II. PROJECT DESCRIPTION

Development Plan Revision: A number of revisions to the approved project, both unpermitted "as-builts" and new, are proposed for the project. The requested changes are described in detail below:

- Permit an as-built extension of the rear property line wall out to the Third Street (side) property line. The wall is finished (exterior plaster, stone cap, etc.) to match the appearance of the originally approved six-foot high rear property line wall; however the wall extension would only reach a maximum height of 30 inches (as measured from finished grade on the subject property);
- Upgrade the parking lot surface with a textured concrete material set in a square grid pattern with turf borders/seams. This would replace the asphalt concrete paving material originally noted on the approved plans;
- Permit the as-built gas fireplaces located within the front patio areas of each of the four ground floor units. The fireplaces are detailed to match the appearance of the adjacent patio walls and measure three feet, four inches wide by four feet, four inches deep. The fireplaces are approximately 24 inches high;
- Permit the as built 30-inch high metal gates with powder coat finishes at the entrance to the front patios of each unit. The gates are in line with, and fastened to, the existing patio walls;
- Permit an as built 42-inch high masonry wall (finished to match the appearance of the adjacent stone patio walls) with a wood fence above and a relocated six-foot high wood side yard fence along the south (side) building elevation under the existing second floor deck. The wood fence was relocated three feet into the lot from the (south) side property line so as to not interfere with an existing utility easement. The masonry/wood wall closes off the area from the Linden Avenue frontage. The wall and side yard fence are six feet in height and are intended to obscure the trash/recycling can storage area and adjacent utility meters from Linden Avenue and the adjacent condominium development to the south;
- Construct a 30-inch high masonry wall with stone cap (to match adjacent patio walls) along the Third Street (side) property line. A metal gate to match those proposed for the ground floor patio areas would be installed adjacent to the existing side stairway; and
- Install a five-foot high vehicle gate with associated support columns and walls across the driveway/parking area entrance. The gate/columns would be finished to match the adjacent rear property line wall. The gate itself would match the general appearance of the garage doors used on the one-car garage; a separate wood pedestrian gate is proposed immediately adjacent to the driveway gate. The pedestrian gate would pass through what is presently approved as a landscape area. Decorative hooded light fixtures are proposed for the tops of the columns.

Development Plan Modification: A Development Plan Modification is required to allow the as-built gas fireplaces to be located within the required front setback.

Coastal Development Permit: A Coastal Development Permit is required to allow the proposed development as described above.

Plans and site photos are attached as Attachment A, Exhibit 2.

III. BACKGROUND

Project History

The original Development Plan and Coastal Development Permit for the comprehensive remodel was submitted in May 2010. The project was initially reviewed and recommended for approval by the Architectural Review Board in July 2010.

The project was reviewed by the Planning Commission in August 2010. The item was continued after the neighboring property owners to the west (on Third Street) raised multiple concerns with aspects of the project. Over the course of several subsequent hearings, various revisions were made to the plans in an attempt to respond to issues raised by both the Commission and the neighboring property owners. Among the revisions made to the project was a reduction to the length of the rear property line wall. Originally, a six-foot high masonry wall was proposed across the entire rear property line out to the Third Street (side) property line, however in order to avoid blocking views of the street from the adjacent residence's entry area, the wall was required to be pulled back from the Third Street frontage approximately 24 feet. The project eventually received approval from the Planning Commission at their November 2010 hearing.

The Planning Commission's approval of the Development Plan and Coastal Development Permit for the comprehensive remodel was then appealed to the City Council by the neighboring property owners to the west. The grounds for the appeal centered on privacy concerns with the second floor balcony and walkways, the layout of the rear parking area and the inclusion of a new rear property line wall. At the December 27, 2010 City Council hearing, staff explained that all of these issue areas had been reworked and revised throughout the planning review process in an attempt to address the neighbors' concerns. The Council ultimately denied the appeal and upheld the Planning Commission's approval.

Several special conditions were placed on the project including the following:

- As part of final ARB review, the Architectural Review Board was asked to carefully review the plans and specifications for the rear property line wall and any landscaping adjacent to the rear property line;
- Trash and recycling cans are to be kept along the south side of the building. Trash cans are to be staged along Third Street on trash days, or walk-up service is to be provided either from Third Street or Linden Avenue. Trash/recycling/yard waste cans are not to be staged on the street or sidewalk along Linden Avenue.

In addition, a standard condition was included which notes that minor revisions may be considered by the Community Development Director, however any major revisions require the filing of a Revised Development Plan application to be considered by the Planning Commission (or in this case, the City Council since the project was last reviewed by the Council). A copy of Resolution No. 5287 from the Council's initial approval of the project, including the original approved plans, is attached as Attachment D.

The Architectural Review Board completed their final review of the project on May 12, 2011. The Board noted that the rear property line wall and planting plan in the adjacent landscape areas was acceptable as submitted. After completing final review with the ARB and plan check by the Building Inspector, a Building Permit (#10318) was issued on August 11, 2011.

Over the course of construction, there have been various deviations or revisions to the original approved plans; the principal occurrences are described below.

The approved plans called for demolishing the existing second floor of the original apartment building and reframing it to accommodate the new, approved floor plan and pitched roof. The ground floor required structural upgrades to load bearing walls but was otherwise to remain standing. During demolition, however, it was found that the remaining ground floor framing was substandard and in need of replacement. Given the already extensive nature of the necessary ground floor structural upgrades, a decision was made between the project contractor, structural engineer and City Building Inspector to take all existing framing down and reframe the building from the ground up. The new building was built to match the approved plans/building footprint.

In September 2012, the contractor requested permission to make several minor revisions to the project, including adding a roof eave over the exterior rear stairway for weather protection, revising the size, shape and/or location of several windows and modifying the approved exterior paint colors. CDD staff presented the revisions to the Architectural Review Board at their September 13, 2012 meeting and also discussed the proposed changes in detail with the neighboring property owners. The Board recommended approval of the changes as submitted and the Community Development Director approved the minor revisions the week after.

In October 2012, the contractor installed the front patio walls along the Linden Avenue frontage for the ground floor units. The approved plans called for a 36-inch high patio wall comprised of an 18-inch stone wall base with an 18-inch high wood picket fence top. The constructed wall was instead a solid stone wall of approximately 30 inches in height (from finished grade). After reviewing the as-built wall, staff found it to be consistent with the intent of City regulations and policies that pertain to fences and walls in the front yard, and ultimately approved the revised front patio wall design as substantially conforming to the approved plans.

In February 2013, the contractor began constructing the approved six-foot high rear property line wall. A condition of project approval required the wall to terminate at a point approximately 24 feet back from the Third Street property line to ensure it would not conflict with the neighboring residence's line of sight to Third Street. The contractor inquired about extending the wall, at a reduced height, out to the Third Street property line. CDD staff explained that because the wall was required to terminate at a specified location, extending the wall further would first require the approval of the Planning Commission or City Council. The contractor disregarded CDD's direction and built the wall extension anyway. Upon learning the extension was built, CDD staff notified the contractor that the wall extension was a violation and the contractor must either remove the unpermitted wall or submit an application to the City Council for consideration of the wall extension as part of a Revised Development Plan.

In March 2013, while aiding in the resolution of an easement encroachment issue involving the subject property and the Carpinteria Valley Water District, CDD staff discovered several additional minor deviations from the approved plans:

- The contractor was preparing the rear parking area for paving. The approved plans called for asphalt concrete paving, however, the contractor was preparing the area for a square concrete paver pattern with turf seams between the pavers. The contractor requested permission to continue with the revised paving material and CDD staff agreed having found the upgraded material to be an aesthetic improvement that also allowed for better onsite stormwater retention.
- CDD staff discovered that various utility connections and associated hardware had been relocated from what was shown on the approved plans. Water meters and backflow

prevention devices were moved into what had been shown on the plans as a landscape/drainage swale area at the rear interior corner of the lot, thereby reducing the amount of available landscape space. The gas meters were moved to the southwest corner of the building in the same general location as the required trash/recycling enclosure. The contractor stated that these utilities were moved to these locations at the direction of the utility companies as it allowed for more direct access to existing utility lines and/or provided a more protected location for the utilities away from parking and vehicle travel areas.

- CDD staff also identifed that outdoor gas fireplaces were installed within the required front setback inside the private patio areas of each of the ground floor units.

Around the same time, CDD staff observed unpermitted occupancy of some of the ground floor units, which appeared as if they were being used as short-term vacation rentals. While vacation rentals are a permitted use for the subject property in the Planned Residential Development zone district, residential units are not allowed to be occupied prior to the City's Building Official issuing a Certificate of Occupancy. At the time, Occupancy had not yet been granted for any of the units.

In light of the continued unpermitted changes to the building and the unpermitted occupancy of the ground floor units, CDD staff called a meeting with the contractor in late March 2013 to address these matters and make it clear that disregarding the City's planning and building regulations would not be tolerated. The contractor was informed that the unpermitted revisions must be removed/corrected or an application must be filed with the City Council requesting approval of said changes. The contractor was directed to include in the application any additional revisions that were being contemplated. The contractor was also advised that occupancy of the units must cease immediately until permitted to do so by the City. Also, the City advised that Occupancy would not be granted for the ground floor units until a good faith effort was put forth to correct the unpermitted changes as evidenced by the submittal of an application to validate the as-built revisions.

In April 2013, an application to permit the as-built revisions along with several new requested revisions was submitted to the City. CDD staff took this as a sign of good faith and therefore issued Certificates of Occupancy for the four ground floor units only. Occupancy has not yet been granted for the upstairs residence.

Since the application was submitted, CDD staff has learned that the trash enclosure fencing/wall along the (south) side building elevation has been relocated/built and the metal entry gates have been installed on the front private patios. Both of these elements were proposed as new revisions initially at the time of application submittal but have since been built prior to review by the City.

Proposed Revisions - Architectural Review Board (ARB)

The proposed as-built and new revisions to the project were presented to the Architectural Review Board at their May 16, 2013 meeting. In the staff report, CDD staff noted that while most of the proposed revisions could be found consistent with City policies, staff was particularly concerned that the proposed driveway gate was incompatible with the surrounding neighborhood character and inconsistent with the desired qualities promoted by the City's Community Design Element of the General Plan. Staff therefore recommended to the ARB that, at minimum, the gate be substantially reduced in height and revised in appearance to be more open; or preferably, the gate should be removed entirely.

One public comment letter was received from the neighboring property owners, Stephen and Eileen Marcussen. Their letter explained that they were opposed to the driveway gate given the proximity of the gate to their front door, possible nuisance noise/light associated with the operation of the gate and its general appearance.

Ultimately, the Board was supportive of the proposed revisions noting that the ones that had been built already were done nicely. The Board did however have suggested revisions to the driveway gate to help minimize potential nuisance concerns for the neighbor while still accommodating the gate desired by the applicant. These suggested changes included relocating the pedestrian gate to the other side of the driveway, away from the Marcussens' property, rotating the gate to be perpendicular to the driveway rather than the street and scaling back the intensity and size of the light fixtures proposed for the tops of the columns. The Board also noted the lights should be hooded or shielded to avoid any spillover of light onto the neighbors' property.

The Board also suggested the gate could be replaced with a wrought iron open style gate (similar in appearance to the gates installed on the front patios) or have an open wrought iron element incorporated into the wood gate design. However, neither of these suggestions were made part of the final motion. Finally, the Board noted it will be important to ensure the gate(s) operate smoothly and quietly so as to not create a nuisance issue. The Board recommended conditional final approval (4-0) to the City Council with the following comments[1]:

- Patio gates and fireplaces are fine as built;
- Side yard trash enclosure is fine as built;
- 30-inch high wall along Third Street and 30-inch high rear property line wall extension are fine;
- Driveway gate/walls should be rotated so the gate is perpendicular to the driveway;
- Pedestrian gate should be moved to the opposite side of the driveway gate, away from the rear property line;
- Light fixtures for the top of the gate support columns should be scaled down in size (12-16 inches high maximum), reduced in intensity and shielded to prevent spillover onto the neighboring property.

A copy of the draft ARB Minutes from the May 16, 2013 meeting is attached as Attachment B.

IV. ENVIRONMENTAL

This project is categorically exempt from environmental review pursuant to §15303 [new construction or conversion of small structures] of the Guidelines for the implementation of the California Environmental Quality Act (CEQA). Class 3 Categorical Exemptions consist of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. Constructing and/or revising accessory (appurtenant) structures such as the

[1] A recommendation for conditional final approval means that if the Council approves the revisions as recommended by the ARB, the Board does not need to see the project again. However, should the Council require changes to the design of these features, particularly the driveway gate; the item(s) would be returned to the Architectural Review Board for additional review of the revised design and construction details.

proposed fencing, walls, gate and fire pits are included within this Exemption. Because the project is consistent with these standards, as is more particularly described in this staff report, the exemption is appropriate.

The Notice of Exemption is attached as Attachment C.

V. ANALYSIS

Regulatory Setting

The site is zoned Planned Residential Development (PRD-20) and has a General Plan land use designation of Medium Density Residential (MDR). The site is located within the Coastal Appeals (CA) Overlay according to the California Coastal Commission's Permit and Appeal Jurisdiction Map.

Zoning Code Analysis

Fences, Gates and Walls

Carpinteria Municipal Code (CMC) §14.50.050 regulates fences and walls; in the PRD zone district, these structures are typically reviewed and considered as part of a larger Development Plan application. Generally, fences and walls three feet in height or lower, are permitted to be located within the required front and street-side setback areas. Fences or walls up to six feet in height are permitted to be located within the required side and rear setback areas. Fences or walls taller than those otherwise allowed in the respective setbacks can be approved when specific findings can be made pertaining to compatibility with the surrounding area and vision clearance (safety) considerations.

In the case of the requested project revisions, all of the proposed fences, walls and gates meet zoning requirements. The as built 30-inch high rear property line wall extension would be below both the three-foot and six-foot height limits for walls located in the required street-side and rear setback areas. Similarly, the new 30-inch high wall proposed for the Third Street frontage and the new patio gates for the Linden Avenue-facing patio areas would meet the applicable height requirements as proposed. The relocated six-foot high wood fence and new stone/wood wall located along the south (side) elevation of the building would also meet the applicable height limitations for fences/walls in the required side setback. Finally, the proposed driveway gate is located outside of the setback areas and therefore is not subject to the standard fence/wall height restrictions.

Gas Fire Places - Development Plan Modification

As noted previously, the as-built gas fireplaces require a Modification from the front setback requirements to allow the structures to be placed within the required 20-foot front setback. The existing/rebuilt building is already considered legal non-conforming as portions of the building are set back as little as 15 feet from the front property line. The as-built stone gas fireplaces are located approximately 11 feet back from the front property line.

CMC Section 14.50.120 notes that in reviewing a Development Plan, the Planning Commission or City Council may consider modification of requirements of the base zoning district in which the proposed development is located, including building height, yard setback, parking, building

coverage or landscaping, if it determines that such modification is necessary to accommodate an innovative project which would result in at least one of the following public benefits:

- Energy efficient heating/cooling; or
- Provision of affordable housing units through a mix of housing types, innovative design and construction techniques, or other means; or
- Provision of a larger amount of open space or landscaping than the minimum requirements of the district.

The Planned Residential Development (PRD) zone district requires properties to set aside a minimum of 20% of the lot area for common open space/landscaping. In the case of the subject property, a minimum of 1,764 square feet of the 8,820 square foot lot is to be maintained as open space. As calculated during the initial review of the project, the applicants provide approximately 2,333 square feet of common open space (equivalent to 26.5% of the lot). These common open space areas primarily comprise the landscape areas along the Linden Avenue and Third Street frontages along with smaller planter and turf areas along the south side yard and around the rear parking area.

In addition to the common open space areas, the project provides private patio areas for each of the ground floor units, which measure approximately 12 feet deep by 18 feet wide (216 square feet). These patios are enclosed within low stone walls and provide the only dedicated outdoor living area exclusive to each unit. The private patios are provided in excess of the common open space/landscape areas provided onsite.

The Community Design Element of the City's General Plan contains multiple policies that encourage attractively designed frontages and forecourt elements between the public sidewalk and buildings to foster a pedestrian-scaled environment (e.g. Policy CD-10b, Objectives CD-10 and CDS1-2). Similarly, Objective CD-5 encourages neighborhood streets to be designed as the "living rooms" of the neighborhood; the design and details of streets, frontages and buildings should support this Objective. Providing private patio areas to create outdoor living areas along the street frontage supports these Policies and Objectives. Adding amenities like outdoor seating or fireplaces to these spaces further enhances the usability of these spaces and helps to promote a livelier street-front experience.

Given the project more than meets the minimum required common open space/landscape requirements for the subject zone district, and the provision of high quality, attractive and useable outdoor living areas enhances the quality of the neighborhood streets, staff believes the findings for granting a Modification to allow the fireplacesin the front setback can be supported.

Driveway Paving

The approved plans called for concrete asphalt paving for the rear parking area and driveway. During construction, the applicant chose to upgrade the paving material/finish to a square concrete paver pattern with four-inch turf borders. The revised paving scheme improves the ability of the rear parking area to retain urban runoff onsite, as the water could percolate into the turf borders around the paver blocks. Increasing onsite stormwater retention and thereby reducing urban runoff from entering the City's stormdrain system is a mandate of the City's Stormwater Management Plan. Therefore, the proposed paving revision can be found consistent with the applicable City regulations.

General Plan/Coastal Plan

The project site has a General Plan/Coastal Plan designation of Medium Density Residential (MDR) and is zoned Planned Residential Development (PRD-20). The City's Community Design Element of the General Plan contains both general overarching policies and specific sub-area policies. The project site is in Design Sub-area 1 (Downtown Beach Neighborhood District).

LAND USE ELEMENT

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City's edge.*

The comprehensive remodel of the Islands Apartments is a substantial improvement over the previously existing eight-unit apartment building. Most of the proposed revisions under consideration add only minor elements to the project that provide additional interest or benefit to the occupants and further improve the site's street appeal.

The proposed driveway gates however have the potential to create land use and compatability issues for both the Beach Neighborhood and the immediate neighbors. As designed, occupants of the ground floor units would park in the rear parking area but then have to walk back out of the parking area and around the building (along Third Street) to access the ground floor units. Constructing gates across the rear driveway would mean that the gates would open and close each time an occupant of any of the five units enters or exits the driveway. Similarly, the pedestrian gate would be used each time an occupant of each of the ground floor units enters or exits the rear parking area. The gate is located in proximity to the neighboring residence's front door. Additionally, the solid wood gate as designed completely encloses the rear parking area and blocks views of said parking area making it difficult to ensure that the parking lot is being used for its intended purpose and is made available to all occupants of the building. Staff is concerned that should a solid gate be installed across the rear driveway, the parking area could become a defacto private yard for some, or all, of the occupants of the five units. Finally, staff also has aesthetic concerns with the gate design and believes the five-foot high, solid, heavy timber and stone column design is not inviting or scaled to the pedestrian.

Policy LU-3f: *Encourage the remodeling and revitilazation of neighborhoods and commercial areas in accordance with the principles established in the Community Design Element.*

The original approved remodel of the Islands Apartments was praised by the City decision makers as a positive reinvestment in the property and a significant improvement to the City's Beach Neighborhood and lower Linden Avenue street corridor. The proposed revisions are generally minor in nature and add subtle further improvements and refinements to the project. The various fences and walls help to screen undesirable features (such as the trash/reclycing can storage area) or provide better continuity of design across the property. Similarly, the patio gates and fireplaces improve the usability and function of the private patio areas along Linden Avenue.

Staff does however remain concerned that the proposed driveway gates and associated structures (support columns/walls and pedestrian gate) do not contribute to an overall

improvement of the site. The five-foot high gate/wall creates a solid physical barrier that is at odds with the City's desire to create inviting, pedestrian-scaled frontages. Staff would prefer that the gate be removed from the proposed plans, or at minimum, revised to be lower in height and more transparent in design.

COMMUNITY DESIGN ELEMENT

Citywide Community Design Objectives

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties and with the dominant neighborhood or district development pattern.*

The Islands Apartments building is oriented along the Linden Avenue frontage. The outdoor living areas provided for the ground floor units are situated along this frontage, in close proximity to the public sidewalk. The proposed as built fireplaces and patio entry gates would improve the usability of these spaces and create additional points of architectural interest on Linden Avenue. The new/relocated trash enclosure wall and fence obscure the trash storage and utility meter areas from public view and are located adjacent to the neighboring property's driveway alley where there are no windows or exposed living areas. The proposed low wall along the Third Street frontage would match the low stone walls used on the Linden Avenue frontage and help to define the private property boundary. Similar low walls and fences are found on many properties in the Beach Neighborhood and are encouraged along street frontages. The rear property line wall extension matches the extent and height of the neighboring property owners' side yard wall, and would not impact views from the neighboring property's entry area as originally conditioned by the Planning Commission.

The property's parking area is located at the rear of the lot off of Third Street and is adjacent to the neighboring residence's entry and living areas. Given the proximity of the rear parking area to the neighboring residence, careful consideration should be given to the proposed driveway gates. The ARB's suggested changes to the driveway gates could mitigate some of the neighbors' nuisance concerns, however staff continues to believe the gates, are not compatible with the neighboring property and general neighborhood character. The gates have the potential to see high levels of use during times when all of the units are occupied: As noted elsewhere, the layout of the property is such that ground floor occupants must pass through the pedestrian gate and walk around the building along Third Street to get from the parking area to their respective units. Similarly, staff has concerns that the gates could be used to prevent occupants, renters or guests from parking in the rear parking lot, thereby placing a higher demand on on-street public parking resources in the area from guests/residents not able to access the provided on-site parking spaces.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea.*

None of the proposed revisions would have an effect on any existing public views of the ocean or mountains.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the "living rooms" of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this Objective.*

As discussed elsewhere, the proposed changes visible from the Linden Avenue sidewalk (e.g. trash screening fences, patio gates and fireplaces) all support this Objective. The screening fence would hide undesirable amenities such as trash cans and utility meters from the public's view. The fireplaces create a more usable outdoor living area for the occupants of the ground floor units, thereby encouraging residents/guests to take advantage of the patio spaces for outdoor dining or entertaining. The patio gates simply provide better means for defining private spaces. The features are in scale with pedestrians and ultimately are beneficial in creating lively, attractive frontages. Along the Third Street frontage, the new 30-inch high walls (along the Third Street and rear property lines) provide continuity to the overall development of the site and help to again establish private property boundaries. The proposed driveway gate, as discussed elsewhere in this staff report does not contribute to a pedestrian-scaled, friendly and lively street frontage. Instead the gate walls off the rear portion of the property from the street and presents an unwelcoming, private façade.

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

The as built rear property line wall and new Third Street frontage wall would be consistent with the intent of this Policy. Both walls would be approximately 30 inches high from finished grade and would establish property line boundaries. The Third Street frontage wall would delineate the private property landscape areas from the City's adjacent landscape area along the unpaved Third Street shoulder. The rear property line wall extension generally matches the height and extent of the neighboring residence's side property line wall. The rear property line wall provides for a cohesive appearance across the rear extent of the subject property.

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas, which maintain and enhance the quality of Carpinteria's streetscape.*

Policy CD-10b: *Frontages where residential uses abut a major thoroughfare should include buffering elements such as yards, forecourts, and tree rows. Sound walls are the most primitive form of buffer and should be used only where other methods are impractical. If sound walls are used they should be attractive and well landscaped.*

The proposed revisions visible from the Linden Avenue frontage would only subtly change the overall existing character and appearance of the site. The patio gates and fireplaces would not substantially change the Linden Avenue setting; the trash enclosure fencing is a beneficial revision for the public as it would obscure the trash area from the Linden Avenue sidewalk. Along Third Street, the low walls would similarly not drastically change or alter the existing setting, the proposed driveway gate however would wall off this area from the public's view and create an unfriendly, uninviting street presence. Leaving the rear parking area open retains views of the decorative paving and landscape areas and provides for a sense of open space between the subject property and the residence immediately to the west (on Third Street).

Policy CD-10e: *Frontages with existing uses such as the parking, loading or storage of vehicles should be screened with walls and plantings that are consistent with the neighborhood character. These elements should be in scale with pedestrians.*

Trash/recycling storage and utility infrastructure would be screened from public view along Linden Avenue by the new as-built wood fence and stone wall along the building's southern (side) elevation. Along the Third Street frontage, the proposed driveway gate would provide

screening of the rear parking area, however it would also create an unfriendly, fortress-like wall along the Third Street frontage and has the potential to create nuisance issues for the neighboring property owner due to ongoing use, noise and light. The pedestrian gate also proposed for the rear driveway area would reduce what is already a minimal landscape area. Staff believes the concrete paver pattern with turf borders, small landscape planters and narrowed driveway area are sufficient measures to soften the appearance of the rear parking area; the driveway gate(s) and columns/support walls are unnecessary for the purposes of this Policy.

Sub-Area 1: Downtown Beach Neighborhood

Objective CDS1-2: *Enhance the pedestrian character of the neighborhood streets.*

The proposed revisions would generally enhance the pedestrian character of the Linden Avenue and Third Street frontages. The proposed screening fence and stone wall along the (south) side building elevation would screen the trash/recycling can storage area and adjacent utility meters from view on Linden Avenue. The low patio entry gates and gas fireplaces would improve the usability of the patio areas making them a more attractive amenity for the building occupants to use. This in turn would create a more active, lively street front environment along Linden Avenue as occupants sit around the fireplace on evenings or have dinner outside in their patio space in view from the public street. The rear property line wall extension and the new low wall along the Third Street property line would add continuity of some of the building's design elements across the property. The walls also help to distinguish private property from the public right-of-way without resorting to a high, solid fence or wall to define this boundary. As noted elsewhere in this report, low fences and walls along frontages are encouraged as a friendly, pedestrian-scaled approach to defining property boundaries.

The proposed driveway gate would also define a boundary between public and private spaces, however as designed, the solid, five-foot high gate and stone walls read as unfriendly and unwelcoming. If a gate is found to be necessary for security purposes or to discourage trespass, a gate and wall design that is lower in height and more open would be more in scale with the pedestrian while still fulfilling the purpose of the driveway gate.

Objective CDS1-3: *Ensure that the scale and character of new development is consistent with the existing small-scale character of the residential neighborhood and that it is consistent with the neighborhood "small beach town" image. Discourage new development of large, "boxy" buildings, with ground floors primarily devoted to garages.*

Most of the requested revisions can be found to be consistent with the surrounding neighborhood as they would be classified as minor features that do not dramatically alter the scale or character of the remodeled Islands Apartments building. The private patio revisions (gates and fireplaces) improve the usability and function of the patio areas, which are the only private outdoor living spaces available for each of the ground floor units. Similarly, the new trash enclosure screening and property line walls help to screen unattractive elements from public view and/or define private property boundaries.

Staff believes the proposed driveway gate and associated elements (support columns, walls, and pedestrian gate) would be in keeping with the established, and desired, development pattern for the Beach Neighborhood. The applicants suggest a driveway gate is necessary to provide screening of an unattractive parking/utility area and to discourage pedestrians from attempting to "pass through" the rear parking area as a shortcut to the beach. Staff believes the original approved parking layout where cars park head-in against the building adequately screens most of the vehicles from public view. The existing wood fence along the south side property line would prevent any pedestrians from short cutting through the subject site on their way to the beach.

A new driveway gate, as proposed, would effectively wall off the rear area from public view. The five foot high stone columns and solid wood gates would create a fortress-like atmosphere along the Third Street frontage at the start of a residential street and adjacent to the neighboring residence's front entry. While the gate would be set back approximately 24 feet from the Third Street property line, staff believes the general concept of a solid, tall gate/wall across the rear portion of the Third Street frontage is not pedestrian friendly or consistent with a "small beach town" appearance. Staff acknowledges that there are other properties in the Beach Neighborhood that have gated driveways such as the various multi-family developments along Sandyland Road, however staff believes these gates do not contribute to a positive pedestrian experience either and as opportunities arise through applications for remodels or improvements to these properties, City decision-makers should discourage the inclusion of large driveway gates in future project plans. Staff recommends the gate and associated structures be removed from the plans. If the Council believes a driveway gate is warranted, then at a minimum, staff recommends the Council consider a lower, more open style of gate.

Implementation Policy 5: *The front door should face the street. Pedestrian-oriented transitional spaces should be provided from the public sidewalk to the front door. Such spaces may include landscaped front yards, landscaped and/or hardscaped forecourts, and raised front porches and dooryards. These spaces should be designed to accommodate uses such as children's play areas and/or sitting areas.*

The original approved remodel included private enclosed patio areas for each of the four ground floor units. The patio areas are defined by low stone walls (approximately 30 inches in height) that are set back approximately eight to ten feet from the Linden Avenue sidewalk. As part of the proposed revisions, the applicant is requesting approval of as-built metal entry gates and gas fireplaces. These features are minor in nature but add to the quality/aesthetics of the patios and improve the usability of these outdoor living areas for the occupants. Both the new gates and fireplaces are low in height and would not overwhelm or otherwise be out of character with the development and the surrounding neighborhood.

VI. FINANCIAL CONSIDERATIONS

Appeals

Due to the project's location within the Coastal Appeals Overlay as defined by the California Coastal Commission's Appeals Jurisdiction map for the City of Carpinteria, no appeal fees are required to be paid should an interested party desire to appeal the City Council's decision to the California Coastal Commission.

Development Impact Fees

As the project involves minor revisions to an existing building and would not result in a net increase of dwelling units, the project is exempt from Development Impact Fees.

VII. LEGAL ISSUES

This hearing is a duly noticed public hearing. Mailed notice to all property owners within 300 feet and all occupants within 100 feet of the subject property and publication in the local newspaper, The Coastal View News, was provided.

VIII. ALTERNATIVES

1. Request revisions to the project and direct staff to return with the revised project to a future Council meeting.

2. Require the removal of all unpermitted revisions and returning the project to the original approved layout/configuration.

IX. PRINCIPAL PARTIES EXPECTED AT MEETING

- Applicants: Barbara and Peter Coeler
- Architect: William Araluce, AIA
- Contractor: George Manuras
- Neighboring Property Owners: Eileen and Stephen Marcussen

X. ATTACHMENTS

Attachment A Resolution No. 5467
Exhibit 1 – Findings
Exhibit 2 – Reduced plans
Exhibit 3 – Conditions of Approval

Attachment B May 16, 2013 Draft ARB Meeting Minutes

Attachment C Notice of Exemption

Attachment D Resolution No. 5287 (Original Project Approval)

Attachment A
Resolution No. 5467

Islands Apartments Revisions
261 Linden Avenue

CC Hearing, May 28, 2013

RESOLUTION NO. 5467

A RESOLUTION OF THE CITY OF CARPINTERIA CITY COUNCIL APPROVING THE REVISED DEVELOPMENT PLAN AND COASTAL DEVELOPMENT FOR PERMIT NO. 10-1551-DPR/CDP TO PERMIT MINOR REVISIONS TO THE PREVIOUSLY-APPROVED ISLANDS APARTMENTS REMODEL PROJECT 261 LINDEN AVENUE (APN 003-483-007)

PERMIT REQUESTED By BARBARA and PETER COELER ISLANDS APARTMENTS REVISIONS

WHEREAS, on December 27, 2010, the Carpinteria City Council approved an application for a Development Plan and Coastal Development Permit filed by William Araluce, AIA, on behalf of Barbara and Peter Coeler on May 24, 2010 to remodel the existing eight-unit, two-story Islands Apartments complex and consolidate the four upstairs units into one unit; and

WHEREAS, during construction of the Islands Apartments Remodel, various deviations from the approved plans have occurred and additional revisions have been proposed; and

WHEREAS, an application for said revisions to the previously-approved project was submitted to the Community Development Department on April 5, 2013; and

WHEREAS, the revisions to the project were reviewed and recommended for approval by the City's Architectural Review Board on May 16, 2013; and

WHEREAS, the City Council has conducted a properly noticed public hearing on May 28, 2013 and received public comment regarding this matter; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act pursuant to §15303 of the California Environmental Quality Act Guidelines; and

WHEREAS, the City Council has reviewed the policies of the General Plan/Coastal Plan and the Municipal Code standards that are relevant to the project.

NOW THEREFORE, THE CITY COUNCIL HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan Revision and Coastal Development Permit are approved, and are determined to be consistent with the Findings related to the project approval granted via Resolution 5287.

2. The Development Plan Revision and Coastal Development Permit for the project shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 28th day of May 2013, by the following called vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBER(S):

ABSENT: COUNCILMEMBER(S):

_____
Mayor, City of Carpinteria

ATTEST:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held the 28th day of May 2013.

_____
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

_____
City Attorney

Attachment A
Exhibit 1: Findings

Islands Apartments Revisions
261 Linden Avenue

CC Hearing, May 28, 2013

CITY COUNCIL HEARING
PROJECT NO. 10-1551-DP/CDP
261 LINDEN AVENUE
December 27, 2010

ATTACHMENT A: FINDINGS
(Islands Apartments Remodel)

FINDINGS PURSUANT TO GOVERNMENT CODE, COASTAL LAND USE PLAN, GENERAL PLAN AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The City Council hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the City Council and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

a. An application for an appeal of the Planning Commission's decision was submitted on November 12, 2010 consistent with the applicable submittal requirements. Said application and all related material have been available for public review at City offices since the date of submittal.

b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.

c. The project has been reviewed by the City Council at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet and all occupants within 100 feet of the subject property and publication in the local newspaper, The Coastal View.

1.2 California Environmental Quality Act

The City Council finds that the project is categorically exempt from the California Environmental Quality Act pursuant to §15332 [in-fill development projects] of the Guidelines for the Implementation of the California Environmental Quality Act for the reasons described herein, as well as in the staff report and Notice of Exemption.

1.3 Development Plan

1. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

   As presented in the staff report prepared for the City Council hearing of December 27, 2010, and herein incorporated by reference, the project involves the remodel of an existing two-story, eight-unit apartment complex and the consolidation of the four upstairs units into one unit pursuant to Chapter 14.14 Planned Residential Development (PRD) of the City's Zoning Code. The existing building is legal non-conforming in terms of density, parking and setbacks. The project would lessen the nonconforming characteristics of the property relative to density and parking and would maintain the existing setback nonconformities. The units can be permitted to remain and be improved subject to the approval of a Development Plan and Coastal Development Permit as long as any new addition or expansion meets current development standards per CMC 14.82.060. The proposed project would be consistent with these stipulations given that the proposed new garage, exterior stair case and rear deck meet all current development standards and do not increase the density or reduce the setbacks. With the granting of a Development Plan Modification, the project is consistent with the City's parking standards. The Modification allows three of the six required spaces to be compact spaces and allows one space to be located in the street-side yard setback to accommodate a parking arrangement that obscures the parking from public view and provides more common open space along the project frontages.

   The project is consistent with the General Plan's Land Use, Housing and Community Design Element Objectives and Policies in that the project involves a comprehensive remodel of the existing residential units to ensure that the residences fit within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale at 25 feet six inches high and 4,603 square feet total, front setback distance at approximately 15 feet from the property line, pedestrian-scaled design and decorative architectural elements including private ground floor patios and second floor balconies.

2. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

The subject parcel is not located within a known geologic, flood or fire hazard zone. The property is developed with eight units which is twice the allowed density for this zone district as defined in the City's Zoning Code and Land Use Plan and is therefore legal nonconforming. The remodel includes consolidation of four upstairs units into one unit. This change would reduce the unit density to approximately 25 units per acre, which is still higher than the maximum allowed 20 units per acre density, however, as the property is legal nonconforming, the excess unit(s) can be permitted to remain.

3. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

   The site does not contain any environmentally sensitive habitat area or provide any habitat value for endangered, rare or threatened species, nor does the project have the ability to impact fish or wildlife as it involves a comprehensive remodel to an existing two-story apartment complex within a developed urban neighborhood. There are no known sensitive resources or native vegetation that would be impacted as a result of this project.

   Approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality because the project is an infill development that will result in a net reduction in the number of units and a less intense property use. Standard conditions of approval address any temporary construction impacts of the project.

   The project includes stormwater best management practices that minimize the amount of runoff (through the use of rain barrels to capture and retain roof runoff) and remove existing hardscape and replace it with landscaping or other permeable materials. The project also includes measures to treat runoff from the parking lot through the use of a filtering bioswale. These measures decrease urban runoff and improve water quality at this site.

4. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

   There are no known recorded easements on the property for public access. Southern California Edison and the Carpinteria Valley Water District have easements of two-foot and five-foot widths, respectively, along the south (side) property line. The City of Carpinteria maintains a 12-foot wide easement along the Linden Avenue frontage for flood control and drainage purposes. All affected agencies have reviewed the project plans and indicated that the project can be approved as shown. The applicant will be required to obtain an Encroachment Permit from the City of Carpinteria to expand the new ground floor patios into the City's easement. Similarly, the Water District requires that existing vegetation be removed from their easement and will review any new proposed landscaping prior to issuance of a Building Permit. The

project has been reviewed and conditionally approved by the Carpinteria-Summerland Fire Protection District, Carpinteria Sanitary District and Carpinteria Valley Water District.

5. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

   The project does not have the potential to adversely affect these services in that these services are currently available to the existing apartment units as well as the surrounding residences located throughout the neighborhood. The proposed project would not place an additional demand on community services that would adversely affect the availability of these services because the project decreases the intensity of the land use. Agencies potentially affected by this project have been notified and have indicated an ability to serve the project.

   The proposed development would not by itself, or cumulatively, impose an increased demand on public services that would adversely affect the availability of these services to existing or future development. Therefore, this finding can be made.

6. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

   The project involves remodeling the existing apartment complex and reducing the overall number of units from eight to five by consolidating the four second floor units into one, within an urbanized, residential zone in the City. The resulting structure would be comparable to the existing structure and compatible with the surrounding development in terms of size, bulk, scale, architectural style and placement on the lot, while reducing the overall intensity of the use given the reduced number of dwelling units occupying the property. As such, the project is consistent with the City's desire to preserve and enhance the "small beach town" character of the Beach Neighborhood as noted in the staff reports presented to the Planning Commission dated August 2, October 4 and November 1, 2010. The Development Plan and Coastal Development Permit allow the upgrades and changes to the legal nonconforming apartment complex. The changes reduce the extent of the nonconformities relative to density and onsite parking and maintain the existing nonconforming setbacks.

   In response to neighbor concerns and Planning Commission directives, the applicant has relocated the trash enclosure away from the rear property line, revised the onsite parking layout, scaled back the extent of the new second floor rear deck, increased the setback of the new rear deck from the rear property line and added a decorative six-foot high wall adjacent to the rear property line. With these changes, impacts to the neighboring property immediately to the west have been minimized.

   The removal of the unpermitted parking partially located within the required street-side yard setback and Third Street public right-of-way as part of the project and the

new site landscaping and parking shoulder provide for three new public parking spaces in the downtown Beach Neighborhood.

7. *The site for the proposed use is adequate in size and shape to accommodate the use.*

   The existing property is developed with eight units, twice the allowed density in the PRD-20 zoning district and the Medium Density Residential land use designation and is legal nonconforming with respect to density, parking and setbacks. The proposed project would comprehensively remodel the existing building and reduce the total number of dwelling units from eight to five by consolidating the four existing upstairs units into one larger unit. While the total building square footage would be only slightly increased (from 4,492 square feet to 4,603 square feet), the degree of the non-conforming density and lack of onsite parking spaces would be reduced by the reduction of three units, as would the overall intensity of the use. With the revised parking plan, each unit would be assigned one onsite parking space and one additional visitor space would also be provided. The property would continue to be well under the maximum allowed building lot coverage and provide more than the minimum required amount of common open space. With the approval of the Development Plan and Coastal Development Permit, the requested improvements to the legal nonconforming structure can be permitted.

8. *The proposed development site is served by streets and highways that are properly designed and improved to carry the type and quantity of traffic generated by the use.*

   The proposed project is located at the intersection of Linden Avenue and Third Street and is presently served by existing improved streets. There would be no increase in vehicular trips associated with the proposed remodel and reduction of dwelling units. Therefore, the project does not impact traffic or street conditions in the area. In fact, three public parking spaces in the beach neighborhood will be gained.

1.4 Coastal Development Permit Finding

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the permit requested may be issued based on the following finding.

1. *The proposed development is in conformity with the City's certified Local Coastal Program.*

   The project involves the remodeling of the existing eight-unit, two-story apartment complex and a reduction to the total number of units by consolidating the four upstairs units into one. The property is designated Medium Density Residential (MDR) in the General Plan/Coastal Plan and is zoned Planned Residential Development (PRD-20). The proposed use is consistent with the stipulations outlined for this land use designation and zoning district, in that multi-family residential uses are permitted in the PRD-20 zone and MDR land use category,

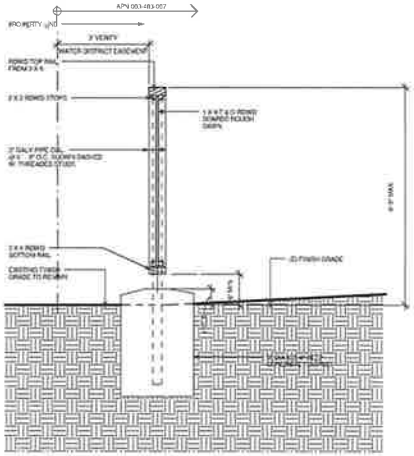
although the property is and would continue to be legal non-conforming in terms of density, parking and setbacks. The project is consistent with all aspects of the Zoning Code with the approval of a Development Plan, Development Plan Modification and Coastal Development Permit to allow the remodel, permit existing legal nonconforming improvements on the property to remain, pursuant to CMC §14.82.060 and allow for deviations from the parking standards with respect to the use of compact spaces and the placement of one parking space in the street side yard setback, pursuant to §14.50.120.

The project can also be found consistent with the applicable policies from the Community Design Element of the General Plan in that it would improve the living conditions of the remaining residential units and improve the appearance of the structure through a comprehensive exterior remodel. The Architectural Review Board reviewed the project and recommended preliminary approval, indicating that the project is consistent with the design guidelines of the Community Design Element. Construction noise impacts would be temporary in nature and hours of construction are limited by the conditions of approval. A detailed analysis of the project's conformity with the Objectives and Policies of the City's certified Local Coastal Program is presented in the staff report prepared for the City Council hearing of December 27, 2010, and herein incorporated by reference.

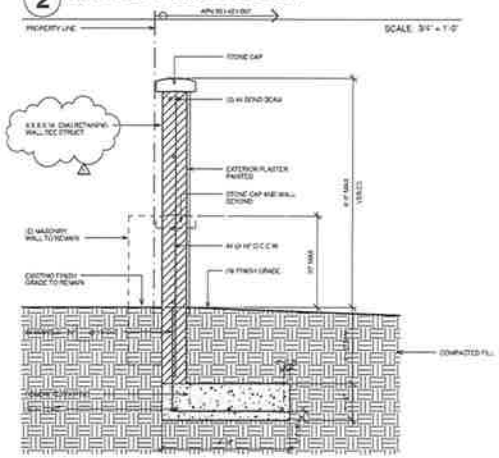
Attachment A
Exhibit 2: Reduced Plan Set

Islands Apartments Revisions
261 Linden Avenue

CC Hearing, May 28, 2013

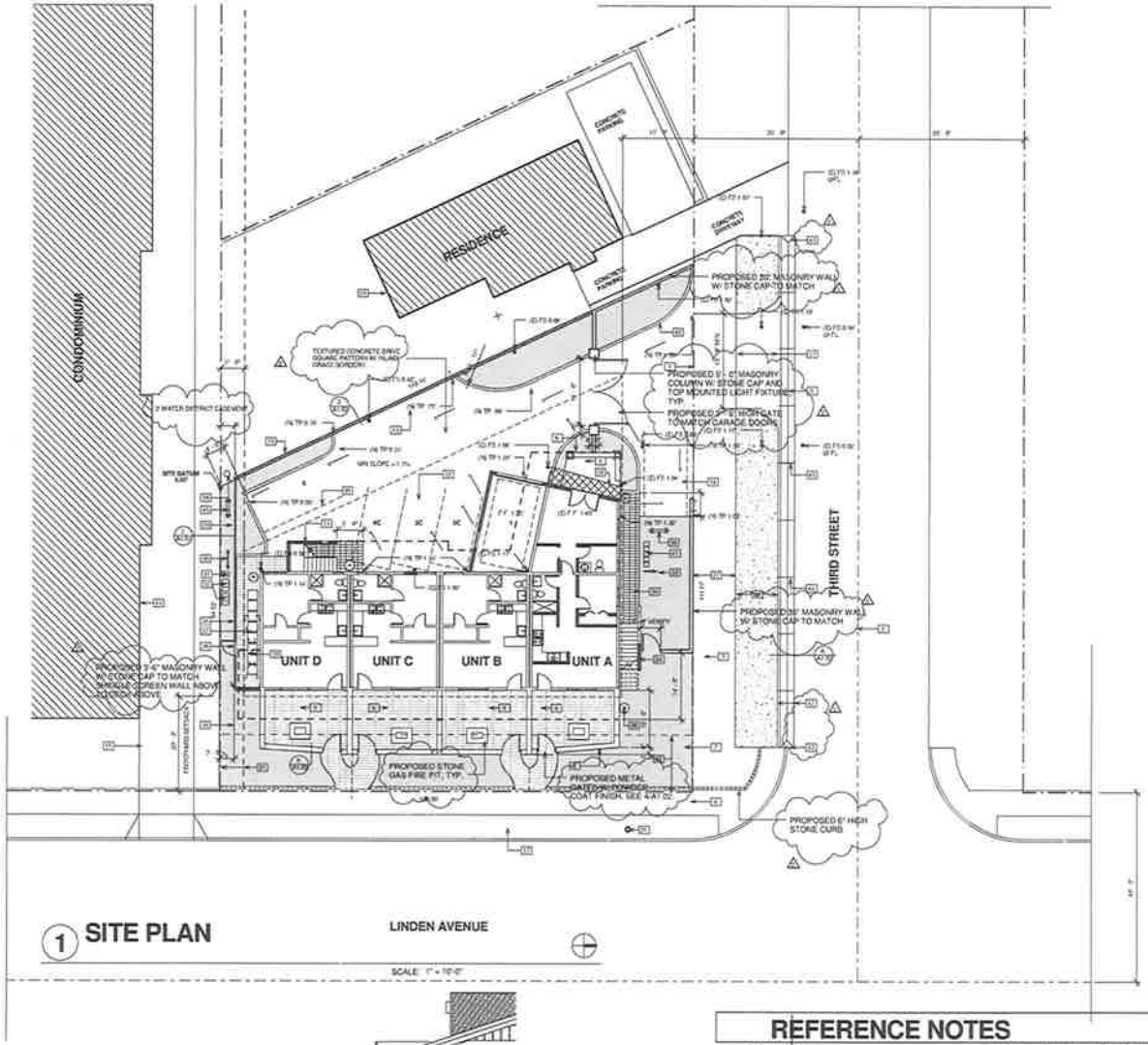


2 WOOD FENCE DET.



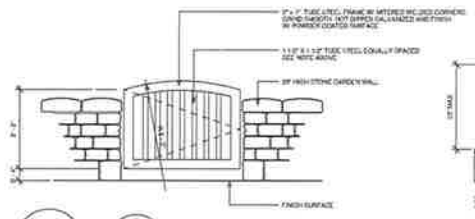
3 DECORATIVE CMU WALL

SCALE: 3/4" = 1'-0"



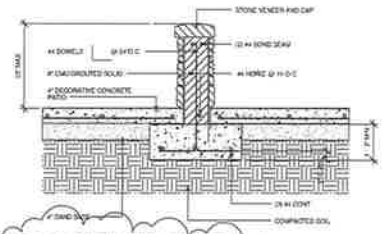
1 SITE PLAN

SCALE: 1" = 10'-0"



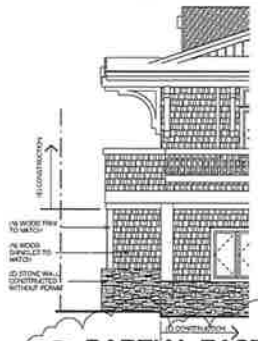
4 METAL GATE

SCALE: 3/4" = 1'-0"



5 GARDEN WALL

SCALE: 3/4" = 1'-0"



6 PARTIAL EAST ELEVATION

SCALE: 1/4" = 1'-0"

REFERENCE NOTES

1 (E) PROPERTY LINE
2 CENTERLINE OF STREET
3 (E) PARKING TO BE REMOVED
4 (E) SIDEWALK TO REMAIN
5 (E) EDGE OF A. C. PAVEMENT
6 EXTENT OF DECK ABOVE
7 PROPOSED COMMON OPEN SPACE, TYP INDICATION
8 (N) 36" HIGH STONE WALL WITH WOOD PICKET FENCE
9 (N) PRIVATE PATIO, TYP INDICATION
10 (E) STAIRS TO BE REMOVED
11 (N) STAIRS
12 (N) PARKING AREA W/ A.C PAVING
13 PARKING MANEUVERING SPACE, TYP INDICATION
14 (N) PARKING
15 (N) 4' HIGH DECORATIVE MASONRY WALL TO BE LOCATED ON PROPERTY
16 (E) POWER POLE
17 (E) PARK WAY TO REMAIN
18 (E) DRIVEWAY
19 EXTENT OF (E) CONDOMINIUM
20 EXTENT OF (E) RESIDENCE
21 7' - 9" UTILITY EASEMENT
22 12' - 9" DRAINAGE EASEMENT
23 (N) CONCRETE CURB CUT
24 (E) STAIRS TO BE MODIFIED
25 (E) FIRE HYDRANT
26 RECONSTRUCTED STREET PARKING. (N) SURFACE TO BE TRUE SLOPE AND DECOMPOSED GRANITE, SEE A/A1.01
27 (N) ORNAMENTAL GRASS LANDSCAPING THIS AREA
28 (N) RAINWATER TO RECEIVE INV., TYPICAL
29 (N) DIG SWALE AREA PER CHAPTER 4 REQUIREMENTS OF THE CITY OF CARPINTERIA (TYPIKA MATCH THAT MEANS). SEE LANDSCAPE
30 (N) 2" BACKFLOW PREVENTER FOR FIRE SPRINKLER SYSTEM
31 (E) 1" WATER METER TO BE REMOVED
32 (N) 3/4" WATER METERS
33 (E) GAS RISER AND SHUT OFF VALVE TO REMAIN
34 (N) DECORATIVE PERMEABLE PAVERS
35 (N) 6' HIGH WOOD FENCE
36 (N) WOOD GATE TO MATCH WOOD FENCE
37 (N) TRASH CONTAINERS TO ACCOMMODATE 2 BINS
38 AREA OF DEMOLITION
39 (E) STORAGE SHED TO BE REMOVED
40 6" CONCRETE CURB, TYP. INDICATION
41 (E) NEW 3/4" GAS METERS
42 (N) COLORED CONCRETE SWALE. COLOR TO MATCH AGGREGATE (N) DECOMPOSED GRANITE
43 TRANSITION (N) SWALE TO (E) SURFACES
44 CONCRETE CONTROL JOINTS 12' - 0" O.C. MAX TYP. INDICATION FOR CITY STANDARD
45 (N) INDICATION DACAP LOW

CONSTRUCTION SET

PROPOSED SITE IMPROVEMENTS INDICATED BY CLOUDED DESCRIPTIONS

W. ARALUCE
A R C H I T E C T
CARPINTERIA AVENUE, SUITE 20
CARPINTERIA, CALIFORNIA 93013
805 684 9155

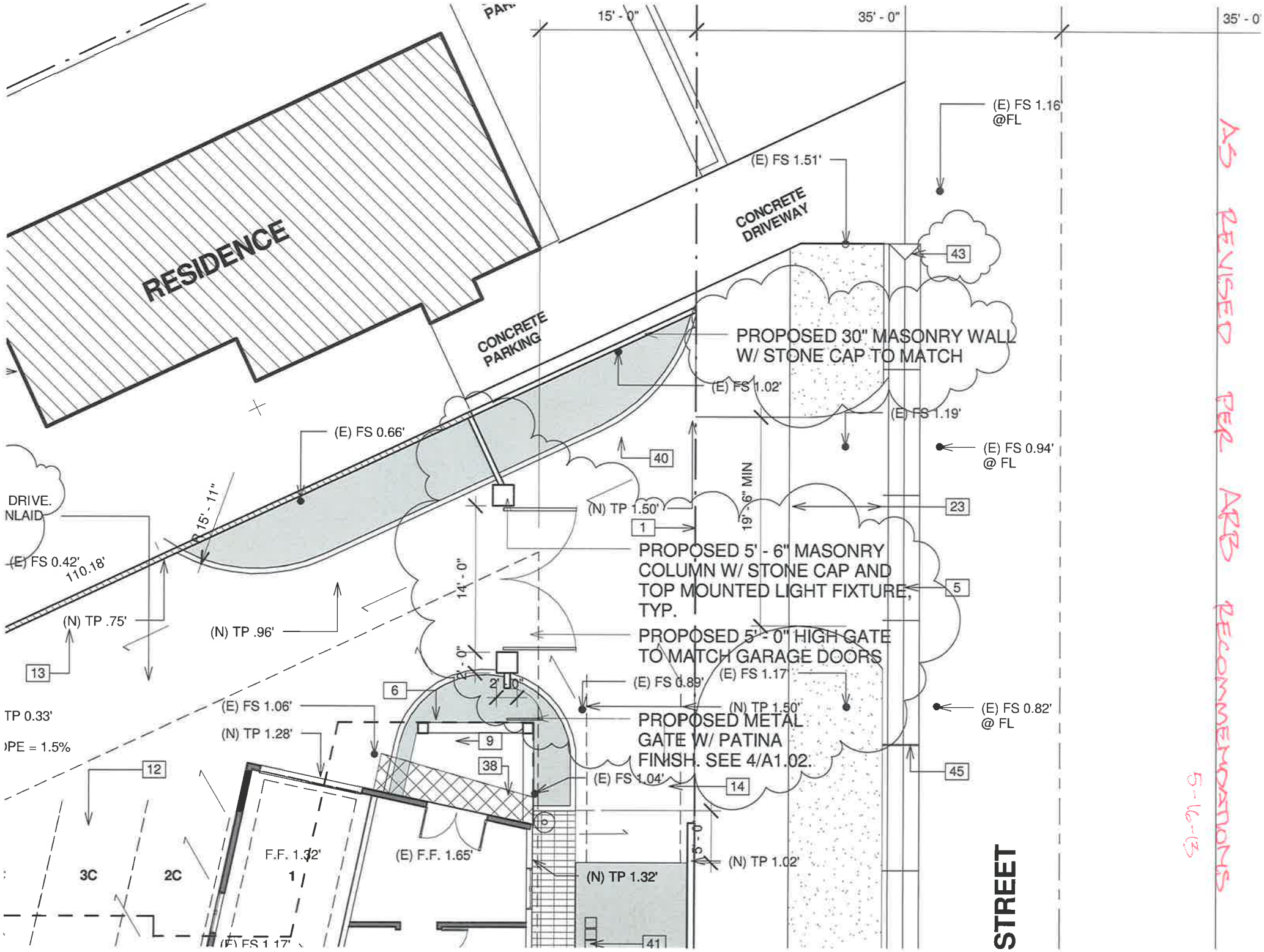
THE ISLANDS APARTMENTS RENOVATION
FOR
BARBARA AND PETER COELER
291 LINDEN AVENUE
CARPINTERIA, CALIFORNIA

STATE OF CALIFORNIA
WILLIAM J. ARALUCE
C 12740
LICENSED ARCHITECT

DATE MARCH 06, 2010
DRAWN BY WJA
201010

SITE PLAN

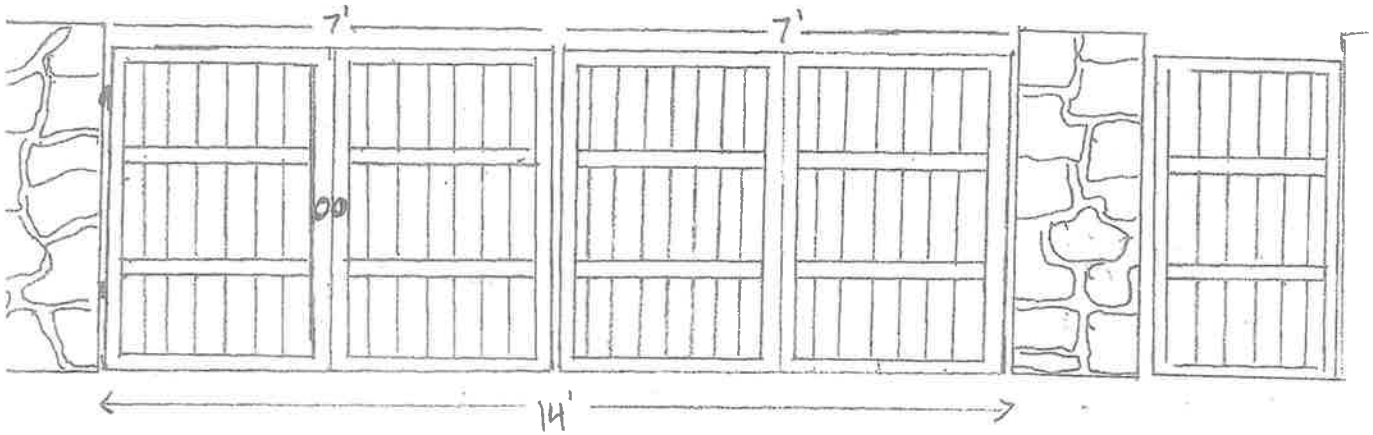
A 1.02



AS REVISED PER ARB RECOMMENDATIONS

5-16-13

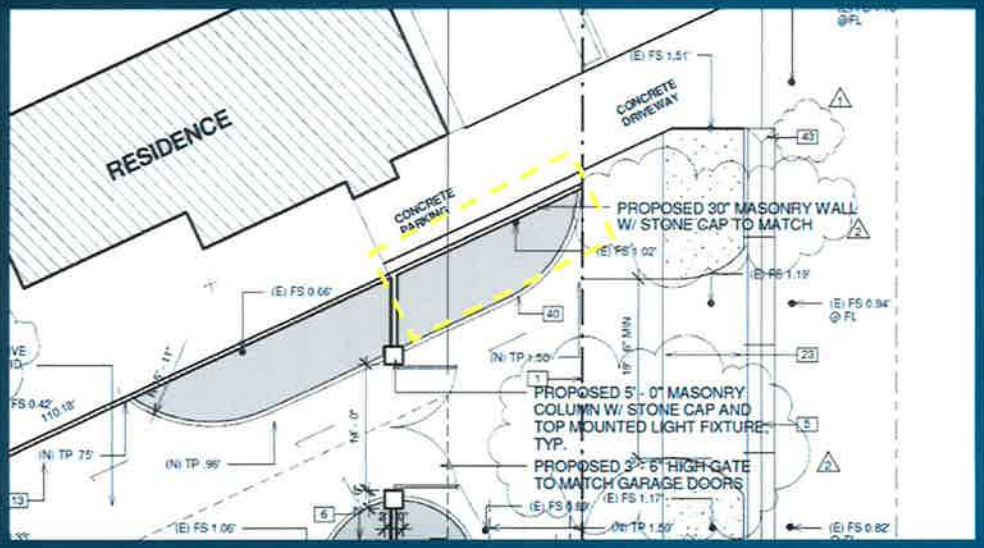
261 Linden Ave
entry gate with pedestrian gate.



(GATES RO 14 x 5')

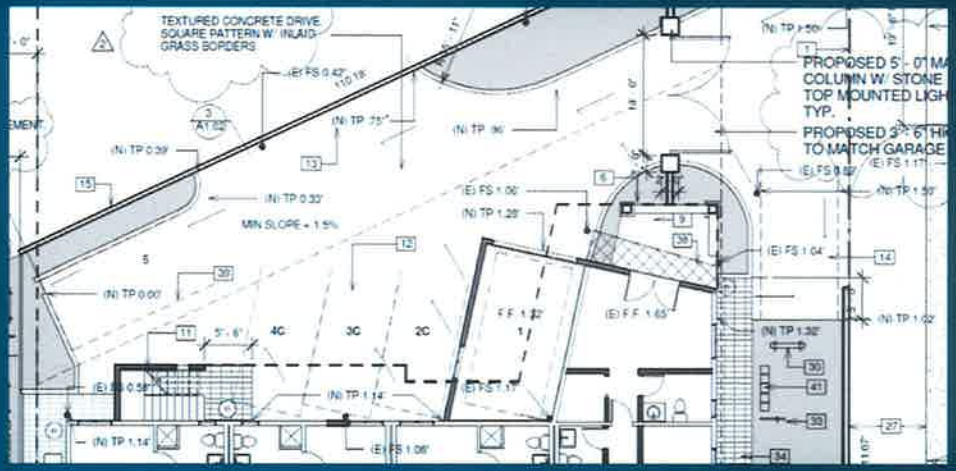
NEW VEHICLE GATE PROPOSED BY THE OWNER

Project Analysis- Rear Property Line Wall Extension



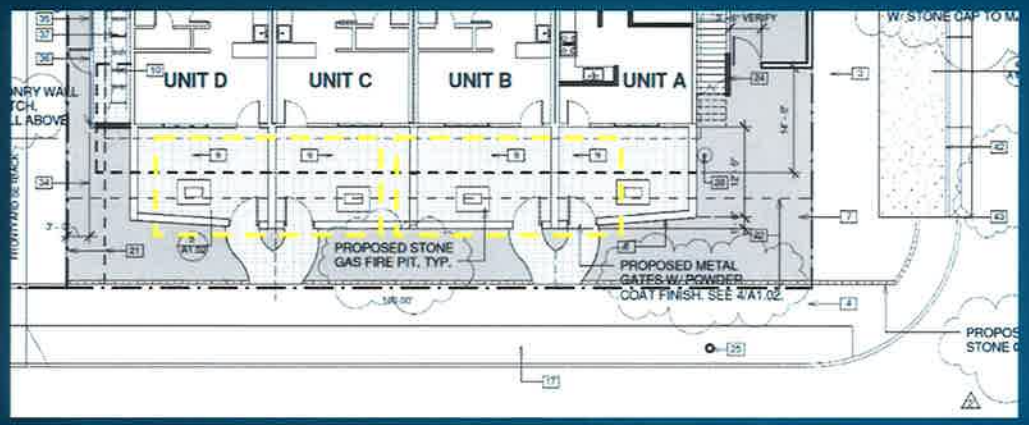
- 30" high masonry wall w/ stone cap
- Terminate at Third St PL
- PC conditioned project to have rear wall terminate 24' back from Third Street PL

Project Analysis- Parking Lot Surface



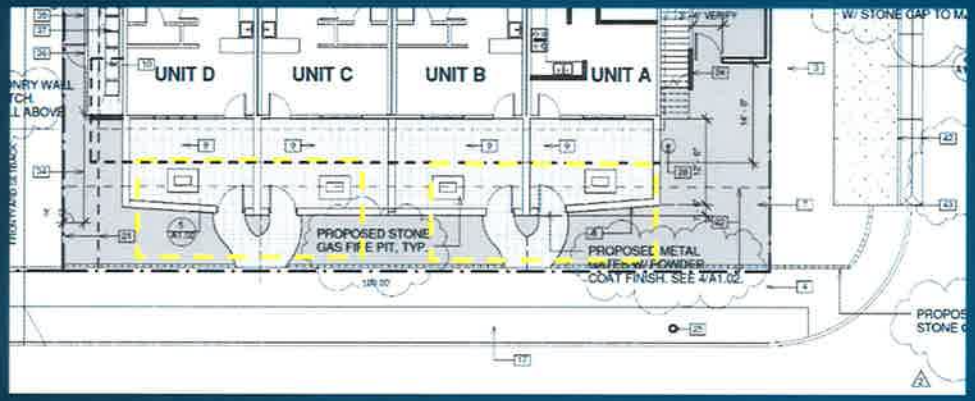
- Approved plans called for asphalt concrete
- Replaced with 4'x4' textured concrete paver pattern w/ turf borders
- Improved permeability

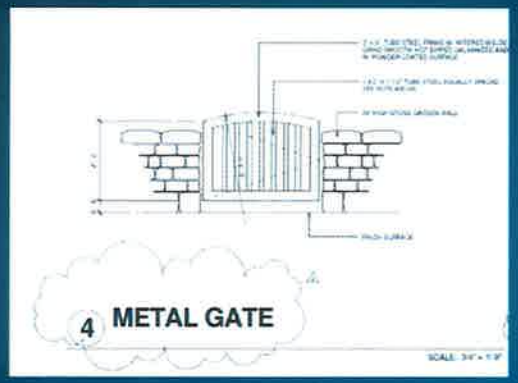
Project Analysis- Gas Fire Pits



- 3'4" x 4'4" stone gas fire pits installed in private patio areas of each ground floor unit;
- Approx. 24" high;
- Requires approval of a setback Modification to allow encroachment into the required setback area.

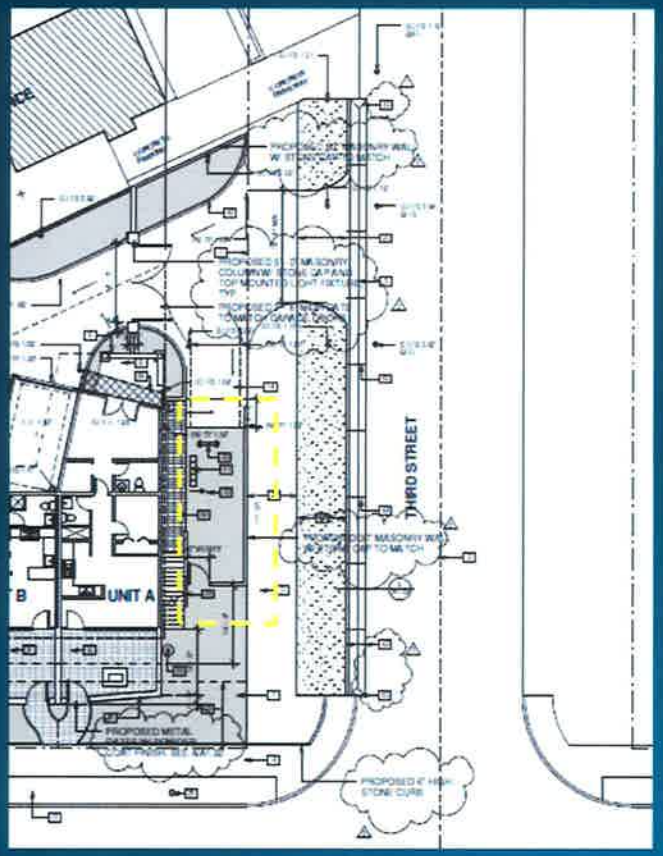
Project Analysis- Patio Gates

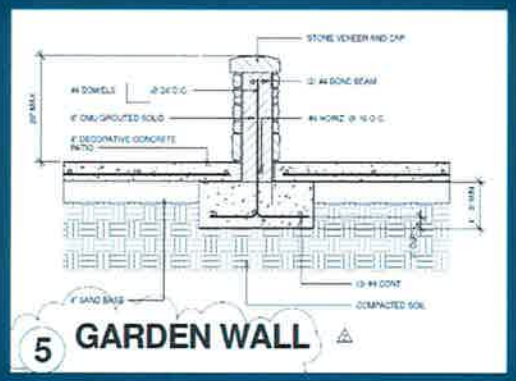




- Approximately 30" high metal gates installed at each front patio

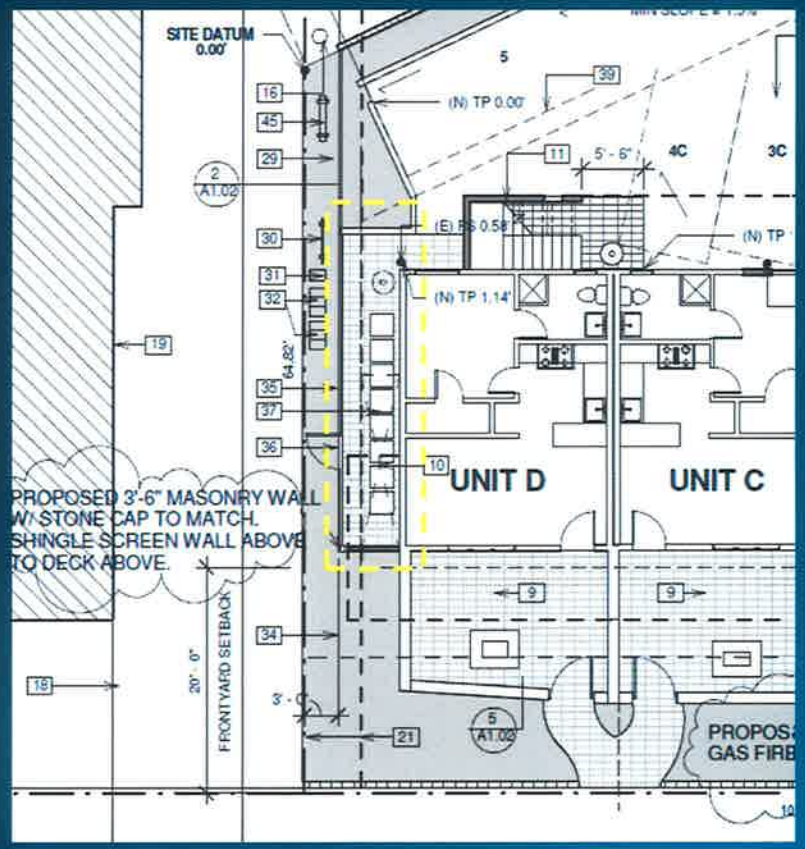
Project Analysis- Street-Side Property Line Wall/Gate





- 30" high masonry wall with stone cap along Third St PL

Project Analysis- Trash Enclosure Fence & Screening Wall



- 6′ fence relocated 3′ in from PL
- 42″ high masonry wall
- Screen/enclose trash area & utilities

Attachment A
Exhibit 3: Recommended Conditions of Approval

Islands Apartments Revisions
261 Linden Avenue

CC Hearing, May 28, 2013

CITY COUNCIL HEARING
PROJECT NO. 10-1551-DPR/CDP
261 LINDEN AVENUE (APN 003-483-007)
May 28, 2013

ATTACHMENT C: CONDITIONS OF APPROVAL (ISLANDS APARTMENTS REVISIONS)

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

GENERAL CONDITIONS

1. This Development Plan Revision and Coastal Development Permit is based upon and limited to compliance with the previously-approved project description and exhibits as revised by the project description and hearing exhibits (Exhibit 1, Attachment B to the staff report dated May 28, 2013), and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

   The approved project revisions are described as follows:

   Request for a Development Plan Revision and Coastal Development Permit to permit minor revisions to the previously-approved Islands Apartments Remodel project. The approved revisions include permitting the following features:
   - An as built 30-inch high rear property line wall extension to the Third Street (side) property line;
   - As built 30-inch high wrought iron entry gates for each ground floor private patio;
   - As built outdoor gas fireplaces for each ground floor private patio;
   - An as built textured concrete four foot square paver patterned parking area with turf borders;
   - An as built masonry wall/wood fence trash enclosure; and
   - A new 30-inch high decorative masonry wall along the Third Street (side) property line.

   The project shall be constructed to substantially comply with the plans originally approved by the City Council on December 27, 2010 and as revised and approved by the Council on May 28, 2013.

2. The conditions of this approval shall supersede and replace the conditions imposed on the project by the City Council's approval of Project No. 10-1551-DP/CDP, dated December 27, 2010.

3. The conditions of this approval supercede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.

4. All buildings, roadways, parking areas, landscaping and other features shall be located substantially as shown on the attached exhibits.

5. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitations period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.

6. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.

7. All requirements of the City of Carpinteria (including but not limited to public improvements as defined in the City of Carpinteria Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.

8. The applicant agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the proposed project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. In addition, the applicant agrees to indemnify the City for any and all legal costs in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

9. The standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.

10. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the City Council.

11. Approval of the Development Plan Revision and Coastal Development Permit shall expire one year after approval, unless prior to the expiration date a Building Permit has been issued or the permittee has diligently worked toward Building Permit issuance. The decision maker with jurisdiction over the project may grant a time extension for good cause.

12. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.

13. An approval granted by the City Council does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the Building Division must be obtained prior to constructing, enlarging, moving, converting, or demolishing any building or structure within the City.

14. During any phase of grading or construction, if cultural material suggestive of prehistoric or historic origin is encountered, work in the vicinity of the find shall be stopped, and the City shall be notified. Grading or construction shall not be resumed until the find is evaluated and the City determines whether mitigation is necessary.

15. If, at any time, the City or City Council determines that there has been, or may be, a violation of the findings or conditions of this Development Plan Revision and Coastal Development Plan, or of the Municipal Code regulations, a public hearing may be held before the Planning Commission to review this permit. At said hearing, the City Council may add additional conditions, or recommend enforcement actions, or revoke the permit entirely, as necessary to ensure compliance with the Municipal Code, and to provide for the health, safety, and general welfare of the City. The applicant shall reimburse the City for all costs associated with gaining compliance with the original conditions of approval.

COMMUNITY DEVELOPMENT

16. The trash and recycling enclosure shall be maintained along the south (side) building elevation. Trash service shall be conducted from the Third Street frontage. Trash or recycling carts shall not be staged or left within the City right-of-way on Linden Avenue.

    CDD staff shall verify during construction, prior to final permit sign off, that the trash/recycling enclosure is built per the approved plans. CDD staff shall periodically monitor the site to confirm compliance with the above-stipulated requirements for trash/recycling storage and service.

17. A minimum of six parking spaces shall be provided on the subject property in accordance with the parking design standards as stipulated in Section 14.54 of the Carpinteria Municipal Code and as shown on the approved improvement plan. The one-car garage and surface parking areas shall be maintained and used for parking for the life of the project.

    CDD staff shall verify that the parking spaces are delineated as shown on the approved plans (Exhibit 1, Attachment B) prior to final building inspection. CDD staff shall periodically monitor the site to confirm compliance with the above-stipulated parking requirements.

18. The project shall comply with the City's Tier III Storm Water Management Plan Post-Construction Best Management Practices (BMP) requirements. Specifically, the applicant shall prepare plans for, and install, an onsite bioswale to collect and filter runoff from the parking area before said runoff enters the City's storm drain system. The applicant shall also be required to install and connect rain barrels to all building downspouts. Said storm water BMPSs shall be shown on the final working drawings and must be reviewed and approved by the Community Development and Public Works Departments. The improvements must be installed prior to final building permit sign-off and must be maintained in good working order for the life of the project.

19. No construction equipment shall be parked, stored or operated within six feet of any tree dripline. Equipment storage and staging areas shall be designated on the plans outside the dripline areas.

20. Dust generated by the development activities shall be retained onsite and kept to a minimum by following the dust control measures listed below. Reclaimed water shall be used for these activities, when feasible or possible.

    a. During clearing, grading earth moving, or excavation, transportation of cut or fill materials or water trucks or sprinkler systems are to be used in sufficient quantities to prevent dust from leaving the site and to create a crust after each day's activities.
    b. After clearing, grading, earth moving or excavation is completed, the entire area of disturbed soil shall be treated immediately by watering or revegetating or spreading soil binders to prevent wind pick up of the soil until the area is paved or landscaped.
    c. During construction water trucks or sprinkler systems shall be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the site.
    d. Trucks transporting soil, sand, cut or fill material to or from the site shall be covered with a tarp from the point of origin.

21. No construction-related debris (mud, dust, paint, lumber, rebar, etc.) shall leave the project site unless transported to an approved disposal site. During the construction period, washing of concrete, paint, and/or equipment shall be allowed only in areas where polluted water and materials can be contained for subsequent removal from the site. The applicant shall designate a "wash-off area" on the construction plans and install such an area prior to the commencement of any construction activities.

22. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During grading and construction, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on grading and construction plans. Applicant shall provide CDD with receipts for recycled materials or for separate bins. **Timing:** Materials shall be recycled as necessary throughout construction. All materials shall be recycled prior to occupancy clearance.

23. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at 1-800-227-2600 a minimum of 48 hours prior to the start of construction. For best response, provide as much notice as possible, up to 10 working days.

24. The applicant shall complete a School District sign-off form, which may include payment of applicable School Mitigation Fees, prior to issuance of building permit.

25. All project conditions and mitigation measures shall be listed on a sheet included as part of the construction plans submitted for review and approval by the City prior to issuance of a Building Permit/Grading Permit. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.

26. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on State holidays (e.g. Thanksgiving, Labor Day) or weekends. Non-noise generating construction activities such as interior painting are not subject to these restrictions.

27. All new and existing utility services shall be placed underground and completed prior to any paving required for the project. No new utility poles shall be installed.

28. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of building permits.

ARCHITECTURAL REVIEW

29. Prior to the issuance of any building permits, the applicant shall return to the Architectural Review Board for a review of final plans to include complete working drawings including but not limited to lighting, colors, exterior materials, landscaping and irrigation.

30. All materials and colors used in construction and all landscape materials shall be as represented to the Architectural Review Board and any deviation will require the express review of the Board.

31. The existing Guadalupe Fan Palms shall be retained, relocated onsite and incorporated into the final landscape plan, or be boxed and donated to a third party if relocation onsite is found by the Community Development Director to be infeasible. In such case, the property owners shall give the City of Carpinteria the first right of refusal, which may be exercised if the trees can be relocated reasonably close to the project site for the purpose of general neighborhood enhancement. The plans shall be reviewed by the ARB for consistency with their previous recommendations.

32. Exterior lighting for the site shall be low level and directed in such a manner that direct lighting or glare will affect neither adjacent properties nor public streets or walkways.

DEPARTAMENTAL & DISTRICT CONDITION LETTERS

33. Compliance with the attached Departmental and District letters is required as follows:
    a. City of Carpinteria Public Works Dept./Engineering dated July 29, 2010
    b. Carpinteria Sanitary District dated June 2, 2010
    c. Carpinteria–Summerland Fire Protection District dated June 8, 2010
    d. Carpinteria Valley Water District dated June 10, 2010
    e. Santa Barbara County Air Pollution Control District dated June 16, 2010

Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.

Approved by the City Council on May 28, 2013

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

_____

Applicant/Property Owner Date

ENGINEERING CONDITIONS

ISLANDS APARTMENTS

Revised October 27, 2010

GENERAL ENGINEERING CONDITIONS

1. A Plan Check fee deposit shall accompany the initial Grading and/or Improvement plan submittal. The plan check fee deposit shall be the amount shown in the current fee schedule.

2. Prior to issuance of a Building Permit, the applicant shall submit plans and calculations as required for all necessary Engineering permits. Said permits include, but are not limited to, Street Construction, Excavation in the public right-of-way, Grading and/or Encroachment.

3. An Encroachment permit shall be obtained for the private patios and fences proposed in the City easement along the Linden Avenue frontage.

4. Development shall be undertaken in accordance with conditions and requirements of the State of California Regional Water Quality Control Board. Project Grading and Storm Drain Improvement Plans shall identify and incorporate Best Management Practices (BMP's) appropriate to the uses conducted onsite and during construction to effectively mitigate storm water pollution; and

4a. Permanent Storm Water Management Measures shall be shown on the Grading/Drainage Plans per the requirements of the City's adopted Storm Water Management Plan and adopted City of Santa Barbara Guidance Manual.

5. A Street Construction and/or Excavation Permit shall be obtained from the City Engineer prior to any construction within the street right-of-way. The improvements along the Third Street frontage shall include removal of the existing parking area on the north side of the building (to be replaced with landscaping) and installation of a new approximately 9' x 71' decomposed granite street parking area in the City ROW.

6. All improvements in the public right of way shall be completed to the satisfaction of the City Engineer prior to the issuance of a Certificate of Occupancy by the Community Development Department.

7. The applicant is required to plant a new street tree along the Linden Avenue frontage as shown on the Landscape Plan.

Carpinteria Sanitary District

5300 Sixth Street, Carpinteria, CA 93013
(805) 684-7214 • Admin Fax (805) 684-7213 • Plant Fax (805) 566-6599

June 2, 2010

Nick Bobroff
Associate Planner
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

RECEIVED
JUN 04 2010
CITY OF CARPINTERIA

RE: Project No. 10-1551-DP/CUP/CDP
Island Apartments
261 Linden Avenue (APN: 003-483-007)
Carpinteria, California
Applicant: Barbara and Peter Coeler

Dear Mr. Bobroff:

Thank you for the opportunity to provide comments on the subject project. The Carpinteria Sanitary District (District) has reviewed the proposed project application and site plan received on July 1, 2010.

The applicant proposes to remodel an existing eight-unit apartment complex. The site is located at 261 Linden Avenue (APN 003-483-007) and is zoned Planned Residential Development (PRD-20). The project involves interior and exterior improvements and we understand that no modifications to the sewer lateral serving the complex are proposed.

The District has reviewed the project and determined the number of dwelling units at Island Apartments will be reduced from eight units to five units. Once the improvements are done, and the project is deemed complete by the City, the owner may contact the District (CSD) to request an adjustment to the annual sewer service charge for the building.

If the tenant improvements and/or proposed activities result in modifications to the proposed exterior plumbing or change the nature of wastewater discharges to the District's collection system, we may require the applicant to obtain a permit for said changes.

If you have any questions regarding the comments provided by the District, please contact me at (805) 684-7214, ext. 13.

Sincerely,
CARPINTERIA SANITARY DISTRICT

Lance Lawhon
Engineering Technician

cc: Barbara and Peter Coeler

U:\Projects\261 Linden\261 Linden Pln Chk Comments II.doc

CARPINTERIA - SUMMERLAND
FIRE PROTECTION DISTRICT

RECEIVED
JUN 10 2010
CITY OF CARPINTERIA

June 8, 2010

Nick Bobroff
Associate Planner
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

RE: Project 10-1551-DP/CUP/CDP
APN 003-483 007 / 261 Linden Ave.

Dear Nick Bobroff:

The following items are necessary for fire protection:

1. The building shall be protected by an approved automatic fire sprinkler system. Prior to installation, plans for the proposed fire sprinkler system shall be designed by a qualified person and submitted to the prevention bureau for approval.

2. Smoke detectors must be installed in all residences in accordance with the National Electric Code Per the provisions of the 2007 California Building and Fire Codes.

3. Application for address changes for the building shall be submitted to the Fire District, Fire Prevention Bureau.

4. Address numbers must be posted at the driveway and/ or on the building such that they are visible from the street. Numbers shall be a minimum 4 inches high on a contrasting background.

5. Roof access must meet the requirements stated in the Carpinteria Municipal Code.

6. Access, when access ways are gated, a Fire District approved key box shall be installed in an accessible location. Prior to installation, the Fire District shall approve the location and type.

(805) 684-4591 • FAX (805) 684-8242
1140 EUGENIA PLACE, SUITE A, CARPINTERIA, CALIFORNIA 93013

7. Public fire hydrants supplying the required fire flow within the required driving distance from the structures shall be provided. Plan must indicate the location of the fire hydrant nearest to the project address.

8. Per Carpinteria-Summerland Fire District Ordinance No. 2003-01 pertaining to fees and service charges, a permit application fee is assessed on all plans reviews.

9. Pursuant to C.S.F.P.D. Ordinance No. 92-02 and Carpinteria City Ordinance No. 599, prior to issuance of a "Certificate of Occupancy", the Carpinteria-Summerland Fire Protection District mitigation fee must be paid.

10. Any future changes, including further division, intensification of use, or increase in hazard classification, may require additional conditions in order to comply with applicable fire district development standards.

If you need additional information on Fire District conditions, please contact me at 566-2451.

Sincerely,

Ed Foster
Fire Marshal
Fire Prevention Bureau

cc: Applicant

Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816 • Fax (805) 684-3170

June 10, 2010

City of Carpinteria
Community Development Dept.
Nick Bobroff, Associate Planner
5775 Carpinteria Ave
Carpinteria, CA 93013

SUBJECT: 261 Linden Avenue APN 003-483-007 CONDITIONS LETTER

Hello Mr. Bobroff

In reviewing the proposed project at 261 Linden Avenue to renovate an 8 dwelling unit apartment building to a 5 dwelling unit building (Project No. 10-1551-DP/CUP/CDP), listed below are the required conditions from the Carpinteria Valley Water District (District).

1. The District has a 2.5 feet existing easement along the South property line. This easement needs to be free of any permanent structures, currently there is an existing hedge that is in the District easement that will be required to be removed.
2. The owner will be responsible to supply to the District a landscape plan for the purposed project.
3. Per District Rule 17(d) each unit will be required to have an independent service. The owner will be responsible for the Capital Cost Recovery Fees (CCRF) for each additional meter and pay the required deposit for the installation for the meters to the District.
4. The location of the 4 new meters must to be shown on the site plan and the location approved by the District.
5. If a fireline is required by the Fire District, the owner will be responsible for paying the required deposit and Capital Cost Recovery Fees for the fireline to the District. The fees are based on the size of the fireline. Additionally an approved Double Check Backflow Detector Assembly (DCDA) must be installed on the fireline.

6. If a fireline is required the owner must show the location of the DCDA on the site plan. The location of the DCDA must be approved by the Fire District and the Carpinteria Valley Water District.
7. A set of fire flow calculations by a licensed fire sprinkler system engineer must be provided to the District if the fireline is required. These calculations must list the size of the fireline and the required working pressures.

If you have any question or need any information please contact me at 684-2816x103 or Brian@cvwd.net .

Very truly yours,
Carpinteria Valley Water District

Brian King
Associate Engineer

BVK/bvk

C: file copy

Vision Clean Air

Santa Barbara County
Air Pollution Control District

June 16, 2010

RECEIVED
JUN 17 2010
CITY OF CARPINTERIA

Nick Bobroff
Community Development Department
5775 Carpinteria Avenue
Carpinteria, CA 93013

Re: APCD comments on The Islands Apartments Renovation, 10-1551-DP/CUP/CDP

Dear Mr. Bobroff:

The Air Pollution Control District (APCD) has reviewed the referenced case, which consists of converting four one-bedroom units to one three-bedroom unit, a second floor deck addition, roof replacement, façade improvements, window and door replacement, and revised parking and landscaping layouts. The subject property, a 0.2-acre parcel zoned Planned Residential Development (PDR-20) and identified in the Assessor Parcel Map Book as APN 003-483-007, is located at 261 Linden Avenue in the City of Carpinteria.

Air Pollution Control District staff offers the following suggested conditions:

1. All portable diesel-fired construction engines rated at 50 brake-horsepower or greater must have either statewide Portable Equipment Registration Program (PERP) certificates or APCD permits prior to operation. Construction engines with PERP certificates are exempt from APCD permit, provided they will be on-site for less than 12 months.

2. Applicant is required to complete and submit an Asbestos Demolition/Renovation Notification (APCD Form ENF-28 which can be downloaded at http://www.sbcapcd.org/eng/dl/dl08.htm) for each regulated structure to be demolished or renovated. Demolition notifications are required regardless of whether asbestos is present or not. The completed notification should be presented or mailed to the Santa Barbara Air Pollution Control District with a minimum of 10 working days advance notice prior to disturbing asbestos in a renovation or starting work on a demolition. For additional information regarding asbestos notification requirements, please visit our website at http://www.sbcapcd.org/biz/asbestos.htm or contact us at (805) 961-8800.

If you or the project applicant have any questions regarding these comments, please feel free to contact me at (805) 961-8893 or via email at edg@sbcapcd.org.

Sincerely,

Eric Gage,
Air Quality Specialist
Technology and Environmental Assessment Division

cc: William Araluce, AIA
TEA Chron File

Attachment B
Draft Architectural Review Board Minutes
May 16, 2013 Meeting

Islands Apartments Revisions
261 Linden Avenue

CC Hearing, May 28, 2013

Boardmember Araluce asked about the radius curve at the intersection of the Linden Avenue Bridge and the Linden Avenue southbound off-ramp retaining wall. He suggested that the bridge should be all the sae material until the radius where the retaining wall begins.

Boardmember Ellinwood thought that the same strategy as implemented on Casitas Pass Road Bridge, with the wingwalls repeating the concrete form of the haunch arch out to the edge of the walls. After much discussion, Caltrans engineers were asked if they could expose the bond beam at the top of the retaining wall, carry it all the way down to the level of the highway, and treat it with the same finish as the bridge, thereby creating a "cap" look to the top of the retaining wall.

Boardmember Gahan commented favorably on the proposed median landscaping for the Casitas Pass Road overcrossing, in particular calling out the attractive Queen Palms that are repeated elsewhere in the Downtown. She also liked the use of native plants in the US 101 median and suggested that a lower form of Carissa be used.

Boardmember Johnson agreed with the comments that had been made by his fellow Boardmembers.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to recommend preliminary approval to the Planning Commission with the changes to the retaining wall at the Linden Avenue southbound offramp to expose the bond beam and use texturing to imitate the haunch form below the wing wall and have it return around the corner at the radius.

VOTE: 5 – 0

The Board then discussed the soundwall location along Via Real between Casitas Pass Road and Vallecito Road and received information from the Caltrans engineers about how the soundwall functions and the height of the wall in its different locations (either along the highway and Via Real or adjacent to the private properties on the inland side of Via Real). The original location had been at the private properties but community members had expressed a preference to locate the wall on the highway side of Via Real during review by the Design Review Team.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Johnson to recommend preliminary approval of the soundwall location along the Highway side of Via Real between Casitas Pass Road and Vallecito Road.

VOTE: 4 – 1 (Araluce no)

PROJECT REVIEW

2) Applicant: Islands Apartments Revisions — Planner: Nick Bobroff
Project Number: 10-1551-DPR/CDP
Project Location: 261 Linden Avenue
Zoning: Planned Residential Development (PRD-20)

Hearing on the request of William Araluce and George Manuras, agents for Barbara and Peter Coeler to consider Case No. 10-1551-DPR/CDP for final review of requested revisions to the previously-approved Islands Apartments Remodel project. The requested revisions include new decorative walls and gates

including a driveway vehicle gate, and gas fire pits for each of the ground floor units. The 8,818 square foot property is zoned Planned Residential Development (PRD-20) and is shown as APN 003-483-007 located at 261 Linden Avenue.

Staff presented the proposed revisions to the Board and explained that the gas fireplaces would require the granting of a Development Plan Modification to be allowed to encroach into the required front setback. Staff also noted that they were not supportive of the proposed driveway gate and would prefer it be removed from the plans as it appeared to be inconsistent with the intent of several Community Design Element policies.

Project Applicants William Araluce and George Manuras explained that their client desired a gate to discourage trespass and pedestrian pass-through traffic. They also explained the gate would provide added security for, and screening of, the rear parking area and adjacent utility infrastructure.

Public Comment

One public comment letter was received from Eileen and Stephen Marcussen, property owners of 4977 Third Street. They explained that they lived next door to the rear parking area and proposed gate. They were concerned that the gate's ongoing use and operation would cause nuisance and privacy impacts to their property as the gate would be located in close proximity to their main entry and living areas. They also believed the gate was not compatible with Beach Neighborhood's character.

Boardmember Discussion

The Board noted they were in favor of most of the proposed revisions as submitted. Of the as built features, they noted the contractor had done a nice job of building these structures.

Concerning the gate, the Board felt that, at minimum, some revisions could be made to address some of the concerns of the neighbors. Boardmembers Ellinwood and Johnson recommended the proposed light fixtures for the gate columns be reduced in size (12-16 inches high maximum), use a lower wattage, and be shielded to prevent spillover on to neighboring properties. Boardmember Reginato suggested the pedestrian gate that is part of the driveway gate concept be relocated to the opposite side of the driveway, away from the Marcussen's property. Boardmember Ellinwood also suggested the driveway gate be rotated so that it is perpendicular to the driveway; this would move the gate slightly farther from the Marcussen's entry and provide the necessary to accommodate the pedestrian gate on the opposite side of the driveway as suggested by Boardmember Reginato.

The Board also explored ideas for how the gate could be made more open, such as utilizing a wrought iron design similar to that proposed for the patio gates or incorporating an open element along the top of the wooden gate to provide some transparency. Boardmembers Johnson and Reginato also noted that the gate could see a lot of use from residents coming and going from the parking lot, especially considering occupants of the ground floor units would have to exit the parking area and walk around the building to access their units. They noted it will be important to ensure the gates operate smoothly and do not pose a noise nuisance.

ACTION: Motion by Boardmember Ellinwood, seconded by Boardmember Reginato to recommend conditional final approval to the City Council with the following comments:

- The patio gates and gas fireplaces are fine as built;
- The revisions to the fences and walls are acceptable as built/proposed;
- The proposed driveway gate should be rotated to be perpendicular to the driveway;
- The pedestrian gate should be relocated to the east side of the driveway;

- The driveway gate materials/design is fine as proposed;
- Column-mounted lights should be reduced in size (12-16 inch height maximum), kept to a low wattage and shielded to prevent light spillover onto neighboring properties.

VOTE 4-0

PROJECT REVIEW

3) Applicant: Peoples' Self-Help Housing Corporation Planner: Steve Goggia
Project Number: 10-1543-DP/CDP
Project Location: 4096 Via Real
Zoning: Commercial Planned Development with a Residential Overlay (CPD/R)

Hearing on the request of Peoples' Self-Help Housing Corporation, to consider Case No. 10-1543-DP/CDP for Final review of the Casas de las Flores project proposal to remove the existing travel trailers at the Carpinteria Camper Park and demolish one single family residence in order to construct 43 apartment units and a 4,346 square foot community center. The 2.68-acre property is zoned Commercial Planned Development with a Residential Overlay (CDP/R) and is shown as APNs 004-013-18, 19 and 20, located at 4096 Via Real.

ACTION: Motion by Boardmember Reginato seconded by Boardmember Araluce recommend final approval with the following provisions:

- Add a trellis to the windowless elevation of Building 7;
- Use boysenberries rather than blackberries around the detention basin;
- Use a half round gutter with a round downspout;
- Clarify that the flashing used will be a moist stop rather than paper;
- On Sheet AD-1, use the z-bar flashing on detail 19 as it is used in Detail 17; and
- Attempt to move the mailbox cluster around the corner to the north, perpendicular to Via Real.

VOTE 5-0

OTHER BUSINESS: None

CONSENT CALENDAR:

- Action Minutes of the Architectural Review Board meeting held April 11, 2013.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Johnson to approve the minutes of April 11, 2013 as presented.

VOTE: 5-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

Attachment C
Notice of Exemption

Islands Apartments Revisions
261 Linden Avenue

CC Hearing, May 28, 2013

Print Form

Notice of Exemption

Appendix E

To: Office of Planning and Research
P.O. Box 3044, Room 113
Sacramento, CA 95812-3044

County Clerk
County of: Santa Barbara
105 E Anapamu Street, Rm 407
Santa Barbara, CA 93101

From: (Public Agency): City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013
(Address)

Project Title: Islands Apartments Revisions

Project Applicant: William Araluce

Project Location - Specific:
261 Linden Avenue, Carpinteria, CA 93013 (APN 003-483-007)
Located at the southwest corner of the Linden Avenue and Third Street intersection.

Project Location - City: Carpinteria Project Location - County: Santa Barbara

Description of Nature, Purpose and Beneficiaries of Project:
Minor revisions to a previously-approved comprehensive remodel. Said revisions include new low walls, gates and outdoor gas fireplaces.

Name of Public Agency Approving Project: City of Carpinteria

Name of Person or Agency Carrying Out Project: Barbara and Peter Coeler, Owners

Exempt Status: **(check one):**

- ☐ Ministerial (Sec. 21080(b)(1); 15268);
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a));
- ☐ Emergency Project (Sec. 21080(b)(4); 15269(b)(c));
- ☒ Categorical Exemption. State type and section number: Class 3; §15303(e)
- ☐ Statutory Exemptions. State code number: _____

Reasons why project is exempt:
The project involves minor revisions and additions of accessory structures such as fencing, walls, fireplaces and gates to a previously-approved comprehensive remodel. The subject property is currently developed within an urbanized area with all public services and facilities available. There are no environmentally sensitive habitats or species of concern on the property.

Lead Agency Contact Person: Nick Bobroff, Associate Planner Area Code/Telephone/Extension: 805/6845405/407

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a Notice of Exemption been filed by the public agency approving the project?. ☐ Yes ☐ No

Signature: _____ Date: _____ Title: _____

☒ Signed by Lead Agency ☐ Signed by Applicant

Authority cited: Sections 21083 and 21110, Public Resources Code.
Reference: Sections 21108, 21152, and 21152.1, Public Resources Code.

Date Received for filing at OPR: _____

Attachment D
City Council Resolution No. 5287
(Original Project Approval)

Islands Apartments Revisions
261 Linden Avenue

CC Hearing, May 28, 2013

RESOLUTION NO. 5287

A RESOLUTION OF THE CITY OF CARPINTERIA CITY COUNCIL DENYING AN APPEAL OF THE PLANNING COMMISSION'S DECISION AND APPROVING THE DEVELOPMENT PLAN AND COASTAL DEVELOPMENT FOR PERMIT NO. 10-1551-DP/CDP TO REMODEL THE EXISTING EIGHT-UNIT, TWO-STORY ISLANDS APARTMENT COMPLEX AND CONSOLIDATE THE FOUR UPSTAIRS UNITS INTO ONE UNIT
261 LINDEN AVENUE (APN 003-483-007)

PERMIT REQUESTED By BARBARA and PETER COELER
ISLANDS APARTMENTS REMODEL

WHEREAS, on November 1, 2010, the Carpinteria Planning Commission approved an application for a Development Plan and Coastal Development Permit filed by William Araluce, AIA, on behalf of Barbara and Peter Coeler on May 24, 2010 to remodel the existing eight-unit, two-story Islands Apartments complex and consolidate the four upstairs units into one unit; and

WHEREAS, an appeal of the Planning Commission's approval was filed with the City Clerk on November 12, 2010 by Eileen and Stephen Marcussen; and

WHEREAS, the City Council has considered the appeal of the Planning Commission's decision to approve the project on November 1, 2010; and

WHEREAS, said appeal was filed in accordance with the provisions of Carpinteria Municipal Code Section 14.78; and

WHEREAS, the City Council has conducted a properly noticed public hearing on December 27, 2010 and received public comment regarding this matter and has provided the appellants an opportunity to present evidence on this matter; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act pursuant to §15332 of the California Environmental Quality Act Guidelines; and

WHEREAS, the City Council has reviewed the policies of the General Plan/Coastal Plan and the Municipal Code standards that are relevant to the project.

NOW THEREFORE, THE CITY COUNCIL HEREBY RESOLVES AS FOLLOWS:

1. The appeal is denied, thereby upholding the Planning Commission's decision to approve the project, making the Findings outlined in Attachment A.

2. The Development Plan and Coastal Development Permit for the project shown in Attachment B are approved subject to the conditions set forth in Attachment C.

PASSED, APPROVED AND ADOPTED this 27th day of December 2010, by the following called vote:

AYES: COUNCILMEMBERS: Armendariz, Carty, Clark, and Reddington

NOES: COUNCILMEMBER(S): None

ABSENT: COUNCILMEMBER(S): Stein

Al Clark
Mayor, City of Carpinteria

ATTEST:

Aidela Garcia
City Clerk, City of Carpinteria

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held the 27th day of December 2010.

Aidela Garcia
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

City Attorney

CITY COUNCIL HEARING
PROJECT NO. 10-1551-DP/CDP
261 LINDEN AVENUE
December 27, 2010

ATTACHMENT A: FINDINGS
(Islands Apartments Remodel)

FINDINGS PURSUANT TO GOVERNMENT CODE, COASTAL LAND USE PLAN, GENERAL PLAN AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The City Council hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the City Council and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Local Coastal Development Permit has been properly conducted as follows:

a. An application for an appeal of the Planning Commission's decision was submitted on November 12, 2010 consistent with the applicable submittal requirements. Said application and all related material have been available for public review at City offices since the date of submittal.

b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.

c. The project has been reviewed by the City Council at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet and all occupants within 100 feet of the subject property and publication in the local newspaper, The Coastal View.

1.2 California Environmental Quality Act

The City Council finds that the project is categorically exempt from the California Environmental Quality Act pursuant to §15332 [in-fill development projects] of the Guidelines for the Implementation of the California Environmental Quality Act for the reasons described herein, as well as in the staff report and Notice of Exemption.

1.3 Development Plan

1. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

   As presented in the staff report prepared for the City Council hearing of December 27, 2010, and herein incorporated by reference, the project involves the remodel of an existing two-story, eight-unit apartment complex and the consolidation of the four upstairs units into one unit pursuant to Chapter 14.14 Planned Residential Development (PRD) of the City's Zoning Code. The existing building is legal non-conforming in terms of density, parking and setbacks. The project would lessen the nonconforming characteristics of the property relative to density and parking and would maintain the existing setback nonconformities. The units can be permitted to remain and be improved subject to the approval of a Development Plan and Coastal Development Permit as long as any new addition or expansion meets current development standards per CMC 14.82.060. The proposed project would be consistent with these stipulations given that the proposed new garage, exterior stair case and rear deck meet all current development standards and do not increase the density or reduce the setbacks. With the granting of a Development Plan Modification, the project is consistent with the City's parking standards. The Modification allows three of the six required spaces to be compact spaces and allows one space to be located in the street-side yard setback to accommodate a parking arrangement that obscures the parking from public view and provides more common open space along the project frontages.

   The project is consistent with the General Plan's Land Use, Housing and Community Design Element Objectives and Policies in that the project involves a comprehensive remodel of the existing residential units to ensure that the residences fit within the "small beach town" character of the neighborhood and the established surrounding development pattern relative to architectural style, overall size and scale at 25 feet six inches high and 4,603 square feet total, front setback distance at approximately 15 feet from the property line, pedestrian-scaled design and decorative architectural elements including private ground floor patios and second floor balconies.

2. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

The subject parcel is not located within a known geologic, flood or fire hazard zone. The property is developed with eight units which is twice the allowed density for this zone district as defined in the City's Zoning Code and Land Use Plan and is therefore legal nonconforming. The remodel includes consolidation of four upstairs units into one unit. This change would reduce the unit density to approximately 25 units per acre, which is still higher than the maximum allowed 20 units per acre density, however, as the property is legal nonconforming, the excess unit(s) can be permitted to remain.

3. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

The site does not contain any environmentally sensitive habitat area or provide any habitat value for endangered, rare or threatened species, nor does the project have the ability to impact fish or wildlife as it involves a comprehensive remodel to an existing two-story apartment complex within a developed urban neighborhood. There are no known sensitive resources or native vegetation that would be impacted as a result of this project.

Approval of the project would not result in any significant effects relating to traffic, noise, air quality or water quality because the project is an infill development that will result in a net reduction in the number of units and a less intense property use. Standard conditions of approval address any temporary construction impacts of the project.

The project includes stormwater best management practices that minimize the amount of runoff (through the use of rain barrels to capture and retain roof runoff) and remove existing hardscape and replace it with landscaping or other permeable materials. The project also includes measures to treat runoff from the parking lot through the use of a filtering bioswale. These measures decrease urban runoff and improve water quality at this site.

4. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

There are no known recorded easements on the property for public access. Southern California Edison and the Carpinteria Valley Water District have easements of two-foot and five-foot widths, respectively, along the south (side) property line. The City of Carpinteria maintains a 12-foot wide easement along the Linden Avenue frontage for flood control and drainage purposes. All affected agencies have reviewed the project plans and indicated that the project can be approved as shown. The applicant will be required to obtain an Encroachment Permit from the City of Carpinteria to expand the new ground floor patios into the City's easement. Similarly, the Water District requires that existing vegetation be removed from their easement and will review any new proposed landscaping prior to issuance of a Building Permit. The

project has been reviewed and conditionally approved by the Carpinteria-Summerland Fire Protection District, Carpinteria Sanitary District and Carpinteria Valley Water District.

5. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

The project does not have the potential to adversely affect these services in that these services are currently available to the existing apartment units as well as the surrounding residences located throughout the neighborhood. The proposed project would not place an additional demand on community services that would adversely affect the availability of these services because the project decreases the intensity of the land use. Agencies potentially affected by this project have been notified and have indicated an ability to serve the project.

The proposed development would not by itself, or cumulatively, impose an increased demand on public services that would adversely affect the availability of these services to existing or future development. Therefore, this finding can be made.

6. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

The project involves remodeling the existing apartment complex and reducing the overall number of units from eight to five by consolidating the four second floor units into one, within an urbanized, residential zone in the City. The resulting structure would be comparable to the existing structure and compatible with the surrounding development in terms of size, bulk, scale, architectural style and placement on the lot, while reducing the overall intensity of the use given the reduced number of dwelling units occupying the property. As such, the project is consistent with the City's desire to preserve and enhance the "small beach town" character of the Beach Neighborhood as noted in the staff reports presented to the Planning Commission dated August 2, October 4 and November 1, 2010. The Development Plan and Coastal Development Permit allow the upgrades and changes to the legal nonconforming apartment complex. The changes reduce the extent of the nonconformities relative to density and onsite parking and maintain the existing nonconforming setbacks.

In response to neighbor concerns and Planning Commission directives, the applicant has relocated the trash enclosure away from the rear property line, revised the onsite parking layout, scaled back the extent of the new second floor rear deck, increased the setback of the new rear deck from the rear property line and added a decorative six-foot high wall adjacent to the rear property line. With these changes, impacts to the neighboring property immediately to the west have been minimized.

The removal of the unpermitted parking partially located within the required street-side yard setback and Third Street public right-of-way as part of the project and the

new site landscaping and parking shoulder provide for three new public parking spaces in the downtown Beach Neighborhood.

7. *The site for the proposed use is adequate in size and shape to accommodate the use.*

   The existing property is developed with eight units, twice the allowed density in the PRD-20 zoning district and the Medium Density Residential land use designation and is legal nonconforming with respect to density, parking and setbacks. The proposed project would comprehensively remodel the existing building and reduce the total number of dwelling units from eight to five by consolidating the four existing upstairs units into one larger unit. While the total building square footage would be only slightly increased (from 4,492 square feet to 4,603 square feet), the degree of the non-conforming density and lack of onsite parking spaces would be reduced by the reduction of three units, as would the overall intensity of the use. With the revised parking plan, each unit would be assigned one onsite parking space and one additional visitor space would also be provided. The property would continue to be well under the maximum allowed building lot coverage and provide more than the minimum required amount of common open space. With the approval of the Development Plan and Coastal Development Permit, the requested improvements to the legal nonconforming structure can be permitted.

8. *The proposed development site is served by streets and highways that are properly designed and improved to carry the type and quantity of traffic generated by the use.*

   The proposed project is located at the intersection of Linden Avenue and Third Street and is presently served by existing improved streets. There would be no increase in vehicular trips associated with the proposed remodel and reduction of dwelling units. Therefore, the project does not impact traffic or street conditions in the area. In fact, three public parking spaces in the beach neighborhood will be gained.

1.4 Coastal Development Permit Finding

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the permit requested may be issued based on the following finding.

1. *The proposed development is in conformity with the City's certified Local Coastal Program.*

   The project involves the remodeling of the existing eight-unit, two-story apartment complex and a reduction to the total number of units by consolidating the four upstairs units into one. The property is designated Medium Density Residential (MDR) in the General Plan/Coastal Plan and is zoned Planned Residential Development (PRD-20). The proposed use is consistent with the stipulations outlined for this land use designation and zoning district, in that multi-family residential uses are permitted in the PRD-20 zone and MDR land use category,

although the property is and would continue to be legal non-conforming in terms of density, parking and setbacks. The project is consistent with all aspects of the Zoning Code with the approval of a Development Plan, Development Plan Modification and Coastal Development Permit to allow the remodel, permit existing legal nonconforming improvements on the property to remain, pursuant to CMC §14.82.060 and allow for deviations from the parking standards with respect to the use of compact spaces and the placement of one parking space in the street side yard setback, pursuant to §14.50.120.

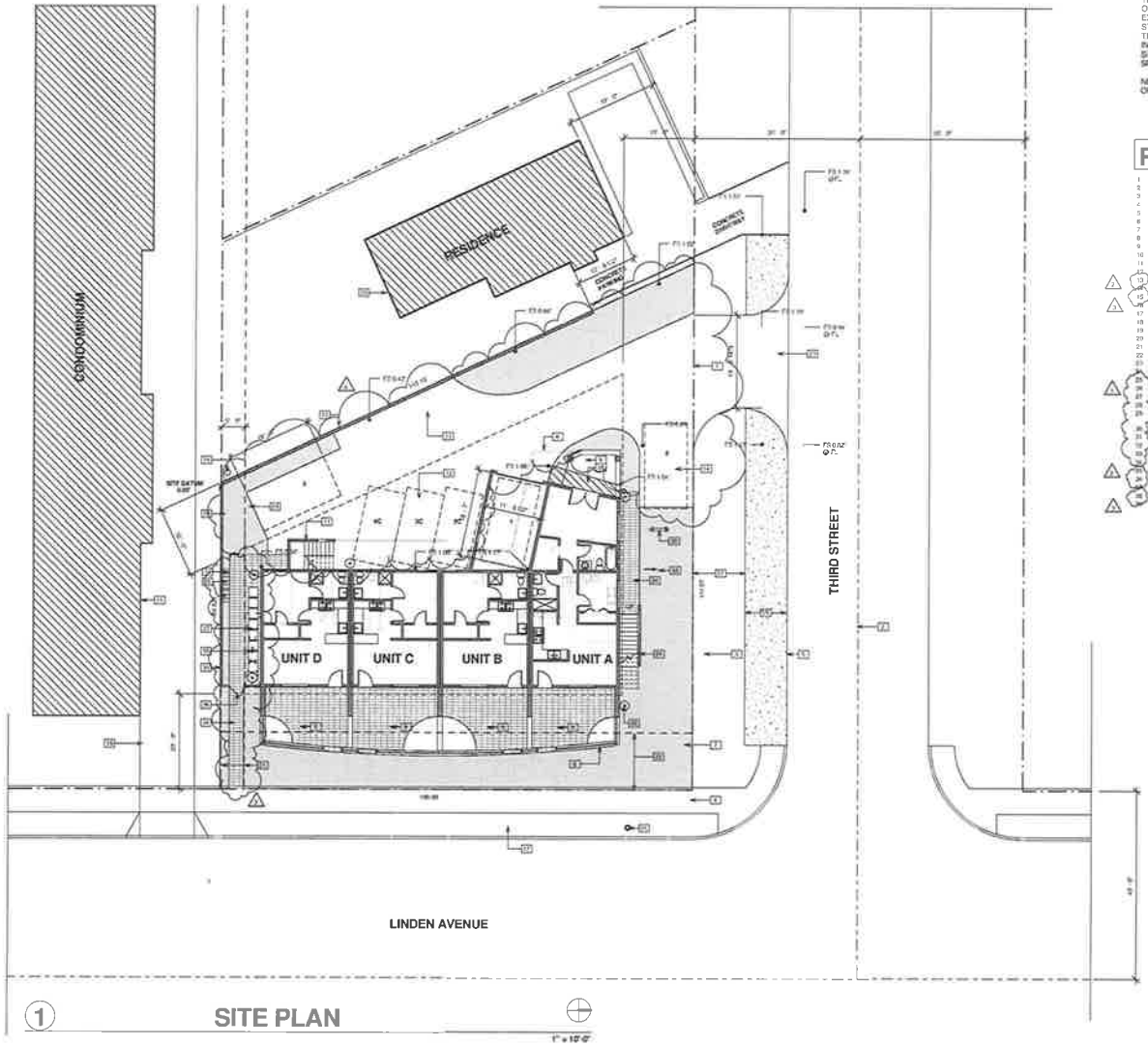
The project can also be found consistent with the applicable policies from the Community Design Element of the General Plan in that it would improve the living conditions of the remaining residential units and improve the appearance of the structure through a comprehensive exterior remodel. The Architectural Review Board reviewed the project and recommended preliminary approval, indicating that the project is consistent with the design guidelines of the Community Design Element. Construction noise impacts would be temporary in nature and hours of construction are limited by the conditions of approval. A detailed analysis of the project's conformity with the Objectives and Policies of the City's certified Local Coastal Program is presented in the staff report prepared for the City Council hearing of December 27, 2010, and herein incorporated by reference.

THE ISLANDS APARTMENTS RENOVATION

261 LINDEN AVENUE

CARPINTERIA CALIFORNIA

SITE PLAN



1 SITE PLAN

PROJECT DESCRIPTION

THE PROPOSED PROJECT INVOLVES THE RENOVATION AND CONVERSION OF AN EIGHT UNIT APARTMENT BUILDING TO A 5 UNIT BUILDING. AS FOLLOWS, EXTERIOR AND INTERIOR MODIFICATIONS AND RENOVATION OF THE EXISTING STRUCTURE AND THE REDUCTION OF THE UNITS FROM EIGHT TO FIVE UNITS. THE SECOND FLOOR STRUCTURE WILL BE REDUCED IN AREA AND WILL INCLUDE THE ADDITION OF NEW DECKS. ADDITIONALLY PROPOSED, IS NEW SITE WORK CONSISTING OF NEW PRIVATE PATIOS, ON SITE OPEN PARKING SPACES, NEW GARAGE, NEW LANDSCAPING AND GENERAL UPGRADES.

NEW ENERGY EFFICIENT FEATURES ARE PROPOSED TO EXCEED THE STATE OF CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS.

SHEET INDEX

REFERENCE NOTES

1 (C) PROPERTY LINE
2 CENTERLINE OF STREET
3 (C) PARKING TO BE REMOVED
4 (C) SIDEWALK TO REMAIN
5 (C) EDGE OF A. C. PAVEMENT
6 EXTENT OF DECK ABOVE
7 PROPOSED COMMON OPEN SPACE, TYP INDICATION
8 (N) 30" HORIZTONE WALL
9 (N) PRIVATE PATIO TYP INDICATION
10 (D) STAIRS TO BE REMOVED
11 (N) STAIRS
12 (N) PARKING AREA W/ 8 O PARKING
13 PARKING MANEUVERING SPACE, TYP INDICATION
14 (N) PARKING
15 (N) 6' HIGH DECORATIVE MASONRY WALL TO BE LOCATED ON PROPERTY
16 (C) POWER POLE
17 (E) PATH WAY TO REMAIN
18 (E) DRIVEWAY
19 EXTENT OF (E) CONDOMINIUM
20 EXTENT OF (E) RESIDENCE
21 1' - 0" UTILITY EASEMENT
22 12' - 0" DRAINAGE EASEMENTS
23 (D) A.C. DRIVEWAY APRON TO REMAIN
24 (E) STAIRS TO REMAIN
25 (E) FIRE HYDRANT
26 RECONFIGURED STREET PARKING (N) SURFACE TO BE DECOMPOSED GRANITE
27 (N) ORNAMENTAL GRASS LANDSCAPING THIS AREA
28 (N) BIOSWALE TO RECEIVE RAIL, TYPICAL
29 (N) BIORETENTION AREA PER CHAPTER 4 REQUIREMENTS OF THE CITY OF CARPINTERIA STORM WATER SMP MANUAL
30 (N) 2" BACKFLOW PREVENTER FOR FIRE SPRINKLER SYSTEM
31 (E) 1" WATER METER TO BE REMOVED
32 (N) 3/4" WATER METER
33 (E) GAS METER TO REMAIN
34 (N) DECORATIVE PEDESTRIAN GATE
35 (N) 6' HIGH WOOD FENCE
36 (N) WOOD GATE
37 (N) TRASH CONTAINER TO ACCOMMODATE 4 3/4"
AREA OF DEMOLITION
(E) STORAGE SHED TO BE REMOVED

PROJECT DATA

PROJECT ADDRESS	261 LINDEN AVENUE
A.P.N.	001-142-007
ZONE	PRD/G
GENERAL PLAN DESIGNATION	MEDIUM DENSITY RESIDENTIAL
AREA CALCULATIONS	
LOT AREA	9,018.00 SF
EXISTING	
GROUND FLOOR	2,246.00 SF
SECOND FLOOR	2,246.00 SF
TOTAL SF	4,492.00 SF
DECK	649.00 SF
DEMOLISHED	
GROUND FLOOR	49.00 SF
SECOND FLOOR	146.00 SF
NEW	
GROUND FLOOR	2,246.00 SF
GARAGE	255.00 SF
SECOND FLOOR	2,004.00 SF
TOTAL SF	4,503.00 SF
DECK	1,000.00 SF
COVERAGE	
EXISTING	
BUILDING	2,246.00 SF @ 24.90 SF (25.00%)
HARDSCAPE (DRIVEWAY)	3,600.00 SF @ 39.90 SF (40.00%)
COMMON OPEN SPACE / LANDSCAPE	3,172.00 SF @ 35.16 SF (35.00%)
TOTAL	9,018.00 SF (100.00%)
NEW	
BUILDING	2,501.00 SF @ 27.73 SF (27.73%)
HARDSCAPE (DRIVEWAY)	3,600.00 SF @ 39.90 SF (39.90%)
COMMON OPEN SPACE / LANDSCAPE	2,925.00 SF @ 32.43 SF (32.43%)
PRIVATE OPEN SPACE / LANDSCAPE	992.00 SF @ 11.00 SF (11.00%)
TOTAL	9,018.00 SF (100.00%)
PARKING	
EXISTING REQUIRED	5 COVERED SPACES, 1 VISITOR SPACES
EXISTING PROVIDED	4 UNCOVERED SPACES
NEW REQUIRED	5 COVERED SPACES, 2 UNCOVERED SPACES, 2 VISITOR SPACES
NEW PROVIDED	5 UNCOVERED SPACES, 1 COVERED SPACES

VICINITY MAP

DEVELOPMENT PLAN

07/11/2010 COMPLETENESS INFORMATION
09/04/2010 PC REVISIONS
09/04/2010 OWNER REVISIONS
10/01/2010 PC REVISIONS

W. ARALUCE ARAUJO & ASSOCIATES
1114 CARPINTERIA AVENUE SUITE B
CARPINTERIA CALIFORNIA 93013
805 684 0124

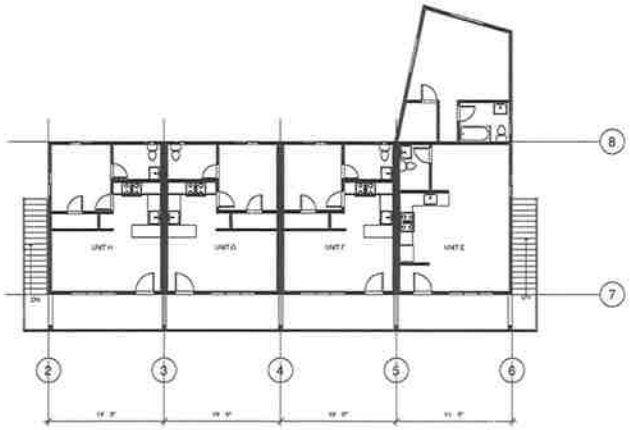
THE ISLANDS APARTMENTS RENOVATION
FOR
BARBARA AND PETER COELER
261 LINDEN AVENUE
CARPINTERIA CALIFORNIA

STATE OF CALIFORNIA
WILLIAM J. ARALUCE
C 13790
LICENSED ARCHITECT

DATE MARCH 09, 2010
DRAWN BY WJA
201010

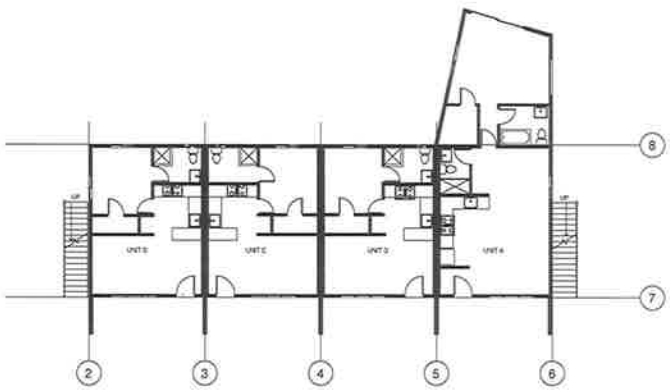
SITE PLAN

A 1.01



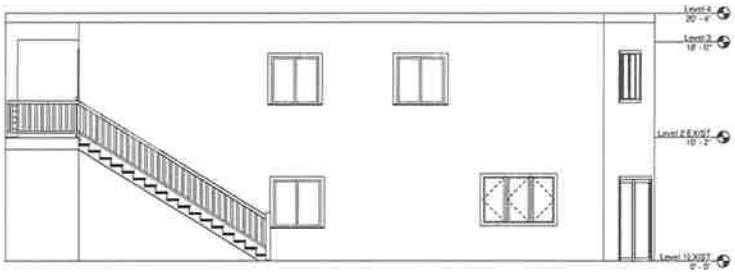
2 EXIST SECOND FLR

1/8" = 1'-0"



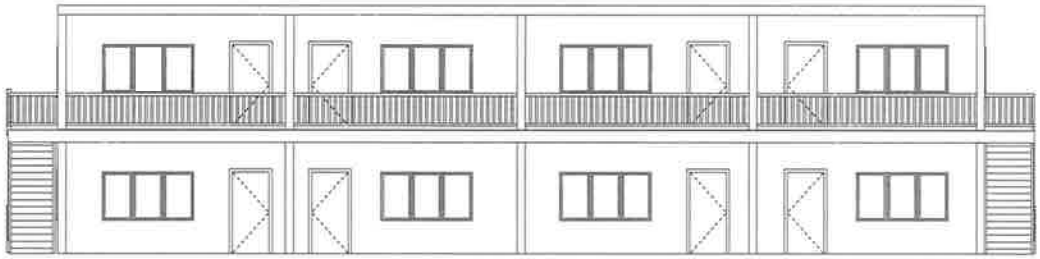
1 EXISTING GROUND FLR

1/8" = 1'-0"



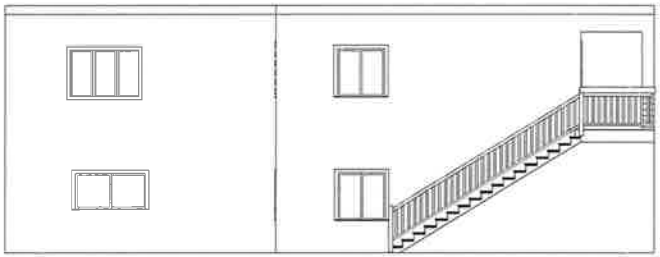
3 EXIST NORTH

1/4" = 1'-0"



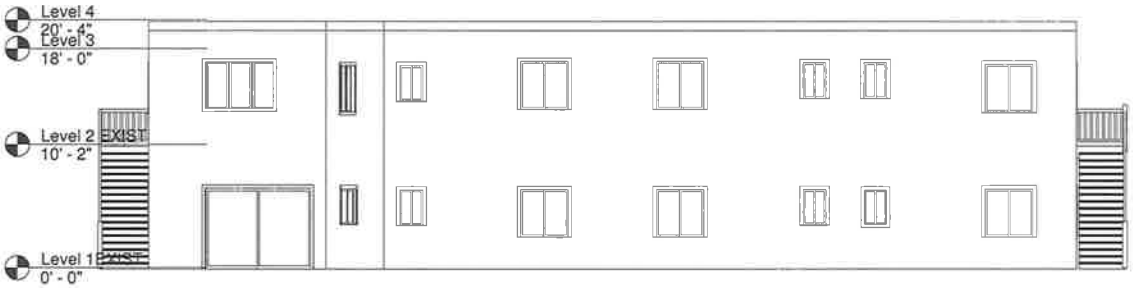
4 EXIST EAST

1/4" = 1'-0"



5 EXIST SOUTH

1/4" = 1'-0"



6 EXIST WEST

1/4" = 1'-0"

DEVELOPMENT PLAN

W. ARALUCE ARCHITECTS
CARPINTERIA AVENUE SUITE 20
CARPINTERIA CALIFORNIA
93013

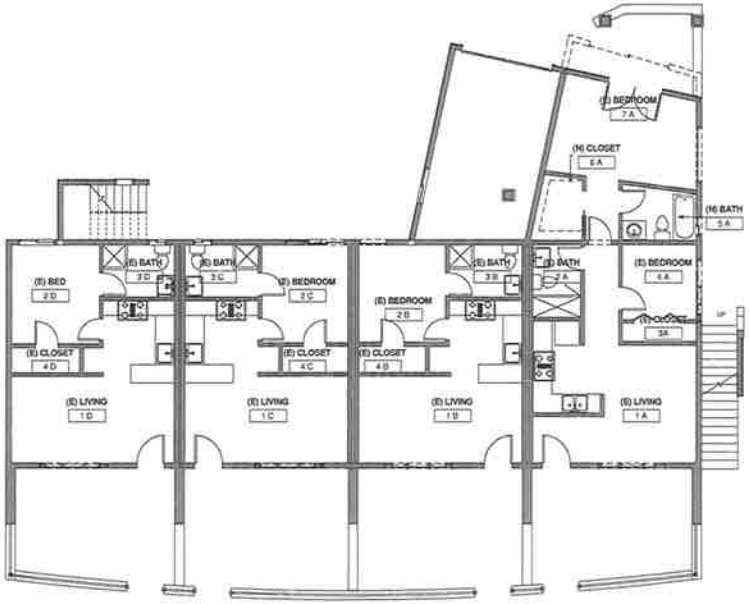
THE ISLANDS APARTMENTS RENOVATION
FOR
BARBARA AND PETER COELER
251 LINDEN AVENUE
CARPINTERIA CALIFORNIA

STATE OF CALIFORNIA
WILLIAM J. ARALUCE
LICENSED ARCHITECT

DATE MARCH 08, 2010
DRAWN BY WJA
201010

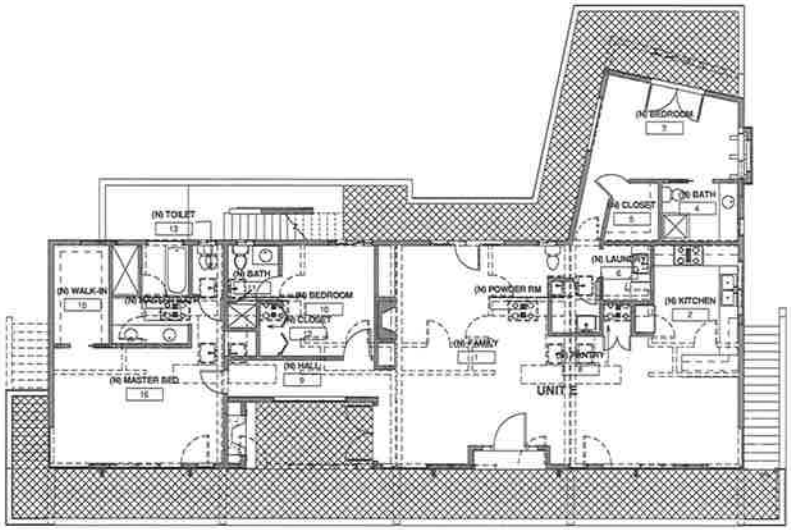
EXISTING FLOOR PLANS AND EXTERIOR ELEVATIONS

A 2.01



2 GROUND FLOOR DEMOLITION PLAN

3/16" = 1'-0"



1 SECOND FLOOR DEMOLITION PLAN

3/16" = 1'-0"

WALL SCHEDULE

NEW CONSTRUCTION

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE DEMOLISHED

DEVELOPMENT PLAN

W. ARAUJO ARCHITECTS
CARPINTERIA AVENUE SUITE 23
CARPINTERIA CALIFORNIA
805 684 8134

THE ISLANDS APARTMENTS RENOVATION

FOR

BARBARA AND PETER COELER

251 LINDEN AVENUE
CARPINTERIA CALIFORNIA

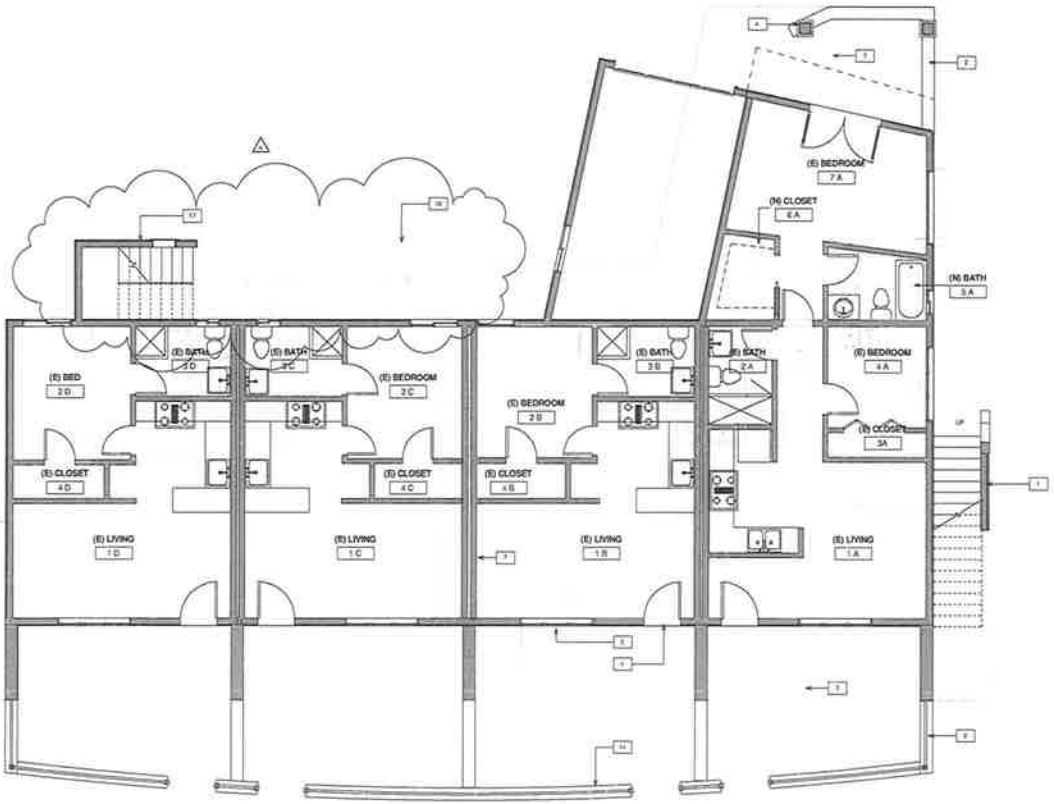
STATE OF CALIFORNIA
WILLIAM J. ARAUJO
LICENSED ARCHITECT

DATE MARCH 08, 2010
DRAWN BY WJA

201010

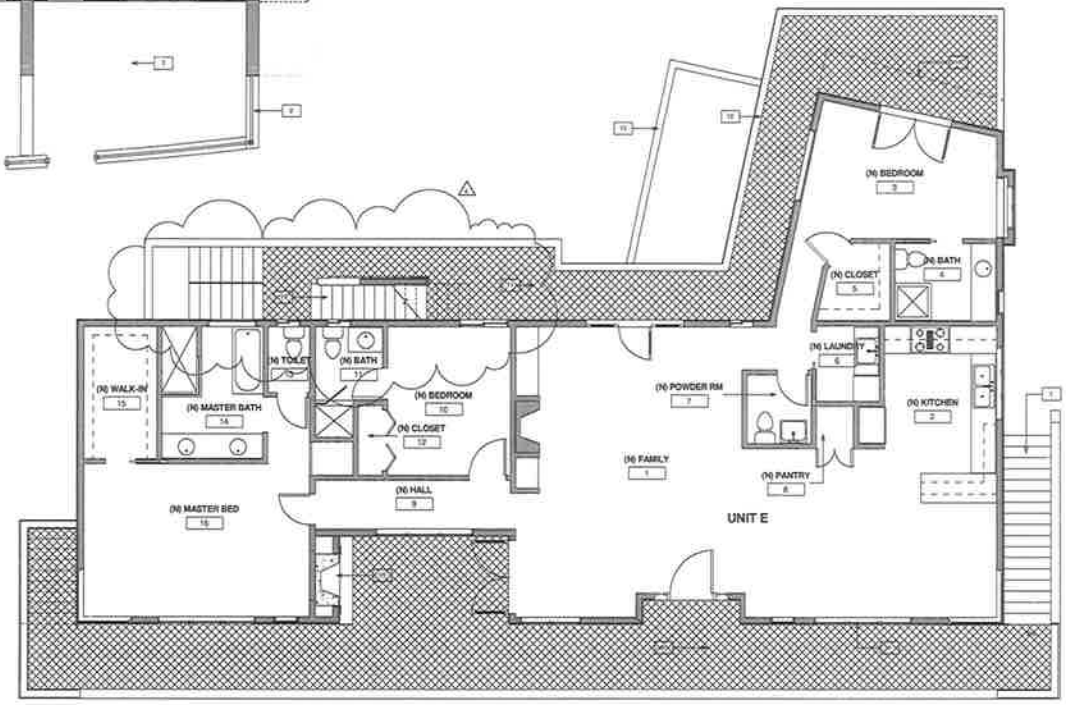
DEMOLITION PLAN

A 2.02



2 GROUND FLOOR PLAN

1/4" = 1'-0"



1 SECOND FLOOR PLAN

1/4" = 1'-0"

REFERENCE NOTES

1. (E) STAIRS TO BE RENOVATED
2. (N) LOW STONE WALL
3. (N) PRIVATE PATIO
4. (N) CELLAR
5. (C) WINDOW TO BE REPLACED W/ (N) WINDOW TYP
6. (C) DOOR TO BE REPLACED W/ (N) DOOR TYP
7. (E) WALLS TO BE REFINISHED TYP INDICATION
8. (N) CERAMIC TILE AT (C) DECK
9. (N) WINDOWS TYP
10. (N) FIRE PLACE
11. (N) DECK W/ CERAMIC TILE FINISH
12. (N) BARBECUE
13. (E) STAIRWAY TO BE REMOVED
14. WOOD PICKET FENCING PAINTED
15. EXTENT OF NEW GARAGE ROOF BELOW
16. EXTENT OF DEMOLITION
17. (N) EXTERIOR STAIRWAY
18. EXTENT OF SECOND FLOOR DECK ABOVE
19. (N) STAIRWAY TO ROOF DECK

WALL SCHEDULE

NEW CONSTRUCTION	
EXISTING CONSTRUCTION TO REMAIN	
EXISTING CONSTRUCTION TO BE DEMOLISHED	

DEVELOPMENT PLAN

1 09/04/2019 OWNER REVISIONS

2 02/06/19 PC REVISIONS

WILLIAM ARALUCE
A I A
3 5 1 4
CAMPINTERIA AVENUE SUITE 20
CAMPINTERIA CALIFORNIA
93013
805 684 8134

THE ISLANDS APARTMENTS RENOVATION
FOR
BARBARA AND PETER COELER
201 LINDEN AVENUE
CARPINTERIA CALIFORNIA

STATE OF CALIFORNIA
WILLIAM J. ARALUCE
C-12786
LICENSED ARCHITECT

DATE MARCH 08, 2019
DRAWN BY WJA
201910

FLOOR PLANS

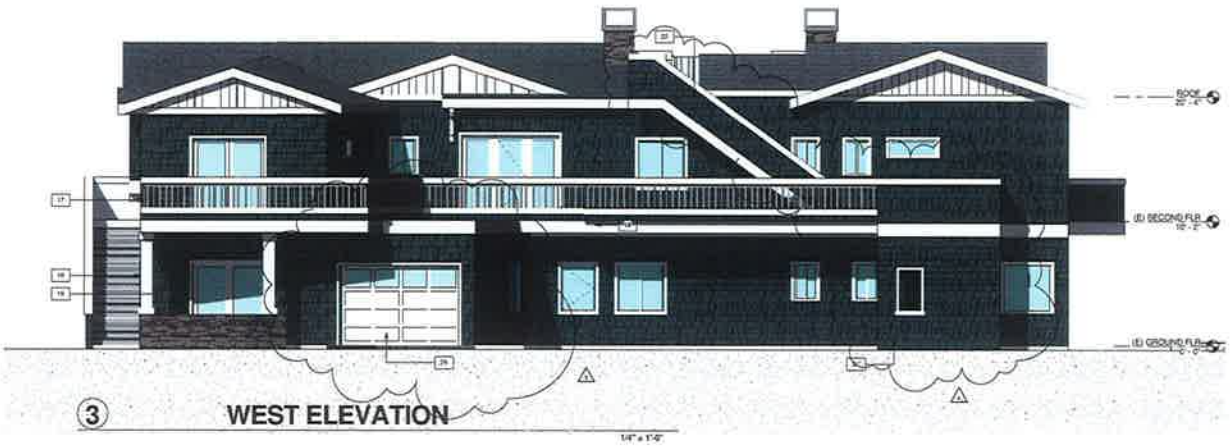
A 2.03

2 NORTH ELEVATION

1/4" = 1'-0"

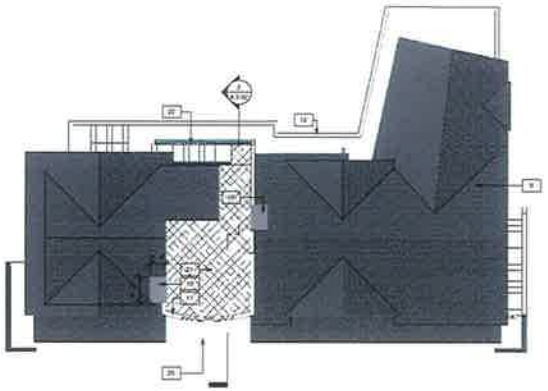
1 EAST ELEVATION

1/4" = 1'-0"



3 WEST ELEVATION

1/4" = 1'-0"



4 ROOF PLAN

1/8" = 1'-0"

REFERENCE NOTES

1 (N) CEMENT FIBER SHINGLES PAINTED
2 (N) WOOD RAILING PAINTED
3 2 X 12 WOOD TRIM, PAINTED
4 (C) STAIRS BEYOND
5 (N) STONE VENEER
6 (N) WOOD DOOR, PAINTED TYP
7 (N) CLAD W/ WINDOW TYP
8 (N) SHIP LAPPED CEMENT FIBER SIDING PAINTED
9 (N) CEMENT FIBER SHAKE ROOFING
10 (N) COPPER CHIMNEY TERMINATION
11 (N) WOOD WALL CAP PAINTED
12 (N) WOOD GUARDRAIL PAINTED
13 STONE VENEER CHIMNEY
14 WOOD FASCIA, PAINTED TYP
15 (N) CEMENT FIBER SIDING AND BATT SIDING PAINTED
16 WOOD POST PAINTED
17 WOOD POST CAP PAINTED
18 2 X 12 CEMENT FIBER SHEATHING PAINTED
19 STONE GARDEN WALL
20 WOOD OUTRIGGER PAINTED
21 (N) CERAMIC TILE DECK
22 (N) STAIRS
23 (N) FIREPLACE
24 (C) TRIPH GRADE
25 STONE UNITS
26 (N) WOOD CARRIAGE GARAGE DOOR
27 WOOD PICKET FENCING PAINTED

DEVELOPMENT PLAN

06/14/2010 OWNER REVISIONS
10/25/2010 PC REVISIONS

W. ARALUCE A I A S
CARPINTERIA AVENUE SUITE 20
CARPINTERIA CALIFORNIA
BUSINESS 9324

THE ISLANDS APARTMENTS RENOVATION
FOR
BARBARA AND PETER COELER
261 LINDEN AVENUE
CARPINTERIA CALIFORNIA

STATE OF CALIFORNIA
WILLIAM J. ARALUCE
C 12786
LICENSED ARCHITECT

DATE MARCH 08, 2010
DRAWN BY WJA

201010

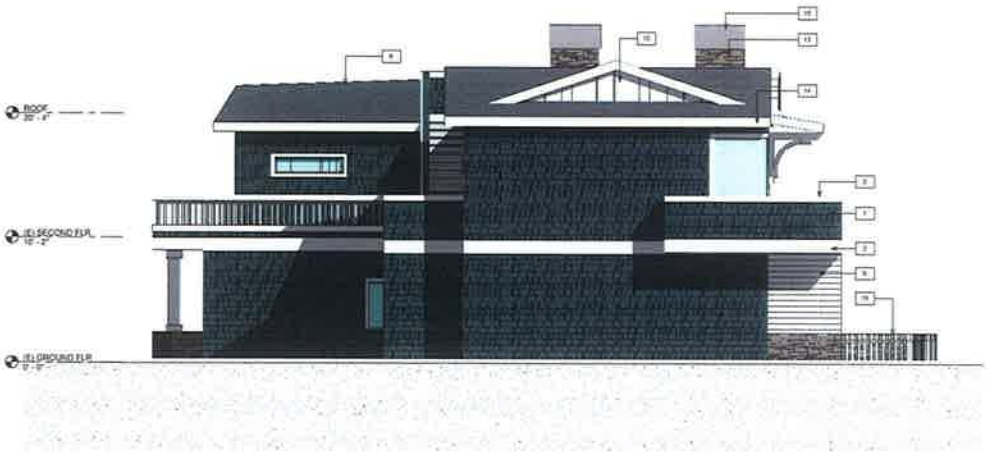
EXTERIOR ELEVATIONS

A 3.01

DEVELOPMENT PLAN

② SECTION

1/4" = 1'-0"



① SOUTH

1/4" = 1'-0"

REFERENCE NOTES

1 (N) CEMENT FIBER SHINGLES PAINTED
2 (N) WOOD RAILING PAINTED
3 2 X 12 WOOD TRIM, PAINTED
4 (E) STAIRS BEYOND
5 (N) STONE VENEER
6 (N) WOOD DOOR, PAINTED TYP
7 (N) CLAD WINDOW TYP
8 (N) 8MM LAPPED CEMENT FIBER SIDING PAINTED
9 (N) CEMENT FIBER SHAKE ROOFING
10 (N) COPPER CHIMNEY TERMINATION
11 (N) WOOD WALL CAP PAINTED
12 (N) WOOD GUARDRAIL PAINTED
13 STONE VENEER CHIMNEY
14 WOOD FACIA PAINTED TYP
15 (N) CEMENT FIBER BOARD AND BATT SIDING PAINTED
16 WOOD POST PAINTED
17 WOOD POST CAP PAINTED
18 2 X 12 CEMENT FIBER SKIRTING PAINTED
19 STONE GARDEN WALL
20 WOOD OUTRIGGER, PAINTED
21 (N) CERAMIC TILE DECK
22 (N) STAIRS
23 (N) FIREPLACE
24 (E) TRASH GARAGE
25 STONE LINTEL
26 (N) WOOD CARRIAGE GARAGE DOOR
27 WOOD PICKET FENCING PAINTED

W. ARALUCE
A S S O C I A T E S
CARPINTERIA AVENUE SUITE 20
CARPINTERIA CALIFORNIA
93013 805.684.8123

PROJECT

THE ISLANDS APARTMENTS RENOVATION

FOR

BARBARA AND PETER COELER

2611 LINDEN AVENUE
CARPINTERIA CALIFORNIA

STATE OF CALIFORNIA
WILLIAM J. ARALUCE
C 12765
LICENSED ARCHITECT

DATE MARCH 08 , 2010
DRAWN BY WJA

201010

EXTERIOR ELEVATIONS, SECTIONS

A 3.02

CITY COUNCIL HEARING
PROJECT NO. 10-1551-DP/CDP
261 LINDEN AVENUE (APN 003-483-007)
DECEMBER 27, 2010

ATTACHMENT C: CONDITIONS OF APPROVAL (ISLANDS APARTMENTS REMODEL)

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

GENERAL CONDITIONS

1. This Development Plan and Coastal Development Permit is based upon and limited to compliance with the project description, the hearing exhibits (Exhibit 1, Attachment B to the staff report dated December 27, 2010), and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above described approval will constitute a violation of permit approval.

   The project description is as follows:

   Request for a Development Plan and Coastal Development Permit to complete a comprehensive exterior and interior remodel to the existing two-story, eight-unit apartment complex. The project remodel includes, but is not limited to the following:
   - consolidating the four upstairs units into one unit, thereby reducing the total unit count from eight to five;
   - replacing the existing flat roof with a new pitched roof;
   - replacing and adding new exterior windows and doors;
   - replacing existing plaster exterior with siding and shingles;
   - remodeling the existing second floor deck;
   - constructing a new second floor deck and stairway along the rear building elevation;
   - constructing a new rooftop deck;
   - resurfacing and redesigning the existing parking lot;
   - constructing a new one-car attached garage;
   - new site landscaping and hardscape;
   - construction of new expanded patios for the ground floor units;
   - new right-of-way improvements along the Third Street frontage.

The project shall be constructed to substantially comply with the plans approved by the City Council on December 27, 2010.

2. The conditions of this approval supercede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.

3. All buildings, roadways, parking areas, landscaping and other features shall be located substantially as shown on the attached exhibits.

4. In the event that any condition imposing a fee, exaction, dedication or other mitigation measure is challenged by the project sponsors in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitations period applicable to such action, or final resolution of such action. If any condition is invalidated by a court of law, the entire project shall be reviewed by the City and substitute conditions may be imposed.

5. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.

6. All requirements of the City of Carpinteria (including but not limited to public improvements as defined in the City of Carpinteria Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.

7. The applicant agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the proposed project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. In addition, the applicant agrees to indemnify the City for any and all legal costs in defending this project or any portion of this project and shall reimburse the City for any costs incurred by the City's defense of the approval of the project.

8. The standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.

9. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.

10. Approval of the Development Plan and Coastal Development Permit shall expire two years after approval, unless prior to the expiration date a Building Permit has been issued or the permittee has diligently worked toward Building Permit issuance. The decision maker with jurisdiction over the project may grant a time extension for good cause.

11. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.

12. An approval granted by the City Council does not constitute a building permit or authorization to begin any construction. An appropriate permit issued by the Building Division must be obtained prior to constructing, enlarging, moving, converting, or demolishing any building or structure within the City.

13. During any phase of grading or construction, if cultural material suggestive of prehistoric or historic origin is encountered, work in the vicinity of the find shall be stopped, and the City shall be notified. Grading or construction shall not be resumed until the find is evaluated and the City determines whether mitigation is necessary.

14. If, at any time, the City or Planning Commission determines that there has been, or may be, a violation of the findings or conditions of this Development Plan and Coastal Development Plan, or of the Municipal Code regulations, a public hearing may be held before the Planning Commission to review this permit. At said hearing, the Planning Commission may add additional conditions, or recommend enforcement actions, or revoke the permit entirely, as necessary to ensure compliance with the Municipal Code, and to provide for the health, safety, and general welfare of the City. The applicant shall reimburse the City for all costs associated with gaining compliance with the original conditions of approval.

COMMUNITY DEVELOPMENT

15. The trash and recycling enclosure shall be maintained along the south (side) building elevation. Trash service shall be conducted from the Third Street frontage or via walk-up service from Linden Avenue. Trash or recycling carts shall not be staged or left within the City right-of-way on Linden Avenue.

    CDD staff shall verify during construction, prior to final permit sign off, that the trash/recycling enclosure is built per the approved plans. CDD staff shall periodically monitor the site to confirm compliance with the above-stipulated requirements for trash/recycling storage and service.

16. A minimum of six parking spaces shall be provided on the subject property in accordance with the parking design standards as stipulated in Section 14.54 of the Carpinteria Municipal Code and as shown on the approved improvement plan. The one-car garage shall be maintained and used for parking for the life of the project.

    CDD staff shall verify that the parking spaces are striped as shown on the approved plans (Exhibit 1, Attachment B) prior to final building inspection. CDD staff shall periodically monitor the site to confirm compliance with the above-stipulated parking requirements.

17. The project shall comply with the City's Tier III Storm Water Management Plan Post-Construction Best Management Practices (BMP) requirements. Specifically, the applicant shall prepare plans for, and install, an onsite bioswale to collect and filter runoff from the parking area before said runoff enters the City's storm drain system. The applicant shall also be required to install and connect rain barrels to all building downspouts. Said storm water BMPSs shall be shown on the final working drawings and must be reviewed and approved by the Community Development and Public Works Departments. The improvements must be installed prior to final building permit sign-off and must be maintained in good working order for the life of the project.

18. No construction equipment shall be parked, stored or operated within six feet of any tree dripline. Equipment storage and staging areas shall be designated on the plans outside the dripline areas.

19. Dust generated by the development activities shall be retained onsite and kept to a minimum by following the dust control measures listed below. Reclaimed water shall be used for these activities, when feasible or possible.

    a. During clearing, grading earth moving, or excavation, transportation of cut or fill materials or water trucks or sprinkler systems are to be used in sufficient quantities to prevent dust from leaving the site and to create a crust after each day's activities.
    b. After clearing, grading, earth moving or excavation is completed, the entire area of disturbed soil shall be treated immediately by watering or revegetating or spreading soil binders to prevent wind pick up of the soil until the area is paved or landscaped.
    c. During construction water trucks or sprinkler systems shall be used to keep all areas of vehicle movement damp enough to prevent dust from leaving the site.
    d. Trucks transporting soil, sand, cut or fill material to or from the site shall be covered with a tarp from the point of origin.

20. No construction-related debris (mud, dust, paint, lumber, rebar, etc.) shall leave the project site unless transported to an approved disposal site. During the construction period, washing of concrete, paint, and/or equipment shall be allowed only in areas where polluted water and materials can be contained for subsequent removal from the site. The applicant shall designate a "wash-off area" on the construction plans and install such an area prior to the commencement of any construction activities.

21. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During grading and construction, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on grading and construction plans. Applicant shall provide CDD with receipts for recycled materials or for separate bins. **Timing:** Materials shall be recycled as necessary throughout construction. All materials shall be recycled prior to occupancy clearance.

22. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at

1-800-227-2600 a minimum of 48 hours prior to the start of construction. For best response, provide as much notice as possible, up to 10 working days.

23. The applicant shall complete a School District sign-off form, which may include payment of applicable School Mitigation Fees, prior to issuance of building permit.

24. All project conditions and mitigation measures shall be listed on a sheet included as part of the construction plans submitted for review and approval by the City prior to issuance of a Building Permit/Grading Permit. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.

25. Construction activity for site preparation and for future development shall be limited to the hours between 7:00 a.m. and 4:00 p.m., Monday through Friday, and 8:00 a.m. and 4:00 p.m. on Saturday. No construction shall occur on State holidays (e.g. Thanksgiving, Labor Day). Non-noise generating construction activities such as interior painting are not subject to these restrictions.

26. All new and existing utility services shall be placed underground and completed prior to any paving required for the project. No new utility poles shall be installed.

27. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of building permits.

ARCHITECTURAL REVIEW

28. Prior to the issuance of any building permits, the applicant shall return to the Architectural Review Board for a review of final plans to include complete working drawings including but not limited to lighting, colors, exterior materials, landscaping and irrigation.

29. All materials and colors used in construction and all landscape materials shall be as represented to the Architectural Review Board and any deviation will require the express review of the Board.

30. The existing Guadalupe Fan Palms shall be retained, relocated onsite and incorporated into the final landscape plan, or be boxed and donated to a third party if relocation onsite is found by the Community Development Director to be infeasible. In such case, the property owners shall give the City of Carpinteria the first right of refusal, which may be exercised if the trees can be relocated reasonably close to the project site for the purpose of general neighborhood enhancement. The plans shall be reviewed by the ARB for consistency with their previous recommendations.

31. Exterior lighting for the site shall be low level and directed in such a manner that direct lighting or glare will affect neither adjacent properties nor public streets or walkways.

DEPARTAMENTAL & DISTRICT CONDITION LETTERS

32. Compliance with the attached Departmental and District letters is required as follows:
    a. City of Carpinteria Public Works Dept./Engineering dated July 29, 2010
    b. Carpinteria Sanitary District dated June 2, 2010
    c. Carpinteria–Summerland Fire Protection District dated June 8, 2010
    d. Carpinteria Valley Water District dated June 10, 2010
    e. Santa Barbara County Air Pollution Control District dated June 16, 2010

Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.

Approved by the City Council on December 27, 2010

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY
WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT

_____

Applicant/Property Owner Date

ENGINEERING CONDITIONS

ISLANDS APARTMENTS

Revised October 27, 2010

GENERAL ENGINEERING CONDITIONS

1. A Plan Check fee deposit shall accompany the initial Grading and/or Improvement plan submittal. The plan check fee deposit shall be the amount shown in the current fee schedule.

2. Prior to issuance of a Building Permit, the applicant shall submit plans and calculations as required for all necessary Engineering permits. Said permits include, but are not limited to, Street Construction, Excavation in the public right-of-way, Grading and/or Encroachment.

3. An Encroachment permit shall be obtained for the private patios and fences proposed in the City easement along the Linden Avenue frontage.

4. Development shall be undertaken in accordance with conditions and requirements of the State of California Regional Water Quality Control Board. Project Grading and Storm Drain Improvement Plans shall identify and incorporate Best Management Practices (BMP's) appropriate to the uses conducted onsite and during construction to effectively mitigate storm water pollution; and

4a. Permanent Storm Water Management Measures shall be shown on the Grading/Drainage Plans per the requirements of the City's adopted Storm Water Management Plan and adopted City of Santa Barbara Guidance Manual.

5. A Street Construction and/or Excavation Permit shall be obtained from the City Engineer prior to any construction within the street right-of-way. The improvements along the Third Street frontage shall include removal of the existing parking area on the north side of the building (to be replaced with landscaping) and installation of a new approximately 9' x 71' decomposed granite street parking area in the City ROW.

6. All improvements in the public right of way shall be completed to the satisfaction of the City Engineer prior to the issuance of a Certificate of Occupancy by the Community Development Department.

7. The applicant is required to plant a new street tree along the Linden Avenue frontage as shown on the Landscape Plan.

Carpinteria Sanitary District
5300 Sixth Street, Carpinteria, CA 93013
(805) 684-7214 • Admin Fax (805) 684-7213 • Plant Fax (805) 566-6599

June 2, 2010

Nick Bobroff
Associate Planner
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

JUN 04 2010

RE: Project No. 10-1551-DP/CUP/CDP
Island Apartments
261 Linden Avenue (APN: 003-483-007)
Carpinteria, California
Applicant: Barbara and Peter Coeler

Dear Mr. Bobroff:

Thank you for the opportunity to provide comments on the subject project. The Carpinteria Sanitary District (District) has reviewed the proposed project application and site plan received on July 1, 2010.

The applicant proposes to remodel an existing eight-unit apartment complex. The site is located at 261 Linden Avenue (APN 003-483-007) and is zoned Planned Residential Development (PRD-20). The project involves interior and exterior improvements and we understand that no modifications to the sewer lateral serving the complex are proposed.

The District has reviewed the project and determined the number of dwelling units at Island Apartments will be reduced from eight units to five units. Once the improvements are done, and the project is deemed complete by the City, the owner may contact the District (CSD) to request an adjustment to the annual sewer service charge for the building.

If the tenant improvements and/or proposed activities result in modifications to the proposed exterior plumbing or change the nature of wastewater discharges to the District's collection system, we may require the applicant to obtain a permit for said changes.

If you have any questions regarding the comments provided by the District, please contact me at (805) 684-7214, ext. 13.

Sincerely,
CARPINTERIA SANITARY DISTRICT

Lance Lawhon
Engineering Technician

cc: Barbara and Peter Coeler

U:\Projects\261 Linden\261 Linden Pln Chk Comments II.doc

CARPINTERIA - SUMMERLAND
FIRE PROTECTION DISTRICT

RECEIVED
JUN 10 2010
CITY OF CARPINTERIA

June 8, 2010

Nick Bobroff
Associate Planner
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, CA 93013

RE: Project 10-1551-DP/CUP/CDP
APN 003-483 007 / 261 Linden Ave.

Dear Nick Bobroff:

The following items are necessary for fire protection:

1. The building shall be protected by an approved automatic fire sprinkler system. Prior to installation, plans for the proposed fire sprinkler system shall be designed by a qualified person and submitted to the prevention bureau for approval.

2. Smoke detectors must be installed in all residences in accordance with the National Electric Code Per the provisions of the 2007 California Building and Fire Codes.

3. Application for address changes for the building shall be submitted to the Fire District, Fire Prevention Bureau.

4. Address numbers must be posted at the driveway and/ or on the building such that they are visible from the street. Numbers shall be a minimum 4 inches high on a contrasting background.

5. Roof access must meet the requirements stated in the Carpinteria Municipal Code.

6. Access, when access ways are gated, a Fire District approved key box shall be installed in an accessible location. Prior to installation, the Fire District shall approve the location and type.

7. Public fire hydrants supplying the required fire flow within the required driving distance from the structures shall be provided. Plan must indicate the location of the fire hydrant nearest to the project address.

8. Per Carpinteria-Summerland Fire District Ordinance No. 2003-01 pertaining to fees and service charges, a permit application fee is assessed on all plans reviews.

9. Pursuant to C.S.F.P.D. Ordinance No. 92-02 and Carpinteria City Ordinance No. 599, prior to issuance of a "Certificate of Occupancy", the Carpinteria-Summerland Fire Protection District mitigation fee must be paid.

10. Any future changes, including further division, intensification of use, or increase in hazard classification, may require additional conditions in order to comply with applicable fire district development standards.

If you need additional information on Fire District conditions, please contact me at 566-2451.

Sincerely,

Ed Foster
Fire Marshal
Fire Prevention Bureau

cc: Applicant

(805) 684-4591 • FAX (805) 684-8242
1140 EUGENIA PLACE, SUITE A, CARPINTERIA, CALIFORNIA 93013

Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816 • Fax (805) 684-3170

June 10, 2010

City of Carpinteria
Community Development Dept.
Nick Bobroff, Associate Planner
5775 Carpinteria Ave
Carpinteria, CA 93013

SUBJECT: 261 Linden Avenue APN 003-483-007 CONDITIONS LETTER

Hello Mr. Bobroff

In reviewing the proposed project at 261 Linden Avenue to renovate an 8 dwelling unit apartment building to a 5 dwelling unit building (Project No. 10-1551-DP/CUP/CDP), listed below are the required conditions from the Carpinteria Valley Water District (District).

1. The District has a 2.5 feet existing easement along the South property line. This easement needs to be free of any permanent structures, currently there is an existing hedge that is in the District easement that will be required to be removed.
2. The owner will be responsible to supply to the District a landscape plan for the purposed project.
3. Per District Rule 17(d) each unit will be required to have an independent service. The owner will be responsible for the Capital Cost Recovery Fees (CCRF) for each additional meter and pay the required deposit for the installation for the meters to the District.
4. The location of the 4 new meters must to be shown on the site plan and the location approved by the District.
5. If a fireline is required by the Fire District, the owner will be responsible for paying the required deposit and Capital Cost Recovery Fees for the fireline to the District. The fees are based on the size of the fireline. Additionally an approved Double Check Backflow Detector Assembly (DCDA) must be installed on the fireline.

6. If a fireline is required the owner must show the location of the DCDA on the site plan. The location of the DCDA must be approved by the Fire District and the Carpinteria Valley Water District.
7. A set of fire flow calculations by a licensed fire sprinkler system engineer must be provided to the District if the fireline is required. These calculations must list the size of the fireline and the required working pressures.

If you have any question or need any information please contact me at 684-2816x103 or Brian@cvwd.net .

Very truly yours,
Carpinteria Valley Water District

Brian King
Associate Engineer

BVK/bvk

C: file copy

Vision Clean Air

Santa Barbara County
Air Pollution Control District

June 16, 2010

RECEIVED
JUN 17 2010
CITY OF CARPINTERIA

Nick Bobroff
Community Development Department
5775 Carpinteria Avenue
Carpinteria, CA 93013

Re: APCD comments on The Islands Apartments Renovation, 10-1551-DP/CUP/CDP

Dear Mr. Bobroff:

The Air Pollution Control District (APCD) has reviewed the referenced case, which consists of converting four one-bedroom units to one three-bedroom unit, a second floor deck addition, roof replacement, façade improvements, window and door replacement, and revised parking and landscaping layouts. The subject property, a 0.2-acre parcel zoned Planned Residential Development (PDR-20) and identified in the Assessor Parcel Map Book as APN 003-483-007, is located at 261 Linden Avenue in the City of Carpinteria.

Air Pollution Control District staff offers the following suggested conditions:

1. All portable diesel-fired construction engines rated at 50 brake-horsepower or greater must have either statewide Portable Equipment Registration Program (PERP) certificates or APCD permits prior to operation. Construction engines with PERP certificates are exempt from APCD permit, provided they will be on-site for less than 12 months.

2. Applicant is required to complete and submit an Asbestos Demolition/Renovation Notification (APCD Form ENF-28 which can be downloaded at http://www.sbcapcd.org/eng/dl/dl08.htm) for each regulated structure to be demolished or renovated. Demolition notifications are required regardless of whether asbestos is present or not. The completed notification should be presented or mailed to the Santa Barbara Air Pollution Control District with a minimum of 10 working days advance notice prior to disturbing asbestos in a renovation or starting work on a demolition. For additional information regarding asbestos notification requirements, please visit our website at http://www.sbcapcd.org/biz/asbestos.htm or contact us at (805) 961-8800.

If you or the project applicant have any questions regarding these comments, please feel free to contact me at (805) 961-8893 or via email at edg@sbcapcd.org.

Sincerely,

Eric Gage,
Air Quality Specialist
Technology and Environmental Assessment Division

Terence E. Dressler • Air Pollution Control Officer
260 North Antonio Road, Suite A • Santa Barbara, CA 93110 • www.sbcapcd.org • 805.961.8800 • 805.961.8801 (fax)

cc: William Araluce, AIA
TEA Chron File

AGENDA SECTION PUBLIC HEARINGS
AGENDA ITEM # 5
REPORT #13-53

STAFF REPORT
COUNCIL MEETING DATE:
May 28, 2013

ITEM FOR COUNCIL CONSIDERATION:

CONTINUATION OF CARPINTERIA STREET LIGHTING DISTRICT NO. 1 FOR FISCAL YEAR 2013-14 AND RELATED PROTEST HEARING

Report prepared by John Thornberry, Administrative Services Director

Department: Administrative Services _____ *Signature*

Reviewed by:

City Manager _____ *Signature*

RECOMMENDATION

ACTION ITEM __X__; **NON-ACTION ITEM** ___

1. Following the Staff Report, open the public hearing and receive any testimony and/or protests concerning the continuation of Assessment District No. 1 for Fiscal Year 2013-14.
2. Close the public hearing and continue the District for Fiscal Year 2013-14, by adopting the attached Resolution 5461, as read by title only.

MOTION. I move to adopt Resolution No. 5461, as read by title only.

I. BACKGROUND:

On March 25, 2013, by Resolution No. 5447, the City Council ordered a report on the status and projections for Carpinteria Street Lighting District No.1 for fiscal year 2013-14. The District was formed in 1977 and this report is required annually under the California Street Lighting Act of 1919 as amended. On April 22, 2013 the City Council adopted Resolution Nos. 5452 and 5453, accepting the City Manager's report and setting the matter for a public hearing on May 28, 2013. The purpose of the public hearing is to hear protests and objections, if any, to the continuation of the District and to adopt a resolution directing the City Clerk to transmit certain documents to the

County Tax Collector empowering the levying and collection of the ad valorem tax necessary to fund the District's activities.

II. FINANCIAL CONSIDERATIONS:

District revenues are an apportionment of total property taxes received. There is no additional cost to the taxpayer for these revenues. If not apportioned for use by the CSLD the revenues would go to the County of Santa Barbara. Please see Exhibit A which is a summary of revenues and expenses for the District for the past three years, the budget for the current year and a projection for the 2013-14 fiscal year.

III. LEGAL ISSUES:

A notice of this hearing was published May 16th in the Coastal View newspaper, posted at City Hall and mailed to the required mailing list of agencies and interested persons.

This district is an ad valorem district and as such is not subject to the provisions of Proposition 218. The City Attorney has reviewed the resolution for legal sufficiency. Staff has received no letters of protest concerning this matter.

IV. ATTACHMENTS:

A - Statement of Fund Transactions and Financial Condition
B - Resolution No. 5461

Attachment A

FUNDSL1

CITY OF CARPINTERIA
STREET LIGHTING DISTRICT NUMBER 1
STATEMENT OF FUND TRANSACTIONS AND FINANCIAL CONDITION

FUND 290
STREET LIGHTING FUND

	ACTUAL 2009-10	ACTUAL 2010-11	ACTUAL 2011-12	BUDGET 2012-13	PROJECTED 2013-14
A. SUMMARY OF FUND TRANSACTIONS:					
Fund Balance; July 1	678,787	811,574	769,655	854,667	827,418
Fiscal Year Revenues	290,548	283,812	278,433	284,546	287,391
Fiscal Year Expenditures	157,761	325,731	193,421	311,795	313,317
Fund Balance; June 30	811,574	769,655	854,667	827,418	801,493
Revenue Over/(Under) Expense	132,787	(41,919)	85,012	(27,249)	(25,926)
B. BALANCE SHEET, JUNE 30					
ASSETS:					
Cash in Savings	811,574	789,155	858,620	827,418	801,493
Time Deposits	0	0	0	0	0
Accounts Receivable	0	0	0	0	0
*Total Assets>>>>>>>>>>>>>>>>>>	811,574	789,155	858,620	827,418	801,493
LIABILITIES AND FUND BALANCE					
Accounts Payable	0	19,500	3,953	0	0
Fund Balance	811,574	769,655	854,667	827,418	801,493
*Total Liabilities & Fund Balance>>	811,574	789,155	858,620	827,418	801,493
C. FISCAL YEAR REVENUE DETAIL:					
Use of Money & Property	19,546	17,054	11,331	13,598	13,734
District #1-Property Taxes, Secured	251,937	248,083	249,300	247,925	250,404
District #1-Property Taxes, Unsecured	12,257	11,800	11,842	11,132	11,243
District #1-Supplemental Roll	3,085	3,893	2,660	9,728	9,825
District #1-Homeowners Reimbursement	1,812	1,840	1,785	1,133	1,144
Prior Years and Penalties	1,911	1,142	1,515	1,030	1,040
Special District Assistance	0	0	0		0
Transfers from Other Funds	0	0	0		0
*Total Revenues>>>>>>>>>>>>>>>>>:	290,548	283,812	278,433	284,546	287,391
D. FISCAL YEAR EXPENDITURE DETAIL:					
Traffic Signals	1,032	50,771	863	60,000	60,720
Public Right of Way Lighting	19,499	11,423	14,619	60,000	60,720
Street Lighting	100,701	105,212	85,245	110,000	112,420
Parking Lot Lighting	1,658		11,825	3,500	3,542
Miscellaneous Operating Expense	0	1,488	2,738	10,000	10,120
*Total Operating Expense>>>>>	122,890	168,894	115,289	243,500	247,522
*Transfers Out>>>>>	34,871	61,980	67,026	65,795	65,795
Street Lights	0	94,858	11,106	2,500	0
*Total Capital Outlay Expense>>>>	0	94,858	11,106	2,500	0
*Total Expenditures>>>>>>>>>>>>>>	157,761	325,731	193,421	311,795	313,317

Attachment A

Attachment B

RESOLUTION NO. 5461

A RESOLUTION OF THE CITY OF CARPINTERIA CITY COUNCIL CONFIRMING THE REPORT OF THE CITY MANAGER AND CITY ENGINEER, CONFIRMING THE PLANS, ESTIMATE, DIAGRAM AND ASSESSMENT CONTAINED IN THE REPORT; CONFIRMING THAT NO PROTESTS OR OBJECTIONS WERE FILED IN THE PROCEEDINGS UNDER RESOLUTION OF INTENTION NO. 5453 LEVYING THE AD VALOREM TAX FOR SERVICE NECESSARY AS SHOWN ON DIAGRAM AND PLAN NO. LP-1977-2002-G, FOR THE PERIOD BEGINNING JULY 1, 2013 AND ENDING JUNE 30, 2014; ORDERING THE CITY CLERK TO TRANSMIT DIAGRAM AND ASSESSMENT TO THE COUNTY TAX COLLECTOR; AND EMPOWERING TAX COLLECTOR TO MAKE COLLECTIONS (FY 2013-14)

CARPINTERIA STREET LIGHTING ASSESSMENT DISTRICT NO. 1

WHEREAS, the City Manager of the City of Carpinteria heretofore filed with this City Council a report in writing dated April 22, 2013, presenting certain matters relating to the continuation of Street Lighting District No. 1, which report was approved by the City Council on April 22, 2013 by Resolution No.5452; and

WHEREAS, by Resolution No.5453, adopted April 22, 2013, this City Council declared its intention to order the furnishing of electric energy, servicing and maintenance of the street lights in the City of Carpinteria, under and pursuant to the provisions of the Street Lighting Act of 1919, Part 1 of Division 14 of the Streets and Highways Code of the State of California; and

WHEREAS, by said Resolution No.5453, adopted April 22, 2013, this City Council designated Tuesday, May 28, 2013 at the hour of 5:30 P.M. in the City Hall Council Chambers, at 5775 Carpinteria Avenue, Carpinteria, California, as the time and place for the hearing of protests and objections in relation to said improvement and assessment, and notices of said hearing were duly posted and published, and affidavits of said posting and publication have been duly filed; and

WHEREAS, at the time and place fixed in Resolution No.5453, a hearing was duly held by this City council at which no protests or objections were presented, and this City Council gave all persons present an opportunity to be heard in respect of any matter relating to the work or assessment proposed in said Resolution of Intention; and

WHEREAS, this City Council has taken evidence relating to whether public convenience and necessity require said work or improvement and also evidence relating to said proposed work, the boundaries of the proposed assessment district and the benefits to the property to be included in the proposed assessment district, and is fully informed in the premises.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CARPINTERIA DOES HEREBY RESOLVE, FIND, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That no protests or objections having been filed, the said City Council does hereby approve, confirm and adopt the said report of the City Manager and City Engineer and the plans, estimate, diagram and assessment contained in said report.

SECTION 2. That each and all documents, resolutions and instruments hereinbefore referred to in connection with the aforesaid proceedings are on file in the office of the City Clerk of the City of Carpinteria and are open to public inspection, and the same and each and all of them are expressly made a part hereof.

SECTION 3. That the City Council does hereby order the continued levying of the ad valorem tax for the furnishing of electric energy, servicing and maintenance of the street lights in the City of Carpinteria; does hereby fix and establish the period of time over which the proposed improvement shall extend as a period of one year, beginning July 1, 2013, and ending June 30, 2014, of said improvement upon the respective several subdivisions of land in the assessment district described and referred to in said Resolution of Intention; and does hereby levy for the fiscal year, July 1, 2013 to June 30, 2014, in the total amount permitted pursuant to Article XIII of the California State Constitution.

SECTION 4. That the City Clerk is hereby ordered to transmit, or cause to be transmitted, to the County Auditor of Santa Barbara County a certified copy of this Resolution and the said diagram and assessment upon which such levy is based; and the Santa Barbara County Tax Collector is hereby designated, requested, empowered, authorized, instructed and directed to make collection of all assessments as ordered by the City Council in said Assessment District, and to perform the acts and duties as are required by law of and to be performed by the officer, employee or person so designated. The City Clerk is hereby ordered to transmit, or cause to be transmitted, to the State Board of Equalization a certified copy of this Resolution.

PASSED, APPROVED AND ADOPTED this 28th day of May 2013, by the following called vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

_____
Mayor, City of Carpinteria

ATTEST:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held this 28th day of May 2013.

_____
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

_____
City Attorney

AGENDA SECTION PUBLIC HEARINGS
AGENDA ITEM # 6
REPORT # 13-54

STAFF REPORT
COUNCIL MEETING DATE:
MAY 28, 2013

ITEM FOR COUNCIL CONSIDERATION:

CONTINUATION OF CARPINTERIA RIGHT-OF-WAY ASSESSMENT DISTRICT NO. 3 FOR FISCAL YEAR 2013-14 AND RELATED PROTEST HEARING

Report prepared by: John Thornberry, Administrative Services Director

Department: Administrative Services

Signature

Reviewed by:

City Manager _____
Signature

RECOMMENDATION

ACTION ITEM __X__; **NON-ACTION ITEM** ___

1. Following the Staff Report, open the public hearing and receive any testimony and/or protests concerning the continuation of Assessment District No. 3 for Fiscal Year 2013-14.
2. Close the public hearing and continue the District for Fiscal Year 2013-14, by adopting the attached Resolution 5462, as read by title only.

MOTION. I move to adopt Resolution No. 5462 as read by title only.

I. BACKGROUND:

On March 25, 2013 by Resolution No. 5448, the City Council ordered a report on the status and projections for Carpinteria Right-of-Way Assessment District No. 3 for fiscal year 2013-14. On April 22, 2013 the City Council adopted Resolution Nos. 5370 and 5371 accepting the report and setting the matter for public hearing on May 28, 2013. The District's boundaries are coterminous with those of the City's incorporated limits. The District was formed in 1985 and this report is required pursuant to the provisions of the Lighting and Landscaping Act of 1972, Part 2 of Division 15, Section 22500 et seq. regarding the Streets and Highways Code of the State of California.

The District's income is derived from a fixed dollar assessment on real property. There are several zones composing the District and the level of assessment is based on factors such as parcel size, length of street frontage, existence of trees, curbs, gutters, sidewalks, etc. Assessments for a typical single family home are generally in the range of $34 to $50 annually. These rates have not changed since the original formation of the District in 1985. The purpose of the public hearing is to hear protests and objections, if any, to the continuation of the District and the proposed assessment and to adopt a resolution directing the City Clerk to transmit certain documents to the County Tax Collector empowering the levying and collection of the assessment necessary to fund the District's activities.

II. FINANCIAL CONSIDERATIONS:

This District's income stream is primarily derived from a fixed dollar assessment on property while a majority of the District's expenses are subject to inflationary pressures. The District has experienced operating deficits for many years depleting its fund balance. Ongoing maintenance costs associated with the District improvements will continue to exceed District revenues and because the fund balance has been depleted this deficit will have to be subsidized by the General Fund. The subsidy for 2013-14 is estimated to be $191K. Please see Exhibit A which is a summary of revenues and expenses for the District for the past three years, the budget for the current year and a projection for the 2013-14 fiscal year.

III. LEGAL ISSUES:

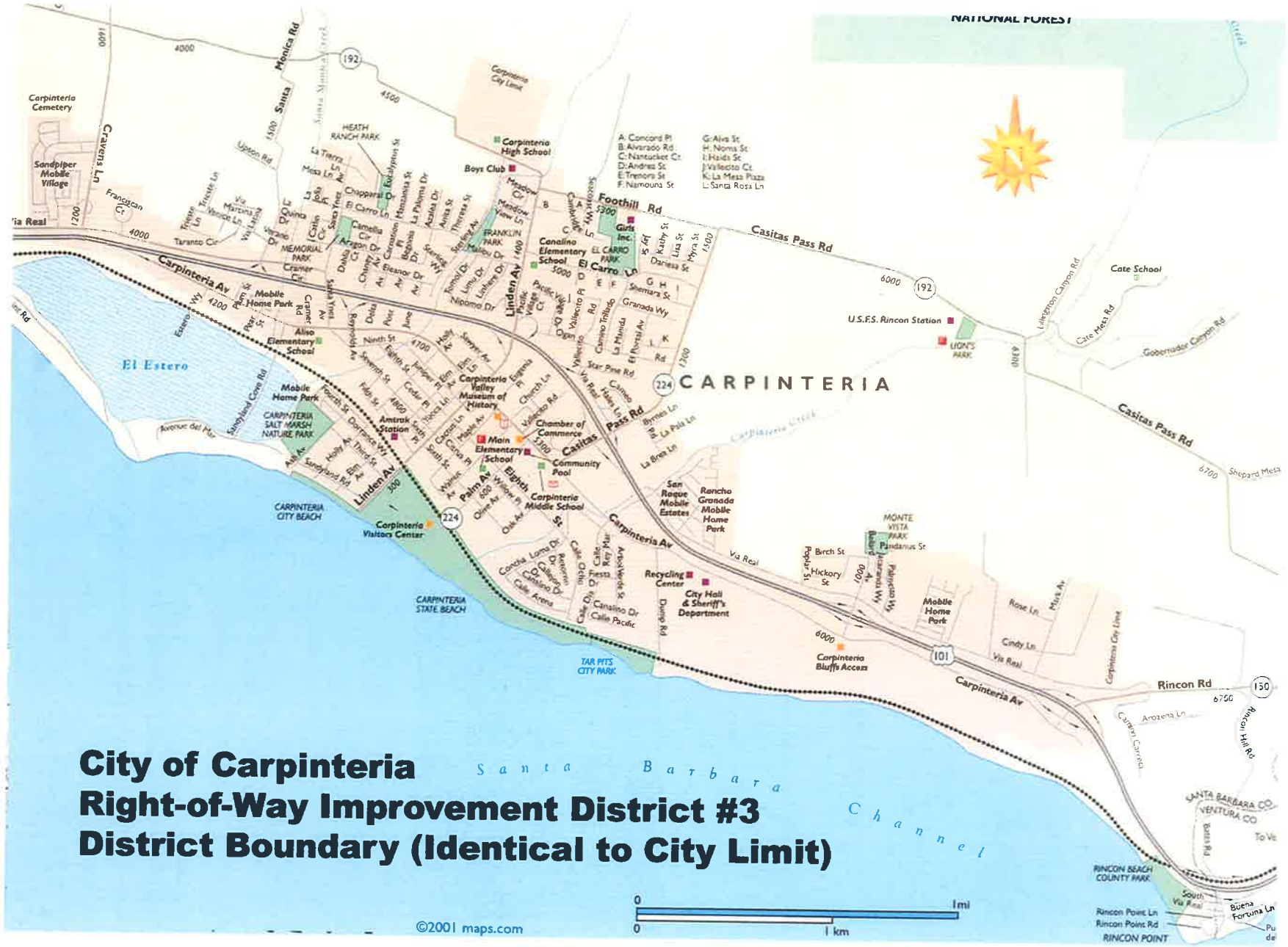
A notice of this hearing was published May 16th in the Coastal View newspaper, posted at City Hall and mailed to the required mailing list of agencies and interested persons.

Staff has received no written protests of the assessment. The City Attorney has reviewed the resolution for legal sufficiency.

IV. ATTACHMENTS:

A - Diagram of the District
B - State of Fund Transactions and Financial Condition for the District
C - Resolution No. 5462
D - Assessment Roll

Attachment A


City of Carpinteria
Right-of-Way Improvement District #3
District Boundary (Identical to City Limit)
CARPINTERIA
Santa Barbara Channel
El Estero
Carpinteria Av
Casitas Pass Rd
Linden Av
Foothill Rd
Rincon Rd
Via Real
Carpinteria Cemetery
Sandpiper Mobile Village
Carpinteria High School
Boys Club
Girls Inc.
Canalino Elementary School
Aliso Elementary School
Carpinteria Valley Museum of History
Chamber of Commerce
Main Elementary School
Community Pool
Carpinteria Middle School
Amtrak Station
Carpinteria Visitors Center
CARPINTERIA CITY BEACH
CARPINTERIA STATE BEACH
TAR PITS CITY PARK
CARPINTERIA SALT MARSH NATURE PARK
Mobile Home Park
San Roque Mobile Estates
Rancho Granada Mobile Home Park
Recycling Center
City Hall & Sheriff's Department
Carpinteria Bluffs Access
U.S.F.S. Rincon Station
Cate School
RINCON BEACH COUNTY PARK
RINCON POINT
SANTA BARBARA CO.
VENTURA CO
©2001 maps.com
0 1 mi
0 1 km

Attachment B

FUND 33
ASSESSMENT DISTRICT #3

	ACTUAL 2009-10	ACTUAL 2010-11	ACTUAL 2011-12	BUDGET 2012-13	PROJECTED 2013-14
A. SUMMARY OF FUND TRANSACTIONS:					
Fund Balance; July 1	(0)	(1)	0	0	0
Fiscal Year Revenues	496,026	428,530	387,620	379,639	391,304
Fiscal Year Expenditures	496,026	428,529	387,620	379,639	385,818
Fund Balance; June 30	(1)	0	0	0	5,486
Revenue Over/(Under) Expense	(0)	1	0	0	5,486
B. BALANCE SHEET, JUNE 30					
ASSETS:					
Cash in Savings	(1)	10,611	9,233	0	5,486
Time Deposits	0	0	0	0	0
Accounts Receivable	0	0	0	0	0
*Total Assets>>>>>>>>>>>>>>>>>>>>>	(1)	10,611	9,233	0	5,486
LIABILITIES AND FUND BALANCE					
Accounts Payable	0	10,611	9,233	0	0
Fund Balance	(1)	0	0	0	5,486
*Total Liabilities & Fund Balance>>	(1)	10,611	9,233	0	5,486
C. FISCAL YEAR REVENUE DETAIL:					
Use of Money & Property	(134)	4	0	0	0
District #3 Assessment	195,474	195,946	195,308	193,300	198,786
Prior Years Assessments	2,600				0
Penalties and Interest	722	621	2,070	900	900
Grant Revenue		17,585	0		
Transfer from Other Funds	297,363	214,374	190,242	185,439	191,618
*Total Revenues>>>>>>>>>>>>>>>>>>>:	496,026	428,530	387,620	379,639	391,304
D. FISCAL YEAR EXPENDITURE DETAIL:					
Personnel Expense	155,920	193,975	147,486	152,545	155,596
Right-Of-Way Maintenance (Contract)	113,207	58,102	60,000	40,000	40,800
Street Tree Maintenance (Contract)	24,226	19,008	45,000	45,000	45,900
Park Maintenance					0
Supplies and Materials	21,807	16,337	15,000	20,000	20,400
Vehicle Operations	20,444	19,801	17,500	15,000	15,300
Legal Services					0
Other Contract Services	69,872	25,252	25,300	22,500	22,950
Engineering Expense					0
Utilities	24,529	26,444	23,250	22,750	23,205
Other Operating Expense		2,782			0
*Total Operating Expense>>>	430,005	361,701	333,536	317,795	324,151
Transfers To Other Funds	66,021	66,828	54,084	61,844	61,667
	0	0	0	0	0
	0	0	0	0	0
Capital Improvements	0	0	0	0	0
*Total Capital Outlay Expense>>>>	0	0	0	0	0
*Total Expenditures>>>>>>>>>>>>>>	496,026	428,529	387,620	379,639	385,818

EXHIBIT A

Attachment C

RESOLUTION NO. 5462

**A RESOLUTION OF THE CARPINTERIA CITY COUNCIL
CONFIRMING THE REPORT OF THE CITY MANAGER
CONFIRMING THE PLANS, ESTIMATE, DIAGRAM AND ASSESSMENT CONTAINED IN SAID REPORT;
CONFIRMING THAT NO PROTESTS OR OBJECTIONS WERE FILED IN THE PROCEEDINGS UNDER RESOLUTION OF INTENTION NO. 5455
LEVYING THE ASSESSMENT FOR SERVICE NECESSARY AS SHOWN ON SAID DIAGRAM AND PLAN FOR A PERIOD OF ONE (1) YEAR,
BEGINNING JULY I, 2013, AND ENDING JUNE 30, 2014;
ORDERING THE CITY CLERK OF SAID CITY TO TRANSMIT DIAGRAM AND ASSESSMENT TO THE COUNTY TAX COLLECTOR, AND
EMPOWERING TAX COLLECTOR TO MAKE COLLECTION
(FY 2013-14)**

CARPINTERIA LIGHTING, LANDSCAPING AND RIGHT-OF-WAY IMPROVEMENT DISTRICT NO. 3

WHEREAS, the City Manager of the City of Carpinteria heretofore filed with this City Council a report in writing dated April 22, 2013, presenting certain matters relating to extending Lighting, Landscaping and Right-of-Way Improvement District No. 3, which report was approved by this City Council on April 22, 2013, by Resolution No.5454; and

WHEREAS, by Resolution No.5455, adopted April 22, 2013, this City Council declared its intention to order the furnishing of electric energy, servicing and maintenance of the street lights, landscaping and right-of-way in the City of Carpinteria, under and pursuant to the provisions of the Lighting and Landscaping Act of 1972, Part 2 of Division 15, Section 22500 et seq. regarding the Streets and Highways Code of the State of California; and

WHEREAS, by said Resolution No.5455, adopted April 22, 2013, this City Council designated Monday, May 28, 2013, at the hour of 5:30 P.M. in the City Hall, at 5775 Carpinteria Avenue, Carpinteria, California, as the time and place for the hearing of protests and objections in relation to said improvement and assessment and notices of said hearing were duly posted and published, and affidavits of said posting and publication have been duly filed; and

WHEREAS, at the time and place fixed in said Resolution No.5455, a hearing was duly held by this City Council at which no protests or objections were presented, and this City Council gave all persons present an opportunity to be heard in respect of any matter relating to the work or assessment proposed in said Resolution of Intention; and

WHEREAS, this City Council has taken evidence relating to whether public convenience and necessity require said work or improvement and also evidence relating to said proposed work, the boundaries of the proposed assessment district and the benefits to the property to be included in the proposed assessment district, and is fully informed in the premises.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CARPINTERIA DOES HEREBY RESOLVE, FIND, DETERMINE AND ORDER AS FOLLOWS:

SECTION I. That no protests or objections having been filed, the said City Council does hereby approve, confirm and adopt the said report of the City Manager and the plans, estimate, diagram and assessment contained in said report.

SECTION 2. That each and all documents, resolutions and instruments herein before referred to in connection with the aforesaid proceedings are on file in the office of the City Clerk

of the City of Carpinteria and are open to public inspection, and the same and each and all of them are expressly made a part hereof.

SECTION 3. That the City Council does hereby order the levying of an assessment for the furnishing of electric energy, servicing and maintenance of the street lights, landscape and right-of-way maintenance in the City of Carpinteria for the period July 1, 2013, to June 30, 2014, and does hereby fix and establish the period of time over which the proposed improvement shall extend as a period of one (1) year, beginning July 1, 2013, and ending June 30, 2014, of said improvement upon the respective several subdivisions of land in the assessment district described and referred to in said Resolution of Intention; and does hereby levy for the fiscal year, July 1, 2013 to June 30, 2014, the assessment shown in the assessment roll summary dated August 10, 2012, said amount being Two Hundred Thousand Seven Hundred One Dollars and 48 Cents ($200,701.48).

SECTION 4. That the City Clerk is hereby ordered to transmit, or cause to be transmitted, to the County Auditor of Santa Barbara County, the said diagram and assessment roll upon which such levy is based; and the County Tax Collector of said County is hereby designated, requested, empowered, authorized, instructed and directed to make collection of all assessments as ordered by the City Council in said Assessment District and to perform the acts and duties as are required by law of and to be performed by the officer, employee or person so designated.

PASSED, APPROVED AND ADOPTED this 28th day of May 2013 by the following called vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

_____

Mayor, City of Carpinteria

ATTEST:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held this 28th day of May 2013.

_____
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

_____
City Attorney

Attachment D

qryExport

TaxYear	FundNumb	ParcelNumber	TaxCode	Charge	AdminFee	Total
2012	0603	00106017006	716	26.00	0.50	26.50
2012	0603	00106050008	716	26.00	0.50	26.50
2012	0603	00107003002	716	119.00	0.50	119.50
2012	0603	00107008002	716	154.50	0.50	155.00
2012	0603	00107009000	716	199.00	0.50	199.50
2012	0603	00107026000	716	1,930.50	0.50	1,931.00
2012	0603	00107029004	716	26.00	0.50	26.50
2012	0603	00107031007	716	35.00	0.50	35.50
2012	0603	00107039001	716	291.00	0.50	291.50
2012	0603	00107040006	716	67.50	0.50	68.00
2012	0603	00107049008	716	106.00	0.50	106.50
2012	0603	00107052009	716	1,112.00	0.50	1,112.50
2012	0603	00107057009	716	897.50	0.50	898.00
2012	0603	00107058007	716	110.50	0.50	111.00
2012	0603	00107059005	716	159.00	0.50	159.50
2012	0603	00107060000	716	117.50	0.50	118.00
2012	0603	00107062006	716	36.00	0.50	36.50
2012	0603	00107063004	716	399.00	0.50	399.50
2012	0603	00107065000	716	46.50	0.50	47.00
2012	0603	00107066008	716	92.50	0.50	93.00
2012	0603	00107067006	716	172.50	0.50	173.00
2012	0603	00117002008	716	49.50	0.50	50.00
2012	0603	00117004004	716	111.50	0.50	112.00
2012	0603	00117005002	716	88.00	0.50	88.50
2012	0603	00117013003	716	35.00	0.50	35.50
2012	0603	00117014001	716	154.50	0.50	155.00
2012	0603	00117019001	716	92.50	0.50	93.00
2012	0603	00117022002	716	86.50	0.50	87.00
2012	0603	00117023000	716	89.50	0.50	90.00
2012	0603	00118006005	716	35.00	0.50	35.50
2012	0603	00118028005	716	94.00	0.50	94.50
2012	0603	00118032004	716	94.00	0.50	94.50
2012	0603	00118040005	716	80.50	0.50	81.00
2012	0603	00118041003	716	67.50	0.50	68.00
2012	0603	00118051000	716	1,700.00	0.50	1,700.50
2012	0603	00118062005	716	35.00	0.50	35.50
2012	0603	00118064001	716	67.50	0.50	68.00
2012	0603	00118065009	716	67.50	0.50	68.00
2012	0603	00118066007	716	85.00	0.50	85.50
2012	0603	00118067005	716	82.00	0.50	82.50
2012	0603	00118068003	716	196.00	0.50	196.50
2012	0603	00118069001	716	196.00	0.50	196.50
2012	0603	00118070006	716	94.00	0.50	94.50
2012	0603	00119023000	716	80.50	0.50	81.00
2012	0603	00119025006	716	138.50	0.50	139.00
2012	0603	00119038007	716	350.00	0.50	350.50
2012	0603	00119050007	716	97.00	0.50	97.50
2012	0603	00119051005	716	69.00	0.50	69.50
2012	0603	00119053001	716	97.00	0.50	97.50
2012	0603	00119054009	716	79.00	0.50	79.50
2012	0603	00119055007	716	79.00	0.50	79.50

2012	0603	00119056005	716	79.00	0.50	79.50
2012	0603	00119057003	716	79.00	0.50	79.50
2012	0603	00119058001	716	150.00	0.50	150.50
2012	0603	00119059009	716	166.50	0.50	167.00
2012	0603	00119060004	716	79.00	0.50	79.50
2012	0603	00119061002	716	79.00	0.50	79.50
2012	0603	00119062000	716	79.00	0.50	79.50
2012	0603	00119063008	716	79.00	0.50	79.50
2012	0603	00119064006	716	95.50	0.50	96.00
2012	0603	00119068008	716	187.00	0.50	187.50
2012	0603	00119073005	716	63.00	0.50	63.50
2012	0603	00119084000	716	169.50	0.50	170.00
2012	0603	00119085008	716	144.50	0.50	145.00
2012	0603	00119086006	716	169.50	0.50	170.00
2012	0603	00119091003	716	150.00	0.50	150.50
2012	0603	00119092001	716	67.50	0.50	68.00
2012	0603	00119093009	716	132.50	0.50	133.00
2012	0603	00119095005	716	390.01	0.50	390.51
2012	0603	00119097001	716	107.50	0.50	108.00
2012	0603	00121013007	716	12.50	0.50	13.00
2012	0603	00121016001	716	20.00	0.50	20.50
2012	0603	00121020000	716	100.00	0.50	100.50
2012	0603	00121023004	716	20.00	0.50	20.50
2012	0603	00121024002	716	301.00	0.50	301.50
2012	0603	00121025000	716	49.50	0.50	50.00
2012	0603	00121026008	716	12.50	0.50	13.00
2012	0603	00124101005	716	126.50	0.50	127.00
2012	0603	00124102003	716	126.50	0.50	127.00
2012	0603	00124103001	716	126.50	0.50	127.00
2012	0603	00124104009	716	126.50	0.50	127.00
2012	0603	00124105007	716	126.50	0.50	127.00
2012	0603	00124106005	716	126.50	0.50	127.00
2012	0603	00124107003	716	126.50	0.50	127.00
2012	0603	00124108001	716	126.50	0.50	127.00
2012	0603	00124201001	716	126.50	0.50	127.00
2012	0603	00124202009	716	126.50	0.50	127.00
2012	0603	00124203007	716	126.50	0.50	127.00
2012	0603	00124204005	716	126.50	0.50	127.00
2012	0603	00124205003	716	126.50	0.50	127.00
2012	0603	00124206001	716	126.50	0.50	127.00
2012	0603	00124207009	716	126.50	0.50	127.00
2012	0603	00124208007	716	126.50	0.50	127.00
2012	0603	00124209005	716	126.50	0.50	127.00
2012	0603	00124210000	716	126.50	0.50	127.00
2012	0603	00124211008	716	126.50	0.50	127.00
2012	0603	00124212006	716	126.50	0.50	127.00
2012	0603	00124213004	716	126.50	0.50	127.00
2012	0603	00124214002	716	126.50	0.50	127.00
2012	0603	00124215000	716	126.50	0.50	127.00
2012	0603	00124216008	716	126.50	0.50	127.00
2012	0603	00124217006	716	126.50	0.50	127.00
2012	0603	00124218004	716	126.50	0.50	127.00

2012	0603	00124219002	716	126.50	0.50	127.00
2012	0603	00124220007	716	126.50	0.50	127.00
2012	0603	00124221005	716	126.50	0.50	127.00
2012	0603	00124222003	716	126.50	0.50	127.00
2012	0603	00124301007	716	126.50	0.50	127.00
2012	0603	00124302005	716	126.50	0.50	127.00
2012	0603	00124303003	716	126.50	0.50	127.00
2012	0603	00124304001	716	126.50	0.50	127.00
2012	0603	00124305009	716	126.50	0.50	127.00
2012	0603	00124306007	716	126.50	0.50	127.00
2012	0603	00124307005	716	126.50	0.50	127.00
2012	0603	00124308003	716	126.50	0.50	127.00
2012	0603	00125101000	716	40.50	0.50	41.00
2012	0603	00125102008	716	40.50	0.50	41.00
2012	0603	00125103006	716	40.50	0.50	41.00
2012	0603	00125104004	716	40.50	0.50	41.00
2012	0603	00125105002	716	40.50	0.50	41.00
2012	0603	00125106000	716	40.50	0.50	41.00
2012	0603	00125107008	716	40.50	0.50	41.00
2012	0603	00125108006	716	40.50	0.50	41.00
2012	0603	00125109004	716	40.50	0.50	41.00
2012	0603	00125110009	716	40.50	0.50	41.00
2012	0603	00125111007	716	40.50	0.50	41.00
2012	0603	00125112005	716	40.50	0.50	41.00
2012	0603	00125113003	716	40.50	0.50	41.00
2012	0603	00125114001	716	40.50	0.50	41.00
2012	0603	00125115009	716	40.50	0.50	41.00
2012	0603	00125116007	716	40.50	0.50	41.00
2012	0603	00125117005	716	40.50	0.50	41.00
2012	0603	00125118003	716	40.50	0.50	41.00
2012	0603	00125119001	716	40.50	0.50	41.00
2012	0603	00125120006	716	40.50	0.50	41.00
2012	0603	00125121004	716	40.50	0.50	41.00
2012	0603	00125122002	716	40.50	0.50	41.00
2012	0603	00125123000	716	40.50	0.50	41.00
2012	0603	00125124008	716	40.50	0.50	41.00
2012	0603	00125125006	716	40.50	0.50	41.00
2012	0603	00125126004	716	40.50	0.50	41.00
2012	0603	00125127002	716	40.50	0.50	41.00
2012	0603	00125128000	716	40.50	0.50	41.00
2012	0603	00125201006	716	40.50	0.50	41.00
2012	0603	00125202004	716	40.50	0.50	41.00
2012	0603	00125203002	716	40.50	0.50	41.00
2012	0603	00125204000	716	40.50	0.50	41.00
2012	0603	00125205008	716	40.50	0.50	41.00
2012	0603	00125206006	716	40.50	0.50	41.00
2012	0603	00125207004	716	40.50	0.50	41.00
2012	0603	00125208002	716	40.50	0.50	41.00
2012	0603	00125209000	716	40.50	0.50	41.00
2012	0603	00125210005	716	40.50	0.50	41.00
2012	0603	00125301002	716	40.50	0.50	41.00
2012	0603	00125302000	716	40.50	0.50	41.00

2012	0603	00125303008	716	40.50	0.50	41.00
2012	0603	00125304006	716	40.50	0.50	41.00
2012	0603	00125305004	716	40.50	0.50	41.00
2012	0603	00125306002	716	40.50	0.50	41.00
2012	0603	00126101005	716	85.00	0.50	85.50
2012	0603	00126102003	716	85.00	0.50	85.50
2012	0603	00126103001	716	85.00	0.50	85.50
2012	0603	00126105007	716	85.00	0.50	85.50
2012	0603	00126106005	716	85.00	0.50	85.50
2012	0603	00126107003	716	85.00	0.50	85.50
2012	0603	00126201001	716	85.00	0.50	85.50
2012	0603	00126202009	716	85.00	0.50	85.50
2012	0603	00126203007	716	85.00	0.50	85.50
2012	0603	00126204005	716	85.00	0.50	85.50
2012	0603	00126205003	716	85.00	0.50	85.50
2012	0603	00126206001	716	85.00	0.50	85.50
2012	0603	00126207009	716	85.00	0.50	85.50
2012	0603	00126208007	716	85.00	0.50	85.50
2012	0603	00126209005	716	85.00	0.50	85.50
2012	0603	00126210000	716	85.00	0.50	85.50
2012	0603	00126211008	716	85.00	0.50	85.50
2012	0603	00126212006	716	85.00	0.50	85.50
2012	0603	00126213004	716	85.00	0.50	85.50
2012	0603	00126214002	716	85.00	0.50	85.50
2012	0603	00126215000	716	85.00	0.50	85.50
2012	0603	00126301007	716	85.00	0.50	85.50
2012	0603	00126302005	716	85.00	0.50	85.50
2012	0603	00126303003	716	85.00	0.50	85.50
2012	0603	00126304001	716	85.00	0.50	85.50
2012	0603	00126305009	716	85.00	0.50	85.50
2012	0603	00126306007	716	85.00	0.50	85.50
2012	0603	00126307005	716	85.00	0.50	85.50
2012	0603	00126308003	716	85.00	0.50	85.50
2012	0603	00126309001	716	85.00	0.50	85.50
2012	0603	00127101000	716	85.00	0.50	85.50
2012	0603	00127102008	716	85.00	0.50	85.50
2012	0603	00127103006	716	85.00	0.50	85.50
2012	0603	00127104004	716	85.00	0.50	85.50
2012	0603	00127105002	716	85.00	0.50	85.50
2012	0603	00127106000	716	85.00	0.50	85.50
2012	0603	00127107008	716	85.00	0.50	85.50
2012	0603	00127108006	716	85.00	0.50	85.50
2012	0603	00127109004	716	85.00	0.50	85.50
2012	0603	00127110009	716	85.00	0.50	85.50
2012	0603	00127111007	716	85.00	0.50	85.50
2012	0603	00127112005	716	85.00	0.50	85.50
2012	0603	00127113003	716	85.00	0.50	85.50
2012	0603	00127114001	716	85.00	0.50	85.50
2012	0603	00127115009	716	85.00	0.50	85.50
2012	0603	00127116007	716	85.00	0.50	85.50
2012	0603	00127117005	716	85.00	0.50	85.50
2012	0603	00127118003	716	85.00	0.50	85.50

2012	0603	00127119001	716	85.00	0.50	85.50
2012	0603	00127120006	716	85.00	0.50	85.50
2012	0603	00127121004	716	85.00	0.50	85.50
2012	0603	00127122002	716	85.00	0.50	85.50
2012	0603	00127123000	716	85.00	0.50	85.50
2012	0603	00127124008	716	85.00	0.50	85.50
2012	0603	00127201006	716	85.00	0.50	85.50
2012	0603	00127202004	716	85.00	0.50	85.50
2012	0603	00127203002	716	85.00	0.50	85.50
2012	0603	00127204000	716	85.00	0.50	85.50
2012	0603	00127205008	716	85.00	0.50	85.50
2012	0603	00127206006	716	85.00	0.50	85.50
2012	0603	00127207004	716	85.00	0.50	85.50
2012	0603	00127208002	716	85.00	0.50	85.50
2012	0603	00127209000	716	85.00	0.50	85.50
2012	0603	00127210005	716	85.00	0.50	85.50
2012	0603	00128001009	716	85.00	0.50	85.50
2012	0603	00128002007	716	85.00	0.50	85.50
2012	0603	00128003005	716	85.00	0.50	85.50
2012	0603	00128006009	716	85.00	0.50	85.50
2012	0603	00128007007	716	85.00	0.50	85.50
2012	0603	00128008005	716	85.00	0.50	85.50
2012	0603	00128009003	716	85.00	0.50	85.50
2012	0603	00128010008	716	85.00	0.50	85.50
2012	0603	00128011006	716	85.00	0.50	85.50
2012	0603	00128012004	716	85.00	0.50	85.50
2012	0603	00128013002	716	85.00	0.50	85.50
2012	0603	00128014000	716	85.00	0.50	85.50
2012	0603	00128015008	716	85.00	0.50	85.50
2012	0603	00128016006	716	85.00	0.50	85.50
2012	0603	00128017004	716	85.00	0.50	85.50
2012	0603	00128018002	716	85.00	0.50	85.50
2012	0603	00128019000	716	85.00	0.50	85.50
2012	0603	00128020005	716	85.00	0.50	85.50
2012	0603	00128021003	716	85.00	0.50	85.50
2012	0603	00128022001	716	85.00	0.50	85.50
2012	0603	00128023009	716	85.00	0.50	85.50
2012	0603	00128024007	716	85.00	0.50	85.50
2012	0603	00128025005	716	85.00	0.50	85.50
2012	0603	00128026003	716	85.00	0.50	85.50
2012	0603	00128027001	716	85.00	0.50	85.50
2012	0603	00128028009	716	85.00	0.50	85.50
2012	0603	00128029007	716	85.00	0.50	85.50
2012	0603	00128030002	716	85.00	0.50	85.50
2012	0603	00128031000	716	85.00	0.50	85.50
2012	0603	00128032008	716	85.00	0.50	85.50
2012	0603	00128039004	716	85.00	0.50	85.50
2012	0603	00128040009	716	85.00	0.50	85.50
2012	0603	00129102008	716	85.00	0.50	85.50
2012	0603	00129103006	716	85.00	0.50	85.50
2012	0603	00129104004	716	85.00	0.50	85.50
2012	0603	00129105002	716	85.00	0.50	85.50

2012	0603	00129106000	716	85.00	0.50	85.50
2012	0603	00129107008	716	85.00	0.50	85.50
2012	0603	00129201006	716	85.00	0.50	85.50
2012	0603	00129202004	716	85.00	0.50	85.50
2012	0603	00129203002	716	85.00	0.50	85.50
2012	0603	00129204000	716	85.00	0.50	85.50
2012	0603	00129205008	716	85.00	0.50	85.50
2012	0603	00129206006	716	85.00	0.50	85.50
2012	0603	00129207004	716	85.00	0.50	85.50
2012	0603	00129208002	716	85.00	0.50	85.50
2012	0603	00129209000	716	85.00	0.50	85.50
2012	0603	00129210005	716	85.00	0.50	85.50
2012	0603	00129211003	716	85.00	0.50	85.50
2012	0603	00129212001	716	85.00	0.50	85.50
2012	0603	00129213009	716	85.00	0.50	85.50
2012	0603	00129214007	716	85.00	0.50	85.50
2012	0603	00129215005	716	85.00	0.50	85.50
2012	0603	00129216003	716	85.00	0.50	85.50
2012	0603	00129217001	716	85.00	0.50	85.50
2012	0603	00129218009	716	85.00	0.50	85.50
2012	0603	00129219007	716	85.00	0.50	85.50
2012	0603	00129220002	716	85.00	0.50	85.50
2012	0603	00129221000	716	85.00	0.50	85.50
2012	0603	00129222008	716	85.00	0.50	85.50
2012	0603	00129223006	716	85.00	0.50	85.50
2012	0603	00129224004	716	85.00	0.50	85.50
2012	0603	00129225002	716	85.00	0.50	85.50
2012	0603	00129226000	716	85.00	0.50	85.50
2012	0603	00129227008	716	85.00	0.50	85.50
2012	0603	00129228006	716	85.00	0.50	85.50
2012	0603	00129229004	716	85.00	0.50	85.50
2012	0603	00129230009	716	85.00	0.50	85.50
2012	0603	00129231007	716	85.00	0.50	85.50
2012	0603	00129301002	716	85.00	0.50	85.50
2012	0603	00129302000	716	85.00	0.50	85.50
2012	0603	00129303008	716	85.00	0.50	85.50
2012	0603	00129304006	716	85.00	0.50	85.50
2012	0603	00129305004	716	85.00	0.50	85.50
2012	0603	00129306002	716	85.00	0.50	85.50
2012	0603	00129307000	716	85.00	0.50	85.50
2012	0603	00129308008	716	85.00	0.50	85.50
2012	0603	00129309006	716	85.00	0.50	85.50
2012	0603	00129310001	716	85.00	0.50	85.50
2012	0603	00129311009	716	85.00	0.50	85.50
2012	0603	00129312007	716	85.00	0.50	85.50
2012	0603	00129313005	716	85.00	0.50	85.50
2012	0603	00129314003	716	85.00	0.50	85.50
2012	0603	00129315001	716	85.00	0.50	85.50
2012	0603	00130001003	716	40.50	0.50	41.00
2012	0603	00130002001	716	40.50	0.50	41.00
2012	0603	00130003009	716	40.50	0.50	41.00
2012	0603	00130004007	716	40.50	0.50	41.00

2012	0603	00130005005	716	40.50	0.50	41.00
2012	0603	00130006003	716	40.50	0.50	41.00
2012	0603	00130007001	716	40.50	0.50	41.00
2012	0603	00130008009	716	40.50	0.50	41.00
2012	0603	00130009007	716	40.50	0.50	41.00
2012	0603	00130010002	716	40.50	0.50	41.00
2012	0603	00130011000	716	40.50	0.50	41.00
2012	0603	00130012008	716	40.50	0.50	41.00
2012	0603	00130013006	716	40.50	0.50	41.00
2012	0603	00130014004	716	40.50	0.50	41.00
2012	0603	00130015002	716	40.50	0.50	41.00
2012	0603	00130016000	716	40.50	0.50	41.00
2012	0603	00130017008	716	40.50	0.50	41.00
2012	0603	00130018006	716	40.50	0.50	41.00
2012	0603	00130019004	716	40.50	0.50	41.00
2012	0603	00130020009	716	40.50	0.50	41.00
2012	0603	00130021007	716	40.50	0.50	41.00
2012	0603	00130022005	716	40.50	0.50	41.00
2012	0603	00130023003	716	40.50	0.50	41.00
2012	0603	00130024001	716	40.50	0.50	41.00
2012	0603	00130025009	716	85.00	0.50	85.50
2012	0603	00130026007	716	85.00	0.50	85.50
2012	0603	00130027005	716	85.00	0.50	85.50
2012	0603	00130028003	716	85.00	0.50	85.50
2012	0603	00130029001	716	85.00	0.50	85.50
2012	0603	00130030006	716	85.00	0.50	85.50
2012	0603	00130031004	716	85.00	0.50	85.50
2012	0603	00130032002	716	85.00	0.50	85.50
2012	0603	00130033000	716	85.00	0.50	85.50
2012	0603	00130034008	716	85.00	0.50	85.50
2012	0603	00130035006	716	85.00	0.50	85.50
2012	0603	00130036004	716	85.00	0.50	85.50
2012	0603	00130037002	716	85.00	0.50	85.50
2012	0603	00130038000	716	85.00	0.50	85.50
2012	0603	00130039008	716	85.00	0.50	85.50
2012	0603	00130040003	716	35.00	0.50	35.50
2012	0603	00130041001	716	26.00	0.50	26.50
2012	0603	00130042009	716	26.00	0.50	26.50
2012	0603	00130043007	716	26.00	0.50	26.50
2012	0603	00130044005	716	26.00	0.50	26.50
2012	0603	00130045003	716	26.00	0.50	26.50
2012	0603	00130046001	716	26.00	0.50	26.50
2012	0603	00131101004	716	33.50	0.50	34.00
2012	0603	00131102002	716	33.50	0.50	34.00
2012	0603	00131103000	716	33.50	0.50	34.00
2012	0603	00131104008	716	33.50	0.50	34.00
2012	0603	00131105006	716	33.50	0.50	34.00
2012	0603	00131106004	716	33.50	0.50	34.00
2012	0603	00131107002	716	33.50	0.50	34.00
2012	0603	00131108000	716	33.50	0.50	34.00
2012	0603	00131109008	716	33.50	0.50	34.00
2012	0603	00131110003	716	33.50	0.50	34.00

2012	0603	00131111001	716	33.50	0.50	34.00
2012	0603	00131112009	716	33.50	0.50	34.00
2012	0603	00131113007	716	33.50	0.50	34.00
2012	0603	00131114005	716	33.50	0.50	34.00
2012	0603	00131115003	716	33.50	0.50	34.00
2012	0603	00131116001	716	33.50	0.50	34.00
2012	0603	00131117009	716	33.50	0.50	34.00
2012	0603	00131118007	716	33.50	0.50	34.00
2012	0603	00131119005	716	33.50	0.50	34.00
2012	0603	00131120000	716	33.50	0.50	34.00
2012	0603	00131121008	716	33.50	0.50	34.00
2012	0603	00131122006	716	33.50	0.50	34.00
2012	0603	00131123004	716	33.50	0.50	34.00
2012	0603	00131124002	716	33.50	0.50	34.00
2012	0603	00131125000	716	33.50	0.50	34.00
2012	0603	00131126008	716	33.50	0.50	34.00
2012	0603	00131127006	716	33.50	0.50	34.00
2012	0603	00131128004	716	33.50	0.50	34.00
2012	0603	00131129002	716	33.50	0.50	34.00
2012	0603	00131130007	716	33.50	0.50	34.00
2012	0603	00131131005	716	33.50	0.50	34.00
2012	0603	00131132003	716	33.50	0.50	34.00
2012	0603	00131133001	716	33.50	0.50	34.00
2012	0603	00131134009	716	33.50	0.50	34.00
2012	0603	00131135007	716	33.50	0.50	34.00
2012	0603	00131136005	716	33.50	0.50	34.00
2012	0603	00131137003	716	33.50	0.50	34.00
2012	0603	00131138001	716	33.50	0.50	34.00
2012	0603	00131139009	716	33.50	0.50	34.00
2012	0603	00131140004	716	33.50	0.50	34.00
2012	0603	00131141002	716	33.50	0.50	34.00
2012	0603	00131142000	716	33.50	0.50	34.00
2012	0603	00131143008	716	33.50	0.50	34.00
2012	0603	00131144006	716	33.50	0.50	34.00
2012	0603	00131145004	716	33.50	0.50	34.00
2012	0603	00131146002	716	33.50	0.50	34.00
2012	0603	00131147000	716	33.50	0.50	34.00
2012	0603	00131148008	716	33.50	0.50	34.00
2012	0603	00131149006	716	33.50	0.50	34.00
2012	0603	00131150001	716	33.50	0.50	34.00
2012	0603	00131151009	716	33.50	0.50	34.00
2012	0603	00131152007	716	33.50	0.50	34.00
2012	0603	00131153005	716	33.50	0.50	34.00
2012	0603	00131154003	716	33.50	0.50	34.00
2012	0603	00131155001	716	33.50	0.50	34.00
2012	0603	00131156009	716	33.50	0.50	34.00
2012	0603	00131157007	716	33.50	0.50	34.00
2012	0603	00131158005	716	33.50	0.50	34.00
2012	0603	00131159003	716	33.50	0.50	34.00
2012	0603	00131160008	716	33.50	0.50	34.00
2012	0603	00131161006	716	33.50	0.50	34.00
2012	0603	00131162004	716	33.50	0.50	34.00

2012	0603	00131163002	716	33.50	0.50	34.00
2012	0603	00131164000	716	33.50	0.50	34.00
2012	0603	00131201000	716	33.50	0.50	34.00
2012	0603	00131202008	716	33.50	0.50	34.00
2012	0603	00131203006	716	33.50	0.50	34.00
2012	0603	00131204004	716	33.50	0.50	34.00
2012	0603	00131205002	716	33.50	0.50	34.00
2012	0603	00131206000	716	33.50	0.50	34.00
2012	0603	00131207008	716	33.50	0.50	34.00
2012	0603	00131208006	716	33.50	0.50	34.00
2012	0603	00131209004	716	33.50	0.50	34.00
2012	0603	00131210009	716	33.50	0.50	34.00
2012	0603	00131211007	716	33.50	0.50	34.00
2012	0603	00131212005	716	33.50	0.50	34.00
2012	0603	00131213003	716	33.50	0.50	34.00
2012	0603	00131214001	716	33.50	0.50	34.00
2012	0603	00131215009	716	33.50	0.50	34.00
2012	0603	00131216007	716	33.50	0.50	34.00
2012	0603	00131217005	716	33.50	0.50	34.00
2012	0603	00131218003	716	33.50	0.50	34.00
2012	0603	00131219001	716	33.50	0.50	34.00
2012	0603	00131220006	716	33.50	0.50	34.00
2012	0603	00131221004	716	33.50	0.50	34.00
2012	0603	00131222002	716	33.50	0.50	34.00
2012	0603	00131223000	716	33.50	0.50	34.00
2012	0603	00131224008	716	33.50	0.50	34.00
2012	0603	00131225006	716	33.50	0.50	34.00
2012	0603	00131226004	716	33.50	0.50	34.00
2012	0603	00131227002	716	33.50	0.50	34.00
2012	0603	00131228000	716	33.50	0.50	34.00
2012	0603	00131229008	716	33.50	0.50	34.00
2012	0603	00131230003	716	33.50	0.50	34.00
2012	0603	00131231001	716	33.50	0.50	34.00
2012	0603	00131232009	716	33.50	0.50	34.00
2012	0603	00131233007	716	33.50	0.50	34.00
2012	0603	00131234005	716	33.50	0.50	34.00
2012	0603	00131235003	716	33.50	0.50	34.00
2012	0603	00131236001	716	33.50	0.50	34.00
2012	0603	00131237009	716	33.50	0.50	34.00
2012	0603	00131238007	716	33.50	0.50	34.00
2012	0603	00131239005	716	33.50	0.50	34.00
2012	0603	00131240000	716	33.50	0.50	34.00
2012	0603	00131241008	716	33.50	0.50	34.00
2012	0603	00131242006	716	33.50	0.50	34.00
2012	0603	00131243004	716	33.50	0.50	34.00
2012	0603	00131244002	716	33.50	0.50	34.00
2012	0603	00131245000	716	33.50	0.50	34.00
2012	0603	00131246008	716	33.50	0.50	34.00
2012	0603	00131247006	716	33.50	0.50	34.00
2012	0603	00131248004	716	33.50	0.50	34.00
2012	0603	00131249002	716	33.50	0.50	34.00
2012	0603	00131250007	716	33.50	0.50	34.00

2012	0603	00131251005	716	33.50	0.50	34.00
2012	0603	00131252003	716	33.50	0.50	34.00
2012	0603	00131253001	716	33.50	0.50	34.00
2012	0603	00131254009	716	33.50	0.50	34.00
2012	0603	00131255007	716	33.50	0.50	34.00
2012	0603	00131256005	716	33.50	0.50	34.00
2012	0603	00131257003	716	33.50	0.50	34.00
2012	0603	00131258001	716	33.50	0.50	34.00
2012	0603	00131259009	716	33.50	0.50	34.00
2012	0603	00131260004	716	33.50	0.50	34.00
2012	0603	00131261002	716	33.50	0.50	34.00
2012	0603	00131262000	716	33.50	0.50	34.00
2012	0603	00131263008	716	33.50	0.50	34.00
2012	0603	00131264006	716	33.50	0.50	34.00
2012	0603	00131301006	716	33.50	0.50	34.00
2012	0603	00131302004	716	33.50	0.50	34.00
2012	0603	00131303002	716	33.50	0.50	34.00
2012	0603	00131304000	716	33.50	0.50	34.00
2012	0603	00131305008	716	33.50	0.50	34.00
2012	0603	00131306006	716	33.50	0.50	34.00
2012	0603	00131307004	716	33.50	0.50	34.00
2012	0603	00131308002	716	33.50	0.50	34.00
2012	0603	00131309000	716	33.50	0.50	34.00
2012	0603	00131310005	716	33.50	0.50	34.00
2012	0603	00131311003	716	33.50	0.50	34.00
2012	0603	00131312001	716	33.50	0.50	34.00
2012	0603	00131313009	716	33.50	0.50	34.00
2012	0603	00131314007	716	33.50	0.50	34.00
2012	0603	00131315005	716	33.50	0.50	34.00
2012	0603	00131316003	716	33.50	0.50	34.00
2012	0603	00132101009	716	33.50	0.50	34.00
2012	0603	00132102007	716	33.50	0.50	34.00
2012	0603	00132103005	716	33.50	0.50	34.00
2012	0603	00132104003	716	33.50	0.50	34.00
2012	0603	00132105001	716	33.50	0.50	34.00
2012	0603	00132106009	716	33.50	0.50	34.00
2012	0603	00132107007	716	33.50	0.50	34.00
2012	0603	00132108005	716	33.50	0.50	34.00
2012	0603	00132109003	716	33.50	0.50	34.00
2012	0603	00132110008	716	33.50	0.50	34.00
2012	0603	00132111006	716	33.50	0.50	34.00
2012	0603	00132112004	716	33.50	0.50	34.00
2012	0603	00132113002	716	33.50	0.50	34.00
2012	0603	00132114000	716	33.50	0.50	34.00
2012	0603	00132115008	716	33.50	0.50	34.00
2012	0603	00132116006	716	33.50	0.50	34.00
2012	0603	00132117004	716	33.50	0.50	34.00
2012	0603	00132118002	716	33.50	0.50	34.00
2012	0603	00132119000	716	33.50	0.50	34.00
2012	0603	00132120005	716	33.50	0.50	34.00
2012	0603	00132121003	716	33.50	0.50	34.00
2012	0603	00132122001	716	33.50	0.50	34.00

2012	0603	00132123009	716	33.50	0.50	34.00
2012	0603	00132124007	716	33.50	0.50	34.00
2012	0603	00132125005	716	33.50	0.50	34.00
2012	0603	00132126003	716	33.50	0.50	34.00
2012	0603	00132127001	716	33.50	0.50	34.00
2012	0603	00132128009	716	33.50	0.50	34.00
2012	0603	00132129007	716	33.50	0.50	34.00
2012	0603	00132130002	716	33.50	0.50	34.00
2012	0603	00132131000	716	33.50	0.50	34.00
2012	0603	00132132008	716	33.50	0.50	34.00
2012	0603	00132133006	716	33.50	0.50	34.00
2012	0603	00132134004	716	33.50	0.50	34.00
2012	0603	00132135002	716	33.50	0.50	34.00
2012	0603	00132136000	716	33.50	0.50	34.00
2012	0603	00132137008	716	33.50	0.50	34.00
2012	0603	00132138006	716	33.50	0.50	34.00
2012	0603	00132139004	716	33.50	0.50	34.00
2012	0603	00132140009	716	33.50	0.50	34.00
2012	0603	00132141007	716	33.50	0.50	34.00
2012	0603	00132142005	716	33.50	0.50	34.00
2012	0603	00132143003	716	33.50	0.50	34.00
2012	0603	00132144001	716	33.50	0.50	34.00
2012	0603	00132145009	716	33.50	0.50	34.00
2012	0603	00132146007	716	33.50	0.50	34.00
2012	0603	00132147005	716	33.50	0.50	34.00
2012	0603	00132148003	716	33.50	0.50	34.00
2012	0603	00132149001	716	33.50	0.50	34.00
2012	0603	00132150006	716	33.50	0.50	34.00
2012	0603	00132151004	716	33.50	0.50	34.00
2012	0603	00132152002	716	33.50	0.50	34.00
2012	0603	00132153000	716	33.50	0.50	34.00
2012	0603	00132154008	716	33.50	0.50	34.00
2012	0603	00132155006	716	33.50	0.50	34.00
2012	0603	00132156004	716	33.50	0.50	34.00
2012	0603	00132157002	716	33.50	0.50	34.00
2012	0603	00132158000	716	33.50	0.50	34.00
2012	0603	00132159008	716	33.50	0.50	34.00
2012	0603	00132160003	716	33.50	0.50	34.00
2012	0603	00132161001	716	33.50	0.50	34.00
2012	0603	00132162009	716	33.50	0.50	34.00
2012	0603	00132163007	716	33.50	0.50	34.00
2012	0603	00132164005	716	33.50	0.50	34.00
2012	0603	00132165003	716	33.50	0.50	34.00
2012	0603	00132166001	716	33.50	0.50	34.00
2012	0603	00132167009	716	33.50	0.50	34.00
2012	0603	00132168007	716	33.50	0.50	34.00
2012	0603	00132169005	716	33.50	0.50	34.00
2012	0603	00132170000	716	33.50	0.50	34.00
2012	0603	00132171008	716	33.50	0.50	34.00
2012	0603	00132172006	716	33.50	0.50	34.00
2012	0603	00132173004	716	33.50	0.50	34.00
2012	0603	00132174002	716	33.50	0.50	34.00

2012	0603	00132175000	716	33.50	0.50	34.00
2012	0603	00132176008	716	33.50	0.50	34.00
2012	0603	00132177006	716	33.50	0.50	34.00
2012	0603	00132178004	716	33.50	0.50	34.00
2012	0603	00132179002	716	33.50	0.50	34.00
2012	0603	00132180007	716	33.50	0.50	34.00
2012	0603	00132201005	716	33.50	0.50	34.00
2012	0603	00132202003	716	33.50	0.50	34.00
2012	0603	00132203001	716	33.50	0.50	34.00
2012	0603	00132204009	716	33.50	0.50	34.00
2012	0603	00132205007	716	33.50	0.50	34.00
2012	0603	00132206005	716	33.50	0.50	34.00
2012	0603	00132207003	716	33.50	0.50	34.00
2012	0603	00132208001	716	33.50	0.50	34.00
2012	0603	00132209009	716	33.50	0.50	34.00
2012	0603	00132210004	716	33.50	0.50	34.00
2012	0603	00132211002	716	33.50	0.50	34.00
2012	0603	00132212000	716	33.50	0.50	34.00
2012	0603	00132213008	716	33.50	0.50	34.00
2012	0603	00132214006	716	33.50	0.50	34.00
2012	0603	00132215004	716	33.50	0.50	34.00
2012	0603	00132216002	716	33.50	0.50	34.00
2012	0603	00132217000	716	33.50	0.50	34.00
2012	0603	00132218008	716	33.50	0.50	34.00
2012	0603	00132219006	716	33.50	0.50	34.00
2012	0603	00132220001	716	33.50	0.50	34.00
2012	0603	00132301001	716	33.50	0.50	34.00
2012	0603	00132302009	716	33.50	0.50	34.00
2012	0603	00132303007	716	33.50	0.50	34.00
2012	0603	00132304005	716	33.50	0.50	34.00
2012	0603	00132305003	716	33.50	0.50	34.00
2012	0603	00132306001	716	33.50	0.50	34.00
2012	0603	00132307009	716	33.50	0.50	34.00
2012	0603	00132308007	716	33.50	0.50	34.00
2012	0603	00132309005	716	33.50	0.50	34.00
2012	0603	00132310000	716	33.50	0.50	34.00
2012	0603	00132311008	716	33.50	0.50	34.00
2012	0603	00132312006	716	33.50	0.50	34.00
2012	0603	00132313004	716	33.50	0.50	34.00
2012	0603	00132314002	716	33.50	0.50	34.00
2012	0603	00132315000	716	33.50	0.50	34.00
2012	0603	00132316008	716	33.50	0.50	34.00
2012	0603	00132317006	716	33.50	0.50	34.00
2012	0603	00132318004	716	33.50	0.50	34.00
2012	0603	00132319002	716	33.50	0.50	34.00
2012	0603	00132320007	716	33.50	0.50	34.00
2012	0603	00132321005	716	33.50	0.50	34.00
2012	0603	00132322003	716	33.50	0.50	34.00
2012	0603	00132323001	716	33.50	0.50	34.00
2012	0603	00132324009	716	33.50	0.50	34.00
2012	0603	00132325007	716	33.50	0.50	34.00
2012	0603	00132326005	716	33.50	0.50	34.00

2012	0603	00132327003	716	33.50	0.50	34.00
2012	0603	00132328001	716	33.50	0.50	34.00
2012	0603	00132329009	716	33.50	0.50	34.00
2012	0603	00132330004	716	33.50	0.50	34.00
2012	0603	00132331002	716	33.50	0.50	34.00
2012	0603	00132332000	716	33.50	0.50	34.00
2012	0603	00132333008	716	33.50	0.50	34.00
2012	0603	00132334006	716	33.50	0.50	34.00
2012	0603	00132335004	716	33.50	0.50	34.00
2012	0603	00132336002	716	33.50	0.50	34.00
2012	0603	00134001003	716	33.50	0.50	34.00
2012	0603	00134002001	716	33.50	0.50	34.00
2012	0603	00134003009	716	33.50	0.50	34.00
2012	0603	00134004007	716	33.50	0.50	34.00
2012	0603	00134005005	716	33.50	0.50	34.00
2012	0603	00134006003	716	33.50	0.50	34.00
2012	0603	00134007001	716	33.50	0.50	34.00
2012	0603	00134008009	716	33.50	0.50	34.00
2012	0603	00134009007	716	33.50	0.50	34.00
2012	0603	00134010002	716	33.50	0.50	34.00
2012	0603	00134011000	716	33.50	0.50	34.00
2012	0603	00134012008	716	33.50	0.50	34.00
2012	0603	00134013006	716	33.50	0.50	34.00
2012	0603	00134014004	716	33.50	0.50	34.00
2012	0603	00134015002	716	33.50	0.50	34.00
2012	0603	00134016000	716	33.50	0.50	34.00
2012	0603	00134017008	716	33.50	0.50	34.00
2012	0603	00134018006	716	33.50	0.50	34.00
2012	0603	00134019004	716	33.50	0.50	34.00
2012	0603	00134020009	716	33.50	0.50	34.00
2012	0603	00134021007	716	33.50	0.50	34.00
2012	0603	00134022005	716	33.50	0.50	34.00
2012	0603	00134023003	716	33.50	0.50	34.00
2012	0603	00134024001	716	33.50	0.50	34.00
2012	0603	00134025009	716	33.50	0.50	34.00
2012	0603	00134026007	716	33.50	0.50	34.00
2012	0603	00134027005	716	33.50	0.50	34.00
2012	0603	00134028003	716	33.50	0.50	34.00
2012	0603	00134029001	716	33.50	0.50	34.00
2012	0603	00134030006	716	33.50	0.50	34.00
2012	0603	00134031004	716	33.50	0.50	34.00
2012	0603	00134032002	716	33.50	0.50	34.00
2012	0603	00134033000	716	33.50	0.50	34.00
2012	0603	00134034008	716	33.50	0.50	34.00
2012	0603	00134035006	716	33.50	0.50	34.00
2012	0603	00134036004	716	33.50	0.50	34.00
2012	0603	00134037002	716	33.50	0.50	34.00
2012	0603	00134038000	716	33.50	0.50	34.00
2012	0603	00134039008	716	33.50	0.50	34.00
2012	0603	00134040003	716	33.50	0.50	34.00
2012	0603	00135001008	716	33.50	0.50	34.00
2012	0603	00135002006	716	33.50	0.50	34.00

2012	0603	00135003004	716	33.50	0.50	34.00
2012	0603	00135004002	716	33.50	0.50	34.00
2012	0603	00135005000	716	33.50	0.50	34.00
2012	0603	00135006008	716	33.50	0.50	34.00
2012	0603	00135007006	716	33.50	0.50	34.00
2012	0603	00135008004	716	33.50	0.50	34.00
2012	0603	00135009002	716	33.50	0.50	34.00
2012	0603	00135010007	716	33.50	0.50	34.00
2012	0603	00135011005	716	33.50	0.50	34.00
2012	0603	00135012003	716	33.50	0.50	34.00
2012	0603	00135013001	716	33.50	0.50	34.00
2012	0603	00135014009	716	33.50	0.50	34.00
2012	0603	00135015007	716	33.50	0.50	34.00
2012	0603	00135016005	716	33.50	0.50	34.00
2012	0603	00135017003	716	33.50	0.50	34.00
2012	0603	00135018001	716	33.50	0.50	34.00
2012	0603	00135019009	716	33.50	0.50	34.00
2012	0603	00135020004	716	33.50	0.50	34.00
2012	0603	00135021002	716	33.50	0.50	34.00
2012	0603	00135022000	716	33.50	0.50	34.00
2012	0603	00135023008	716	33.50	0.50	34.00
2012	0603	00135024006	716	33.50	0.50	34.00
2012	0603	00135025004	716	33.50	0.50	34.00
2012	0603	00135026002	716	33.50	0.50	34.00
2012	0603	00135027000	716	33.50	0.50	34.00
2012	0603	00135028008	716	33.50	0.50	34.00
2012	0603	00135029006	716	33.50	0.50	34.00
2012	0603	00135030001	716	33.50	0.50	34.00
2012	0603	00135031009	716	33.50	0.50	34.00
2012	0603	00135032007	716	33.50	0.50	34.00
2012	0603	00135033005	716	33.50	0.50	34.00
2012	0603	00135034003	716	33.50	0.50	34.00
2012	0603	00135035001	716	33.50	0.50	34.00
2012	0603	00135036009	716	33.50	0.50	34.00
2012	0603	00135037007	716	33.50	0.50	34.00
2012	0603	00135038005	716	33.50	0.50	34.00
2012	0603	00135039003	716	33.50	0.50	34.00
2012	0603	00135040008	716	33.50	0.50	34.00
2012	0603	00136001003	716	33.50	0.50	34.00
2012	0603	00136002001	716	33.50	0.50	34.00
2012	0603	00136003009	716	33.50	0.50	34.00
2012	0603	00136004007	716	33.50	0.50	34.00
2012	0603	00136005005	716	33.50	0.50	34.00
2012	0603	00136006003	716	33.50	0.50	34.00
2012	0603	00136007001	716	33.50	0.50	34.00
2012	0603	00136008009	716	33.50	0.50	34.00
2012	0603	00136009007	716	33.50	0.50	34.00
2012	0603	00136010002	716	33.50	0.50	34.00
2012	0603	00136011000	716	33.50	0.50	34.00
2012	0603	00136012008	716	33.50	0.50	34.00
2012	0603	00136013006	716	33.50	0.50	34.00
2012	0603	00136014004	716	33.50	0.50	34.00

2012	0603	00136015002	716	33.50	0.50	34.00
2012	0603	00136016000	716	33.50	0.50	34.00
2012	0603	00136017008	716	33.50	0.50	34.00
2012	0603	00136018006	716	33.50	0.50	34.00
2012	0603	00136019004	716	33.50	0.50	34.00
2012	0603	00136020009	716	33.50	0.50	34.00
2012	0603	00136021007	716	33.50	0.50	34.00
2012	0603	00136022005	716	33.50	0.50	34.00
2012	0603	00136023003	716	33.50	0.50	34.00
2012	0603	00136024001	716	33.50	0.50	34.00
2012	0603	00136025009	716	33.50	0.50	34.00
2012	0603	00136026007	716	33.50	0.50	34.00
2012	0603	00136027005	716	33.50	0.50	34.00
2012	0603	00136028003	716	33.50	0.50	34.00
2012	0603	00136029001	716	33.50	0.50	34.00
2012	0603	00136030006	716	33.50	0.50	34.00
2012	0603	00136031004	716	33.50	0.50	34.00
2012	0603	00136032002	716	33.50	0.50	34.00
2012	0603	00136033000	716	33.50	0.50	34.00
2012	0603	00136034008	716	33.50	0.50	34.00
2012	0603	00136035006	716	33.50	0.50	34.00
2012	0603	00136036004	716	33.50	0.50	34.00
2012	0603	00137001008	716	33.50	0.50	34.00
2012	0603	00137002006	716	33.50	0.50	34.00
2012	0603	00137003004	716	33.50	0.50	34.00
2012	0603	00137004002	716	33.50	0.50	34.00
2012	0603	00137005000	716	33.50	0.50	34.00
2012	0603	00137006008	716	33.50	0.50	34.00
2012	0603	00137007006	716	33.50	0.50	34.00
2012	0603	00137008004	716	33.50	0.50	34.00
2012	0603	00137009002	716	33.50	0.50	34.00
2012	0603	00137010007	716	33.50	0.50	34.00
2012	0603	00137011005	716	33.50	0.50	34.00
2012	0603	00137012003	716	33.50	0.50	34.00
2012	0603	00137013001	716	33.50	0.50	34.00
2012	0603	00137014009	716	33.50	0.50	34.00
2012	0603	00137015007	716	33.50	0.50	34.00
2012	0603	00137016005	716	33.50	0.50	34.00
2012	0603	00137017003	716	33.50	0.50	34.00
2012	0603	00137018001	716	33.50	0.50	34.00
2012	0603	00137019009	716	33.50	0.50	34.00
2012	0603	00137020004	716	33.50	0.50	34.00
2012	0603	00137021002	716	33.50	0.50	34.00
2012	0603	00137022000	716	33.50	0.50	34.00
2012	0603	00137023008	716	33.50	0.50	34.00
2012	0603	00137024006	716	33.50	0.50	34.00
2012	0603	00138001003	716	33.50	0.50	34.00
2012	0603	00138002001	716	33.50	0.50	34.00
2012	0603	00138003009	716	33.50	0.50	34.00
2012	0603	00138004007	716	33.50	0.50	34.00
2012	0603	00138005005	716	33.50	0.50	34.00
2012	0603	00138006003	716	33.50	0.50	34.00

2012	0603	00138007001	716	33.50	0.50	34.00
2012	0603	00138008009	716	33.50	0.50	34.00
2012	0603	00138009007	716	33.50	0.50	34.00
2012	0603	00138010002	716	33.50	0.50	34.00
2012	0603	00138011000	716	33.50	0.50	34.00
2012	0603	00138012008	716	33.50	0.50	34.00
2012	0603	00138013006	716	33.50	0.50	34.00
2012	0603	00138014004	716	33.50	0.50	34.00
2012	0603	00138015002	716	33.50	0.50	34.00
2012	0603	00138016000	716	33.50	0.50	34.00
2012	0603	00138017008	716	33.50	0.50	34.00
2012	0603	00138018006	716	33.50	0.50	34.00
2012	0603	00138019004	716	33.50	0.50	34.00
2012	0603	00138020009	716	33.50	0.50	34.00
2012	0603	00138021007	716	33.50	0.50	34.00
2012	0603	00138022005	716	33.50	0.50	34.00
2012	0603	00138023003	716	33.50	0.50	34.00
2012	0603	00138024001	716	33.50	0.50	34.00
2012	0603	00138025009	716	33.50	0.50	34.00
2012	0603	00138026007	716	33.50	0.50	34.00
2012	0603	00138027005	716	33.50	0.50	34.00
2012	0603	00138028003	716	33.50	0.50	34.00
2012	0603	00138029001	716	33.50	0.50	34.00
2012	0603	00138030006	716	33.50	0.50	34.00
2012	0603	00138031004	716	33.50	0.50	34.00
2012	0603	00138032002	716	33.50	0.50	34.00
2012	0603	00138033000	716	33.50	0.50	34.00
2012	0603	00138034008	716	33.50	0.50	34.00
2012	0603	00138035006	716	33.50	0.50	34.00
2012	0603	00138036004	716	33.50	0.50	34.00
2012	0603	00139001008	716	33.50	0.50	34.00
2012	0603	00139002006	716	33.50	0.50	34.00
2012	0603	00139003004	716	33.50	0.50	34.00
2012	0603	00139004002	716	33.50	0.50	34.00
2012	0603	00139005000	716	33.50	0.50	34.00
2012	0603	00139006008	716	33.50	0.50	34.00
2012	0603	00139007006	716	33.50	0.50	34.00
2012	0603	00139008004	716	33.50	0.50	34.00
2012	0603	00139009002	716	33.50	0.50	34.00
2012	0603	00139010007	716	33.50	0.50	34.00
2012	0603	00139011005	716	33.50	0.50	34.00
2012	0603	00139012003	716	33.50	0.50	34.00
2012	0603	00139013001	716	33.50	0.50	34.00
2012	0603	00139014009	716	33.50	0.50	34.00
2012	0603	00139015007	716	33.50	0.50	34.00
2012	0603	00139016005	716	33.50	0.50	34.00
2012	0603	00139017003	716	33.50	0.50	34.00
2012	0603	00139018001	716	33.50	0.50	34.00
2012	0603	00139019009	716	33.50	0.50	34.00
2012	0603	00139020004	716	33.50	0.50	34.00
2012	0603	00139021002	716	33.50	0.50	34.00
2012	0603	00139022000	716	33.50	0.50	34.00

2012	0603	00139023008	716	33.50	0.50	34.00
2012	0603	00139024006	716	33.50	0.50	34.00
2012	0603	00139025004	716	33.50	0.50	34.00
2012	0603	00139026002	716	33.50	0.50	34.00
2012	0603	00139027000	716	33.50	0.50	34.00
2012	0603	00139028008	716	33.50	0.50	34.00
2012	0603	00140001007	716	40.50	0.50	41.00
2012	0603	00140002005	716	40.50	0.50	41.00
2012	0603	00140003003	716	40.50	0.50	41.00
2012	0603	00140004001	716	40.50	0.50	41.00
2012	0603	00140005009	716	40.50	0.50	41.00
2012	0603	00140006007	716	40.50	0.50	41.00
2012	0603	00140007005	716	40.50	0.50	41.00
2012	0603	00140008003	716	40.50	0.50	41.00
2012	0603	00140009001	716	40.50	0.50	41.00
2012	0603	00140010006	716	40.50	0.50	41.00
2012	0603	00140011004	716	40.50	0.50	41.00
2012	0603	00140012002	716	40.50	0.50	41.00
2012	0603	00140013000	716	40.50	0.50	41.00
2012	0603	00140014008	716	40.50	0.50	41.00
2012	0603	00140015006	716	40.50	0.50	41.00
2012	0603	00140016004	716	40.50	0.50	41.00
2012	0603	00140017002	716	40.50	0.50	41.00
2012	0603	00140018000	716	40.50	0.50	41.00
2012	0603	00140019008	716	40.50	0.50	41.00
2012	0603	00140020003	716	40.50	0.50	41.00
2012	0603	00140021001	716	40.50	0.50	41.00
2012	0603	00140022009	716	40.50	0.50	41.00
2012	0603	00140023007	716	85.00	0.50	85.50
2012	0603	00140024005	716	85.00	0.50	85.50
2012	0603	00140025003	716	85.00	0.50	85.50
2012	0603	00140026001	716	85.00	0.50	85.50
2012	0603	00140027009	716	40.50	0.50	41.00
2012	0603	00140028007	716	40.50	0.50	41.00
2012	0603	00140029005	716	40.50	0.50	41.00
2012	0603	00140030000	716	40.50	0.50	41.00
2012	0603	00140031008	716	40.50	0.50	41.00
2012	0603	00140032006	716	40.50	0.50	41.00
2012	0603	00140033004	716	40.50	0.50	41.00
2012	0603	00140034002	716	40.50	0.50	41.00
2012	0603	00140035000	716	40.50	0.50	41.00
2012	0603	00140036008	716	40.50	0.50	41.00
2012	0603	00140037006	716	40.50	0.50	41.00
2012	0603	00140038004	716	40.50	0.50	41.00
2012	0603	00140039002	716	40.50	0.50	41.00
2012	0603	00140040007	716	40.50	0.50	41.00
2012	0603	00140041005	716	40.50	0.50	41.00
2012	0603	00140042003	716	40.50	0.50	41.00
2012	0603	00140043001	716	85.00	0.50	85.50
2012	0603	00140044009	716	85.00	0.50	85.50
2012	0603	00140045007	716	85.00	0.50	85.50
2012	0603	00140046005	716	40.50	0.50	41.00

2012	0603	00140047003	716	40.50	0.50	41.00
2012	0603	00140048001	716	40.50	0.50	41.00
2012	0603	00140049009	716	40.50	0.50	41.00
2012	0603	00140050004	716	40.50	0.50	41.00
2012	0603	00140051002	716	40.50	0.50	41.00
2012	0603	00140052000	716	40.50	0.50	41.00
2012	0603	00140053008	716	40.50	0.50	41.00
2012	0603	00140054006	716	40.50	0.50	41.00
2012	0603	00140055004	716	40.50	0.50	41.00
2012	0603	00140056002	716	40.50	0.50	41.00
2012	0603	00140057000	716	40.50	0.50	41.00
2012	0603	00140058008	716	40.50	0.50	41.00
2012	0603	00140059006	716	40.50	0.50	41.00
2012	0603	00140060001	716	40.50	0.50	41.00
2012	0603	00140061009	716	40.50	0.50	41.00
2012	0603	00140062007	716	40.50	0.50	41.00
2012	0603	00140063005	716	40.50	0.50	41.00
2012	0603	00140064003	716	40.50	0.50	41.00
2012	0603	00140065001	716	40.50	0.50	41.00
2012	0603	00140066009	716	40.50	0.50	41.00
2012	0603	00140067007	716	40.50	0.50	41.00
2012	0603	00140068005	716	40.50	0.50	41.00
2012	0603	00140069003	716	40.50	0.50	41.00
2012	0603	00140070008	716	40.50	0.50	41.00
2012	0603	00140071006	716	40.50	0.50	41.00
2012	0603	00140072004	716	40.50	0.50	41.00
2012	0603	00140073002	716	40.50	0.50	41.00
2012	0603	00140074000	716	40.50	0.50	41.00
2012	0603	00140075008	716	40.50	0.50	41.00
2012	0603	00140076006	716	40.50	0.50	41.00
2012	0603	00140077004	716	40.50	0.50	41.00
2012	0603	00141001002	716	33.50	0.50	34.00
2012	0603	00141002000	716	33.50	0.50	34.00
2012	0603	00141003008	716	33.50	0.50	34.00
2012	0603	00141004006	716	33.50	0.50	34.00
2012	0603	00141005004	716	33.50	0.50	34.00
2012	0603	00141006002	716	33.50	0.50	34.00
2012	0603	00141007000	716	33.50	0.50	34.00
2012	0603	00141008008	716	33.50	0.50	34.00
2012	0603	00141009006	716	33.50	0.50	34.00
2012	0603	00141010001	716	33.50	0.50	34.00
2012	0603	00141011009	716	33.50	0.50	34.00
2012	0603	00141012007	716	33.50	0.50	34.00
2012	0603	00141013005	716	33.50	0.50	34.00
2012	0603	00141014003	716	33.50	0.50	34.00
2012	0603	00141015001	716	33.50	0.50	34.00
2012	0603	00141016009	716	33.50	0.50	34.00
2012	0603	00141017007	716	33.50	0.50	34.00
2012	0603	00141018005	716	33.50	0.50	34.00
2012	0603	00141019003	716	33.50	0.50	34.00
2012	0603	00141020008	716	33.50	0.50	34.00
2012	0603	00141021006	716	33.50	0.50	34.00

2012	0603	00141022004	716	33.50	0.50	34.00
2012	0603	00141023002	716	33.50	0.50	34.00
2012	0603	00141024000	716	33.50	0.50	34.00
2012	0603	00141025008	716	33.50	0.50	34.00
2012	0603	00141026006	716	33.50	0.50	34.00
2012	0603	00142001007	716	27.50	0.50	28.00
2012	0603	00142002005	716	27.50	0.50	28.00
2012	0603	00142003003	716	27.50	0.50	28.00
2012	0603	00142004001	716	27.50	0.50	28.00
2012	0603	00142005009	716	27.50	0.50	28.00
2012	0603	00142006007	716	27.50	0.50	28.00
2012	0603	00142007005	716	27.50	0.50	28.00
2012	0603	00142008003	716	27.50	0.50	28.00
2012	0603	00142009001	716	27.50	0.50	28.00
2012	0603	00142010006	716	27.50	0.50	28.00
2012	0603	00142011004	716	27.50	0.50	28.00
2012	0603	00142012002	716	27.50	0.50	28.00
2012	0603	00142013000	716	27.50	0.50	28.00
2012	0603	00142014008	716	27.50	0.50	28.00
2012	0603	00143001002	716	67.50	0.50	68.00
2012	0603	00143002000	716	67.50	0.50	68.00
2012	0603	00143003008	716	67.50	0.50	68.00
2012	0603	00143004006	716	67.50	0.50	68.00
2012	0603	00143005004	716	67.50	0.50	68.00
2012	0603	00143006002	716	67.50	0.50	68.00
2012	0603	00143007000	716	67.51	0.50	68.01
2012	0603	00143008008	716	67.50	0.50	68.00
2012	0603	00310107005	716	40.50	0.50	41.00
2012	0603	00310108003	716	40.50	0.50	41.00
2012	0603	00310109001	716	35.00	0.50	35.50
2012	0603	00310110006	716	40.50	0.50	41.00
2012	0603	00310111004	716	40.50	0.50	41.00
2012	0603	00310112002	716	40.50	0.50	41.00
2012	0603	00310117002	716	157.50	0.50	158.00
2012	0603	00310118000	716	55.50	0.50	56.00
2012	0603	00310122009	716	27.50	0.50	28.00
2012	0603	00310123007	716	40.50	0.50	41.00
2012	0603	00310124005	716	40.50	0.50	41.00
2012	0603	00310125003	716	40.50	0.50	41.00
2012	0603	00310210002	716	40.50	0.50	41.00
2012	0603	00310212008	716	40.50	0.50	41.00
2012	0603	00310216000	716	35.00	0.50	35.50
2012	0603	00310219004	716	40.50	0.50	41.00
2012	0603	00310221007	716	40.50	0.50	41.00
2012	0603	00310301009	716	35.00	0.50	35.50
2012	0603	00310302007	716	35.00	0.50	35.50
2012	0603	00310303005	716	35.00	0.50	35.50
2012	0603	00310304003	716	40.50	0.50	41.00
2012	0603	00310308005	716	40.50	0.50	41.00
2012	0603	00310309003	716	40.50	0.50	41.00
2012	0603	00310310008	716	35.00	0.50	35.50
2012	0603	00310311006	716	35.00	0.50	35.50

2012	0603	00310312004	716	40.50	0.50	41.00
2012	0603	00310402003	716	40.50	0.50	41.00
2012	0603	00310403001	716	40.50	0.50	41.00
2012	0603	00310405007	716	35.00	0.50	35.50
2012	0603	00310411002	716	35.00	0.50	35.50
2012	0603	00310412000	716	35.00	0.50	35.50
2012	0603	00310413008	716	40.50	0.50	41.00
2012	0603	00310414006	716	35.00	0.50	35.50
2012	0603	00314101007	716	40.50	0.50	41.00
2012	0603	00314102005	716	40.50	0.50	41.00
2012	0603	00314103003	716	40.50	0.50	41.00
2012	0603	00314104001	716	40.50	0.50	41.00
2012	0603	00314105009	716	40.50	0.50	41.00
2012	0603	00314106007	716	40.50	0.50	41.00
2012	0603	00314107005	716	40.50	0.50	41.00
2012	0603	00314108003	716	40.50	0.50	41.00
2012	0603	00314109001	716	40.50	0.50	41.00
2012	0603	00314110006	716	40.50	0.50	41.00
2012	0603	00314111004	716	40.50	0.50	41.00
2012	0603	00314113000	716	40.50	0.50	41.00
2012	0603	00314114008	716	40.50	0.50	41.00
2012	0603	00314115006	716	35.00	0.50	35.50
2012	0603	00314116004	716	40.50	0.50	41.00
2012	0603	00314117002	716	40.50	0.50	41.00
2012	0603	00314118000	716	40.50	0.50	41.00
2012	0603	00314119008	716	40.50	0.50	41.00
2012	0603	00314120003	716	40.50	0.50	41.00
2012	0603	00314121001	716	40.50	0.50	41.00
2012	0603	00314122009	716	40.50	0.50	41.00
2012	0603	00314202001	716	40.50	0.50	41.00
2012	0603	00314203009	716	40.50	0.50	41.00
2012	0603	00314204007	716	40.50	0.50	41.00
2012	0603	00314205005	716	40.50	0.50	41.00
2012	0603	00314206003	716	40.50	0.50	41.00
2012	0603	00314207001	716	40.50	0.50	41.00
2012	0603	00314208009	716	40.50	0.50	41.00
2012	0603	00314210002	716	40.50	0.50	41.00
2012	0603	00314211000	716	40.50	0.50	41.00
2012	0603	00314212008	716	40.50	0.50	41.00
2012	0603	00314213006	716	40.50	0.50	41.00
2012	0603	00314214004	716	40.50	0.50	41.00
2012	0603	00314215002	716	40.50	0.50	41.00
2012	0603	00314216000	716	40.50	0.50	41.00
2012	0603	00314217008	716	40.50	0.50	41.00
2012	0603	00314218006	716	40.50	0.50	41.00
2012	0603	00314219004	716	40.50	0.50	41.00
2012	0603	00314220009	716	35.00	0.50	35.50
2012	0603	00314221007	716	40.50	0.50	41.00
2012	0603	00314222005	716	40.50	0.50	41.00
2012	0603	00314223003	716	40.50	0.50	41.00
2012	0603	00314224001	716	40.50	0.50	41.00
2012	0603	00314225009	716	40.50	0.50	41.00

2012	0603	00314226007	716	40.50	0.50	41.00
2012	0603	00314227005	716	40.50	0.50	41.00
2012	0603	00314228003	716	40.50	0.50	41.00
2012	0603	00314229001	716	40.50	0.50	41.00
2012	0603	00314230006	716	40.50	0.50	41.00
2012	0603	00314231004	716	40.50	0.50	41.00
2012	0603	00314232002	716	35.01	0.50	35.51
2012	0603	00315102000	716	61.50	0.50	62.00
2012	0603	00315104006	716	40.50	0.50	41.00
2012	0603	00315105004	716	40.50	0.50	41.00
2012	0603	00315110001	716	40.50	0.50	41.00
2012	0603	00315111009	716	80.50	0.50	81.00
2012	0603	00315116009	716	249.50	0.50	250.00
2012	0603	00315118005	716	40.50	0.50	41.00
2012	0603	00315119003	716	230.00	0.50	230.50
2012	0603	00315202006	716	35.00	0.50	35.50
2012	0603	00315203004	716	35.00	0.50	35.50
2012	0603	00315204002	716	40.50	0.50	41.00
2012	0603	00315205000	716	40.50	0.50	41.00
2012	0603	00315206008	716	35.00	0.50	35.50
2012	0603	00315207006	716	35.00	0.50	35.50
2012	0603	00315208004	716	40.50	0.50	41.00
2012	0603	00315209002	716	35.00	0.50	35.50
2012	0603	00315213001	716	32.00	0.50	32.50
2012	0603	00315214009	716	32.00	0.50	32.50
2012	0603	00315215007	716	49.50	0.50	50.00
2012	0603	00315216005	716	92.50	0.50	93.00
2012	0603	00315217003	716	35.00	0.50	35.50
2012	0603	00315218001	716	49.50	0.50	50.00
2012	0603	00315223008	716	35.00	0.50	35.50
2012	0603	00315224006	716	157.50	0.50	158.00
2012	0603	00315225004	716	236.00	0.50	236.50
2012	0603	00315227000	716	40.50	0.50	41.00
2012	0603	00315228008	716	35.00	0.50	35.50
2012	0603	00315229006	716	331.01	0.50	331.51
2012	0603	00315301004	716	35.00	0.50	35.50
2012	0603	00315302002	716	40.50	0.50	41.00
2012	0603	00315303000	716	40.50	0.50	41.00
2012	0603	00315304008	716	40.50	0.50	41.00
2012	0603	00315305006	716	35.00	0.50	35.50
2012	0603	00315310003	716	73.50	0.50	74.00
2012	0603	00315311001	716	61.50	0.50	62.00
2012	0603	00315312009	716	288.00	0.50	288.50
2012	0603	00315313007	716	40.50	0.50	41.00
2012	0603	00315314005	716	280.50	0.50	281.00
2012	0603	00315315003	716	61.50	0.50	62.00
2012	0603	00315316001	716	40.50	0.50	41.00
2012	0603	00315317009	716	40.50	0.50	41.00
2012	0603	00316103003	716	40.50	0.50	41.00
2012	0603	00316105009	716	26.00	0.50	26.50
2012	0603	00316106007	716	26.00	0.50	26.50
2012	0603	00316107005	716	26.00	0.50	26.50

2012	0603	00316108003	716	26.00	0.50	26.50
2012	0603	00316109001	716	26.00	0.50	26.50
2012	0603	00316110006	716	26.00	0.50	26.50
2012	0603	00316111004	716	26.00	0.50	26.50
2012	0603	00316115006	716	40.50	0.50	41.00
2012	0603	00316116004	716	40.50	0.50	41.00
2012	0603	00316117002	716	40.50	0.50	41.00
2012	0603	00316118000	716	35.00	0.50	35.50
2012	0603	00316119008	716	35.00	0.50	35.50
2012	0603	00316120003	716	40.50	0.50	41.00
2012	0603	00316121001	716	35.00	0.50	35.50
2012	0603	00316205005	716	26.00	0.50	26.50
2012	0603	00316209007	716	218.50	0.50	219.00
2012	0603	00316210002	716	26.00	0.50	26.50
2012	0603	00316211000	716	114.50	0.50	115.00
2012	0603	00316212008	716	114.50	0.50	115.00
2012	0603	00317103008	716	26.00	0.50	26.50
2012	0603	00317104006	716	26.00	0.50	26.50
2012	0603	00317105004	716	26.00	0.50	26.50
2012	0603	00317106002	716	26.00	0.50	26.50
2012	0603	00317108008	716	26.00	0.50	26.50
2012	0603	00317109006	716	26.00	0.50	26.50
2012	0603	00317110001	716	26.00	0.50	26.50
2012	0603	00317111009	716	26.00	0.50	26.50
2012	0603	00317112007	716	26.00	0.50	26.50
2012	0603	00317113005	716	26.00	0.50	26.50
2012	0603	00317114003	716	26.00	0.50	26.50
2012	0603	00317115001	716	26.00	0.50	26.50
2012	0603	00317116009	716	26.00	0.50	26.50
2012	0603	00317117007	716	26.00	0.50	26.50
2012	0603	00317118005	716	26.00	0.50	26.50
2012	0603	00317119003	716	40.50	0.50	41.00
2012	0603	00317120008	716	40.50	0.50	41.00
2012	0603	00317122004	716	49.50	0.50	50.00
2012	0603	00317201008	716	26.00	0.50	26.50
2012	0603	00317202006	716	26.00	0.50	26.50
2012	0603	00317203004	716	26.00	0.50	26.50
2012	0603	00317204002	716	26.00	0.50	26.50
2012	0603	00317209002	716	26.00	0.50	26.50
2012	0603	00317210007	716	26.00	0.50	26.50
2012	0603	00317211005	716	26.00	0.50	26.50
2012	0603	00317212003	716	26.00	0.50	26.50
2012	0603	00317213001	716	26.00	0.50	26.50
2012	0603	00317215007	716	26.00	0.50	26.50
2012	0603	00317216005	716	26.00	0.50	26.50
2012	0603	00317218001	716	26.00	0.50	26.50
2012	0603	00317219009	716	26.00	0.50	26.50
2012	0603	00317220004	716	26.00	0.50	26.50
2012	0603	00317221002	716	26.00	0.50	26.50
2012	0603	00317222000	716	26.00	0.50	26.50
2012	0603	00317223008	716	26.00	0.50	26.50
2012	0603	00319101002	716	76.00	0.50	76.50

2012	0603	00319102000	716	61.50	0.50	62.00
2012	0603	00319104006	716	26.00	0.50	26.50
2012	0603	00319105004	716	26.00	0.50	26.50
2012	0603	00319106002	716	26.00	0.50	26.50
2012	0603	00319107000	716	125.00	0.50	125.50
2012	0603	00319202006	716	26.00	0.50	26.50
2012	0603	00319203004	716	26.00	0.50	26.50
2012	0603	00319205000	716	26.00	0.50	26.50
2012	0603	00319206008	716	26.00	0.50	26.50
2012	0603	00319207006	716	26.00	0.50	26.50
2012	0603	00319209002	716	26.00	0.50	26.50
2012	0603	00319213001	716	26.00	0.50	26.50
2012	0603	00319214009	716	26.00	0.50	26.50
2012	0603	00319215007	716	26.00	0.50	26.50
2012	0603	00319216005	716	62.03	0.50	62.53
2012	0603	00319302002	716	26.00	0.50	26.50
2012	0603	00319303000	716	26.00	0.50	26.50
2012	0603	00319304008	716	26.00	0.50	26.50
2012	0603	00319305006	716	26.00	0.50	26.50
2012	0603	00319306004	716	26.00	0.50	26.50
2012	0603	00319307002	716	26.00	0.50	26.50
2012	0603	00319310003	716	26.00	0.50	26.50
2012	0603	00319311001	716	26.00	0.50	26.50
2012	0603	00319312009	716	26.00	0.50	26.50
2012	0603	00319313007	716	26.00	0.50	26.50
2012	0603	00319314005	716	26.00	0.50	26.50
2012	0603	00319315003	716	26.00	0.50	26.50
2012	0603	00319316001	716	26.00	0.50	26.50
2012	0603	00319317009	716	26.00	0.50	26.50
2012	0603	00319318007	716	366.50	0.50	367.00
2012	0603	00319319005	716	88.03	0.50	88.53
2012	0603	00320001005	716	35.00	0.50	35.50
2012	0603	00320002003	716	35.00	0.50	35.50
2012	0603	00320003001	716	35.00	0.50	35.50
2012	0603	00320004009	716	35.00	0.50	35.50
2012	0603	00320005007	716	35.00	0.50	35.50
2012	0603	00320006005	716	35.00	0.50	35.50
2012	0603	00320007003	716	35.00	0.50	35.50
2012	0603	00320008001	716	35.00	0.50	35.50
2012	0603	00320009009	716	35.00	0.50	35.50
2012	0603	00320010004	716	35.00	0.50	35.50
2012	0603	00320011002	716	35.00	0.50	35.50
2012	0603	00320012000	716	35.00	0.50	35.50
2012	0603	00320013008	716	35.00	0.50	35.50
2012	0603	00320014006	716	35.00	0.50	35.50
2012	0603	00320015004	716	35.00	0.50	35.50
2012	0603	00320016002	716	35.00	0.50	35.50
2012	0603	00320017000	716	35.00	0.50	35.50
2012	0603	00320018008	716	35.00	0.50	35.50
2012	0603	00320019006	716	35.00	0.50	35.50
2012	0603	00320020001	716	35.00	0.50	35.50
2012	0603	00320021009	716	35.00	0.50	35.50

2012	0603	00320022007	716	35.00	0.50	35.50
2012	0603	00320023005	716	35.00	0.50	35.50
2012	0603	00320024003	716	35.00	0.50	35.50
2012	0603	00320025001	716	35.00	0.50	35.50
2012	0603	00320026009	716	35.00	0.50	35.50
2012	0603	00320027007	716	35.00	0.50	35.50
2012	0603	00320028005	716	35.00	0.50	35.50
2012	0603	00320029003	716	35.00	0.50	35.50
2012	0603	00320030008	716	35.00	0.50	35.50
2012	0603	00320031006	716	35.00	0.50	35.50
2012	0603	00320032004	716	35.00	0.50	35.50
2012	0603	00320033002	716	35.00	0.50	35.50
2012	0603	00321001000	716	15.50	0.50	16.00
2012	0603	00321002008	716	36.00	0.50	36.50
2012	0603	00321003006	716	20.00	0.50	20.50
2012	0603	00321004004	716	39.00	0.50	39.50
2012	0603	00321005002	716	24.50	0.50	25.00
2012	0603	00321006000	716	52.50	0.50	53.00
2012	0603	00321113009	716	912.50	0.50	913.00
2012	0603	00321211009	716	24.50	0.50	25.00
2012	0603	00321212007	716	24.50	0.50	25.00
2012	0603	00321213005	716	24.50	0.50	25.00
2012	0603	00321216009	716	24.50	0.50	25.00
2012	0603	00321217007	716	24.50	0.50	25.00
2012	0603	00321218005	716	24.50	0.50	25.00
2012	0603	00321219003	716	24.50	0.50	25.00
2012	0603	00321221006	716	24.50	0.50	25.00
2012	0603	00321222004	716	24.50	0.50	25.00
2012	0603	00321223002	716	61.50	0.50	62.00
2012	0603	00321225008	716	24.50	0.50	25.00
2012	0603	00321226006	716	24.50	0.50	25.00
2012	0603	00321228002	716	24.50	0.50	25.00
2012	0603	00321229000	716	24.50	0.50	25.00
2012	0603	00321230005	716	29.00	0.50	29.50
2012	0603	00321232001	716	17.00	0.50	17.50
2012	0603	00321233009	716	17.00	0.50	17.50
2012	0603	00321234007	716	17.00	0.50	17.50
2012	0603	00321235005	716	17.00	0.50	17.50
2012	0603	00321236003	716	17.00	0.50	17.50
2012	0603	00321305000	716	12.50	0.50	13.00
2012	0603	00321306008	716	24.50	0.50	25.00
2012	0603	00321307006	716	24.50	0.50	25.00
2012	0603	00321308004	716	24.50	0.50	25.00
2012	0603	00321309002	716	24.50	0.50	25.00
2012	0603	00321310007	716	24.50	0.50	25.00
2012	0603	00321311005	716	24.50	0.50	25.00
2012	0603	00323019001	716	35.00	0.50	35.50
2012	0603	00323020006	716	35.00	0.50	35.50
2012	0603	00323021004	716	35.00	0.50	35.50
2012	0603	00324101001	716	1,047.00	0.50	1,047.50
2012	0603	00324202005	716	49.50	0.50	50.00
2012	0603	00324203003	716	73.50	0.50	74.00

2012	0603	00324207005	716	24.50	0.50	25.00
2012	0603	00324210006	716	35.00	0.50	35.50
2012	0603	00324211004	716	40.50	0.50	41.00
2012	0603	00324212002	716	40.50	0.50	41.00
2012	0603	00324213000	716	40.50	0.50	41.00
2012	0603	00324214008	716	35.00	0.50	35.50
2012	0603	00324215006	716	35.00	0.50	35.50
2012	0603	00324216004	716	40.50	0.50	41.00
2012	0603	00324217002	716	40.50	0.50	41.00
2012	0603	00324218000	716	40.50	0.50	41.00
2012	0603	00324219008	716	40.50	0.50	41.00
2012	0603	00324220003	716	40.50	0.50	41.00
2012	0603	00324221001	716	35.00	0.50	35.50
2012	0603	00324222009	716	40.50	0.50	41.00
2012	0603	00324223007	716	35.00	0.50	35.50
2012	0603	00324226001	716	24.50	0.50	25.00
2012	0603	00324232006	716	335.00	0.50	335.50
2012	0603	00324233004	716	76.00	0.50	76.50
2012	0603	00324235000	716	49.00	0.50	49.50
2012	0603	00324303009	716	40.50	0.50	41.00
2012	0603	00324304007	716	35.00	0.50	35.50
2012	0603	00324305005	716	40.50	0.50	41.00
2012	0603	00324306003	716	40.50	0.50	41.00
2012	0603	00324307001	716	40.50	0.50	41.00
2012	0603	00324308009	716	35.00	0.50	35.50
2012	0603	00324318006	716	40.50	0.50	41.00
2012	0603	00324320009	716	40.50	0.50	41.00
2012	0603	00324322005	716	35.00	0.50	35.50
2012	0603	00324326007	716	40.50	0.50	41.00
2012	0603	00324328003	716	35.00	0.50	35.50
2012	0603	00324329001	716	35.00	0.50	35.50
2012	0603	00324330006	716	35.00	0.50	35.50
2012	0603	00324331004	716	35.00	0.50	35.50
2012	0603	00325102004	716	61.50	0.50	62.00
2012	0603	00325103002	716	208.00	0.50	208.50
2012	0603	00325104000	716	40.50	0.50	41.00
2012	0603	00325105008	716	40.50	0.50	41.00
2012	0603	00325106006	716	61.50	0.50	62.00
2012	0603	00325107004	716	35.00	0.50	35.50
2012	0603	00325112001	716	35.00	0.50	35.50
2012	0603	00325117001	716	63.00	0.50	63.50
2012	0603	00325121000	716	311.50	0.50	312.00
2012	0603	00325203008	716	40.50	0.50	41.00
2012	0603	00325204006	716	40.50	0.50	41.00
2012	0603	00325205004	716	40.50	0.50	41.00
2012	0603	00325206002	716	40.50	0.50	41.00
2012	0603	00325207000	716	40.50	0.50	41.00
2012	0603	00325208008	716	35.00	0.50	35.50
2012	0603	00325211009	716	280.50	0.50	281.00
2012	0603	00325217007	716	35.00	0.50	35.50
2012	0603	00325219003	716	440.50	0.50	441.00
2012	0603	00325220008	716	440.50	0.50	441.00

2012	0603	00325221006	716	40.50	0.50	41.00
2012	0603	00325222004	716	40.50	0.50	41.00
2012	0603	00325301008	716	144.50	0.50	145.00
2012	0603	00325302006	716	92.50	0.50	93.00
2012	0603	00325303004	716	311.50	0.50	312.00
2012	0603	00325304002	716	501.00	0.50	501.50
2012	0603	00325305000	716	40.50	0.50	41.00
2012	0603	00325306008	716	40.50	0.50	41.00
2012	0603	00325307006	716	40.50	0.50	41.00
2012	0603	00325308004	716	249.50	0.50	250.00
2012	0603	00325403000	716	40.50	0.50	41.00
2012	0603	00325404008	716	40.50	0.50	41.00
2012	0603	00325405006	716	35.00	0.50	35.50
2012	0603	00325406004	716	40.50	0.50	41.00
2012	0603	00325407002	716	40.50	0.50	41.00
2012	0603	00325408000	716	40.50	0.50	41.00
2012	0603	00325409008	716	40.50	0.50	41.00
2012	0603	00325410003	716	40.50	0.50	41.00
2012	0603	00325411001	716	40.50	0.50	41.00
2012	0603	00325412009	716	35.00	0.50	35.50
2012	0603	00325413007	716	35.00	0.50	35.50
2012	0603	00325414005	716	40.50	0.50	41.00
2012	0603	00325415003	716	40.50	0.50	41.00
2012	0603	00325416001	716	35.00	0.50	35.50
2012	0603	00325417009	716	35.00	0.50	35.50
2012	0603	00326103007	716	61.50	0.50	62.00
2012	0603	00326104005	716	32.00	0.50	32.50
2012	0603	00326105003	716	61.50	0.50	62.00
2012	0603	00326106001	716	32.00	0.50	32.50
2012	0603	00326107009	716	209.50	0.50	210.00
2012	0603	00326109005	716	217.00	0.50	217.50
2012	0603	00326110000	716	125.00	0.50	125.50
2012	0603	00326201007	716	125.00	0.50	125.50
2012	0603	00326204001	716	61.50	0.50	62.00
2012	0603	00326205009	716	76.00	0.50	76.50
2012	0603	00326206007	716	35.00	0.50	35.50
2012	0603	00326209001	716	32.00	0.50	32.50
2012	0603	00326210006	716	61.50	0.50	62.00
2012	0603	00326212002	716	35.00	0.50	35.50
2012	0603	00326213000	716	40.50	0.50	41.00
2012	0603	00326214008	716	35.00	0.50	35.50
2012	0603	00326217002	716	40.50	0.50	41.00
2012	0603	00326218000	716	55.50	0.50	56.00
2012	0603	00326219008	716	43.50	0.50	44.00
2012	0603	00326220003	716	249.50	0.50	250.00
2012	0603	00326221001	716	286.00	0.50	286.50
2012	0603	00326301003	716	255.50	0.50	256.00
2012	0603	00326303009	716	262.50	0.50	263.00
2012	0603	00326305005	716	73.50	0.50	74.00
2012	0603	00326306003	716	86.50	0.50	87.00
2012	0603	00326314004	716	442.00	0.50	442.50
2012	0603	00326315002	716	224.00	0.50	224.50

2012	0603	00326316000	716	36.00	0.50	36.50
2012	0603	00326323003	716	224.00	0.50	224.50
2012	0603	00326324001	716	55.50	0.50	56.00
2012	0603	00326327005	716	92.50	0.50	93.00
2012	0603	00326328003	716	532.00	0.50	532.50
2012	0603	00326329001	716	132.50	0.50	133.00
2012	0603	00326330006	716	138.50	0.50	139.00
2012	0603	00326333000	716	141.50	0.50	142.00
2012	0603	00328002003	716	101.50	0.50	102.00
2012	0603	00328003001	716	35.00	0.50	35.50
2012	0603	00328008001	716	35.00	0.50	35.50
2012	0603	00328009009	716	35.00	0.50	35.50
2012	0603	00328010004	716	35.00	0.50	35.50
2012	0603	00328011002	716	35.00	0.50	35.50
2012	0603	00328012000	716	35.00	0.50	35.50
2012	0603	00328017000	716	202.50	0.50	203.00
2012	0603	00329101006	716	26.00	0.50	26.50
2012	0603	00329102004	716	126.50	0.50	127.00
2012	0603	00329103002	716	126.50	0.50	127.00
2012	0603	00329104000	716	126.50	0.50	127.00
2012	0603	00329105008	716	126.50	0.50	127.00
2012	0603	00329106006	716	126.50	0.50	127.00
2012	0603	00329107004	716	126.50	0.50	127.00
2012	0603	00329108002	716	126.50	0.50	127.00
2012	0603	00329109000	716	126.50	0.50	127.00
2012	0603	00329110005	716	126.50	0.50	127.00
2012	0603	00329111003	716	126.50	0.50	127.00
2012	0603	00329112001	716	126.50	0.50	127.00
2012	0603	00329113009	716	126.50	0.50	127.00
2012	0603	00329114007	716	126.50	0.50	127.00
2012	0603	00329115005	716	126.50	0.50	127.00
2012	0603	00329116003	716	126.50	0.50	127.00
2012	0603	00329117001	716	126.50	0.50	127.00
2012	0603	00329118009	716	126.50	0.50	127.00
2012	0603	00329119007	716	126.50	0.50	127.00
2012	0603	00329120002	716	126.50	0.50	127.00
2012	0603	00329121000	716	126.50	0.50	127.00
2012	0603	00329122008	716	126.50	0.50	127.00
2012	0603	00329123006	716	126.50	0.50	127.00
2012	0603	00329124004	716	126.50	0.50	127.00
2012	0603	00329125002	716	126.50	0.50	127.00
2012	0603	00329126000	716	126.50	0.50	127.00
2012	0603	00329127008	716	126.50	0.50	127.00
2012	0603	00329128006	716	126.50	0.50	127.00
2012	0603	00329129004	716	126.50	0.50	127.00
2012	0603	00329130009	716	126.50	0.50	127.00
2012	0603	00329131007	716	26.00	0.50	26.50
2012	0603	00329132005	716	26.00	0.50	26.50
2012	0603	00329134001	716	26.00	0.50	26.50
2012	0603	00329135009	716	26.00	0.50	26.50
2012	0603	00329136007	716	26.00	0.50	26.50
2012	0603	00329137005	716	26.00	0.50	26.50

2012	0603	00329138003	716	26.00	0.50	26.50
2012	0603	00329139001	716	26.00	0.50	26.50
2012	0603	00329140006	716	26.00	0.50	26.50
2012	0603	00329141004	716	26.00	0.50	26.50
2012	0603	00329142002	716	26.00	0.50	26.50
2012	0603	00329201002	716	126.50	0.50	127.00
2012	0603	00329202000	716	126.50	0.50	127.00
2012	0603	00329203008	716	126.50	0.50	127.00
2012	0603	00329204006	716	126.50	0.50	127.00
2012	0603	00329205004	716	126.50	0.50	127.00
2012	0603	00329206002	716	126.50	0.50	127.00
2012	0603	00329207000	716	126.50	0.50	127.00
2012	0603	00329208008	716	126.50	0.50	127.00
2012	0603	00329209006	716	126.50	0.50	127.00
2012	0603	00329210001	716	126.50	0.50	127.00
2012	0603	00329211009	716	126.50	0.50	127.00
2012	0603	00329212007	716	126.50	0.50	127.00
2012	0603	00329213005	716	126.50	0.50	127.00
2012	0603	00329214003	716	126.50	0.50	127.00
2012	0603	00329215001	716	126.50	0.50	127.00
2012	0603	00329216009	716	126.50	0.50	127.00
2012	0603	00329217007	716	126.50	0.50	127.00
2012	0603	00329218005	716	234.50	0.50	235.00
2012	0603	00329219003	716	234.50	0.50	235.00
2012	0603	00329220008	716	234.50	0.50	235.00
2012	0603	00329223002	716	234.50	0.50	235.00
2012	0603	00329224000	716	393.00	0.50	393.50
2012	0603	00330103001	716	40.50	0.50	41.00
2012	0603	00330104009	716	40.50	0.50	41.00
2012	0603	00330105007	716	40.50	0.50	41.00
2012	0603	00330106005	716	40.50	0.50	41.00
2012	0603	00330107003	716	35.00	0.50	35.50
2012	0603	00330108001	716	35.00	0.50	35.50
2012	0603	00330111002	716	40.50	0.50	41.00
2012	0603	00330112000	716	40.50	0.50	41.00
2012	0603	00330113008	716	40.50	0.50	41.00
2012	0603	00330120001	716	40.50	0.50	41.00
2012	0603	00330122007	716	40.50	0.50	41.00
2012	0603	00330126009	716	440.50	0.50	441.00
2012	0603	00330127007	716	440.50	0.50	441.00
2012	0603	00330204005	716	35.00	0.50	35.50
2012	0603	00330207009	716	35.01	0.50	35.51
2012	0603	00330301007	716	35.00	0.50	35.50
2012	0603	00330302005	716	35.00	0.50	35.50
2012	0603	00330303003	716	35.00	0.50	35.50
2012	0603	00330304001	716	35.00	0.50	35.50
2012	0603	00330306007	716	40.50	0.50	41.00
2012	0603	00330308003	716	40.50	0.50	41.00
2012	0603	00330309001	716	40.50	0.50	41.00
2012	0603	00330310006	716	40.50	0.50	41.00
2012	0603	00330311004	716	40.50	0.50	41.00
2012	0603	00330314008	716	40.50	0.50	41.00

2012	0603	00330315006	716	40.50	0.50	41.00
2012	0603	00330316004	716	40.50	0.50	41.00
2012	0603	00330317002	716	35.00	0.50	35.50
2012	0603	00330318000	716	35.00	0.50	35.50
2012	0603	00330319008	716	35.00	0.50	35.50
2012	0603	00330402001	716	40.50	0.50	41.00
2012	0603	00330403009	716	35.00	0.50	35.50
2012	0603	00330404007	716	40.50	0.50	41.00
2012	0603	00330405005	716	35.00	0.50	35.50
2012	0603	00330409007	716	35.00	0.50	35.50
2012	0603	00330410002	716	35.00	0.50	35.50
2012	0603	00330411000	716	40.50	0.50	41.00
2012	0603	00330412008	716	35.00	0.50	35.50
2012	0603	00330501009	716	35.00	0.50	35.50
2012	0603	00330502007	716	40.50	0.50	41.00
2012	0603	00330503005	716	40.50	0.50	41.00
2012	0603	00330504003	716	35.00	0.50	35.50
2012	0603	00330505001	716	40.50	0.50	41.00
2012	0603	00330507007	716	912.50	0.50	913.00
2012	0603	00330508005	716	35.00	0.50	35.50
2012	0603	00330509003	716	40.50	0.50	41.00
2012	0603	00330510008	716	35.00	0.50	35.50
2012	0603	00330511006	716	35.00	0.50	35.50
2012	0603	00330512004	716	35.00	0.50	35.50
2012	0603	00330513002	716	40.50	0.50	41.00
2012	0603	00331101000	716	40.50	0.50	41.00
2012	0603	00331102008	716	40.50	0.50	41.00
2012	0603	00331104004	716	230.00	0.50	230.50
2012	0603	00331105002	716	61.50	0.50	62.00
2012	0603	00331106000	716	52.50	0.50	53.00
2012	0603	00331107008	716	268.50	0.50	269.00
2012	0603	00331108006	716	40.50	0.50	41.00
2012	0603	00331109004	716	35.00	0.50	35.50
2012	0603	00331110009	716	35.00	0.50	35.50
2012	0603	00331111007	716	40.50	0.50	41.00
2012	0603	00331112005	716	40.50	0.50	41.00
2012	0603	00331113003	716	40.50	0.50	41.00
2012	0603	00331201006	716	40.50	0.50	41.00
2012	0603	00331202004	716	35.00	0.50	35.50
2012	0603	00331204000	716	249.50	0.50	250.00
2012	0603	00331207004	716	92.50	0.50	93.00
2012	0603	00331208002	716	61.50	0.50	62.00
2012	0603	00331209000	716	61.50	0.50	62.00
2012	0603	00331210005	716	32.00	0.50	32.50
2012	0603	00331211003	716	249.50	0.50	250.00
2012	0603	00331212001	716	217.00	0.50	217.50
2012	0603	00331213009	716	217.00	0.50	217.50
2012	0603	00331215005	716	40.50	0.50	41.00
2012	0603	00331216003	716	35.00	0.50	35.50
2012	0603	00331217001	716	35.00	0.50	35.50
2012	0603	00331218009	716	40.50	0.50	41.00
2012	0603	00331220002	716	32.00	0.50	32.50

2012	0603	00331221000	716	32.00	0.50	32.50
2012	0603	00331222008	716	35.00	0.50	35.50
2012	0603	00331223006	716	35.00	0.50	35.50
2012	0603	00331224004	716	40.50	0.50	41.00
2012	0603	00331301002	716	582.50	0.50	583.00
2012	0603	00331305004	716	40.50	0.50	41.00
2012	0603	00331306002	716	40.50	0.50	41.00
2012	0603	00331307000	716	35.00	0.50	35.50
2012	0603	00331308008	716	35.00	0.50	35.50
2012	0603	00331309006	716	35.00	0.50	35.50
2012	0603	00331310001	716	35.00	0.50	35.50
2012	0603	00331311009	716	114.50	0.50	115.00
2012	0603	00331401008	716	221.00	0.50	221.50
2012	0603	00331402006	716	61.50	0.50	62.00
2012	0603	00331403004	716	40.50	0.50	41.00
2012	0603	00331404002	716	35.00	0.50	35.50
2012	0603	00331405000	716	21.50	0.50	22.00
2012	0603	00331406008	716	21.50	0.50	22.00
2012	0603	00331407006	716	29.00	0.50	29.50
2012	0603	00331408004	716	283.50	0.50	284.00
2012	0603	00331409002	716	61.50	0.50	62.00
2012	0603	00331410007	716	32.00	0.50	32.50
2012	0603	00332101005	716	35.00	0.50	35.50
2012	0603	00332102003	716	35.00	0.50	35.50
2012	0603	00332105007	716	35.00	0.50	35.50
2012	0603	00332106005	716	40.50	0.50	41.00
2012	0603	00332107003	716	35.00	0.50	35.50
2012	0603	00332108001	716	40.50	0.50	41.00
2012	0603	00332109009	716	40.50	0.50	41.00
2012	0603	00332110004	716	40.50	0.50	41.00
2012	0603	00332111002	716	35.00	0.50	35.50
2012	0603	00332112000	716	40.50	0.50	41.00
2012	0603	00332201001	716	40.50	0.50	41.00
2012	0603	00332202009	716	40.50	0.50	41.00
2012	0603	00332203007	716	40.50	0.50	41.00
2012	0603	00332204005	716	35.00	0.50	35.50
2012	0603	00332205003	716	40.50	0.50	41.00
2012	0603	00332206001	716	35.00	0.50	35.50
2012	0603	00332207009	716	40.50	0.50	41.00
2012	0603	00332208007	716	35.00	0.50	35.50
2012	0603	00332209005	716	40.50	0.50	41.00
2012	0603	00332210000	716	40.50	0.50	41.00
2012	0603	00332213004	716	35.00	0.50	35.50
2012	0603	00332401003	716	35.00	0.50	35.50
2012	0603	00332402001	716	35.00	0.50	35.50
2012	0603	00332403009	716	35.00	0.50	35.50
2012	0603	00332404007	716	35.00	0.50	35.50
2012	0603	00332501009	716	40.50	0.50	41.00
2012	0603	00332502007	716	26.00	0.50	26.50
2012	0603	00332503005	716	26.00	0.50	26.50
2012	0603	00332504003	716	26.00	0.50	26.50
2012	0603	00332505001	716	26.00	0.50	26.50

2012	0603	00332506009	716	26.00	0.50	26.50
2012	0603	00332507007	716	42.00	0.50	42.50
2012	0603	00332508005	716	40.50	0.50	41.00
2012	0603	00332509003	716	35.00	0.50	35.50
2012	0603	00332510008	716	35.00	0.50	35.50
2012	0603	00332511006	716	35.00	0.50	35.50
2012	0603	00332512004	716	40.50	0.50	41.00
2012	0603	00332513002	716	35.00	0.50	35.50
2012	0603	00332514000	716	40.50	0.50	41.00
2012	0603	00333101000	716	40.50	0.50	41.00
2012	0603	00333102008	716	35.00	0.50	35.50
2012	0603	00333103006	716	35.00	0.50	35.50
2012	0603	00333104004	716	40.50	0.50	41.00
2012	0603	00333105002	716	35.00	0.50	35.50
2012	0603	00333106000	716	40.50	0.50	41.00
2012	0603	00333201006	716	26.00	0.50	26.50
2012	0603	00333202004	716	26.00	0.50	26.50
2012	0603	00333206006	716	26.00	0.50	26.50
2012	0603	00333207004	716	26.00	0.50	26.50
2012	0603	00333208002	716	26.00	0.50	26.50
2012	0603	00333209000	716	26.00	0.50	26.50
2012	0603	00333210005	716	26.00	0.50	26.50
2012	0603	00333211003	716	26.00	0.50	26.50
2012	0603	00333212001	716	26.00	0.50	26.50
2012	0603	00333214007	716	26.00	0.50	26.50
2012	0603	00333301002	716	40.50	0.50	41.00
2012	0603	00333303008	716	26.00	0.50	26.50
2012	0603	00333306002	716	40.50	0.50	41.00
2012	0603	00333309006	716	26.00	0.50	26.50
2012	0603	00333310001	716	26.00	0.50	26.50
2012	0603	00333311009	716	26.00	0.50	26.50
2012	0603	00333312007	716	26.00	0.50	26.50
2012	0603	00333313005	716	26.00	0.50	26.50
2012	0603	00333314003	716	26.00	0.50	26.50
2012	0603	00333315001	716	26.00	0.50	26.50
2012	0603	00333318005	716	26.00	0.50	26.50
2012	0603	00333320008	716	40.50	0.50	41.00
2012	0603	00333321006	716	26.00	0.50	26.50
2012	0603	00333322004	716	26.00	0.50	26.50
2012	0603	00333323002	716	18.50	0.50	19.00
2012	0603	00333324000	716	15.50	0.50	16.00
2012	0603	00334001009	716	26.00	0.50	26.50
2012	0603	00334002007	716	26.00	0.50	26.50
2012	0603	00334003005	716	26.00	0.50	26.50
2012	0603	00334004003	716	26.00	0.50	26.50
2012	0603	00334005001	716	26.00	0.50	26.50
2012	0603	00334006009	716	26.00	0.50	26.50
2012	0603	00334007007	716	26.00	0.50	26.50
2012	0603	00334008005	716	26.00	0.50	26.50
2012	0603	00334009003	716	26.00	0.50	26.50
2012	0603	00334010008	716	26.00	0.50	26.50
2012	0603	00334011006	716	26.00	0.50	26.50

2012	0603	00334012004	716	26.00	0.50	26.50
2012	0603	00334013002	716	26.00	0.50	26.50
2012	0603	00334014000	716	26.00	0.50	26.50
2012	0603	00334015008	716	26.00	0.50	26.50
2012	0603	00334016006	716	26.00	0.50	26.50
2012	0603	00334017004	716	26.00	0.50	26.50
2012	0603	00334018002	716	26.00	0.50	26.50
2012	0603	00334019000	716	26.00	0.50	26.50
2012	0603	00334020005	716	26.00	0.50	26.50
2012	0603	00334021003	716	26.00	0.50	26.50
2012	0603	00334022001	716	26.00	0.50	26.50
2012	0603	00334023009	716	26.00	0.50	26.50
2012	0603	00334024007	716	26.00	0.50	26.50
2012	0603	00334025005	716	26.00	0.50	26.50
2012	0603	00334026003	716	26.00	0.50	26.50
2012	0603	00334027001	716	26.00	0.50	26.50
2012	0603	00334028009	716	26.00	0.50	26.50
2012	0603	00334029007	716	26.00	0.50	26.50
2012	0603	00334030002	716	26.00	0.50	26.50
2012	0603	00334031000	716	26.00	0.50	26.50
2012	0603	00334032008	716	26.00	0.50	26.50
2012	0603	00334033006	716	26.00	0.50	26.50
2012	0603	00335101000	716	26.00	0.50	26.50
2012	0603	00335102008	716	26.00	0.50	26.50
2012	0603	00335103006	716	26.00	0.50	26.50
2012	0603	00335104004	716	26.00	0.50	26.50
2012	0603	00335105002	716	26.00	0.50	26.50
2012	0603	00335106000	716	26.00	0.50	26.50
2012	0603	00335107008	716	126.50	0.50	127.00
2012	0603	00335108006	716	126.50	0.50	127.00
2012	0603	00335109004	716	126.50	0.50	127.00
2012	0603	00335110009	716	126.50	0.50	127.00
2012	0603	00335111007	716	126.50	0.50	127.00
2012	0603	00335112005	716	126.50	0.50	127.00
2012	0603	00335113003	716	126.50	0.50	127.00
2012	0603	00335114001	716	126.50	0.50	127.00
2012	0603	00335115009	716	126.50	0.50	127.00
2012	0603	00335116007	716	126.50	0.50	127.00
2012	0603	00335117005	716	126.50	0.50	127.00
2012	0603	00335118003	716	126.50	0.50	127.00
2012	0603	00335119001	716	126.50	0.50	127.00
2012	0603	00335120006	716	126.50	0.50	127.00
2012	0603	00335121004	716	126.50	0.50	127.00
2012	0603	00335122002	716	126.50	0.50	127.00
2012	0603	00335123000	716	126.50	0.50	127.00
2012	0603	00335124008	716	126.50	0.50	127.00
2012	0603	00335125006	716	126.50	0.50	127.00
2012	0603	00335126004	716	126.50	0.50	127.00
2012	0603	00335127002	716	126.50	0.50	127.00
2012	0603	00335128000	716	126.50	0.50	127.00
2012	0603	00335129008	716	126.50	0.50	127.00
2012	0603	00335130003	716	126.50	0.50	127.00

2012	0603	00335131001	716	126.50	0.50	127.00
2012	0603	00335132009	716	126.50	0.50	127.00
2012	0603	00335133007	716	126.50	0.50	127.00
2012	0603	00335134005	716	126.50	0.50	127.00
2012	0603	00335135003	716	126.50	0.50	127.00
2012	0603	00335136001	716	126.50	0.50	127.00
2012	0603	00335137009	716	126.50	0.50	127.00
2012	0603	00335138007	716	126.50	0.50	127.00
2012	0603	00335139005	716	126.50	0.50	127.00
2012	0603	00335140000	716	126.50	0.50	127.00
2012	0603	00335141008	716	126.50	0.50	127.00
2012	0603	00335142006	716	126.50	0.50	127.00
2012	0603	00335143004	716	126.50	0.50	127.00
2012	0603	00335201006	716	126.50	0.50	127.00
2012	0603	00335202004	716	126.50	0.50	127.00
2012	0603	00335203002	716	126.50	0.50	127.00
2012	0603	00335204000	716	126.50	0.50	127.00
2012	0603	00335205008	716	126.50	0.50	127.00
2012	0603	00335206006	716	126.50	0.50	127.00
2012	0603	00335207004	716	126.50	0.50	127.00
2012	0603	00335208002	716	126.50	0.50	127.00
2012	0603	00335209000	716	126.50	0.50	127.00
2012	0603	00335210005	716	126.50	0.50	127.00
2012	0603	00335211003	716	126.50	0.50	127.00
2012	0603	00335212001	716	126.50	0.50	127.00
2012	0603	00335301002	716	126.50	0.50	127.00
2012	0603	00335302000	716	126.50	0.50	127.00
2012	0603	00335303008	716	126.50	0.50	127.00
2012	0603	00335304006	716	126.50	0.50	127.00
2012	0603	00335305004	716	126.50	0.50	127.00
2012	0603	00335306002	716	126.50	0.50	127.00
2012	0603	00335307000	716	126.50	0.50	127.00
2012	0603	00335308008	716	126.50	0.50	127.00
2012	0603	00335309006	716	126.50	0.50	127.00
2012	0603	00335310001	716	126.50	0.50	127.00
2012	0603	00335311009	716	126.50	0.50	127.00
2012	0603	00335312007	716	126.50	0.50	127.00
2012	0603	00336001009	716	40.50	0.50	41.00
2012	0603	00336002007	716	9.50	0.50	10.00
2012	0603	00336003005	716	46.50	0.50	47.00
2012	0603	00336006009	716	3.50	0.50	4.00
2012	0603	00336007007	716	15.50	0.50	16.00
2012	0603	00336008005	716	26.00	0.50	26.50
2012	0603	00336010008	716	15.50	0.50	16.00
2012	0603	00336012004	716	61.50	0.50	62.00
2012	0603	00336013002	716	21.50	0.50	22.00
2012	0603	00336014000	716	79.00	0.50	79.50
2012	0603	00336015008	716	29.00	0.50	29.50
2012	0603	00336016006	716	46.50	0.50	47.00
2012	0603	00336017004	716	15.50	0.50	16.00
2012	0603	00336020005	716	19.00	0.50	19.50
2012	0603	00336022001	716	32.00	0.50	32.50

2012	0603	00337005006	716	26.00	0.50	26.50
2012	0603	00337006004	716	26.00	0.50	26.50
2012	0603	00337007002	716	26.00	0.50	26.50
2012	0603	00337008000	716	26.00	0.50	26.50
2012	0603	00337009008	716	26.00	0.50	26.50
2012	0603	00337010003	716	26.00	0.50	26.50
2012	0603	00337011001	716	26.00	0.50	26.50
2012	0603	00338101005	716	26.00	0.50	26.50
2012	0603	00338102003	716	26.00	0.50	26.50
2012	0603	00338103001	716	26.00	0.50	26.50
2012	0603	00338104009	716	26.00	0.50	26.50
2012	0603	00338105007	716	26.00	0.50	26.50
2012	0603	00338106005	716	26.00	0.50	26.50
2012	0603	00338107003	716	26.00	0.50	26.50
2012	0603	00338108001	716	26.00	0.50	26.50
2012	0603	00338109009	716	26.00	0.50	26.50
2012	0603	00338110004	716	26.00	0.50	26.50
2012	0603	00338111002	716	26.00	0.50	26.50
2012	0603	00338112000	716	26.00	0.50	26.50
2012	0603	00338113008	716	26.00	0.50	26.50
2012	0603	00338114006	716	26.00	0.50	26.50
2012	0603	00338115004	716	26.00	0.50	26.50
2012	0603	00338116002	716	26.00	0.50	26.50
2012	0603	00338117000	716	26.00	0.50	26.50
2012	0603	00338118008	716	26.00	0.50	26.50
2012	0603	00338119006	716	26.00	0.50	26.50
2012	0603	00338120001	716	26.00	0.50	26.50
2012	0603	00338121009	716	26.00	0.50	26.50
2012	0603	00338122007	716	26.00	0.50	26.50
2012	0603	00338123005	716	26.00	0.50	26.50
2012	0603	00338124003	716	26.00	0.50	26.50
2012	0603	00338125001	716	26.00	0.50	26.50
2012	0603	00338126009	716	26.00	0.50	26.50
2012	0603	00338127007	716	26.00	0.50	26.50
2012	0603	00338128005	716	26.00	0.50	26.50
2012	0603	00338129003	716	26.00	0.50	26.50
2012	0603	00338130008	716	26.00	0.50	26.50
2012	0603	00338131006	716	26.00	0.50	26.50
2012	0603	00338132004	716	26.00	0.50	26.50
2012	0603	00338201001	716	40.50	0.50	41.00
2012	0603	00338202009	716	40.50	0.50	41.00
2012	0603	00338203007	716	40.50	0.50	41.00
2012	0603	00338204005	716	40.50	0.50	41.00
2012	0603	00338205003	716	35.00	0.50	35.50
2012	0603	00338206001	716	40.50	0.50	41.00
2012	0603	00338207009	716	40.50	0.50	41.00
2012	0603	00338208007	716	40.50	0.50	41.00
2012	0603	00338209005	716	40.50	0.50	41.00
2012	0603	00338211008	716	40.50	0.50	41.00
2012	0603	00338212006	716	35.00	0.50	35.50
2012	0603	00338213004	716	40.50	0.50	41.00
2012	0603	00338214002	716	35.00	0.50	35.50

2012	0603	00338215000	716	40.50	0.50	41.00
2012	0603	00338216008	716	40.50	0.50	41.00
2012	0603	00338217006	716	40.50	0.50	41.00
2012	0603	00338218004	716	40.50	0.50	41.00
2012	0603	00338219002	716	40.50	0.50	41.00
2012	0603	00338220007	716	40.50	0.50	41.00
2012	0603	00338301007	716	40.50	0.50	41.00
2012	0603	00338302005	716	40.50	0.50	41.00
2012	0603	00338303003	716	40.50	0.50	41.00
2012	0603	00338304001	716	40.50	0.50	41.00
2012	0603	00338305009	716	40.50	0.50	41.00
2012	0603	00343105006	716	40.50	0.50	41.00
2012	0603	00343106004	716	35.00	0.50	35.50
2012	0603	00343107002	716	35.00	0.50	35.50
2012	0603	00343109008	716	40.50	0.50	41.00
2012	0603	00343112009	716	40.50	0.50	41.00
2012	0603	00343113007	716	35.00	0.50	35.50
2012	0603	00343121008	716	35.00	0.50	35.50
2012	0603	00343201000	716	518.50	0.50	519.00
2012	0603	00343301006	716	548.50	0.50	549.00
2012	0603	00343401002	716	40.50	0.50	41.00
2012	0603	00343402000	716	40.50	0.50	41.00
2012	0603	00343403008	716	40.50	0.50	41.00
2012	0603	00343404006	716	40.50	0.50	41.00
2012	0603	00343405004	716	40.50	0.50	41.00
2012	0603	00343406002	716	40.50	0.50	41.00
2012	0603	00343501008	716	35.00	0.50	35.50
2012	0603	00343502006	716	40.50	0.50	41.00
2012	0603	00343503004	716	35.00	0.50	35.50
2012	0603	00343504002	716	40.50	0.50	41.00
2012	0603	00343505000	716	40.50	0.50	41.00
2012	0603	00343506008	716	35.00	0.50	35.50
2012	0603	00343507006	716	40.50	0.50	41.00
2012	0603	00343508004	716	35.00	0.50	35.50
2012	0603	00343509002	716	40.50	0.50	41.00
2012	0603	00343511005	716	35.00	0.50	35.50
2012	0603	00343601004	716	40.50	0.50	41.00
2012	0603	00343602002	716	35.00	0.50	35.50
2012	0603	00343603000	716	40.50	0.50	41.00
2012	0603	00343608000	716	40.50	0.50	41.00
2012	0603	00343609008	716	35.00	0.50	35.50
2012	0603	00343610003	716	40.50	0.50	41.00
2012	0603	00343613007	716	40.50	0.50	41.00
2012	0603	00343614005	716	30.50	0.50	31.00
2012	0603	00343615003	716	30.50	0.50	31.00
2012	0603	00343621008	716	40.50	0.50	41.00
2012	0603	00343622006	716	40.50	0.50	41.00
2012	0603	00343623004	716	40.50	0.50	41.00
2012	0603	00344003009	716	35.00	0.50	35.50
2012	0603	00344004007	716	35.00	0.50	35.50
2012	0603	00344005005	716	35.00	0.50	35.50
2012	0603	00344006003	716	35.00	0.50	35.50

2012	0603	00344007001	716	35.00	0.50	35.50
2012	0603	00344008009	716	35.00	0.50	35.50
2012	0603	00344009007	716	40.50	0.50	41.00
2012	0603	00344010002	716	40.50	0.50	41.00
2012	0603	00344011000	716	296.50	0.50	297.00
2012	0603	00344012008	716	40.50	0.50	41.00
2012	0603	00344013006	716	40.50	0.50	41.00
2012	0603	00344014004	716	35.00	0.50	35.50
2012	0603	00344015002	716	35.00	0.50	35.50
2012	0603	00344016000	716	40.50	0.50	41.00
2012	0603	00344017008	716	35.00	0.50	35.50
2012	0603	00344018006	716	40.50	0.50	41.00
2012	0603	00344019004	716	40.50	0.50	41.00
2012	0603	00344020009	716	40.50	0.50	41.00
2012	0603	00344021007	716	40.50	0.50	41.00
2012	0603	00344022005	716	40.50	0.50	41.00
2012	0603	00344023003	716	40.50	0.50	41.00
2012	0603	00344024001	716	35.00	0.50	35.50
2012	0603	00344025009	716	40.50	0.50	41.00
2012	0603	00344026007	716	35.00	0.50	35.50
2012	0603	00344027005	716	35.00	0.50	35.50
2012	0603	00344028003	716	35.00	0.50	35.50
2012	0603	00344029001	716	35.00	0.50	35.50
2012	0603	00344030006	716	40.50	0.50	41.00
2012	0603	00344031004	716	35.00	0.50	35.50
2012	0603	00344032002	716	40.50	0.50	41.00
2012	0603	00344033000	716	40.50	0.50	41.00
2012	0603	00344034008	716	40.50	0.50	41.00
2012	0603	00344035006	716	40.50	0.50	41.00
2012	0603	00344036004	716	35.00	0.50	35.50
2012	0603	00344037002	716	35.00	0.50	35.50
2012	0603	00344038000	716	40.50	0.50	41.00
2012	0603	00344039008	716	40.50	0.50	41.00
2012	0603	00344040003	716	40.50	0.50	41.00
2012	0603	00344041001	716	40.50	0.50	41.00
2012	0603	00344042009	716	35.00	0.50	35.50
2012	0603	00346307009	716	35.00	0.50	35.50
2012	0603	00346309005	716	35.00	0.50	35.50
2012	0603	00346311008	716	35.00	0.50	35.50
2012	0603	00346320007	716	440.50	0.50	441.00
2012	0603	00346322003	716	471.50	0.50	472.00
2012	0603	00346323001	716	807.50	0.50	808.00
2012	0603	00346325007	716	35.00	0.50	35.50
2012	0603	00346326005	716	35.00	0.50	35.50
2012	0603	00346327003	716	35.00	0.50	35.50
2012	0603	00346328001	716	35.00	0.50	35.50
2012	0603	00347008004	716	35.00	0.50	35.50
2012	0603	00347010007	716	40.50	0.50	41.00
2012	0603	00347011005	716	35.00	0.50	35.50
2012	0603	00347012003	716	35.00	0.50	35.50
2012	0603	00348101009	716	40.50	0.50	41.00
2012	0603	00348102007	716	40.50	0.50	41.00

2012	0603	00348103005	716	40.50	0.50	41.00
2012	0603	00348104003	716	40.50	0.50	41.00
2012	0603	00348105001	716	40.50	0.50	41.00
2012	0603	00348106009	716	40.50	0.50	41.00
2012	0603	00348107007	716	40.50	0.50	41.00
2012	0603	00348108005	716	40.50	0.50	41.00
2012	0603	00348111006	716	203.50	0.50	204.00
2012	0603	00348114000	716	35.00	0.50	35.50
2012	0603	00348116006	716	187.00	0.50	187.50
2012	0603	00348117004	716	35.00	0.50	35.50
2012	0603	00348118002	716	35.00	0.50	35.50
2012	0603	00348122001	716	35.00	0.50	35.50
2012	0603	00348123009	716	35.00	0.50	35.50
2012	0603	00348301001	716	40.50	0.50	41.00
2012	0603	00348302009	716	40.50	0.50	41.00
2012	0603	00348303007	716	40.50	0.50	41.00
2012	0603	00348304005	716	40.50	0.50	41.00
2012	0603	00348305003	716	40.50	0.50	41.00
2012	0603	00348306001	716	40.50	0.50	41.00
2012	0603	00348307009	716	35.00	0.50	35.50
2012	0603	00348318004	716	393.00	0.50	393.50
2012	0603	00349001008	716	35.00	0.50	35.50
2012	0603	00349025004	716	64.50	0.50	65.00
2012	0603	00349029006	716	40.50	0.50	41.00
2012	0603	00354101003	716	40.50	0.50	41.00
2012	0603	00354102001	716	40.50	0.50	41.00
2012	0603	00354201009	716	40.50	0.50	41.00
2012	0603	00354202007	716	40.50	0.50	41.00
2012	0603	00354203005	716	40.50	0.50	41.00
2012	0603	00354204003	716	40.50	0.50	41.00
2012	0603	00354205001	716	40.50	0.50	41.00
2012	0603	00354206009	716	40.50	0.50	41.00
2012	0603	00354207007	716	40.50	0.50	41.00
2012	0603	00354208005	716	40.50	0.50	41.00
2012	0603	00354210008	716	40.50	0.50	41.00
2012	0603	00354211006	716	40.50	0.50	41.00
2012	0603	00354212004	716	40.50	0.50	41.00
2012	0603	00354213002	716	40.50	0.50	41.00
2012	0603	00354214000	716	40.50	0.50	41.00
2012	0603	00354215008	716	40.50	0.50	41.00
2012	0603	00354216006	716	40.50	0.50	41.00
2012	0603	00354217004	716	40.50	0.50	41.00
2012	0603	00354218002	716	40.50	0.50	41.00
2012	0603	00354219000	716	40.50	0.50	41.00
2012	0603	00354220005	716	40.50	0.50	41.00
2012	0603	00354301005	716	40.50	0.50	41.00
2012	0603	00354302003	716	40.50	0.50	41.00
2012	0603	00354303001	716	40.50	0.50	41.00
2012	0603	00354304009	716	40.50	0.50	41.00
2012	0603	00354305007	716	40.50	0.50	41.00
2012	0603	00354306005	716	40.50	0.50	41.00
2012	0603	00354307003	716	40.50	0.50	41.00

2012	0603	00354308001	716	40.50	0.50	41.00
2012	0603	00354309009	716	40.50	0.50	41.00
2012	0603	00354310004	716	40.50	0.50	41.00
2012	0603	00354311002	716	40.50	0.50	41.00
2012	0603	00354312000	716	40.50	0.50	41.00
2012	0603	00354313008	716	40.50	0.50	41.00
2012	0603	00354314006	716	40.50	0.50	41.00
2012	0603	00354315004	716	40.50	0.50	41.00
2012	0603	00354316002	716	40.50	0.50	41.00
2012	0603	00354317000	716	40.50	0.50	41.00
2012	0603	00354318008	716	40.50	0.50	41.00
2012	0603	00354319006	716	40.50	0.50	41.00
2012	0603	00354320001	716	40.50	0.50	41.00
2012	0603	00354321009	716	40.50	0.50	41.00
2012	0603	00354322007	716	40.50	0.50	41.00
2012	0603	00354323005	716	40.50	0.50	41.00
2012	0603	00354324003	716	40.50	0.50	41.00
2012	0603	00355101008	716	40.50	0.50	41.00
2012	0603	00355102006	716	40.50	0.50	41.00
2012	0603	00355103004	716	40.50	0.50	41.00
2012	0603	00355104002	716	40.50	0.50	41.00
2012	0603	00355105000	716	40.50	0.50	41.00
2012	0603	00355106008	716	40.50	0.50	41.00
2012	0603	00355107006	716	40.50	0.50	41.00
2012	0603	00355108004	716	40.50	0.50	41.00
2012	0603	00355109002	716	40.50	0.50	41.00
2012	0603	00355110007	716	40.50	0.50	41.00
2012	0603	00355111005	716	40.50	0.50	41.00
2012	0603	00355112003	716	40.50	0.50	41.00
2012	0603	00355201004	716	40.50	0.50	41.00
2012	0603	00355202002	716	40.50	0.50	41.00
2012	0603	00355203000	716	40.50	0.50	41.00
2012	0603	00355204008	716	40.50	0.50	41.00
2012	0603	00355205006	716	40.50	0.50	41.00
2012	0603	00355206004	716	40.50	0.50	41.00
2012	0603	00355207002	716	40.50	0.50	41.00
2012	0603	00355208000	716	40.50	0.50	41.00
2012	0603	00355209008	716	40.50	0.50	41.00
2012	0603	00355210003	716	40.50	0.50	41.00
2012	0603	00355211001	716	40.50	0.50	41.00
2012	0603	00355212009	716	40.50	0.50	41.00
2012	0603	00355213007	716	40.50	0.50	41.00
2012	0603	00355214005	716	40.50	0.50	41.00
2012	0603	00355215003	716	40.50	0.50	41.00
2012	0603	00355216001	716	40.50	0.50	41.00
2012	0603	00355217009	716	40.50	0.50	41.00
2012	0603	00355218007	716	40.50	0.50	41.00
2012	0603	00355219005	716	40.50	0.50	41.00
2012	0603	00355220000	716	40.50	0.50	41.00
2012	0603	00355221008	716	40.50	0.50	41.00
2012	0603	00355222006	716	40.50	0.50	41.00
2012	0603	00355223004	716	40.50	0.50	41.00

2012	0603	00355224002	716	40.50	0.50	41.00
2012	0603	00355225000	716	40.50	0.50	41.00
2012	0603	00355226008	716	40.50	0.50	41.00
2012	0603	00355227006	716	40.50	0.50	41.00
2012	0603	00355228004	716	40.50	0.50	41.00
2012	0603	00355229002	716	40.50	0.50	41.00
2012	0603	00355230007	716	40.50	0.50	41.00
2012	0603	00355231005	716	40.50	0.50	41.00
2012	0603	00355232003	716	40.50	0.50	41.00
2012	0603	00355233001	716	40.50	0.50	41.00
2012	0603	00355234009	716	40.50	0.50	41.00
2012	0603	00355235007	716	40.50	0.50	41.00
2012	0603	00355236005	716	40.50	0.50	41.00
2012	0603	00355237003	716	40.50	0.50	41.00
2012	0603	00355238001	716	40.50	0.50	41.00
2012	0603	00355239009	716	40.50	0.50	41.00
2012	0603	00355240004	716	40.50	0.50	41.00
2012	0603	00355241002	716	40.50	0.50	41.00
2012	0603	00355242000	716	40.50	0.50	41.00
2012	0603	00357001002	716	33.50	0.50	34.00
2012	0603	00357002000	716	33.50	0.50	34.00
2012	0603	00357003008	716	33.50	0.50	34.00
2012	0603	00357004006	716	33.50	0.50	34.00
2012	0603	00357005004	716	33.50	0.50	34.00
2012	0603	00357006002	716	33.50	0.50	34.00
2012	0603	00357007000	716	33.50	0.50	34.00
2012	0603	00357008008	716	33.50	0.50	34.00
2012	0603	00357009006	716	33.50	0.50	34.00
2012	0603	00357010001	716	33.50	0.50	34.00
2012	0603	00357011009	716	33.50	0.50	34.00
2012	0603	00357012007	716	33.50	0.50	34.00
2012	0603	00357013005	716	33.50	0.50	34.00
2012	0603	00357014003	716	33.50	0.50	34.00
2012	0603	00357015001	716	33.50	0.50	34.00
2012	0603	00357016009	716	33.50	0.50	34.00
2012	0603	00357017007	716	33.50	0.50	34.00
2012	0603	00357018005	716	33.50	0.50	34.00
2012	0603	00357019003	716	33.50	0.50	34.00
2012	0603	00357020008	716	33.50	0.50	34.00
2012	0603	00357021006	716	35.00	0.50	35.50
2012	0603	00357022004	716	35.00	0.50	35.50
2012	0603	00357023002	716	35.00	0.50	35.50
2012	0603	00357024000	716	35.00	0.50	35.50
2012	0603	00357025008	716	35.00	0.50	35.50
2012	0603	00357026006	716	35.00	0.50	35.50
2012	0603	00357027004	716	35.00	0.50	35.50
2012	0603	00357028002	716	35.00	0.50	35.50
2012	0603	00357029000	716	35.00	0.50	35.50
2012	0603	00358001007	716	33.50	0.50	34.00
2012	0603	00358002005	716	33.50	0.50	34.00
2012	0603	00358003003	716	33.50	0.50	34.00
2012	0603	00358004001	716	33.50	0.50	34.00

2012	0603	00358005009	716	33.50	0.50	34.00
2012	0603	00358006007	716	33.50	0.50	34.00
2012	0603	00358007005	716	33.50	0.50	34.00
2012	0603	00358008003	716	33.50	0.50	34.00
2012	0603	00358009001	716	33.50	0.50	34.00
2012	0603	00358010006	716	33.50	0.50	34.00
2012	0603	00358011004	716	33.50	0.50	34.00
2012	0603	00358012002	716	33.50	0.50	34.00
2012	0603	00358013000	716	33.50	0.50	34.00
2012	0603	00358014008	716	33.50	0.50	34.00
2012	0603	00358015006	716	33.50	0.50	34.00
2012	0603	00358016004	716	33.50	0.50	34.00
2012	0603	00358017002	716	33.50	0.50	34.00
2012	0603	00358018000	716	33.50	0.50	34.00
2012	0603	00358019008	716	33.50	0.50	34.00
2012	0603	00358020003	716	33.50	0.50	34.00
2012	0603	00358021001	716	33.50	0.50	34.00
2012	0603	00358022009	716	33.50	0.50	34.00
2012	0603	00358023007	716	33.50	0.50	34.00
2012	0603	00358024005	716	33.50	0.50	34.00
2012	0603	00358025003	716	33.50	0.50	34.00
2012	0603	00358026001	716	33.50	0.50	34.00
2012	0603	00358027009	716	33.50	0.50	34.00
2012	0603	00358028007	716	33.50	0.50	34.00
2012	0603	00358029005	716	33.50	0.50	34.00
2012	0603	00358030000	716	33.50	0.50	34.00
2012	0603	00358031008	716	33.50	0.50	34.00
2012	0603	00358032006	716	33.50	0.50	34.00
2012	0603	00358033004	716	33.50	0.50	34.00
2012	0603	00358034002	716	33.50	0.50	34.00
2012	0603	00358035000	716	33.50	0.50	34.00
2012	0603	00358036008	716	33.50	0.50	34.00
2012	0603	00358037006	716	33.50	0.50	34.00
2012	0603	00359001002	716	40.50	0.50	41.00
2012	0603	00359002000	716	40.50	0.50	41.00
2012	0603	00359003008	716	40.50	0.50	41.00
2012	0603	00359004006	716	40.50	0.50	41.00
2012	0603	00359005004	716	40.50	0.50	41.00
2012	0603	00359006002	716	40.50	0.50	41.00
2012	0603	00359007000	716	40.50	0.50	41.00
2012	0603	00359008008	716	40.50	0.50	41.00
2012	0603	00359009006	716	40.50	0.50	41.00
2012	0603	00359010001	716	40.50	0.50	41.00
2012	0603	00359011009	716	40.50	0.50	41.00
2012	0603	00359012007	716	40.50	0.50	41.00
2012	0603	00359013005	716	40.50	0.50	41.00
2012	0603	00359014003	716	40.50	0.50	41.00
2012	0603	00359015001	716	40.50	0.50	41.00
2012	0603	00359016009	716	40.50	0.50	41.00
2012	0603	00359017007	716	40.50	0.50	41.00
2012	0603	00359018005	716	40.50	0.50	41.00
2012	0603	00359019003	716	40.50	0.50	41.00

2012	0603	00359020008	716	40.50	0.50	41.00
2012	0603	00359021006	716	40.50	0.50	41.00
2012	0603	00359022004	716	40.50	0.50	41.00
2012	0603	00359023002	716	40.50	0.50	41.00
2012	0603	00359024000	716	40.50	0.50	41.00
2012	0603	00359025008	716	40.50	0.50	41.00
2012	0603	00359026006	716	40.50	0.50	41.00
2012	0603	00359027004	716	40.50	0.50	41.00
2012	0603	00359028002	716	40.50	0.50	41.00
2012	0603	00359029000	716	40.50	0.50	41.00
2012	0603	00359030005	716	40.50	0.50	41.00
2012	0603	00359031003	716	40.50	0.50	41.00
2012	0603	00359032001	716	35.00	0.50	35.50
2012	0603	00359033009	716	35.00	0.50	35.50
2012	0603	00359045002	716	35.00	0.50	35.50
2012	0603	00359046000	716	35.00	0.50	35.50
2012	0603	00359047008	716	35.00	0.50	35.50
2012	0603	00359048006	716	40.50	0.50	41.00
2012	0603	00359049004	716	40.50	0.50	41.00
2012	0603	00360001001	716	40.50	0.50	41.00
2012	0603	00360002009	716	40.50	0.50	41.00
2012	0603	00360003007	716	40.50	0.50	41.00
2012	0603	00360004005	716	40.50	0.50	41.00
2012	0603	00360005003	716	40.50	0.50	41.00
2012	0603	00360006001	716	40.50	0.50	41.00
2012	0603	00360007009	716	40.50	0.50	41.00
2012	0603	00360008007	716	40.50	0.50	41.00
2012	0603	00360009005	716	40.50	0.50	41.00
2012	0603	00360010000	716	40.50	0.50	41.00
2012	0603	00360011008	716	40.50	0.50	41.00
2012	0603	00360012006	716	40.50	0.50	41.00
2012	0603	00360013004	716	40.50	0.50	41.00
2012	0603	00360014002	716	40.50	0.50	41.00
2012	0603	00360015000	716	40.50	0.50	41.00
2012	0603	00360016008	716	40.50	0.50	41.00
2012	0603	00360017006	716	40.50	0.50	41.00
2012	0603	00360018004	716	40.50	0.50	41.00
2012	0603	00360019002	716	40.50	0.50	41.00
2012	0603	00360020007	716	40.50	0.50	41.00
2012	0603	00360021005	716	40.50	0.50	41.00
2012	0603	00360022003	716	40.50	0.50	41.00
2012	0603	00360023001	716	40.50	0.50	41.00
2012	0603	00360024009	716	40.50	0.50	41.00
2012	0603	00360025007	716	40.50	0.50	41.00
2012	0603	00360026005	716	40.50	0.50	41.00
2012	0603	00360027003	716	40.50	0.50	41.00
2012	0603	00360028001	716	40.50	0.50	41.00
2012	0603	00360029009	716	40.50	0.50	41.00
2012	0603	00360030004	716	40.50	0.50	41.00
2012	0603	00360032000	716	40.50	0.50	41.00
2012	0603	00360033008	716	40.50	0.50	41.00
2012	0603	00360034006	716	40.50	0.50	41.00

2012	0603	00360035004	716	40.50	0.50	41.00
2012	0603	00360036002	716	40.50	0.50	41.00
2012	0603	00360037000	716	40.50	0.50	41.00
2012	0603	00360038008	716	40.50	0.50	41.00
2012	0603	00360039006	716	40.50	0.50	41.00
2012	0603	00360040001	716	40.50	0.50	41.00
2012	0603	00360041009	716	40.50	0.50	41.00
2012	0603	00360042007	716	40.50	0.50	41.00
2012	0603	00360043005	716	40.50	0.50	41.00
2012	0603	00360044003	716	40.50	0.50	41.00
2012	0603	00360045001	716	40.50	0.50	41.00
2012	0603	00360046009	716	40.50	0.50	41.00
2012	0603	00360047007	716	40.50	0.50	41.00
2012	0603	00360048005	716	40.50	0.50	41.00
2012	0603	00360049003	716	40.50	0.50	41.00
2012	0603	00360050008	716	40.50	0.50	41.00
2012	0603	00361001006	716	33.50	0.50	34.00
2012	0603	00361002004	716	33.50	0.50	34.00
2012	0603	00361003002	716	33.50	0.50	34.00
2012	0603	00361004000	716	33.50	0.50	34.00
2012	0603	00361005008	716	33.50	0.50	34.00
2012	0603	00361006006	716	33.50	0.50	34.00
2012	0603	00361007004	716	33.50	0.50	34.00
2012	0603	00361008002	716	33.50	0.50	34.00
2012	0603	00361009000	716	33.50	0.50	34.00
2012	0603	00361010005	716	33.50	0.50	34.00
2012	0603	00361011003	716	33.50	0.50	34.00
2012	0603	00361012001	716	33.50	0.50	34.00
2012	0603	00361013009	716	33.50	0.50	34.00
2012	0603	00361014007	716	33.50	0.50	34.00
2012	0603	00361015005	716	33.50	0.50	34.00
2012	0603	00361016003	716	33.50	0.50	34.00
2012	0603	00361017001	716	33.50	0.50	34.00
2012	0603	00361018009	716	33.50	0.50	34.00
2012	0603	00361019007	716	33.50	0.50	34.00
2012	0603	00361020002	716	33.50	0.50	34.00
2012	0603	00362001001	716	33.50	0.50	34.00
2012	0603	00362002009	716	33.50	0.50	34.00
2012	0603	00362003007	716	33.50	0.50	34.00
2012	0603	00362004005	716	33.50	0.50	34.00
2012	0603	00362005003	716	33.50	0.50	34.00
2012	0603	00362006001	716	33.50	0.50	34.00
2012	0603	00362007009	716	33.50	0.50	34.00
2012	0603	00362008007	716	33.50	0.50	34.00
2012	0603	00362009005	716	33.50	0.50	34.00
2012	0603	00362010000	716	33.50	0.50	34.00
2012	0603	00362011008	716	33.50	0.50	34.00
2012	0603	00362012006	716	33.50	0.50	34.00
2012	0603	00362013004	716	33.50	0.50	34.00
2012	0603	00362014002	716	33.50	0.50	34.00
2012	0603	00362015000	716	33.50	0.50	34.00
2012	0603	00362016008	716	33.50	0.50	34.00

2012	0603	00362017006	716	33.50	0.50	34.00
2012	0603	00362018004	716	33.50	0.50	34.00
2012	0603	00362019002	716	33.50	0.50	34.00
2012	0603	00362020007	716	33.50	0.50	34.00
2012	0603	00362021005	716	33.50	0.50	34.00
2012	0603	00362022003	716	33.50	0.50	34.00
2012	0603	00362023001	716	33.50	0.50	34.00
2012	0603	00362024009	716	33.50	0.50	34.00
2012	0603	00362025007	716	33.50	0.50	34.00
2012	0603	00362026005	716	33.50	0.50	34.00
2012	0603	00362027003	716	33.50	0.50	34.00
2012	0603	00362028001	716	33.50	0.50	34.00
2012	0603	00362029009	716	33.50	0.50	34.00
2012	0603	00362030004	716	33.50	0.50	34.00
2012	0603	00362031002	716	33.50	0.50	34.00
2012	0603	00362032000	716	33.50	0.50	34.00
2012	0603	00362033008	716	33.50	0.50	34.00
2012	0603	00362034006	716	33.50	0.50	34.00
2012	0603	00362035004	716	33.50	0.50	34.00
2012	0603	00362036002	716	33.50	0.50	34.00
2012	0603	00362037000	716	33.50	0.50	34.00
2012	0603	00362038008	716	33.50	0.50	34.00
2012	0603	00362039006	716	33.50	0.50	34.00
2012	0603	00362040001	716	33.50	0.50	34.00
2012	0603	00364001001	716	33.50	0.50	34.00
2012	0603	00364002009	716	33.50	0.50	34.00
2012	0603	00364003007	716	33.50	0.50	34.00
2012	0603	00364004005	716	33.50	0.50	34.00
2012	0603	00364005003	716	33.50	0.50	34.00
2012	0603	00364006001	716	33.50	0.50	34.00
2012	0603	00364007009	716	33.50	0.50	34.00
2012	0603	00364008007	716	33.50	0.50	34.00
2012	0603	00364009005	716	33.50	0.50	34.00
2012	0603	00364010000	716	33.50	0.50	34.00
2012	0603	00364011008	716	33.50	0.50	34.00
2012	0603	00364012006	716	33.50	0.50	34.00
2012	0603	00364013004	716	33.50	0.50	34.00
2012	0603	00364014002	716	33.50	0.50	34.00
2012	0603	00364015000	716	33.50	0.50	34.00
2012	0603	00364016008	716	33.50	0.50	34.00
2012	0603	00364017006	716	33.50	0.50	34.00
2012	0603	00364018004	716	33.50	0.50	34.00
2012	0603	00364019002	716	33.50	0.50	34.00
2012	0603	00364020007	716	33.50	0.50	34.00
2012	0603	00364021005	716	33.50	0.50	34.00
2012	0603	00364022003	716	33.50	0.50	34.00
2012	0603	00364023001	716	33.50	0.50	34.00
2012	0603	00364024009	716	33.50	0.50	34.00
2012	0603	00364025007	716	33.50	0.50	34.00
2012	0603	00364026005	716	33.50	0.50	34.00
2012	0603	00364027003	716	33.50	0.50	34.00
2012	0603	00364028001	716	33.50	0.50	34.00

2012	0603	00364029009	716	33.50	0.50	34.00
2012	0603	00364030004	716	33.50	0.50	34.00
2012	0603	00364031002	716	33.50	0.50	34.00
2012	0603	00364032000	716	33.50	0.50	34.00
2012	0603	00364033008	716	33.50	0.50	34.00
2012	0603	00364034006	716	33.50	0.50	34.00
2012	0603	00364035004	716	33.50	0.50	34.00
2012	0603	00364036002	716	33.50	0.50	34.00
2012	0603	00364037000	716	33.50	0.50	34.00
2012	0603	00364038008	716	33.50	0.50	34.00
2012	0603	00364039006	716	33.50	0.50	34.00
2012	0603	00364040001	716	33.50	0.50	34.00
2012	0603	00365001006	716	33.50	0.50	34.00
2012	0603	00365002004	716	33.50	0.50	34.00
2012	0603	00365003002	716	33.50	0.50	34.00
2012	0603	00365004000	716	33.50	0.50	34.00
2012	0603	00365005008	716	33.50	0.50	34.00
2012	0603	00365006006	716	33.50	0.50	34.00
2012	0603	00365007004	716	33.50	0.50	34.00
2012	0603	00365008002	716	33.50	0.50	34.00
2012	0603	00365009000	716	33.50	0.50	34.00
2012	0603	00365010005	716	33.50	0.50	34.00
2012	0603	00365011003	716	33.50	0.50	34.00
2012	0603	00365012001	716	33.50	0.50	34.00
2012	0603	00365013009	716	33.50	0.50	34.00
2012	0603	00365014007	716	33.50	0.50	34.00
2012	0603	00365015005	716	33.50	0.50	34.00
2012	0603	00365016003	716	33.50	0.50	34.00
2012	0603	00365017001	716	33.50	0.50	34.00
2012	0603	00365018009	716	33.50	0.50	34.00
2012	0603	00365019007	716	33.50	0.50	34.00
2012	0603	00365020002	716	33.50	0.50	34.00
2012	0603	00365021000	716	33.50	0.50	34.00
2012	0603	00365022008	716	33.50	0.50	34.00
2012	0603	00365023006	716	33.50	0.50	34.00
2012	0603	00365024004	716	33.50	0.50	34.00
2012	0603	00365025002	716	33.50	0.50	34.00
2012	0603	00365026000	716	33.50	0.50	34.00
2012	0603	00365027008	716	33.50	0.50	34.00
2012	0603	00365028006	716	33.50	0.50	34.00
2012	0603	00365029004	716	33.50	0.50	34.00
2012	0603	00365030009	716	33.50	0.50	34.00
2012	0603	00365031007	716	33.50	0.50	34.00
2012	0603	00365032005	716	33.50	0.50	34.00
2012	0603	00365033003	716	33.50	0.50	34.00
2012	0603	00365034001	716	33.50	0.50	34.00
2012	0603	00365035009	716	33.50	0.50	34.00
2012	0603	00365036007	716	33.50	0.50	34.00
2012	0603	00365037005	716	33.50	0.50	34.00
2012	0603	00365038003	716	33.50	0.50	34.00
2012	0603	00365039001	716	33.50	0.50	34.00
2012	0603	00365040006	716	33.50	0.50	34.00

2012	0603	00365041004	716	35.00	0.50	35.50
2012	0603	00365042002	716	35.00	0.50	35.50
2012	0603	00365043000	716	35.00	0.50	35.50
2012	0603	00365044008	716	35.00	0.50	35.50
2012	0603	00365045006	716	35.00	0.50	35.50
2012	0603	00365046004	716	35.00	0.50	35.50
2012	0603	00365047002	716	35.00	0.50	35.50
2012	0603	00365048000	716	35.00	0.50	35.50
2012	0603	00365049008	716	35.00	0.50	35.50
2012	0603	00365050003	716	35.00	0.50	35.50
2012	0603	00365051001	716	35.00	0.50	35.50
2012	0603	00365052009	716	35.00	0.50	35.50
2012	0603	00365053007	716	35.00	0.50	35.50
2012	0603	00365054005	716	35.00	0.50	35.50
2012	0603	00365055003	716	35.00	0.50	35.50
2012	0603	00365056001	716	35.00	0.50	35.50
2012	0603	00368001001	716	33.50	0.50	34.00
2012	0603	00368002009	716	33.50	0.50	34.00
2012	0603	00368003007	716	33.50	0.50	34.00
2012	0603	00368004005	716	33.50	0.50	34.00
2012	0603	00368005003	716	33.50	0.50	34.00
2012	0603	00368006001	716	33.50	0.50	34.00
2012	0603	00368007009	716	33.50	0.50	34.00
2012	0603	00368008007	716	33.50	0.50	34.00
2012	0603	00368009005	716	33.50	0.50	34.00
2012	0603	00368010000	716	33.50	0.50	34.00
2012	0603	00368011008	716	33.50	0.50	34.00
2012	0603	00368012006	716	33.50	0.50	34.00
2012	0603	00368013004	716	33.50	0.50	34.00
2012	0603	00368014002	716	33.50	0.50	34.00
2012	0603	00368015000	716	33.50	0.50	34.00
2012	0603	00368016008	716	33.50	0.50	34.00
2012	0603	00368017006	716	33.50	0.50	34.00
2012	0603	00368018004	716	33.50	0.50	34.00
2012	0603	00368019002	716	33.50	0.50	34.00
2012	0603	00368020007	716	33.50	0.50	34.00
2012	0603	00369001006	716	33.50	0.50	34.00
2012	0603	00369002004	716	33.50	0.50	34.00
2012	0603	00369003002	716	33.50	0.50	34.00
2012	0603	00369004000	716	33.50	0.50	34.00
2012	0603	00369005008	716	33.50	0.50	34.00
2012	0603	00369006006	716	33.50	0.50	34.00
2012	0603	00369007004	716	33.50	0.50	34.00
2012	0603	00369008002	716	33.50	0.50	34.00
2012	0603	00369009000	716	33.50	0.50	34.00
2012	0603	00369010005	716	33.50	0.50	34.00
2012	0603	00369011003	716	33.50	0.50	34.00
2012	0603	00369012001	716	33.50	0.50	34.00
2012	0603	00369013009	716	33.50	0.50	34.00
2012	0603	00369014007	716	33.50	0.50	34.00
2012	0603	00369015005	716	33.50	0.50	34.00
2012	0603	00369016003	716	33.50	0.50	34.00

2012	0603	00369017001	716	33.50	0.50	34.00
2012	0603	00369018009	716	33.50	0.50	34.00
2012	0603	00369019007	716	33.50	0.50	34.00
2012	0603	00369020002	716	33.50	0.50	34.00
2012	0603	00370001005	716	33.50	0.50	34.00
2012	0603	00370002003	716	33.50	0.50	34.00
2012	0603	00370003001	716	33.50	0.50	34.00
2012	0603	00370004009	716	33.50	0.50	34.00
2012	0603	00370005007	716	33.50	0.50	34.00
2012	0603	00370006005	716	33.50	0.50	34.00
2012	0603	00370007003	716	33.50	0.50	34.00
2012	0603	00370008001	716	33.50	0.50	34.00
2012	0603	00370009009	716	33.50	0.50	34.00
2012	0603	00370010004	716	33.50	0.50	34.00
2012	0603	00370011002	716	33.50	0.50	34.00
2012	0603	00370012000	716	33.50	0.50	34.00
2012	0603	00370013008	716	33.50	0.50	34.00
2012	0603	00370014006	716	33.50	0.50	34.00
2012	0603	00370015004	716	33.50	0.50	34.00
2012	0603	00370016002	716	33.50	0.50	34.00
2012	0603	00370017000	716	33.50	0.50	34.00
2012	0603	00370018008	716	33.50	0.50	34.00
2012	0603	00370019006	716	33.50	0.50	34.00
2012	0603	00370020001	716	33.50	0.50	34.00
2012	0603	00370021009	716	33.50	0.50	34.00
2012	0603	00370022007	716	33.50	0.50	34.00
2012	0603	00370023005	716	33.50	0.50	34.00
2012	0603	00370024003	716	33.50	0.50	34.00
2012	0603	00370025001	716	33.50	0.50	34.00
2012	0603	00370026009	716	33.50	0.50	34.00
2012	0603	00370027007	716	33.50	0.50	34.00
2012	0603	00370028005	716	33.50	0.50	34.00
2012	0603	00370029003	716	33.50	0.50	34.00
2012	0603	00370030008	716	33.50	0.50	34.00
2012	0603	00370031006	716	33.50	0.50	34.00
2012	0603	00371001000	716	33.50	0.50	34.00
2012	0603	00371002008	716	33.50	0.50	34.00
2012	0603	00371003006	716	33.50	0.50	34.00
2012	0603	00371004004	716	33.50	0.50	34.00
2012	0603	00371005002	716	33.50	0.50	34.00
2012	0603	00371006000	716	33.50	0.50	34.00
2012	0603	00371007008	716	33.50	0.50	34.00
2012	0603	00371008006	716	33.50	0.50	34.00
2012	0603	00371009004	716	33.50	0.50	34.00
2012	0603	00371010009	716	33.50	0.50	34.00
2012	0603	00371011007	716	33.50	0.50	34.00
2012	0603	00371012005	716	33.50	0.50	34.00
2012	0603	00371013003	716	33.50	0.50	34.00
2012	0603	00371014001	716	33.50	0.50	34.00
2012	0603	00371015009	716	33.50	0.50	34.00
2012	0603	00371016007	716	33.50	0.50	34.00
2012	0603	00371017005	716	33.50	0.50	34.00

2012	0603	00371018003	716	33.50	0.50	34.00
2012	0603	00371019001	716	33.50	0.50	34.00
2012	0603	00371020006	716	33.50	0.50	34.00
2012	0603	00371021004	716	33.50	0.50	34.00
2012	0603	00371022002	716	33.50	0.50	34.00
2012	0603	00371023000	716	33.50	0.50	34.00
2012	0603	00371024008	716	33.50	0.50	34.00
2012	0603	00371025006	716	33.50	0.50	34.00
2012	0603	00371026004	716	33.50	0.50	34.00
2012	0603	00371027002	716	33.50	0.50	34.00
2012	0603	00371028000	716	33.50	0.50	34.00
2012	0603	00371029008	716	33.50	0.50	34.00
2012	0603	00371030003	716	33.50	0.50	34.00
2012	0603	00371031001	716	33.50	0.50	34.00
2012	0603	00371032009	716	33.50	0.50	34.00
2012	0603	00371033007	716	33.50	0.50	34.00
2012	0603	00371034005	716	33.50	0.50	34.00
2012	0603	00371035003	716	33.50	0.50	34.00
2012	0603	00371036001	716	33.50	0.50	34.00
2012	0603	00371037009	716	33.50	0.50	34.00
2012	0603	00371038007	716	33.50	0.50	34.00
2012	0603	00371039005	716	33.50	0.50	34.00
2012	0603	00371040000	716	33.50	0.50	34.00
2012	0603	00371041008	716	33.50	0.50	34.00
2012	0603	00371042006	716	33.50	0.50	34.00
2012	0603	00371043004	716	33.50	0.50	34.00
2012	0603	00371044002	716	33.50	0.50	34.00
2012	0603	00371045000	716	33.50	0.50	34.00
2012	0603	00371046008	716	33.50	0.50	34.00
2012	0603	00371047006	716	33.50	0.50	34.00
2012	0603	00373001000	716	33.50	0.50	34.00
2012	0603	00373002008	716	33.50	0.50	34.00
2012	0603	00373003006	716	33.50	0.50	34.00
2012	0603	00373004004	716	33.50	0.50	34.00
2012	0603	00373005002	716	33.50	0.50	34.00
2012	0603	00373006000	716	33.50	0.50	34.00
2012	0603	00373007008	716	33.50	0.50	34.00
2012	0603	00373008006	716	33.50	0.50	34.00
2012	0603	00373009004	716	33.50	0.50	34.00
2012	0603	00373010009	716	33.50	0.50	34.00
2012	0603	00373011007	716	33.50	0.50	34.00
2012	0603	00373012005	716	33.50	0.50	34.00
2012	0603	00373013003	716	33.50	0.50	34.00
2012	0603	00373014001	716	33.50	0.50	34.00
2012	0603	00373015009	716	33.50	0.50	34.00
2012	0603	00373016007	716	33.50	0.50	34.00
2012	0603	00373017005	716	33.50	0.50	34.00
2012	0603	00373018003	716	33.50	0.50	34.00
2012	0603	00373019001	716	33.50	0.50	34.00
2012	0603	00373020006	716	33.50	0.50	34.00
2012	0603	00373021004	716	33.50	0.50	34.00
2012	0603	00373022002	716	33.50	0.50	34.00

2012	0603	00373023000	716	33.50	0.50	34.00
2012	0603	00373024008	716	33.50	0.50	34.00
2012	0603	00376001005	716	33.50	0.50	34.00
2012	0603	00376002003	716	33.50	0.50	34.00
2012	0603	00376003001	716	33.50	0.50	34.00
2012	0603	00376004009	716	33.50	0.50	34.00
2012	0603	00376005007	716	33.50	0.50	34.00
2012	0603	00376006005	716	33.50	0.50	34.00
2012	0603	00376007003	716	33.50	0.50	34.00
2012	0603	00376008001	716	33.50	0.50	34.00
2012	0603	00377001000	716	33.50	0.50	34.00
2012	0603	00377002008	716	33.50	0.50	34.00
2012	0603	00377003006	716	33.50	0.50	34.00
2012	0603	00377004004	716	33.50	0.50	34.00
2012	0603	00378002003	716	17.00	0.50	17.50
2012	0603	00378003001	716	17.00	0.50	17.50
2012	0603	00378004009	716	17.00	0.50	17.50
2012	0603	00378005007	716	17.00	0.50	17.50
2012	0603	00378006005	716	17.00	0.50	17.50
2012	0603	00378007003	716	17.00	0.50	17.50
2012	0603	00378008001	716	17.00	0.50	17.50
2012	0603	00378009009	716	17.00	0.50	17.50
2012	0603	00378010004	716	17.00	0.50	17.50
2012	0603	00378011002	716	17.00	0.50	17.50
2012	0603	00378012000	716	17.00	0.50	17.50
2012	0603	00378013008	716	17.00	0.50	17.50
2012	0603	00378014006	716	17.00	0.50	17.50
2012	0603	00378015004	716	17.00	0.50	17.50
2012	0603	00378016002	716	17.00	0.50	17.50
2012	0603	00378017000	716	17.00	0.50	17.50
2012	0603	00378018008	716	17.00	0.50	17.50
2012	0603	00378019006	716	17.00	0.50	17.50
2012	0603	00378020001	716	17.00	0.50	17.50
2012	0603	00378021009	716	17.00	0.50	17.50
2012	0603	00378022007	716	17.00	0.50	17.50
2012	0603	00378023005	716	17.00	0.50	17.50
2012	0603	00378024003	716	17.00	0.50	17.50
2012	0603	00378025001	716	17.00	0.50	17.50
2012	0603	00378026009	716	17.00	0.50	17.50
2012	0603	00378027007	716	17.00	0.50	17.50
2012	0603	00378028005	716	17.00	0.50	17.50
2012	0603	00378029003	716	17.00	0.50	17.50
2012	0603	00378030008	716	17.00	0.50	17.50
2012	0603	00378031006	716	17.00	0.50	17.50
2012	0603	00378032004	716	17.00	0.50	17.50
2012	0603	00378033002	716	17.00	0.50	17.50
2012	0603	00378034000	716	17.00	0.50	17.50
2012	0603	00378035008	716	17.00	0.50	17.50
2012	0603	00378036006	716	17.00	0.50	17.50
2012	0603	00378037004	716	17.00	0.50	17.50
2012	0603	00378038002	716	17.00	0.50	17.50
2012	0603	00378039000	716	17.00	0.50	17.50

2012	0603	00378040005	716	17.00	0.50	17.50
2012	0603	00378041003	716	17.00	0.50	17.50
2012	0603	00378042001	716	17.00	0.50	17.50
2012	0603	00378043009	716	17.00	0.50	17.50
2012	0603	00378044007	716	17.00	0.50	17.50
2012	0603	00378045005	716	17.00	0.50	17.50
2012	0603	00378046003	716	17.00	0.50	17.50
2012	0603	00378047001	716	17.00	0.50	17.50
2012	0603	00378048009	716	17.00	0.50	17.50
2012	0603	00378049007	716	17.00	0.50	17.50
2012	0603	00378050002	716	17.00	0.50	17.50
2012	0603	00378051000	716	17.00	0.50	17.50
2012	0603	00378052008	716	17.00	0.50	17.50
2012	0603	00378053006	716	17.00	0.50	17.50
2012	0603	00378054004	716	17.00	0.50	17.50
2012	0603	00378055002	716	17.00	0.50	17.50
2012	0603	00378056000	716	17.00	0.50	17.50
2012	0603	00378057008	716	17.00	0.50	17.50
2012	0603	00378058006	716	17.00	0.50	17.50
2012	0603	00378059004	716	17.00	0.50	17.50
2012	0603	00378060009	716	17.00	0.50	17.50
2012	0603	00378061007	716	17.00	0.50	17.50
2012	0603	00378062005	716	17.00	0.50	17.50
2012	0603	00378063003	716	17.00	0.50	17.50
2012	0603	00378064001	716	17.00	0.50	17.50
2012	0603	00378065009	716	17.00	0.50	17.50
2012	0603	00379001000	716	33.50	0.50	34.00
2012	0603	00379002008	716	33.50	0.50	34.00
2012	0603	00379003006	716	33.50	0.50	34.00
2012	0603	00379004004	716	33.50	0.50	34.00
2012	0603	00379005002	716	33.50	0.50	34.00
2012	0603	00380001009	716	35.00	0.50	35.50
2012	0603	00380002007	716	35.00	0.50	35.50
2012	0603	00380003005	716	35.00	0.50	35.50
2012	0603	00381001004	716	33.50	0.50	34.00
2012	0603	00381002002	716	33.50	0.50	34.00
2012	0603	00381003000	716	33.50	0.50	34.00
2012	0603	00381004008	716	33.50	0.50	34.00
2012	0603	00381005006	716	33.50	0.50	34.00
2012	0603	00381006004	716	33.50	0.50	34.00
2012	0603	00381007002	716	33.50	0.50	34.00
2012	0603	00381008000	716	33.50	0.50	34.00
2012	0603	00381009008	716	33.50	0.50	34.00
2012	0603	00381010003	716	33.50	0.50	34.00
2012	0603	00381011001	716	33.50	0.50	34.00
2012	0603	00381012009	716	33.50	0.50	34.00
2012	0603	00381013007	716	33.50	0.50	34.00
2012	0603	00381014005	716	33.50	0.50	34.00
2012	0603	00381015003	716	33.50	0.50	34.00
2012	0603	00381016001	716	33.50	0.50	34.00
2012	0603	00381017009	716	33.50	0.50	34.00
2012	0603	00381018007	716	33.50	0.50	34.00

2012	0603	00381019005	716	33.50	0.50	34.00
2012	0603	00381020000	716	33.50	0.50	34.00
2012	0603	00381021008	716	33.50	0.50	34.00
2012	0603	00381022006	716	33.50	0.50	34.00
2012	0603	00381023004	716	33.50	0.50	34.00
2012	0603	00381024002	716	33.50	0.50	34.00
2012	0603	00381025000	716	33.50	0.50	34.00
2012	0603	00381026008	716	33.50	0.50	34.00
2012	0603	00381027006	716	33.50	0.50	34.00
2012	0603	00381028004	716	33.50	0.50	34.00
2012	0603	00381029002	716	33.50	0.50	34.00
2012	0603	00381030007	716	33.50	0.50	34.00
2012	0603	00381031005	716	33.50	0.50	34.00
2012	0603	00381032003	716	33.50	0.50	34.00
2012	0603	00381033001	716	33.50	0.50	34.00
2012	0603	00383001004	716	33.50	0.50	34.00
2012	0603	00383002002	716	33.50	0.50	34.00
2012	0603	00383003000	716	33.50	0.50	34.00
2012	0603	00383004008	716	33.50	0.50	34.00
2012	0603	00383005006	716	33.50	0.50	34.00
2012	0603	00383006004	716	33.50	0.50	34.00
2012	0603	00383007002	716	33.50	0.50	34.00
2012	0603	00383008000	716	33.50	0.50	34.00
2012	0603	00383009008	716	33.50	0.50	34.00
2012	0603	00383010003	716	33.50	0.50	34.00
2012	0603	00383011001	716	33.50	0.50	34.00
2012	0603	00383012009	716	33.50	0.50	34.00
2012	0603	00383013007	716	33.50	0.50	34.00
2012	0603	00383014005	716	33.50	0.50	34.00
2012	0603	00383015003	716	33.50	0.50	34.00
2012	0603	00383016001	716	33.50	0.50	34.00
2012	0603	00383017009	716	33.50	0.50	34.00
2012	0603	00383018007	716	33.50	0.50	34.00
2012	0603	00383019005	716	33.50	0.50	34.00
2012	0603	00383020000	716	33.50	0.50	34.00
2012	0603	00383021008	716	33.50	0.50	34.00
2012	0603	00383022006	716	33.50	0.50	34.00
2012	0603	00383023004	716	33.50	0.50	34.00
2012	0603	00383024002	716	33.50	0.50	34.00
2012	0603	00383025000	716	33.50	0.50	34.00
2012	0603	00383026008	716	33.50	0.50	34.00
2012	0603	00383027006	716	33.50	0.50	34.00
2012	0603	00383028004	716	33.50	0.50	34.00
2012	0603	00383029002	716	33.50	0.50	34.00
2012	0603	00383030007	716	33.50	0.50	34.00
2012	0603	00383031005	716	33.50	0.50	34.00
2012	0603	00383032003	716	33.50	0.50	34.00
2012	0603	00383033001	716	33.50	0.50	34.00
2012	0603	00383034009	716	33.50	0.50	34.00
2012	0603	00383035007	716	33.50	0.50	34.00
2012	0603	00383036005	716	33.50	0.50	34.00
2012	0603	00384013002	716	33.50	0.50	34.00

2012	0603	00384014000	716	33.50	0.50	34.00
2012	0603	00384015008	716	33.50	0.50	34.00
2012	0603	00384016006	716	33.50	0.50	34.00
2012	0603	00384017004	716	33.50	0.50	34.00
2012	0603	00384018002	716	33.50	0.50	34.00
2012	0603	00385013007	716	35.00	0.50	35.50
2012	0603	00385014005	716	24.50	0.50	25.00
2012	0603	00385015003	716	24.50	0.50	25.00
2012	0603	00386001009	716	36.00	0.50	36.50
2012	0603	00386002007	716	8.00	0.50	8.50
2012	0603	00386003005	716	36.00	0.50	36.50
2012	0603	00386004003	716	3.50	0.50	4.00
2012	0603	00386005001	716	79.00	0.50	79.50
2012	0603	00386006009	716	32.00	0.50	32.50
2012	0603	00386007007	716	32.00	0.50	32.50
2012	0603	00386008005	716	79.00	0.50	79.50
2012	0603	00387001004	716	43.50	0.50	44.00
2012	0603	00387002002	716	43.50	0.50	44.00
2012	0603	00387003000	716	36.00	0.50	36.50
2012	0603	00387004008	716	36.00	0.50	36.50
2012	0603	00387005006	716	43.50	0.50	44.00
2012	0603	00387006004	716	12.50	0.50	13.00
2012	0603	00387007002	716	43.50	0.50	44.00
2012	0603	00387009008	716	43.50	0.50	44.00
2012	0603	00387010003	716	43.50	0.50	44.00
2012	0603	00389001004	716	33.50	0.50	34.00
2012	0603	00389002002	716	33.50	0.50	34.00
2012	0603	00389003000	716	33.50	0.50	34.00
2012	0603	00389004008	716	33.50	0.50	34.00
2012	0603	00389005006	716	33.50	0.50	34.00
2012	0603	00389006004	716	33.50	0.50	34.00
2012	0603	00389007002	716	33.50	0.50	34.00
2012	0603	00389008000	716	33.50	0.50	34.00
2012	0603	00389009008	716	33.50	0.50	34.00
2012	0603	00389010003	716	33.50	0.50	34.00
2012	0603	00389011001	716	33.50	0.50	34.00
2012	0603	00389012009	716	33.50	0.50	34.00
2012	0603	00389013007	716	33.50	0.50	34.00
2012	0603	00389014005	716	33.50	0.50	34.00
2012	0603	00389015003	716	33.50	0.50	34.00
2012	0603	00389016001	716	33.50	0.50	34.00
2012	0603	00389017009	716	33.50	0.50	34.00
2012	0603	00389018007	716	33.50	0.50	34.00
2012	0603	00389019005	716	33.50	0.50	34.00
2012	0603	00389020000	716	33.50	0.50	34.00
2012	0603	00389021008	716	33.50	0.50	34.00
2012	0603	00389022006	716	33.50	0.50	34.00
2012	0603	00389023004	716	33.50	0.50	34.00
2012	0603	00389024002	716	33.50	0.50	34.00
2012	0603	00389025000	716	33.50	0.50	34.00
2012	0603	00389026008	716	33.50	0.50	34.00
2012	0603	00389027006	716	33.50	0.50	34.00

2012	0603	00389028004	716	33.50	0.50	34.00
2012	0603	00389029002	716	33.50	0.50	34.00
2012	0603	00389030007	716	33.50	0.50	34.00
2012	0603	00389031005	716	33.50	0.50	34.00
2012	0603	00389032003	716	33.50	0.50	34.00
2012	0603	00389033001	716	33.50	0.50	34.00
2012	0603	00389034009	716	33.50	0.50	34.00
2012	0603	00389035007	716	33.50	0.50	34.00
2012	0603	00389036005	716	33.50	0.50	34.00
2012	0603	00389037003	716	33.50	0.50	34.00
2012	0603	00389038001	716	33.50	0.50	34.00
2012	0603	00389039009	716	33.50	0.50	34.00
2012	0603	00389040004	716	33.50	0.50	34.00
2012	0603	00389041002	716	33.50	0.50	34.00
2012	0603	00389042000	716	33.50	0.50	34.00
2012	0603	00389043008	716	33.50	0.50	34.00
2012	0603	00389044006	716	33.50	0.50	34.00
2012	0603	00389045004	716	33.50	0.50	34.00
2012	0603	00389046002	716	33.50	0.50	34.00
2012	0603	00389047000	716	33.50	0.50	34.00
2012	0603	00389048008	716	33.50	0.50	34.00
2012	0603	00389049006	716	33.50	0.50	34.00
2012	0603	00389050001	716	33.50	0.50	34.00
2012	0603	00389051009	716	33.50	0.50	34.00
2012	0603	00389052007	716	33.50	0.50	34.00
2012	0603	00389053005	716	33.50	0.50	34.00
2012	0603	00389054003	716	33.50	0.50	34.00
2012	0603	00389055001	716	33.50	0.50	34.00
2012	0603	00389056009	716	33.50	0.50	34.00
2012	0603	00389057007	716	33.50	0.50	34.00
2012	0603	00389058005	716	33.50	0.50	34.00
2012	0603	00389059003	716	33.50	0.50	34.00
2012	0603	00389060008	716	33.50	0.50	34.00
2012	0603	00389061006	716	40.50	0.50	41.00
2012	0603	00392001003	716	33.50	0.50	34.00
2012	0603	00392002001	716	33.50	0.50	34.00
2012	0603	00392003009	716	33.50	0.50	34.00
2012	0603	00392004007	716	33.50	0.50	34.00
2012	0603	00392005005	716	33.50	0.50	34.00
2012	0603	00392006003	716	33.50	0.50	34.00
2012	0603	00392007001	716	33.50	0.50	34.00
2012	0603	00392008009	716	33.50	0.50	34.00
2012	0603	00392009007	716	33.50	0.50	34.00
2012	0603	00392010002	716	33.50	0.50	34.00
2012	0603	00392011000	716	33.50	0.50	34.00
2012	0603	00392012008	716	33.50	0.50	34.00
2012	0603	00392013006	716	33.50	0.50	34.00
2012	0603	00392014004	716	33.50	0.50	34.00
2012	0603	00392015002	716	33.50	0.50	34.00
2012	0603	00392016000	716	33.50	0.50	34.00
2012	0603	00392017008	716	33.50	0.50	34.00
2012	0603	00392018006	716	33.50	0.50	34.00

2012	0603	00392019004	716	33.50	0.50	34.00
2012	0603	00392020009	716	33.50	0.50	34.00
2012	0603	00392021007	716	33.50	0.50	34.00
2012	0603	00392022005	716	33.50	0.50	34.00
2012	0603	00392023003	716	33.50	0.50	34.00
2012	0603	00392024001	716	33.50	0.50	34.00
2012	0603	00392025009	716	33.50	0.50	34.00
2012	0603	00392026007	716	33.50	0.50	34.00
2012	0603	00392027005	716	33.50	0.50	34.00
2012	0603	00392028003	716	33.50	0.50	34.00
2012	0603	00392029001	716	33.50	0.50	34.00
2012	0603	00392030006	716	33.50	0.50	34.00
2012	0603	00392031004	716	33.50	0.50	34.00
2012	0603	00392032002	716	33.50	0.50	34.00
2012	0603	00392033000	716	33.50	0.50	34.00
2012	0603	00392034008	716	33.50	0.50	34.00
2012	0603	00392035006	716	33.50	0.50	34.00
2012	0603	00392036004	716	33.50	0.50	34.00
2012	0603	00392037002	716	33.50	0.50	34.00
2012	0603	00392038000	716	33.50	0.50	34.00
2012	0603	00392039008	716	33.50	0.50	34.00
2012	0603	00392040003	716	33.50	0.50	34.00
2012	0603	00392041001	716	33.50	0.50	34.00
2012	0603	00392042009	716	33.50	0.50	34.00
2012	0603	00392043007	716	33.50	0.50	34.00
2012	0603	00392044005	716	33.50	0.50	34.00
2012	0603	00392045003	716	33.50	0.50	34.00
2012	0603	00392046001	716	33.50	0.50	34.00
2012	0603	00393001008	716	33.50	0.50	34.00
2012	0603	00393002006	716	33.50	0.50	34.00
2012	0603	00393003004	716	33.50	0.50	34.00
2012	0603	00394001003	716	33.50	0.50	34.00
2012	0603	00394002001	716	33.50	0.50	34.00
2012	0603	00394003009	716	33.50	0.50	34.00
2012	0603	00395001008	716	35.00	0.50	35.50
2012	0603	00395002006	716	35.00	0.50	35.50
2012	0603	00395003004	716	35.00	0.50	35.50
2012	0603	00395004002	716	35.00	0.50	35.50
2012	0603	00395005000	716	35.00	0.50	35.50
2012	0603	00395006008	716	35.00	0.50	35.50
2012	0603	00395007006	716	35.00	0.50	35.50
2012	0603	00395008004	716	35.00	0.50	35.50
2012	0603	00395009002	716	35.00	0.50	35.50
2012	0603	00395010007	716	35.00	0.50	35.50
2012	0603	00395011005	716	35.00	0.50	35.50
2012	0603	00395012003	716	35.00	0.50	35.50
2012	0603	00395013001	716	35.00	0.50	35.50
2012	0603	00395014009	716	35.00	0.50	35.50
2012	0603	00395015007	716	35.00	0.50	35.50
2012	0603	00395016005	716	35.00	0.50	35.50
2012	0603	00395017003	716	35.00	0.50	35.50
2012	0603	00395018001	716	35.00	0.50	35.50

2012	0603	00395019009	716	35.00	0.50	35.50
2012	0603	00395020004	716	35.00	0.50	35.50
2012	0603	00395021002	716	35.00	0.50	35.50
2012	0603	00395022000	716	35.00	0.50	35.50
2012	0603	00395023008	716	35.00	0.50	35.50
2012	0603	00396001003	716	36.00	0.50	36.50
2012	0603	00396002001	716	36.00	0.50	36.50
2012	0603	00396003009	716	36.00	0.50	36.50
2012	0603	00396004007	716	36.00	0.50	36.50
2012	0603	00398001003	716	31.52	0.50	32.02
2012	0603	00398002001	716	31.52	0.50	32.02
2012	0603	00398003009	716	31.52	0.50	32.02
2012	0603	00399001008	716	22.76	0.50	23.26
2012	0603	00399002006	716	22.76	0.50	23.26
2012	0603	00399003004	716	22.76	0.50	23.26
2012	0603	00399004002	716	22.76	0.50	23.26
2012	0603	00399005000	716	22.76	0.50	23.26
2012	0603	00399006008	716	22.76	0.50	23.26
2012	0603	00399007006	716	22.76	0.50	23.26
2012	0603	00399008004	716	22.76	0.50	23.26
2012	0603	00399009002	716	22.76	0.50	23.26
2012	0603	00399010007	716	22.76	0.50	23.26
2012	0603	00399011005	716	22.76	0.50	23.26
2012	0603	00399012003	716	22.76	0.50	23.26
2012	0603	00399013001	716	22.76	0.50	23.26
2012	0603	00399014009	716	22.76	0.50	23.26
2012	0603	00399015007	716	22.76	0.50	23.26
2012	0603	00399016005	716	22.76	0.50	23.26
2012	0603	00399017003	716	22.76	0.50	23.26
2012	0603	00399018001	716	22.76	0.50	23.26
2012	0603	00399019009	716	22.76	0.50	23.26
2012	0603	00399020004	716	22.76	0.50	23.26
2012	0603	00399021002	716	22.76	0.50	23.26
2012	0603	00399022000	716	22.76	0.50	23.26
2012	0603	00399023008	716	22.76	0.50	23.26
2012	0603	00400421008	716	35.01	0.50	35.51
2012	0603	00400422006	716	35.00	0.50	35.50
2012	0603	00400507008	716	35.00	0.50	35.50
2012	0603	00400508006	716	69.00	0.50	69.50
2012	0603	00400510009	716	35.00	0.50	35.50
2012	0603	00400511007	716	35.00	0.50	35.50
2012	0603	00400601006	716	35.01	0.50	35.51
2012	0603	00400602004	716	35.00	0.50	35.50
2012	0603	00400603002	716	35.00	0.50	35.50
2012	0603	00400604000	716	35.00	0.50	35.50
2012	0603	00400605008	716	35.00	0.50	35.50
2012	0603	00400606006	716	35.00	0.50	35.50
2012	0603	00400607004	716	35.00	0.50	35.50
2012	0603	00400608002	716	35.00	0.50	35.50
2012	0603	00400609000	716	35.00	0.50	35.50
2012	0603	00400610005	716	40.50	0.50	41.00
2012	0603	00400611003	716	35.00	0.50	35.50

2012	0603	00400612001	716	40.50	0.50	41.00
2012	0603	00400613009	716	40.50	0.50	41.00
2012	0603	00400615005	716	40.50	0.50	41.00
2012	0603	00400616003	716	40.50	0.50	41.00
2012	0603	00400617001	716	40.50	0.50	41.00
2012	0603	00400618009	716	35.00	0.50	35.50
2012	0603	00400619007	716	40.50	0.50	41.00
2012	0603	00400620002	716	40.50	0.50	41.00
2012	0603	00400621000	716	35.00	0.50	35.50
2012	0603	00400622008	716	40.50	0.50	41.00
2012	0603	00400623006	716	35.00	0.50	35.50
2012	0603	00400624004	716	35.00	0.50	35.50
2012	0603	00400625002	716	35.00	0.50	35.50
2012	0603	00400627008	716	40.50	0.50	41.00
2012	0603	00400628006	716	40.50	0.50	41.00
2012	0603	00400629004	716	40.50	0.50	41.00
2012	0603	00400630009	716	40.50	0.50	41.00
2012	0603	00400631007	716	40.50	0.50	41.00
2012	0603	00400632005	716	17.00	0.50	17.50
2012	0603	00400633003	716	17.00	0.50	17.50
2012	0603	00400634001	716	17.00	0.50	17.50
2012	0603	00400635009	716	17.00	0.50	17.50
2012	0603	00400636007	716	17.00	0.50	17.50
2012	0603	00400637005	716	17.00	0.50	17.50
2012	0603	00400638003	716	17.00	0.50	17.50
2012	0603	00400639001	716	17.00	0.50	17.50
2012	0603	00400640006	716	17.00	0.50	17.50
2012	0603	00400641004	716	17.00	0.50	17.50
2012	0603	00400642002	716	17.00	0.50	17.50
2012	0603	00400643000	716	17.00	0.50	17.50
2012	0603	00400644008	716	17.00	0.50	17.50
2012	0603	00400645006	716	17.00	0.50	17.50
2012	0603	00400646004	716	17.00	0.50	17.50
2012	0603	00400647002	716	17.00	0.50	17.50
2012	0603	00400648000	716	17.00	0.50	17.50
2012	0603	00400649008	716	17.00	0.50	17.50
2012	0603	00400650003	716	17.00	0.50	17.50
2012	0603	00400651001	716	17.00	0.50	17.50
2012	0603	00400652009	716	17.00	0.50	17.50
2012	0603	00400653007	716	17.00	0.50	17.50
2012	0603	00400654005	716	17.00	0.50	17.50
2012	0603	00400655003	716	17.00	0.50	17.50
2012	0603	00400656001	716	17.00	0.50	17.50
2012	0603	00400657009	716	17.00	0.50	17.50
2012	0603	00400658007	716	17.00	0.50	17.50
2012	0603	00400659005	716	17.00	0.50	17.50
2012	0603	00400660000	716	17.00	0.50	17.50
2012	0603	00400661008	716	17.00	0.50	17.50
2012	0603	00400662006	716	17.00	0.50	17.50
2012	0603	00400663004	716	17.00	0.50	17.50
2012	0603	00400664002	716	17.00	0.50	17.50
2012	0603	00400665000	716	17.00	0.50	17.50

2012	0603	00400666008	716	17.00	0.50	17.50
2012	0603	00400667006	716	17.00	0.50	17.50
2012	0603	00400668004	716	17.00	0.50	17.50
2012	0603	00400669002	716	17.00	0.50	17.50
2012	0603	00400670007	716	17.00	0.50	17.50
2012	0603	00400671005	716	17.00	0.50	17.50
2012	0603	00400675007	716	40.50	0.50	41.00
2012	0603	00400676005	716	40.50	0.50	41.00
2012	0603	00400677003	716	40.50	0.50	41.00
2012	0603	00400678001	716	40.50	0.50	41.00
2012	0603	00400701002	716	17.00	0.50	17.50
2012	0603	00400702000	716	17.00	0.50	17.50
2012	0603	00400703008	716	17.00	0.50	17.50
2012	0603	00400704006	716	17.00	0.50	17.50
2012	0603	00400705004	716	17.00	0.50	17.50
2012	0603	00400706002	716	17.00	0.50	17.50
2012	0603	00400707000	716	17.00	0.50	17.50
2012	0603	00400708008	716	17.00	0.50	17.50
2012	0603	00400709006	716	17.00	0.50	17.50
2012	0603	00400710001	716	17.00	0.50	17.50
2012	0603	00400711009	716	17.00	0.50	17.50
2012	0603	00400712007	716	17.00	0.50	17.50
2012	0603	00400713005	716	17.00	0.50	17.50
2012	0603	00400714003	716	17.00	0.50	17.50
2012	0603	00400715001	716	17.00	0.50	17.50
2012	0603	00400716009	716	17.00	0.50	17.50
2012	0603	00400717007	716	17.00	0.50	17.50
2012	0603	00400718005	716	17.00	0.50	17.50
2012	0603	00400719003	716	17.00	0.50	17.50
2012	0603	00400720008	716	17.00	0.50	17.50
2012	0603	00400721006	716	17.00	0.50	17.50
2012	0603	00400722004	716	17.00	0.50	17.50
2012	0603	00400723002	716	17.00	0.50	17.50
2012	0603	00400724000	716	17.00	0.50	17.50
2012	0603	00400725008	716	17.00	0.50	17.50
2012	0603	00400726006	716	17.00	0.50	17.50
2012	0603	00400727004	716	17.00	0.50	17.50
2012	0603	00400728002	716	17.00	0.50	17.50
2012	0603	00400729000	716	17.00	0.50	17.50
2012	0603	00400730005	716	17.00	0.50	17.50
2012	0603	00400731003	716	17.00	0.50	17.50
2012	0603	00400732001	716	17.00	0.50	17.50
2012	0603	00400733009	716	17.00	0.50	17.50
2012	0603	00400734007	716	17.00	0.50	17.50
2012	0603	00400735005	716	17.00	0.50	17.50
2012	0603	00400736003	716	17.00	0.50	17.50
2012	0603	00400737001	716	17.00	0.50	17.50
2012	0603	00400738009	716	17.00	0.50	17.50
2012	0603	00400739007	716	17.00	0.50	17.50
2012	0603	00400740002	716	17.00	0.50	17.50
2012	0603	00400741000	716	17.00	0.50	17.50
2012	0603	00400742008	716	17.00	0.50	17.50

2012	0603	00400743006	716	17.00	0.50	17.50
2012	0603	00400744004	716	17.00	0.50	17.50
2012	0603	00400745002	716	17.00	0.50	17.50
2012	0603	00400746000	716	17.00	0.50	17.50
2012	0603	00400747008	716	17.00	0.50	17.50
2012	0603	00400748006	716	17.00	0.50	17.50
2012	0603	00400749004	716	17.00	0.50	17.50
2012	0603	00400750009	716	17.00	0.50	17.50
2012	0603	00400751007	716	17.00	0.50	17.50
2012	0603	00400752005	716	17.00	0.50	17.50
2012	0603	00400753003	716	17.00	0.50	17.50
2012	0603	00400754001	716	17.00	0.50	17.50
2012	0603	00400755009	716	17.00	0.50	17.50
2012	0603	00400801008	716	40.50	0.50	41.00
2012	0603	00400802006	716	40.50	0.50	41.00
2012	0603	00400803004	716	40.50	0.50	41.00
2012	0603	00400804002	716	40.50	0.50	41.00
2012	0603	00400805000	716	40.50	0.50	41.00
2012	0603	00400806008	716	40.50	0.50	41.00
2012	0603	00400807006	716	40.50	0.50	41.00
2012	0603	00400808004	716	40.50	0.50	41.00
2012	0603	00400809002	716	40.50	0.50	41.00
2012	0603	00400810007	716	40.50	0.50	41.00
2012	0603	00400811005	716	40.50	0.50	41.00
2012	0603	00400812003	716	40.50	0.50	41.00
2012	0603	00400813001	716	40.50	0.50	41.00
2012	0603	00400814009	716	40.50	0.50	41.00
2012	0603	00400815007	716	40.50	0.50	41.00
2012	0603	00400816005	716	40.50	0.50	41.00
2012	0603	00400817003	716	40.50	0.50	41.00
2012	0603	00400818001	716	40.50	0.50	41.00
2012	0603	00400819009	716	40.50	0.50	41.00
2012	0603	00400820004	716	40.50	0.50	41.00
2012	0603	00400821002	716	40.50	0.50	41.00
2012	0603	00400822000	716	40.50	0.50	41.00
2012	0603	00400823008	716	40.50	0.50	41.00
2012	0603	00400824006	716	40.50	0.50	41.00
2012	0603	00400825004	716	40.50	0.50	41.00
2012	0603	00400826002	716	40.50	0.50	41.00
2012	0603	00400827000	716	40.50	0.50	41.00
2012	0603	00400828008	716	40.50	0.50	41.00
2012	0603	00400829006	716	40.50	0.50	41.00
2012	0603	00400830001	716	40.50	0.50	41.00
2012	0603	00400831009	716	40.50	0.50	41.00
2012	0603	00400832007	716	40.50	0.50	41.00
2012	0603	00400833005	716	40.50	0.50	41.00
2012	0603	00400834003	716	40.50	0.50	41.00
2012	0603	00400835001	716	40.50	0.50	41.00
2012	0603	00400836009	716	40.50	0.50	41.00
2012	0603	00400837007	716	40.50	0.50	41.00
2012	0603	00400838005	716	40.50	0.50	41.00
2012	0603	00400839003	716	40.50	0.50	41.00

2012	0603	00400840008	716	40.50	0.50	41.00
2012	0603	00400841006	716	40.50	0.50	41.00
2012	0603	00400842004	716	40.50	0.50	41.00
2012	0603	00400843002	716	40.50	0.50	41.00
2012	0603	00400844000	716	40.50	0.50	41.00
2012	0603	00400845008	716	40.50	0.50	41.00
2012	0603	00400846006	716	40.50	0.50	41.00
2012	0603	00400847004	716	40.50	0.50	41.00
2012	0603	00400848002	716	40.50	0.50	41.00
2012	0603	00400849000	716	40.50	0.50	41.00
2012	0603	00400850005	716	40.50	0.50	41.00
2012	0603	00400851003	716	40.50	0.50	41.00
2012	0603	00400852001	716	40.50	0.50	41.00
2012	0603	00400853009	716	40.50	0.50	41.00
2012	0603	00400854007	716	40.50	0.50	41.00
2012	0603	00400855005	716	40.50	0.50	41.00
2012	0603	00400856003	716	40.50	0.50	41.00
2012	0603	00400857001	716	40.50	0.50	41.00
2012	0603	00400858009	716	40.50	0.50	41.00
2012	0603	00400859007	716	40.50	0.50	41.00
2012	0603	00400860002	716	40.50	0.50	41.00
2012	0603	00400861000	716	40.50	0.50	41.00
2012	0603	00400862008	716	40.50	0.50	41.00
2012	0603	00400863006	716	40.50	0.50	41.00
2012	0603	00400864004	716	40.50	0.50	41.00
2012	0603	00400865002	716	40.50	0.50	41.00
2012	0603	00400866000	716	40.50	0.50	41.00
2012	0603	00400901004	716	40.50	0.50	41.00
2012	0603	00400902002	716	40.50	0.50	41.00
2012	0603	00400903000	716	40.50	0.50	41.00
2012	0603	00400904008	716	40.50	0.50	41.00
2012	0603	00400905006	716	40.50	0.50	41.00
2012	0603	00400906004	716	40.50	0.50	41.00
2012	0603	00400907002	716	40.50	0.50	41.00
2012	0603	00400908000	716	40.50	0.50	41.00
2012	0603	00400909008	716	40.50	0.50	41.00
2012	0603	00400910003	716	40.50	0.50	41.00
2012	0603	00400911001	716	40.50	0.50	41.00
2012	0603	00400912009	716	40.50	0.50	41.00
2012	0603	00400913007	716	40.50	0.50	41.00
2012	0603	00400914005	716	40.50	0.50	41.00
2012	0603	00400915003	716	40.50	0.50	41.00
2012	0603	00400916001	716	40.50	0.50	41.00
2012	0603	00400917009	716	40.50	0.50	41.00
2012	0603	00400918007	716	40.50	0.50	41.00
2012	0603	00400919005	716	40.50	0.50	41.00
2012	0603	00400920000	716	40.50	0.50	41.00
2012	0603	00400921008	716	40.50	0.50	41.00
2012	0603	00400922006	716	40.50	0.50	41.00
2012	0603	00400923004	716	40.50	0.50	41.00
2012	0603	00400924002	716	40.50	0.50	41.00
2012	0603	00400925000	716	40.50	0.50	41.00

2012	0603	00400926008	716	40.50	0.50	41.00
2012	0603	00400927006	716	40.50	0.50	41.00
2012	0603	00400928004	716	40.50	0.50	41.00
2012	0603	00400929002	716	40.50	0.50	41.00
2012	0603	00400930007	716	40.50	0.50	41.00
2012	0603	00400931005	716	40.50	0.50	41.00
2012	0603	00400932003	716	40.50	0.50	41.00
2012	0603	00400933001	716	40.50	0.50	41.00
2012	0603	00400934009	716	40.50	0.50	41.00
2012	0603	00400935007	716	40.50	0.50	41.00
2012	0603	00400936005	716	40.50	0.50	41.00
2012	0603	00400937003	716	40.50	0.50	41.00
2012	0603	00400938001	716	40.50	0.50	41.00
2012	0603	00400939009	716	40.50	0.50	41.00
2012	0603	00400940004	716	40.50	0.50	41.00
2012	0603	00400941002	716	40.50	0.50	41.00
2012	0603	00400942000	716	40.50	0.50	41.00
2012	0603	00400943008	716	40.50	0.50	41.00
2012	0603	00400944006	716	40.50	0.50	41.00
2012	0603	00400945004	716	40.50	0.50	41.00
2012	0603	00400946002	716	40.50	0.50	41.00
2012	0603	00400947000	716	40.50	0.50	41.00
2012	0603	00400948008	716	40.50	0.50	41.00
2012	0603	00400949006	716	40.50	0.50	41.00
2012	0603	00400950001	716	40.50	0.50	41.00
2012	0603	00400951009	716	40.50	0.50	41.00
2012	0603	00400952007	716	40.50	0.50	41.00
2012	0603	00401001005	716	40.50	0.50	41.00
2012	0603	00401002003	716	40.50	0.50	41.00
2012	0603	00401003001	716	40.50	0.50	41.00
2012	0603	00401004009	716	40.50	0.50	41.00
2012	0603	00401005007	716	40.50	0.50	41.00
2012	0603	00401006005	716	40.50	0.50	41.00
2012	0603	00401007003	716	40.50	0.50	41.00
2012	0603	00401008001	716	40.50	0.50	41.00
2012	0603	00401009009	716	40.50	0.50	41.00
2012	0603	00401010004	716	40.50	0.50	41.00
2012	0603	00401011002	716	40.50	0.50	41.00
2012	0603	00401012000	716	40.50	0.50	41.00
2012	0603	00401013008	716	40.50	0.50	41.00
2012	0603	00401014006	716	40.50	0.50	41.00
2012	0603	00401015004	716	40.50	0.50	41.00
2012	0603	00401016002	716	40.50	0.50	41.00
2012	0603	00401017000	716	40.50	0.50	41.00
2012	0603	00401018008	716	40.50	0.50	41.00
2012	0603	00401019006	716	40.50	0.50	41.00
2012	0603	00401020001	716	40.50	0.50	41.00
2012	0603	00401021009	716	40.50	0.50	41.00
2012	0603	00401022007	716	40.50	0.50	41.00
2012	0603	00401023005	716	40.50	0.50	41.00
2012	0603	00401024003	716	40.50	0.50	41.00
2012	0603	00401025001	716	40.50	0.50	41.00

2012	0603	00401026009	716	40.50	0.50	41.00
2012	0603	00401027007	716	40.50	0.50	41.00
2012	0603	00401028005	716	40.50	0.50	41.00
2012	0603	00401029003	716	40.50	0.50	41.00
2012	0603	00401030008	716	40.50	0.50	41.00
2012	0603	00401031006	716	40.50	0.50	41.00
2012	0603	00401032004	716	40.50	0.50	41.00
2012	0603	00401033002	716	40.50	0.50	41.00
2012	0603	00401034000	716	40.50	0.50	41.00
2012	0603	00401035008	716	40.50	0.50	41.00
2012	0603	00401036006	716	40.50	0.50	41.00
2012	0603	00401037004	716	40.50	0.50	41.00
2012	0603	00401038002	716	40.50	0.50	41.00
2012	0603	00401039000	716	40.50	0.50	41.00
2012	0603	00401040005	716	40.50	0.50	41.00
2012	0603	00401041003	716	40.50	0.50	41.00
2012	0603	00401042001	716	40.50	0.50	41.00
2012	0603	00401043009	716	40.50	0.50	41.00
2012	0603	00401044007	716	40.50	0.50	41.00
2012	0603	00401045005	716	40.50	0.50	41.00
2012	0603	00401046003	716	40.50	0.50	41.00
2012	0603	00401047001	716	40.50	0.50	41.00
2012	0603	00401048009	716	40.50	0.50	41.00
2012	0603	00401049007	716	40.50	0.50	41.00
2012	0603	00401050002	716	40.50	0.50	41.00
2012	0603	00401051000	716	40.50	0.50	41.00
2012	0603	00401052008	716	40.50	0.50	41.00
2012	0603	00401053006	716	40.50	0.50	41.00
2012	0603	00401054004	716	40.50	0.50	41.00
2012	0603	00401055002	716	40.50	0.50	41.00
2012	0603	00401056000	716	40.50	0.50	41.00
2012	0603	00401057008	716	40.50	0.50	41.00
2012	0603	00401058006	716	40.50	0.50	41.00
2012	0603	00401059004	716	40.50	0.50	41.00
2012	0603	00401060009	716	40.50	0.50	41.00
2012	0603	00401061007	716	40.50	0.50	41.00
2012	0603	00401062005	716	40.50	0.50	41.00
2012	0603	00401063003	716	40.50	0.50	41.00
2012	0603	00401064001	716	40.50	0.50	41.00
2012	0603	00401065009	716	40.50	0.50	41.00
2012	0603	00401066007	716	40.50	0.50	41.00
2012	0603	00401067005	716	40.50	0.50	41.00
2012	0603	00401068003	716	40.50	0.50	41.00
2012	0603	00401069001	716	40.50	0.50	41.00
2012	0603	00401101001	716	40.50	0.50	41.00
2012	0603	00401102009	716	40.50	0.50	41.00
2012	0603	00401103007	716	40.50	0.50	41.00
2012	0603	00401104005	716	40.50	0.50	41.00
2012	0603	00401105003	716	40.50	0.50	41.00
2012	0603	00401106001	716	40.50	0.50	41.00
2012	0603	00401107009	716	40.50	0.50	41.00
2012	0603	00401108007	716	40.50	0.50	41.00

2012	0603	00401109005	716	40.50	0.50	41.00
2012	0603	00401110000	716	40.50	0.50	41.00
2012	0603	00401111008	716	40.50	0.50	41.00
2012	0603	00401112006	716	40.50	0.50	41.00
2012	0603	00401113004	716	40.50	0.50	41.00
2012	0603	00401114002	716	40.50	0.50	41.00
2012	0603	00401115000	716	40.50	0.50	41.00
2012	0603	00401116008	716	40.50	0.50	41.00
2012	0603	00401117006	716	40.50	0.50	41.00
2012	0603	00401118004	716	40.50	0.50	41.00
2012	0603	00401119002	716	40.50	0.50	41.00
2012	0603	00401120007	716	40.50	0.50	41.00
2012	0603	00401121005	716	40.50	0.50	41.00
2012	0603	00401122003	716	40.50	0.50	41.00
2012	0603	00401123001	716	40.50	0.50	41.00
2012	0603	00401124009	716	40.50	0.50	41.00
2012	0603	00401125007	716	40.50	0.50	41.00
2012	0603	00401126005	716	40.50	0.50	41.00
2012	0603	00401127003	716	40.50	0.50	41.00
2012	0603	00401128001	716	40.50	0.50	41.00
2012	0603	00401129009	716	40.50	0.50	41.00
2012	0603	00401130004	716	40.50	0.50	41.00
2012	0603	00401131002	716	40.50	0.50	41.00
2012	0603	00401132000	716	40.50	0.50	41.00
2012	0603	00401133008	716	40.50	0.50	41.00
2012	0603	00401134006	716	40.50	0.50	41.00
2012	0603	00401135004	716	40.50	0.50	41.00
2012	0603	00401136002	716	40.50	0.50	41.00
2012	0603	00401137000	716	40.50	0.50	41.00
2012	0603	00401138008	716	40.50	0.50	41.00
2012	0603	00401139006	716	40.50	0.50	41.00
2012	0603	00401140001	716	40.50	0.50	41.00
2012	0603	00401141009	716	40.50	0.50	41.00
2012	0603	00401142007	716	40.50	0.50	41.00
2012	0603	00401201007	716	40.50	0.50	41.00
2012	0603	00401202005	716	40.50	0.50	41.00
2012	0603	00401204001	716	40.50	0.50	41.00
2012	0603	00401205009	716	40.50	0.50	41.00
2012	0603	00401206007	716	40.50	0.50	41.00
2012	0603	00401207005	716	40.50	0.50	41.00
2012	0603	00401208003	716	35.00	0.50	35.50
2012	0603	00401209001	716	33.50	0.50	34.00
2012	0603	00401210006	716	33.50	0.50	34.00
2012	0603	00401211004	716	40.50	0.50	41.00
2012	0603	00401212002	716	40.50	0.50	41.00
2012	0603	00401213000	716	40.50	0.50	41.00
2012	0603	00401214008	716	42.00	0.50	42.50
2012	0603	00401215006	716	42.00	0.50	42.50
2012	0603	00401216004	716	40.50	0.50	41.00
2012	0603	00401217002	716	40.50	0.50	41.00
2012	0603	00401218000	716	40.50	0.50	41.00
2012	0603	00401219008	716	40.50	0.50	41.00

2012	0603	00401220003	716	40.50	0.50	41.00
2012	0603	00401221001	716	40.50	0.50	41.00
2012	0603	00401222009	716	40.50	0.50	41.00
2012	0603	00401224005	716	11.67	0.50	12.17
2012	0603	00401230000	716	23.33	0.50	23.83
2012	0603	00401231008	716	23.33	0.50	23.83
2012	0603	00401314004	716	69.00	0.50	69.50
2012	0603	00401315002	716	126.50	0.50	127.00
2012	0603	00401316000	716	236.00	0.50	236.50
2012	0603	00401317008	716	141.50	0.50	142.00
2012	0603	00401318006	716	35.00	0.50	35.50
2012	0603	00401319004	716	109.00	0.50	109.50
2012	0603	00401320009	716	55.50	0.50	56.00
2012	0603	00401322005	716	35.00	0.50	35.50
2012	0603	00401327005	716	49.50	0.50	50.00
2012	0603	00401401009	716	17.00	0.50	17.50
2012	0603	00401402007	716	22.49	0.50	22.99
2012	0603	00401403005	716	22.49	0.50	22.99
2012	0603	00401404003	716	22.49	0.50	22.99
2012	0603	00401405001	716	22.49	0.50	22.99
2012	0603	00401406009	716	22.49	0.50	22.99
2012	0603	00401407007	716	22.49	0.50	22.99
2012	0603	00401408005	716	22.49	0.50	22.99
2012	0603	00401409003	716	22.49	0.50	22.99
2012	0603	00401410008	716	22.49	0.50	22.99
2012	0603	00401411006	716	22.49	0.50	22.99
2012	0603	00401412004	716	22.49	0.50	22.99
2012	0603	00401413002	716	22.49	0.50	22.99
2012	0603	00401414000	716	22.49	0.50	22.99
2012	0603	00401415008	716	22.49	0.50	22.99
2012	0603	00401416006	716	22.49	0.50	22.99
2012	0603	00401417004	716	22.49	0.50	22.99
2012	0603	00401418002	716	22.49	0.50	22.99
2012	0603	00401419000	716	22.49	0.50	22.99
2012	0603	00401420005	716	22.49	0.50	22.99
2012	0603	00401421003	716	22.49	0.50	22.99
2012	0603	00401422001	716	22.49	0.50	22.99
2012	0603	00401423009	716	22.49	0.50	22.99
2012	0603	00401424007	716	22.49	0.50	22.99
2012	0603	00401425005	716	22.49	0.50	22.99
2012	0603	00401426003	716	22.49	0.50	22.99
2012	0603	00401427001	716	22.49	0.50	22.99
2012	0603	00401428009	716	22.49	0.50	22.99
2012	0603	00401429007	716	22.49	0.50	22.99
2012	0603	00401430002	716	22.49	0.50	22.99
2012	0603	00401501005	716	17.00	0.50	17.50
2012	0603	00401502003	716	17.00	0.50	17.50
2012	0603	00401503001	716	17.00	0.50	17.50
2012	0603	00401504009	716	17.00	0.50	17.50
2012	0603	00401505007	716	17.00	0.50	17.50
2012	0603	00401506005	716	17.00	0.50	17.50
2012	0603	00401507003	716	17.00	0.50	17.50

2012	0603	00401508001	716	17.00	0.50	17.50
2012	0603	00401509009	716	17.00	0.50	17.50
2012	0603	00401510004	716	17.00	0.50	17.50
2012	0603	00401511002	716	17.00	0.50	17.50
2012	0603	00401512000	716	17.00	0.50	17.50
2012	0603	00401513008	716	17.00	0.50	17.50
2012	0603	00401514006	716	17.00	0.50	17.50
2012	0603	00401515004	716	17.00	0.50	17.50
2012	0603	00401516002	716	17.00	0.50	17.50
2012	0603	00401517000	716	17.00	0.50	17.50
2012	0603	00401518008	716	17.00	0.50	17.50
2012	0603	00401519006	716	17.00	0.50	17.50
2012	0603	00401520001	716	17.00	0.50	17.50
2012	0603	00401521009	716	17.00	0.50	17.50
2012	0603	00401522007	716	17.00	0.50	17.50
2012	0603	00401523005	716	17.00	0.50	17.50
2012	0603	00401524003	716	17.00	0.50	17.50
2012	0603	00401525001	716	17.00	0.50	17.50
2012	0603	00401526009	716	17.00	0.50	17.50
2012	0603	00401527007	716	17.00	0.50	17.50
2012	0603	00401528005	716	17.00	0.50	17.50
2012	0603	00401529003	716	17.00	0.50	17.50
2012	0603	00401530008	716	17.00	0.50	17.50
2012	0603	00401531006	716	17.00	0.50	17.50
2012	0603	00401532004	716	17.00	0.50	17.50
2012	0603	00401533002	716	17.00	0.50	17.50
2012	0603	00401534000	716	17.00	0.50	17.50
2012	0603	00401535008	716	17.00	0.50	17.50
2012	0603	00401536006	716	17.00	0.50	17.50
2012	0603	00401537004	716	17.00	0.50	17.50
2012	0603	00401538002	716	17.00	0.50	17.50
2012	0603	00401539000	716	17.00	0.50	17.50
2012	0603	00401540005	716	17.00	0.50	17.50
2012	0603	00401541003	716	17.00	0.50	17.50
2012	0603	00401542001	716	17.00	0.50	17.50
2012	0603	00401543009	716	17.00	0.50	17.50
2012	0603	00401544007	716	17.00	0.50	17.50
2012	0603	00401545005	716	17.00	0.50	17.50
2012	0603	00401546003	716	17.00	0.50	17.50
2012	0603	00401547001	716	17.00	0.50	17.50
2012	0603	00401548009	716	17.00	0.50	17.50
2012	0603	00401549007	716	17.00	0.50	17.50
2012	0603	00401550002	716	17.00	0.50	17.50
2012	0603	00401551000	716	17.00	0.50	17.50
2012	0603	00401552008	716	17.00	0.50	17.50
2012	0603	00401553006	716	17.00	0.50	17.50
2012	0603	00401554004	716	17.00	0.50	17.50
2012	0603	00401555002	716	17.00	0.50	17.50
2012	0603	00401556000	716	17.00	0.50	17.50
2012	0603	00401557008	716	17.00	0.50	17.50
2012	0603	00401558006	716	17.00	0.50	17.50
2012	0603	00401559004	716	17.00	0.50	17.50

2012	0603	00401560009	716	17.00	0.50	17.50
2012	0603	00401561007	716	17.00	0.50	17.50
2012	0603	00401562005	716	17.00	0.50	17.50
2012	0603	00401563003	716	17.00	0.50	17.50
2012	0603	00401564001	716	17.00	0.50	17.50
2012	0603	00401565009	716	17.00	0.50	17.50
2012	0603	00401566007	716	17.00	0.50	17.50
2012	0603	00401567005	716	17.00	0.50	17.50
2012	0603	00401568003	716	17.00	0.50	17.50
2012	0603	00401569001	716	17.00	0.50	17.50
2012	0603	00401570006	716	17.00	0.50	17.50
2012	0603	00401571004	716	17.00	0.50	17.50
2012	0603	00401572002	716	17.00	0.50	17.50
2012	0603	00401573000	716	17.00	0.50	17.50
2012	0603	00401574008	716	17.00	0.50	17.50
2012	0603	00401575006	716	17.00	0.50	17.50
2012	0603	00401576004	716	17.00	0.50	17.50
2012	0603	00401577002	716	17.00	0.50	17.50
2012	0603	00401578000	716	17.00	0.50	17.50
2012	0603	00401579008	716	17.00	0.50	17.50
2012	0603	00401580003	716	17.00	0.50	17.50
2012	0603	00401581001	716	17.00	0.50	17.50
2012	0603	00401582009	716	17.00	0.50	17.50
2012	0603	00401583007	716	17.00	0.50	17.50
2012	0603	00401584005	716	17.00	0.50	17.50
2012	0603	00401585003	716	17.00	0.50	17.50
2012	0603	00401586001	716	17.00	0.50	17.50
2012	0603	00401587009	716	17.00	0.50	17.50
2012	0603	00401588007	716	17.00	0.50	17.50
2012	0603	00401589005	716	17.00	0.50	17.50
2012	0603	00401590000	716	17.00	0.50	17.50
2012	0603	00401601001	716	17.00	0.50	17.50
2012	0603	00401602009	716	17.00	0.50	17.50
2012	0603	00401603007	716	17.00	0.50	17.50
2012	0603	00401604005	716	17.00	0.50	17.50
2012	0603	00401605003	716	17.00	0.50	17.50
2012	0603	00401606001	716	17.00	0.50	17.50
2012	0603	00401607009	716	17.00	0.50	17.50
2012	0603	00401608007	716	17.00	0.50	17.50
2012	0603	00401609005	716	17.00	0.50	17.50
2012	0603	00401610000	716	17.00	0.50	17.50
2012	0603	00401611008	716	17.00	0.50	17.50
2012	0603	00401612006	716	17.00	0.50	17.50
2012	0603	00401613004	716	17.00	0.50	17.50
2012	0603	00401614002	716	17.00	0.50	17.50
2012	0603	00401615000	716	17.00	0.50	17.50
2012	0603	00401616008	716	17.00	0.50	17.50
2012	0603	00401617006	716	17.00	0.50	17.50
2012	0603	00401618004	716	17.00	0.50	17.50
2012	0603	00401619002	716	17.00	0.50	17.50
2012	0603	00401620007	716	17.00	0.50	17.50
2012	0603	00401621005	716	17.00	0.50	17.50

2012	0603	00401622003	716	17.00	0.50	17.50
2012	0603	00401623001	716	17.00	0.50	17.50
2012	0603	00401624009	716	17.00	0.50	17.50
2012	0603	00401625007	716	17.00	0.50	17.50
2012	0603	00401626005	716	17.00	0.50	17.50
2012	0603	00401627003	716	17.00	0.50	17.50
2012	0603	00401628001	716	17.00	0.50	17.50
2012	0603	00401629009	716	17.00	0.50	17.50
2012	0603	00401630004	716	17.00	0.50	17.50
2012	0603	00401631002	716	17.00	0.50	17.50
2012	0603	00401632000	716	17.00	0.50	17.50
2012	0603	00401633008	716	17.00	0.50	17.50
2012	0603	00401634006	716	17.00	0.50	17.50
2012	0603	00401635004	716	17.00	0.50	17.50
2012	0603	00401636002	716	17.00	0.50	17.50
2012	0603	00401637000	716	17.00	0.50	17.50
2012	0603	00401638008	716	17.00	0.50	17.50
2012	0603	00401639006	716	17.00	0.50	17.50
2012	0603	00401640001	716	17.00	0.50	17.50
2012	0603	00401641009	716	17.00	0.50	17.50
2012	0603	00401642007	716	17.00	0.50	17.50
2012	0603	00401643005	716	17.00	0.50	17.50
2012	0603	00401644003	716	17.00	0.50	17.50
2012	0603	00401645001	716	17.00	0.50	17.50
2012	0603	00401646009	716	17.00	0.50	17.50
2012	0603	00401647007	716	17.00	0.50	17.50
2012	0603	00401648005	716	17.00	0.50	17.50
2012	0603	00401649003	716	17.00	0.50	17.50
2012	0603	00401650008	716	17.00	0.50	17.50
2012	0603	00401651006	716	17.00	0.50	17.50
2012	0603	00401652004	716	17.00	0.50	17.50
2012	0603	00401701007	716	40.50	0.50	41.00
2012	0603	00401702005	716	40.50	0.50	41.00
2012	0603	00401703003	716	40.50	0.50	41.00
2012	0603	00401704001	716	40.50	0.50	41.00
2012	0603	00401705009	716	40.50	0.50	41.00
2012	0603	00401706007	716	40.50	0.50	41.00
2012	0603	00401707005	716	40.50	0.50	41.00
2012	0603	00401708003	716	40.50	0.50	41.00
2012	0603	00401709001	716	40.50	0.50	41.00
2012	0603	00401710006	716	40.50	0.50	41.00
2012	0603	00401711004	716	40.50	0.50	41.00
2012	0603	00401712002	716	40.50	0.50	41.00
2012	0603	00401713000	716	40.50	0.50	41.00
2012	0603	00401714008	716	40.50	0.50	41.00
2012	0603	00401715006	716	40.50	0.50	41.00
2012	0603	00401716004	716	40.50	0.50	41.00
2012	0603	00401717002	716	40.50	0.50	41.00
2012	0603	00401718000	716	40.50	0.50	41.00
2012	0603	00401719008	716	40.50	0.50	41.00
2012	0603	00401720003	716	203.50	0.50	204.00
2012	0603	00401721001	716	40.50	0.50	41.00

2012	0603	00401722009	716	82.00	0.50	82.50
2012	0603	00401901009	716	40.50	0.50	41.00
2012	0603	00401902007	716	40.50	0.50	41.00
2012	0603	00401903005	716	40.50	0.50	41.00
2012	0603	00401904003	716	40.50	0.50	41.00
2012	0603	00401905001	716	40.50	0.50	41.00
2012	0603	00401906009	716	40.50	0.50	41.00
2012	0603	00401907007	716	40.50	0.50	41.00
2012	0603	00401908005	716	40.50	0.50	41.00
2012	0603	00401909003	716	40.50	0.50	41.00
2012	0603	00401910008	716	40.50	0.50	41.00
2012	0603	00401911006	716	40.50	0.50	41.00
2012	0603	00401912004	716	40.50	0.50	41.00
2012	0603	00401913002	716	40.50	0.50	41.00
2012	0603	00401914000	716	40.50	0.50	41.00
2012	0603	00401915008	716	40.50	0.50	41.00
2012	0603	00401916006	716	40.50	0.50	41.00
2012	0603	00401917004	716	40.50	0.50	41.00
2012	0603	00401918002	716	40.50	0.50	41.00
2012	0603	00401919000	716	40.50	0.50	41.00
2012	0603	00401920005	716	40.50	0.50	41.00
2012	0603	00401921003	716	35.00	0.50	35.50
2012	0603	00402601006	716	85.00	0.50	85.50
2012	0603	00402602004	716	85.00	0.50	85.50
2012	0603	00402603002	716	85.00	0.50	85.50
2012	0603	00402604000	716	85.00	0.50	85.50
2012	0603	00402605008	716	85.00	0.50	85.50
2012	0603	00402606006	716	85.00	0.50	85.50
2012	0603	00402607004	716	85.00	0.50	85.50
2012	0603	00402608002	716	85.00	0.50	85.50
2012	0603	00402609000	716	85.00	0.50	85.50
2012	0603	00402610005	716	85.00	0.50	85.50
2012	0603	00402611003	716	85.00	0.50	85.50
2012	0603	00402612001	716	85.00	0.50	85.50
2012	0603	00402615005	716	85.00	0.50	85.50
2012	0603	00402616003	716	85.00	0.50	85.50
2012	0603	00402617001	716	85.00	0.50	85.50
2012	0603	00402618009	716	85.00	0.50	85.50
2012	0603	00402619007	716	85.00	0.50	85.50
2012	0603	00402620002	716	85.00	0.50	85.50
2012	0603	00402621000	716	85.00	0.50	85.50
2012	0603	00402622008	716	85.00	0.50	85.50
2012	0603	00402623006	716	85.00	0.50	85.50
2012	0603	00402624004	716	85.00	0.50	85.50
2012	0603	00402625002	716	85.00	0.50	85.50
2012	0603	00402626000	716	85.00	0.50	85.50
2012	0603	00402627008	716	85.00	0.50	85.50
2012	0603	00402628006	716	85.00	0.50	85.50
2012	0603	00402629004	716	85.00	0.50	85.50
2012	0603	00402630009	716	85.00	0.50	85.50
2012	0603	00402631007	716	85.00	0.50	85.50
2012	0603	00402632005	716	85.00	0.50	85.50

2012	0603	00402633003	716	85.00	0.50	85.50
2012	0603	00402634001	716	85.00	0.50	85.50
2012	0603	00402635009	716	85.00	0.50	85.50
2012	0603	00402636007	716	85.00	0.50	85.50
2012	0603	00402637005	716	85.00	0.50	85.50
2012	0603	00402638003	716	85.00	0.50	85.50
2012	0603	00402639001	716	85.00	0.50	85.50
2012	0603	00402640006	716	85.00	0.50	85.50
2012	0603	00402641004	716	85.00	0.50	85.50
2012	0603	00402642002	716	85.00	0.50	85.50
2012	0603	00402643000	716	85.00	0.50	85.50
2012	0603	00402644008	716	85.00	0.50	85.50
2012	0603	00402645006	716	85.00	0.50	85.50
2012	0603	00402646004	716	85.00	0.50	85.50
2012	0603	00402647002	716	85.00	0.50	85.50
2012	0603	00402648000	716	85.00	0.50	85.50
2012	0603	00402649008	716	85.00	0.50	85.50
2012	0603	00402650003	716	85.00	0.50	85.50
2012	0603	00402701002	716	85.00	0.50	85.50
2012	0603	00402702000	716	85.00	0.50	85.50
2012	0603	00402703008	716	85.00	0.50	85.50
2012	0603	00402704006	716	85.00	0.50	85.50
2012	0603	00402705004	716	85.00	0.50	85.50
2012	0603	00402706002	716	85.00	0.50	85.50
2012	0603	00402707000	716	85.00	0.50	85.50
2012	0603	00402708008	716	85.00	0.50	85.50
2012	0603	00402709006	716	85.00	0.50	85.50
2012	0603	00402710001	716	85.00	0.50	85.50
2012	0603	00402711009	716	85.00	0.50	85.50
2012	0603	00402712007	716	85.00	0.50	85.50
2012	0603	00402713005	716	85.00	0.50	85.50
2012	0603	00402714003	716	85.00	0.50	85.50
2012	0603	00402715001	716	85.00	0.50	85.50
2012	0603	00402716009	716	85.00	0.50	85.50
2012	0603	00402717007	716	85.00	0.50	85.50
2012	0603	00402718005	716	85.00	0.50	85.50
2012	0603	00402719003	716	85.00	0.50	85.50
2012	0603	00402720008	716	85.00	0.50	85.50
2012	0603	00402721006	716	85.00	0.50	85.50
2012	0603	00402722004	716	85.00	0.50	85.50
2012	0603	00402723002	716	85.00	0.50	85.50
2012	0603	00402724000	716	85.00	0.50	85.50
2012	0603	00402725008	716	85.00	0.50	85.50
2012	0603	00402726006	716	85.00	0.50	85.50
2012	0603	00402727004	716	85.00	0.50	85.50
2012	0603	00402728002	716	85.00	0.50	85.50
2012	0603	00402729000	716	85.00	0.50	85.50
2012	0603	00402730005	716	85.00	0.50	85.50
2012	0603	00402731003	716	85.00	0.50	85.50
2012	0603	00402732001	716	85.00	0.50	85.50
2012	0603	00402733009	716	85.00	0.50	85.50
2012	0603	00402734007	716	85.00	0.50	85.50

2012	0603	00402735005	716	85.00	0.50	85.50
2012	0603	00402736003	716	85.00	0.50	85.50
2012	0603	00402737001	716	85.00	0.50	85.50
2012	0603	00402738009	716	85.00	0.50	85.50
2012	0603	00402739007	716	85.00	0.50	85.50
2012	0603	00402740002	716	85.00	0.50	85.50
2012	0603	00402741000	716	85.00	0.50	85.50
2012	0603	00402742008	716	85.00	0.50	85.50
2012	0603	00402743006	716	85.00	0.50	85.50
2012	0603	00402744004	716	85.00	0.50	85.50
2012	0603	00402745002	716	85.00	0.50	85.50
2012	0603	00402746000	716	85.00	0.50	85.50
2012	0603	00402747008	716	85.00	0.50	85.50
2012	0603	00402748006	716	85.00	0.50	85.50
2012	0603	00402749004	716	85.00	0.50	85.50
2012	0603	00402750009	716	85.00	0.50	85.50
2012	0603	00402751007	716	85.00	0.50	85.50
2012	0603	00402752005	716	85.00	0.50	85.50
2012	0603	00402753003	716	85.00	0.50	85.50
2012	0603	00402754001	716	85.00	0.50	85.50
2012	0603	00402755009	716	85.00	0.50	85.50
2012	0603	00402756007	716	85.00	0.50	85.50
2012	0603	00402757005	716	85.00	0.50	85.50
2012	0603	00402758003	716	85.00	0.50	85.50
2012	0603	00402759001	716	85.00	0.50	85.50
2012	0603	00402760006	716	85.00	0.50	85.50
2012	0603	00402761004	716	85.00	0.50	85.50
2012	0603	00402762002	716	85.00	0.50	85.50
2012	0603	00402764008	716	85.00	0.50	85.50
2012	0603	00402765006	716	85.00	0.50	85.50
2012	0603	00402766004	716	85.00	0.50	85.50
2012	0603	00402767002	716	85.00	0.50	85.50
2012	0603	00402768000	716	85.00	0.50	85.50
2012	0603	00402769008	716	85.00	0.50	85.50
2012	0603	00402770003	716	85.00	0.50	85.50
2012	0603	00402771001	716	85.00	0.50	85.50
2012	0603	00402772009	716	85.00	0.50	85.50
2012	0603	00402773007	716	85.00	0.50	85.50
2012	0603	00402774005	716	85.00	0.50	85.50
2012	0603	00402775003	716	85.00	0.50	85.50
2012	0603	00402776001	716	85.00	0.50	85.50
2012	0603	00402777009	716	85.00	0.50	85.50
2012	0603	00402778007	716	85.00	0.50	85.50
2012	0603	00402779005	716	85.00	0.50	85.50
2012	0603	00403117006	716	150.00	0.50	150.50
2012	0603	00403118004	716	178.50	0.50	179.00
2012	0603	00403602009	716	40.50	0.50	41.00
2012	0603	00403604005	716	35.00	0.50	35.50
2012	0603	00403605003	716	71.03	0.50	71.53
2012	0603	00403606001	716	85.00	0.50	85.50
2012	0603	00403607009	716	85.00	0.50	85.50
2012	0603	00403608007	716	85.00	0.50	85.50

2012	0603	00403609005	716	40.50	0.50	41.00
2012	0603	00403610000	716	35.00	0.50	35.50
2012	0603	00403611008	716	32.00	0.50	32.50
2012	0603	00403612006	716	89.50	0.50	90.00
2012	0603	00403613004	716	39.00	0.50	39.50
2012	0603	00403614002	716	39.00	0.50	39.50
2012	0603	00403615000	716	92.50	0.50	93.00
2012	0603	00403616008	716	40.50	0.50	41.00
2012	0603	00403617006	716	76.00	0.50	76.50
2012	0603	00403618004	716	35.00	0.50	35.50
2012	0603	00403621005	716	35.00	0.50	35.50
2012	0603	00403622003	716	35.00	0.50	35.50
2012	0603	00403623001	716	1,049.00	0.50	1,049.50
2012	0603	00403624009	716	150.00	0.50	150.50
2012	0603	00403902007	716	117.50	0.50	118.00
2012	0603	00403907007	716	187.00	0.50	187.50
2012	0603	00403909003	716	54.00	0.50	54.50
2012	0603	00403910008	716	73.50	0.50	74.00
2012	0603	00404101006	716	40.50	0.50	41.00
2012	0603	00404102004	716	40.50	0.50	41.00
2012	0603	00404103002	716	40.50	0.50	41.00
2012	0603	00404104000	716	35.00	0.50	35.50
2012	0603	00404107004	716	73.50	0.50	74.00
2012	0603	00404108002	716	76.00	0.50	76.50
2012	0603	00404109000	716	365.00	0.50	365.50
2012	0603	00404110005	716	35.00	0.50	35.50
2012	0603	00404111003	716	61.50	0.50	62.00
2012	0603	00404112001	716	92.50	0.50	93.00
2012	0603	00404113009	716	218.50	0.50	219.00
2012	0603	00404114007	716	125.00	0.50	125.50
2012	0603	00404115005	716	178.50	0.50	179.00
2012	0603	00404116003	716	262.50	0.50	263.00
2012	0603	00404117001	716	49.50	0.50	50.00
2012	0603	00404118009	716	40.50	0.50	41.00
2012	0603	00404119007	716	35.00	0.50	35.50
2012	0603	00404124004	716	40.50	0.50	41.00
2012	0603	00404125002	716	35.00	0.50	35.50
2012	0603	00404126000	716	35.00	0.50	35.50
2012	0603	00404127008	716	35.00	0.50	35.50
2012	0603	00404128006	716	35.00	0.50	35.50
2012	0603	00404132005	716	40.50	0.50	41.00
2012	0603	00404133003	716	40.50	0.50	41.00
2012	0603	00404134001	716	40.50	0.50	41.00
2012	0603	00404701002	716	316.00	0.50	316.50
2012	0603	00404703008	716	40.50	0.50	41.00
2012	0603	00404704006	716	40.50	0.50	41.00
2012	0603	00404705004	716	40.50	0.50	41.00
2012	0603	00404706002	716	35.00	0.50	35.50
2012	0603	00404707000	716	40.50	0.50	41.00
2012	0603	00404708008	716	35.00	0.50	35.50
2012	0603	00404709006	716	35.00	0.50	35.50
2012	0603	00404710001	716	35.00	0.50	35.50

2012	0603	00404711009	716	35.00	0.50	35.50
2012	0603	00404712007	716	35.00	0.50	35.50
2012	0603	00404713005	716	40.50	0.50	41.00
2012	0603	00404714003	716	40.50	0.50	41.00
2012	0603	00404715001	716	40.50	0.50	41.00
2012	0603	00404718005	716	316.00	0.50	316.50
2012	0603	00404719003	716	40.50	0.50	41.00
2012	0603	00404720008	716	40.50	0.50	41.00
2012	0603	00404721006	716	157.51	0.50	158.01
2012	0603	00404722004	716	157.50	0.50	158.00
2012	0603	00404723002	716	157.50	0.50	158.00
2012	0603	00404724000	716	157.50	0.50	158.00
2012	0603	00404725008	716	35.00	0.50	35.50
2012	0603	00404726006	716	35.00	0.50	35.50
2012	0603	00404727004	716	35.00	0.50	35.50
2012	0603	00404728002	716	35.00	0.50	35.50
2012	0603	00404729000	716	40.50	0.50	41.00
2012	0603	00404730005	716	40.50	0.50	41.00
2012	0603	00404731003	716	26.00	0.50	26.50
2012	0603	00404732001	716	26.00	0.50	26.50
2012	0603	00404733009	716	26.00	0.50	26.50
2012	0603	00404734007	716	26.00	0.50	26.50
2012	0603	00404736003	716	26.00	0.50	26.50
2012	0603	00404737001	716	26.00	0.50	26.50
2012	0603	00404738009	716	26.00	0.50	26.50
2012	0603	00404739007	716	316.00	0.50	316.50
2012	0603	00404743006	716	13.00	0.50	13.50
2012	0603	00408701002	716	43.70	0.50	44.20
2012	0603	00408702000	716	43.70	0.50	44.20
2012	0603	00408703008	716	43.70	0.50	44.20
2012	0603	00408704006	716	43.70	0.50	44.20
2012	0603	00408705004	716	43.70	0.50	44.20
2012	0603	00409001005	716	33.50	0.50	34.00
2012	0603	00409002003	716	33.50	0.50	34.00
2012	0603	00409003001	716	33.50	0.50	34.00
2012	0603	00409004009	716	33.50	0.50	34.00
2012	0603	00409101001	716	21.91	0.50	22.41
2012	0603	00409102009	716	21.91	0.50	22.41
2012	0603	00409103007	716	21.91	0.50	22.41
2012	0603	00409104005	716	21.91	0.50	22.41
2012	0603	00409105003	716	21.91	0.50	22.41
2012	0603	00409106001	716	21.91	0.50	22.41
2012	0603	00409107009	716	21.91	0.50	22.41
2012	0603	00409108007	716	21.91	0.50	22.41
2012	0603	00409901009	716	40.50	0.50	41.00
2012	0603	00410001004	716	24.83	0.50	25.33
2012	0603	00410002002	716	60.86	0.50	61.36
2012	0603	00410003000	716	60.86	0.50	61.36
2012	0603	00410101000	716	33.50	0.50	34.00
2012	0603	00410102008	716	33.50	0.50	34.00
2012	0603	00410103006	716	33.50	0.50	34.00
2012	0603	00410104004	716	33.50	0.50	34.00

2012	0603	00410105002	716	33.50	0.50	34.00
2012	0603	00410106000	716	33.50	0.50	34.00
2012	0603	00410107008	716	33.50	0.50	34.00
2012	0603	00410108006	716	33.50	0.50	34.00
2012	0603	00410201006	716	3.06	0.50	3.56
2012	0603	00410202004	716	3.06	0.50	3.56
2012	0603	00410203002	716	3.06	0.50	3.56
2012	0603	00410204000	716	3.06	0.50	3.56
2012	0603	00410205008	716	3.06	0.50	3.56
2012	0603	00410206006	716	3.06	0.50	3.56
2012	0603	00410207004	716	3.06	0.50	3.56
2012	0603	00410208002	716	3.06	0.50	3.56
2012	0603	00410209000	716	3.06	0.50	3.56
2012	0603	00410210005	716	3.06	0.50	3.56
2012	0603	00410211003	716	3.06	0.50	3.56
2012	0603	00410212001	716	3.06	0.50	3.56
2012	0603	00410213009	716	3.06	0.50	3.56
2012	0603	00410214007	716	3.06	0.50	3.56
2012	0603	00410215005	716	3.06	0.50	3.56
2012	0603	00410216003	716	3.06	0.50	3.56
2012	0603	00410217001	716	3.06	0.50	3.56
2012	0603	00410218009	716	3.06	0.50	3.56
2012	0603	00410219007	716	3.06	0.50	3.56
2012	0603	00410221000	716	3.06	0.50	3.56
2012	0603	00410222008	716	3.06	0.50	3.56
2012	0603	00410223006	716	3.06	0.50	3.56
2012	0603	00410224004	716	3.06	0.50	3.56
2012	0603	00410225002	716	3.06	0.50	3.56
2012	0603	00410226000	716	3.06	0.50	3.56
2012	0603	00410227008	716	3.06	0.50	3.56
2012	0603	00410228006	716	3.06	0.50	3.56
2012	0603	00410229004	716	3.06	0.50	3.56
2012	0603	00410230009	716	3.06	0.50	3.56
2012	0603	00410231007	716	3.06	0.50	3.56
2012	0603	00410232005	716	3.06	0.50	3.56
2012	0603	00410233003	716	3.06	0.50	3.56
2012	0603	00410234001	716	3.06	0.50	3.56
2012	0603	00410235009	716	3.06	0.50	3.56
2012	0603	00410236007	716	3.06	0.50	3.56
2012	0603	00410237005	716	3.06	0.50	3.56
2012	0603	00410238003	716	3.06	0.50	3.56
2012	0603	00410239001	716	3.06	0.50	3.56
2012	0603	00410240006	716	3.06	0.50	3.56
2012	0603	00410241004	716	3.06	0.50	3.56
2012	0603	00410301002	716	13.00	0.50	13.50
2012	0603	00410302000	716	13.00	0.50	13.50
2012	0603	00410401008	716	35.00	0.50	35.50
2012	0603	00410402006	716	35.00	0.50	35.50
2012	0603	00410403004	716	35.00	0.50	35.50
2012	0603	00410404002	716	35.00	0.50	35.50
2012	0603	00410405000	716	35.00	0.50	35.50
2012	0603	00410406008	716	35.00	0.50	35.50

2012	0603	00410407006	716	35.00	0.50	35.50
2012	0603	00410408004	716	35.00	0.50	35.50
2012	0603	00410409002	716	35.00	0.50	35.50
2012	0603	00410410007	716	35.00	0.50	35.50
2012	0603	00410411005	716	35.00	0.50	35.50
2012	0603	00410412003	716	35.00	0.50	35.50
2012	0603	00410413001	716	35.00	0.50	35.50
2012	0603	00410414009	716	35.00	0.50	35.50
2012	0603	00410415007	716	35.00	0.50	35.50
2012	0603	00410416005	716	35.00	0.50	35.50
2012	0603	00410417003	716	35.00	0.50	35.50
2012	0603	00410418001	716	35.00	0.50	35.50
2012	0603	00410419009	716	35.00	0.50	35.50
2012	0603	00410420004	716	35.00	0.50	35.50
2012	0603	00410421002	716	35.00	0.50	35.50
2012	0603	00410422000	716	35.00	0.50	35.50
2012	0603	00410423008	716	35.00	0.50	35.50
2012	0603	00410424006	716	35.00	0.50	35.50
2012	0603	00410425004	716	35.00	0.50	35.50
2012	0603	00410426002	716	35.00	0.50	35.50
2012	0603	00410427000	716	35.00	0.50	35.50
2012	0603	00410503000	716	165.00	0.50	165.50
2012	0603	00410504008	716	165.00	0.50	165.50
2012	0603	00410505006	716	165.00	0.50	165.50
2012	0603	00410506004	716	165.00	0.50	165.50
2012	0603	00410507002	716	193.00	0.50	193.50
2012	0603	00410508000	716	193.00	0.50	193.50
2012	0603	00410509008	716	33.50	0.50	34.00
2012	0603	00410510003	716	291.00	0.50	291.50
2012	0603	00410512009	716	165.00	0.50	165.50
2012	0603	00410515003	716	165.00	0.50	165.50
2012	0603	00410601000	716	35.00	0.50	35.50
2012	0603	00410602008	716	35.00	0.50	35.50
2012	0603	00410603006	716	35.00	0.50	35.50
2012	0603	00410701006	716	27.44	0.50	27.94
2012	0603	00410702004	716	34.30	0.50	34.80
2012	0603	00410703002	716	13.76	0.50	14.26
2012	0603	00410801002	716	35.00	0.50	35.50
2012	0603	00410802000	716	35.00	0.50	35.50
2012	0603	00410803008	716	35.00	0.50	35.50
2012	0603	00410901008	716	17.50	0.50	18.00
2012	0603	00410902006	716	17.50	0.50	18.00
2012	0603	00411001009	716	35.00	0.50	35.50
2012	0603	00411002007	716	35.00	0.50	35.50
2012	0603	00411003005	716	35.00	0.50	35.50
2012	0603	00411004003	716	35.00	0.50	35.50
2012	0603	00411005001	716	40.50	0.50	41.00
2012	0603	00411006009	716	40.50	0.50	41.00
2012	0603	00411007007	716	40.50	0.50	41.00
2012	0603	00411008005	716	35.00	0.50	35.50
2012	0603	00411101005	716	40.50	0.50	41.00
2012	0603	00411102003	716	40.50	0.50	41.00

2012	0603	00411103001	716	40.50	0.50	41.00
2012	0603	00411104009	716	40.50	0.50	41.00
2012	0603	00411105007	716	40.50	0.50	41.00
2012	0603	00411106005	716	40.50	0.50	41.00
2012	0603	00411107003	716	40.50	0.50	41.00
2012	0603	00411108001	716	40.50	0.50	41.00
2012	0603	00411109009	716	40.50	0.50	41.00
2012	0603	00411110004	716	40.50	0.50	41.00
2012	0603	00411111002	716	40.50	0.50	41.00
2012	0603	00411112000	716	40.50	0.50	41.00
2012	0603	00411113008	716	40.50	0.50	41.00
2012	0603	00411114006	716	40.50	0.50	41.00
2012	0603	00411115004	716	40.50	0.50	41.00
2012	0603	00411116002	716	40.50	0.50	41.00
2012	0603	00411117000	716	40.50	0.50	41.00
2012	0603	00411118008	716	40.50	0.50	41.00
2012	0603	00411119006	716	40.50	0.50	41.00
2012	0603	00411120001	716	40.50	0.50	41.00
2012	0603	00411121009	716	40.50	0.50	41.00
2012	0603	00411122007	716	40.50	0.50	41.00
2012	0603	00411123005	716	40.50	0.50	41.00
2012	0603	00411124003	716	40.50	0.50	41.00
2012	0603	00411125001	716	40.50	0.50	41.00
2012	0603	00411126009	716	40.50	0.50	41.00
2012	0603	00411127007	716	40.50	0.50	41.00
2012	0603	00411128005	716	40.50	0.50	41.00
2012	0603	00411129003	716	40.50	0.50	41.00
2012	0603	00411130008	716	40.50	0.50	41.00
2012	0603	00411131006	716	40.50	0.50	41.00
2012	0603	00411132004	716	40.50	0.50	41.00
2012	0603	00411133002	716	40.50	0.50	41.00
2012	0603	00411134000	716	40.50	0.50	41.00
2012	0603	00411135008	716	40.50	0.50	41.00
2012	0603	00411136006	716	40.50	0.50	41.00
2012	0603	00411137004	716	40.50	0.50	41.00
2012	0603	00411138002	716	40.50	0.50	41.00
2012	0603	00411139000	716	40.50	0.50	41.00
2012	0603	00411140005	716	40.50	0.50	41.00
2012	0603	00411141003	716	40.50	0.50	41.00
2012	0603	00411201001	716	35.00	0.50	35.50
2012	0603	00411202009	716	35.00	0.50	35.50
2012	0603	00411203007	716	35.00	0.50	35.50
2012	0603	00411204005	716	35.00	0.50	35.50
2012	0603	00411205003	716	35.00	0.50	35.50
2012	0603	00411206001	716	35.00	0.50	35.50
2012	0603	00411207009	716	35.00	0.50	35.50
2012	0603	00411208007	716	35.00	0.50	35.50
2012	0603	00411209005	716	35.00	0.50	35.50
2012	0603	00411210000	716	35.00	0.50	35.50
2012	0603	00411211008	716	35.00	0.50	35.50
2012	0603	00411212006	716	35.00	0.50	35.50
2012	0603	00411213004	716	35.00	0.50	35.50

2012	0603	00411214002	716	35.00	0.50	35.50
2012	0603	00411215000	716	35.00	0.50	35.50
2012	0603	00411216008	716	35.00	0.50	35.50
2012	0603	00411217006	716	35.00	0.50	35.50
2012	0603	00411218004	716	35.00	0.50	35.50
2012	0603	00411219002	716	35.00	0.50	35.50
2012	0603	00411220007	716	35.00	0.50	35.50
2012	0603	00411221005	716	35.00	0.50	35.50
2012	0603	00411222003	716	35.00	0.50	35.50
2012	0603	00411223001	716	35.00	0.50	35.50
2012	0603	00411224009	716	35.00	0.50	35.50
2012	0603	00411225007	716	35.00	0.50	35.50
2012	0603	00411226005	716	35.00	0.50	35.50
2012	0603	00411227003	716	35.00	0.50	35.50
2012	0603	00411228001	716	35.00	0.50	35.50
2012	0603	00411229009	716	35.00	0.50	35.50
2012	0603	00411230004	716	35.00	0.50	35.50
2012	0603	00411301007	716	255.50	0.50	256.00
2012	0603	00411302005	716	255.50	0.50	256.00
2012	0603	00411303003	716	255.50	0.50	256.00
2012	0603	00411304001	716	255.50	0.50	256.00
2012	0603	00411305009	716	255.50	0.50	256.00
2012	0603	00411401003	716	24.50	0.50	25.00
2012	0603	00411402001	716	24.50	0.50	25.00
2012	0603	00411403009	716	24.50	0.50	25.00
2012	0603	00411404007	716	24.50	0.50	25.00
2012	0603	00411405005	716	24.50	0.50	25.00
2012	0603	00411406003	716	24.50	0.50	25.00
2012	0603	00411407001	716	24.50	0.50	25.00
2012	0603	00411408009	716	24.50	0.50	25.00
2012	0603	00543021008	716	2,203.00	0.50	2,203.50
2012	0603	00543051009	716	1,396.50	0.50	1,397.00
2012	0603	00543063002	716	35.00	0.50	35.50
2012	0603	00543064000	716	35.00	0.50	35.50
2012	0603	00543065008	716	35.00	0.50	35.50
2012	0603	00543066006	716	35.00	0.50	35.50

AGENDA SECTION: OTHER BUSINESS
AGENDA ITEM # 7
REPORT # 13- 55

STAFF REPORT
COUNCIL MEETING DATE
May 28, 2013

ITEM FOR COUNCIL CONSIDERATION

Public Hearing relating to the Continuation of the Parking and Business Improvement Area (Assessment District No. 4) for Fiscal Year 2013-14, including application of an annual inflationary adjustment.

Report prepared by: Charles W. Ebeling, PE Director
Department: Public Works

Melissa Angeles for Charles Ebeling
Signature

Reviewed by:
City Manager:
Signature

Action Item X Non-Action Item __ **STAFF RECOMMENDATION**

Recommendation: 1. Following the staff report, open the public hearing and receive any testimony and/or protests concerning the continuation of Parking and Business Improvement Area (Assessment District No. 4) for Fiscal Year 2013-14, to include the addition of an annual inflationary adjustment to the general assessment amount. 2. Close the public hearing and continue the District for Fiscal Year 2013-14, by adopting the attached Resolution No. 5463 (Attachment A).

Motion: I move to adopt Resolution No. 5463, as read by title only, continuing Assessment District No. 4 for FY 2013-14.

I. BACKGROUND

On March 25, 2013, by Resolution No. 5449, the City Council ordered a report on the status and projections for Carpinteria Parking and Business Improvement District No. 4 for Fiscal Year 2013-14. On May 13, 2013, by Resolution Nos. 5456 and 5457, the City Council accepted the annual report, budget; and set the matter for a public hearing on May 28, 2013.

The Parking and Business Improvement Area (PBIA), City Assessment District No. 4, was formed in September 1986 with the adoption of City Ordinance No. 393 pursuant to the California Parking and Business Improvement Area Law of 1979, which has been updated over

time and is now codified as California Streets and Highways Code Section 36500. Parking and Business Improvement Areas are formed to enhance a specific area and increase customer/ tourist appeal. This is accomplished through parking improvements, business promotions, marketing studies, parades and increased public services like restroom and sidewalk cleanings that would not normally be offered by the City. The City Council appoints a five member Advisory Board to address the operations of the PBIA. The PBIAAB prepares an annual report and makes recommendations on assessment levels, budget and related topics.

The assessment district collects fees from two categories:

> General Assessment Fee: Applies to all businesses within the district with revenue used for promotion, maintenance, and revitalization activities within the District.
>
> Special Assessment Fee: Applies only to selected businesses based on their respective parking shortfall using the City Zoning Code. The rate is determined by using a benefit ratio based on a business's proximity to the location of a specific parking improvement and its fair share of the costs not covered by the City. The revenue is used for acquisition, construction, and maintenance of specific sub area parking improvements. Specifically, the City maintains three publicly owned parking lots that are improved and maintained in part by the District. Parking Lot Three (Sub Area B) is the only special assessment currently active, and is scheduled to be paid off in 2018.

II. DISCUSSION

In 2011, the PBIAAB recommended and the City Council approved an increase in the General Assessment and the addition of an annual inflationary adjustment. The General Assessment Fee had not been updated for some time and the fee had not been adjusted for inflationary factors. Each year the General Assessment Fee is reviewed and adjusted based on an inflationary index.

In 2013, the PBIAAB reviewed the inflationary index for this fiscal year. The annual inflationary index used for this assessment is the Consumer Price Index for Urban Wage Earners and Clerical Workers for Los Angeles-Riverside-Orange County, California. The calculation is based on a March to March increase evaluation, similar to other City fee adjustments. The new General Assessment Fee for FY 2013-14, based on this index, will be $119, increased from $117 in FY 2012-13.

III. LEGAL ISSUES

Notice of this hearing was published in the Coastal View newspaper on May 16, 2013. This Public Hearing is held for merchants within the District who wish to protest or otherwise make comment on the proposed assessment increases. If written protests are received from the owners of businesses in the proposed area which will pay 50 percent or more of the assessments proposed to be levied, then the existing fee will not continue and no further action can be taken for a period of one year. Protests are to be delivered to the City Clerk at or before the fixed time of the Public Hearing on May 28, 2013. All written protests, either submitted at the City Council hearing or received by the City prior to the hearing shall contain: The name of the establishment, the owner of the establishment as recorded with the City, the nature of the protest, and a signature and date from the business owner on file with the City.

IV. ATTACHMENT

Attachment A – Resolution 5463

Attachment A

RESOLUTION NO. 5463

A RESOLUTION OF THE CARPINTERIA CITY COUNCIL CONFIRMING THE REPORT OF THE CITY MANAGER, CONTINUING THE CARPINTERIA PARKING AND BUSINESS IMPROVEMENT DISTRICT NO. 4, INCLUDING SPECIAL BENEFIT ZONE SUB-AREA B FOR FISCAL YEAR 2013-14 AND IMPOSING CERTAIN ASSESSMENTS THEREIN PURSUANT TO THE CALIFORNIA PARKING AND BUSINESS IMPROVEMENT AREA LAW OF 1989

WHEREAS, the City Manager of the City of Carpinteria heretofore filed with this City Council a Report in writing dated May 13, 2013, presenting certain matters relating to imposing and modifying assessments for and continuing the Carpinteria Parking and Business Improvement District No. 4 and including a report from the Parking and Business Improvement Area Advisory Board, which Report was approved by this City Council on May 13, 2013, by Resolution No. 5456; and

WHEREAS, by Resolution 5457, adopted May 13, 2013, and by subsequent action, this City Council designated Tuesday, May 28, 2013 at the hour of 5:30 P.M. in the City Hall, at 5775 Carpinteria Avenue, Carpinteria, California, as the time and place for the public hearing of protests and objections in relation to said assessments and notices of said hearing were duly posted and published, and affidavits of said posting and publication have been duly filed; and

WHEREAS, at the time and place published in accordance with State law, a hearing was duly held by this City Council at which time no substantial protests or objections were presented, and this City Council gave all persons present an opportunity to be heard in respect of any matter relating to the work or assessment proposed in said Resolution of Intention; and

WHEREAS, this City Council has taken evidence relating to whether public convenience and necessity require said work or improvement and also evidence relating to said proposed work, the boundaries of the proposed assessment district and sub-areas thereof and the benefits to the property to be included in the proposed assessment district and sub-areas thereof, and is fully informed in the premises; and

WHEREAS, there has not been an increase in the General Assessment that is paid by all business within the District in over 20 years, and the ability of the District to maintain an enhanced level of services has greatly diminished over time.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CARPINTERIA DOES HEREBY RESOLVE, FIND, DETERMINE AND ORDER AS FOLLOWS:

That none or an insufficient number of protests or objections having been filed, and the City Council does hereby approve, confirm and adopt the said Report of the City Manager dated May 13, 2013, and the plans, estimate, diagram and assessment contained in said report and attached in Exhibit A.

That each and all documents, resolutions and instruments herein before referred to in connection with aforesaid proceedings are on file in the office of the City Clerk of the City of Carpinteria and are open to public inspection, and the same and each and all of them are expressly made a part hereof.

That the boundaries of the Parking and Business Improvement Area District No. 4 be unchanged from FY 1997-98.

That the General Business Assessment, applicable to all businesses within the Improvement Area District No. 4, for FY 2013-14 be increased to $119.00 per business per year and increase annually with inflation not to exceed 3 percent in a given year. Staff shall adjust the assessment based off of the Consumer Price Index for Urban Wage Earners and Clerical Workers for Los Angeles-Riverside-Orange County, CA.

That the Parking Lot #3 assessment within Sub-Area "B" remain at $51.00 per parking space shortfall per business.

That based on previous official and unofficial studies including the Advisory Board's report dated May 1, 2013, relating to the City's Downtown Business Area and need for parking, general improvements and need for economic growth and stability as well as staff reports and public testimony presented in connection with the proposal to continue Carpinteria Parking and Business Improvement Area District No. 4 and Sub-Area "B", in the opinion of the City Council, businesses lying within the Parking and Business Improvement Area District No. 4 and Sub-Area "B" will be benefited by the expenditure of the funds raised by the assessments proposed to be levied. The assessment as adopted will not impair the ability of the District or the Sub-Area to meet contractual obligations to operate physical improvements.

That the City Council does hereby order the continued levying and increased levying of assessments as reflected in the attached Exhibit A, for the Carpinteria Parking and Business Improvement District No. 4, including Sub-Area B for fiscal year 2013-14.

PASSED, APPROVED AND ADOPTED this 28th day of May 2013, by the following called vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

_____

Mayor, City of Carpinteria

ATTEST:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held the 28th day of May 2013.

_____
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

_____
By: PETER N. BROWN
CITY ATTORNEY

Exhibit A

AGENDA SECTION: OTHER BUSINESS
AGENDA ITEM # 8
REPORT # 13- 49

STAFF REPORT
COUNCIL MEETING DATE:
May 13, 2013

ITEM FOR COUNCIL CONSIDERATION:

Report on Parking and Business Improvement Area Assessment District No. 4 for Fiscal Year 2013-14

Report prepared by: Charles W. Ebeling, Director
Department: Public Works
Signature
Reviewed by Administrative Services Director:
Signature
Reviewed by City Manager:
Signature

Action X **Non-Action** ___ **Staff Recommendation:**

Recommendation: Adopt Resolution Nos. 5456 and 5457, acting to accept the mandatory annual report and budget and to set the matter of the continuation of Parking and Business Improvement Area District No. 4 for fiscal year 2013-2014 for public hearing at the regular City Council meeting of May 28, 2013.

Sample Motion: I move to adopt Resolution Nos. 5456 and 5457, as read by title only, thereby acting to accept the mandatory annual report and budget; and to set the matter of the continuation of Parking and Business Improvement Area District No. 4 for fiscal year 2013-14 for public hearing at the regular City Council meeting of May 28, 2013.

I. BACKGROUND:

The Parking and Business Improvement Area (City Assessment District No. 4) was formed in September 1986 with the adoption of City Ordinance No. 393, pursuant to the California Parking and Business Improvement Area Law of 1979. Parking and Business

Improvement Areas are formed to enhance a specific area and increase customer/ tourist appeal. This has historically been accomplished through parking improvements, advertising/promotions, and increased public services like restroom and sidewalk cleanings. In 1989, the State of California repealed the Parking and Business Improvement Area Law of 1979 and enacted the Parking and Business Improvement Area Law of 1989 (Streets and Highways Code Section 36500 et seq.). This new law was the impetus for the adoption in 1990 of City Resolution No.1882 which appointed a required five member Parking and Business Improvement Advisory Board (PBIA Advisory Board) to advise City Council regarding the level of assessments, expenditure of revenues from the assessments, and to provide an annual report (Attachments 1-4) outlining certain activities within the District for the coming fiscal year.

On March 25, 2013, by Resolution No. 5449, the City Council ordered a report on the status and projections for Carpinteria Parking and Business Improvement District No. 4 for Fiscal Year 2013-14.

This matter will allow the City Council, if determined appropriate, to accept the Report and to set a public hearing date for its consideration of continuing the District.

II. DISCUSSION:

The PBIA Advisory Board, at their May 1, 2013 meeting, carried a motion recommending that their Annual Report (Attachments 1-4) be forwarded to the City Council. The Annual Report contains the following recommendations:

1. The General Assessment Fee, applicable to all businesses located within the boundaries of Assessment District No. 4, be raised $2.00 per business to $119.00[1] annually, and continues to be incrementally adjusted this year and every year thereafter based on a national inflationary index not to exceed 3% in any given year.

2. Special Assessment Fees, which apply only to selected businesses, remain the same from prior years as detailed below.

   Parking Lot #1 and Parking Lot #2
   Parking Lots #1 and #2 are paid off. No Change.

   Parking Lot #3
   Board recommends the assessments for Parking Lot #3 (Sub Area A), based on the parking space shortfall per business, remain at $51.00 per space for FY 2013 - 2014.

3. Although there are occasionally delinquencies in the payment of general business assessment fees, delinquent merchants continue to receive the benefits funded by the business assessment fees. The PBIA Board urges the City Council to continue to support staff in vigorously pursuing delinquent assessment fees,

[1] For the 2013-14 fiscal year, the consumer price index referenced in recommendation #1 is 1.3% or $2.00 and is included in the total proposed General Assessment of $119.00. In FY 2012-2013, the General Assessment was $117.00.

up to and including Small Claims proceedings, with any appeal made directly to the City Council.

4. Unpaid balances from an individual merchant continue to *not* be forgiven, rather that the balance due be carried forward and added to assessments billed to that business in the next fiscal year.

5. Any deficiencies in parking assessments continue to be financed through the City's General Fund. The Board has a duty to uniformly and equitably apply the parking fees throughout the Assessment District and does not feel the burden from: a shortfall of funds between the parking fees assessed; collected; the amount charged for debt service; and/or uncollected revenue, should be placed on other businesses in the District.

Over the last 20 years, expenses for maintaining the City's downtown infrastructure have grown considerably. In the 1990's the City improved the Downtown with new pavement and sidewalks, landscaping, decorative street lighting and street furniture (benches, trash receptacles, newspaper vending racks, etc.) The City of Carpinteria now spends from Public Works funds, such as Gas Tax and Measure A funds, approximately $10,000 per year on steam cleaning the Downtown sidewalks, approximately $50,000 on operating and maintaining the restrooms adjacent to Parking Lots Nos. 1 and 3, and approximately $20,000 on landscaping, lighting and street furniture maintenance. The PBIA also spends approximately $13,000 on various Downtown T promotions and related activities including the Independence Day Parade, Halloween Trick or Treat, the Holiday Spirit Parade, and operation of the light pole banner program.

As discussed above, applying an inflationary index will enable the District to continue to help offset the cost of the maintenance activities and other programs into the future.

III. FINANCIAL CONSIDERATIONS:

Total revenue from the District is projected to be $30,070. The district collects fees from two main categories: General Assessment Fees and Special Assessment Fees. Attachments C and D detail the state of current fund transactions, the financial condition of the district and the proposed assessment roll for fiscal year 2013-14. A description of the fees, including their status, is provided below:

General Assessment Fees: apply to all businesses within the district and are currently set at $117.00 per business, and are used for promotion, maintenance, and revitalization activities within district. As discussed above, the General Assessment is proposed to increase 2% or $2.00 to a total of $119.00.

Special Assessment Fees: apply only to selected businesses and are based on parking shortfalls as specified by City Zoning Code and a benefit ratio. The benefit ratio is based on a business's proximity to the location of a specific parking improvement and is used for acquisition, construction, and maintenance of those specific sub area parking improvements. The City has three publicly owned parking lots that are improved through special assessments. Only one special assessment (Parking Lot #3) remains active.

Parking Lot # 1 (Located on 9th Street between Yucca Lane and Elm Street)
The funding program for this parking lot, which was financed through the sale of serial bonds, was paid off in 1988 by means of property assessments on the individual property owners. In FY 1996-97 an assessment fee was levied on businesses adjacent to Parking Lot #1 to reimburse the City for half of the costs incurred for resurfacing of the parking lot. Final payments on this assessment were completed in June, 2006.

Parking Lot #2 (Located on Cactus Lane)
The funding program for Parking Lot #2 was established in FY 1987-88. SB 959 Grant monies were used to fund a portion of the cost and funding of the balance was shared equally by the City and the businesses located in the area of benefit. The business share of the assessment was paid off in June, 1997.

Parking Lot #3 (Located at the Amtrak Station on Linden Ave. and Fifth Street)
Parking Lot #3 was completed in FY 1989-90. SB 959 Grant monies were used on this project and, since this lot was intended to benefit both the downtown and the beach area, a portion of the cost was funded through the Tidelands Trust Fund as well as the City's General Fund. Businesses located in the proximity of Parking Lot #3 (also known as Sub Area A) are currently paying an assessment of $51.00 per parking space shortfall. This debt will be paid off in 2018.

Due to vacancies and delinquencies, there is a potential to create a shortfall in the PBIA budget. Monitoring of the PBIA funds and expenses throughout the year can manage the shortfall. Should a shortfall result, the City may contribute an allocation from the General Fund.

The projected fund balance at the end of this fiscal year (FY 2012-13) is $21,468. Estimated revenue for Fiscal Year 2013-14 is $30,070 and the proposed budget will be for $30,070. The proposed budget can be found in Attachment 1 with the Annual Report, includes expenditures for Downtown Events and Activities.

V. ATTACHMENTS:

A. PBIA Advisory Board Annual Report and FY 2013-14 Proposed Budget
B. Map of the District boundaries
C. State of Fund Transactions and Financial Condition for the District
D. Proposed Assessment Roll for 2013-14
E. Resolution 5456
F. Resolution 5457

Attachment A

City of Carpinteria
Parking and Business Improvement Area
Advisory Board

ANNUAL REPORT RELATIVE TO
ASSESSMENT DISTRICT NO.4
Submitted May 1, 2013

BOARD RESPONSIBILITIES

In compliance with local and State regulations, the Carpinteria Parking and Business Improvement Area Advisory Board (PBIAAB) is responsible for providing an operational and financial mechanism to acquire, construct, and maintain off-street public parking facilities. Additionally the board makes recommendations to the City Council for general promotion of business activities, economic growth and stability in the District, and general maintenance issues within the Downtown T. The Board has a duty to prepare and present an annual report to the City Council that addresses all matters relating to the Assessment District, including methods and basis of levying the assessments and recommendations on use of funds collected by the District. Prior to preparing this report the Board reviewed the status of delinquent assessment fees and changes that have taken place on the assessment roll during the past year.

BACKGROUND

California State Law and Streets and Highways Code Sections 36500-36504 prescribe the process for levying assessments and establish guidelines for the appointment of an advisory board to make recommendations on assessments and use of funds collected by the Assessment District. The Carpinteria Parking and Business Improvement Area Advisory Board is made up of five members appointed by the Mayor, subject to the advice and consent of the City Council. They serve at the pleasure of the City Council without pay. Three of the members must represent businesses paying assessment fees in District #4. The remaining two members, while preferably business-related and representative of the Assessment District, may be any qualified persons as determined by the Council.

ASSESSMENT DISTRICT #4

Advisory Board
The PBIA Advisory Board meets at City Hall at 8:00 a.m. every other month on the first Thursday during the months of February, April, June, August, October and December. Meetings are conducted in accordance with the Brown Act and open to the public.

Current Board members:
Kiona Gross – Vice Chair – Curious Cup
Roxanne Barbieri – Roxanne's A Wish and A Dream
Lynda Lang - Carpinteria Valley Chamber of Commerce
Gloria Tejeda – Senor Frog's
Arthur Willner - Resident

District Boundaries
The boundaries of Carpinteria Assessment District # 4 include the areas adjacent to Linden Avenue from the railroad to Carpinteria Avenue and from Holly Avenue to Palm Avenue. All businesses located within the boundary of the Carpinteria Parking and Business Improvement District #4 are subject to a general business improvement assessment as set by City Ordinance and, where applicable, a special parking benefit assessment fee based on parking requirements as outlined in the City's zoning ordinance. The District Boundaries can be found in Attachment A.

PARKING ASSESSMENT

Businesses within the boundaries of the Assessment District are subject to a special parking benefit assessment fee, which is used to reimburse the City's General Fund for the costs associated with the City's three parking lots. By Ordinance 393, the funds derived from this assessment must be used exclusively for the purpose of acquisition, construction, and maintenance of off-street parking.

The criteria used for establishing parking assessments is based on the parking requirement per the zoning ordinance, less any on-site parking provided by the business, adjusted to reflect the benefit derived from the parking lot based on distance and accessibility to the parking lot.

- **Parking Lot # 1** (Located on 9th Street between Yucca Lane and Elm Street)
  The funding program for this parking lot, which was financed through the sale of serial bonds, was paid off in 1988 by means of property assessments on the individual property owners. In FY 1996-97 an assessment fee was levied on businesses adjacent to Parking Lot #1 to reimburse the City for costs incurred for resurfacing of the parking lot. Final payments on this assessment were completed in June, 2006.

- **Parking Lot #2** (Located on Cactus Lane)
  The funding program for Parking Lot #2 was established in FY 1987-88. SB 959 Grant monies were used to fund a portion of the cost and funding of the balance was shared equally by the City and the businesses located in the area of benefit. The business share of the assessment was paid off in June, 1997.

- **Parking Lot #3** (Located at the Amtrak Station on Linden Ave. and Fifth Street)
  Parking Lot #3 was completed in FY 1989-90. SB 959 Grant monies were used on this project and, since this lot was intended to benefit both the downtown and the beach area, a portion of the cost was funded through the Tidelands Trust Fund as well as the City's General Fund. Businesses located in the proximity of Parking Lot #3 are currently paying an assessment of $51.00 per parking space shortfall. This assessment will be paid off in 2018.

Board Recommendation:

At the special called meeting of the Parking and Business Improvement Area Advisory Board held on Wednesday, May 1, 2013, the Board unanimously voted to make the following recommendations to the City Council:

Parking Lot # 1 and Parking Lot #2
Parking Lots #1 and #2 are paid off. No action taken by Board.

Parking Lot #3
Board recommends the assessments for Parking Lot #3, based on the parking space shortfall per business; remain at $51.00 per space for FY 2013 - 2014.

GENERAL BUSINESS ASSESSMENT

All businesses located within the boundaries of District #4 are required to pay a general business assessment fee.

As outlined by Ordinance 393, funds derived from the general business improvement assessment are restricted funds and must be used exclusively for the benefit of general business revitalization, promotion and improvement within the boundaries of the Parking and Business Improvement District No.4.

The General Business Assessment fee for all businesses located within the Parking and Business Improvement District No.4 had not been increased since 1991 when Resolution 1998 increased the assessment from the Fifty Dollars ($50.00) set by Ordinance in 1988, to One Hundred Dollars ($100.00) per business per year. On June 27, 2011, the annual general assessment was increased to One Hundred Fifteen Dollars ($115.00) per business per year, including and annual inflationary adjustments with a maximum increase of 3% annually. In 2012, the general assessment fee was adjusted to $117.00 following the inflationary adjustments.

The annual inflationary index for this assessment is the Consumer Price Index for Urban Wage Earners and Clerical Workers for Los Angeles-Riverside-Orange County, CA. The calculation is based on a March to March increase evaluation, in accordance with other City fee adjustments. For 2012-2013, the consumer price index rose 1.3%. This would increase the General Business Assessment Fee to $119.00.

Board Recommendation:

The Parking and Business Improvement Area Advisory Board on Wednesday, May 1, 2013, unanimously voted to make the following recommendation to the City Council:

> The General Business Assessment annual fee is applicable to all businesses located within the boundaries of Assessment District #4, be raised $2.00 per business to $119.00 annually, due to the consumer price index annual change.

FUNDING OF PBIAAB EVENTS AND ACTIVITIES

With the adoption of a City Marketing Plan in 1993, the City Council authorized the PBIA Board to fund events and activities in the Downtown "T" with monies derived from the annual General Business Assessment fees. The use of the restricted business assessment fees as the primary funding source changed the scope of the 1993 City Marketing Plan, at least geographically, from focus on a "Community-wide" plan to a Downtown "T" plan.

The PBIAAB budget allocates the fees for planning and promotion of events held in the Downtown "T", as well as cooperative advertising programs, preparation and distribution of a courtesy map listing merchants in the Downtown "T", maintenance and replacement of the existing flag (banner) systems, a signage program, and many other maintenance/improvement activities.

It should be noted that the Project Carpinteria Committee, which was formed under the Marketing Plan and made up of PBIAAB members and representatives of the Carpinteria Valley Chamber of Commerce, has been dissolved and is no longer an active Committee under the Parking and Business Improvement Area Advisory Board.

In October, 2007 the City Council approved the formation of a more inclusive community committee, separating it from the PBIAAB. Funding for the new "Carpinteria First" Committee is provided by the General Fund, with the expectation that the Committee will focus on events and activities that benefit the entire community.

The PBIA Advisory Board continues to have the responsibility and duty to oversee the Assessment District parking and business assessment fees in compliance with State regulations, including the responsibility to promote and encourage the economic growth and stability of the district. The Board also continues to plan and promote activities and events in the Downtown "T".

The PBIAAB reviewed the proposed 2013-14 budget prepared by City Staff. The balanced budget included various promotional, marketing, improvements and special events that highlight the Downtown T. In adopting the budget, the PBIAAB recommended that the budget be reviewed during the next fiscal year to explore ways to reduce the costs of the special events and parades while increasing the funds allocated to promotions and marketing.

PROPOSALS

On May 1, 2013, the Parking and Business Improvement Area Advisory Board voted unanimously to recommend the following proposals to the City Council:

1. Although delinquent in the payment of general business assessment fees, the delinquent merchants continue to receive the benefits funded by the business assessment fees. Council is urged to continue to support staff in vigorously pursuing delinquent assessment fees, up to and including Small Claims proceedings, with any appeal made directly to the City Council.

2. Unpaid balances from an individual merchant continue to *not* be forgiven, but the balance due be carried forward and added to assessments billed to that business in the next fiscal year.

3. Any deficiencies in parking assessments continue to be financed through the City's General Fund. The Board has a duty to uniformly and equitably apply the parking fees throughout the Assessment District and do not feel the burden from a shortfall of funds between the parking fees assessed and collected and the amount charged for debt service and transfer created by vacancies and/or uncollected revenue should be placed on other businesses in the District.

PRESENTATION OF REPORT

It is recommended that the City Council accept this report and continue the existing Parking and Business Improvement Area District #4 for Fiscal Year 2013-2014, including the various proposals and recommendations associated therewith as presented or with modification.

SUBMITTED May 1, 2013 by:

Roxanne Barbieri

Kiona Gross, Vice Chair

Lynda Lang

Gloria Tejeda

Arthur Willner

Attachments

A. District Boundaries

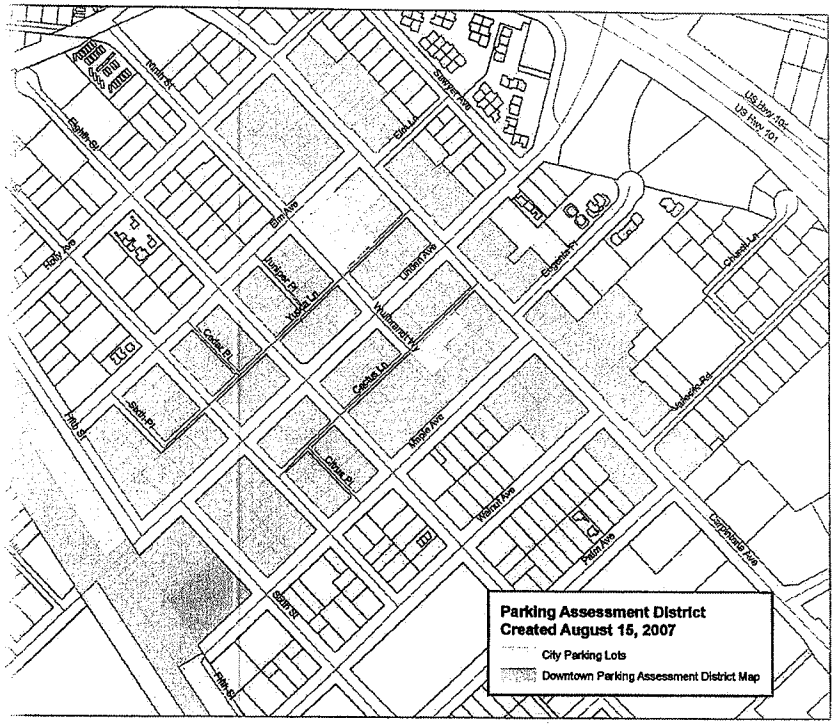
CITY OF CARPINTERIA
Assessment District No. 4
Parking and Business Improvement Area Fund 380
General Business Assesment Budget
FY 2013-2014

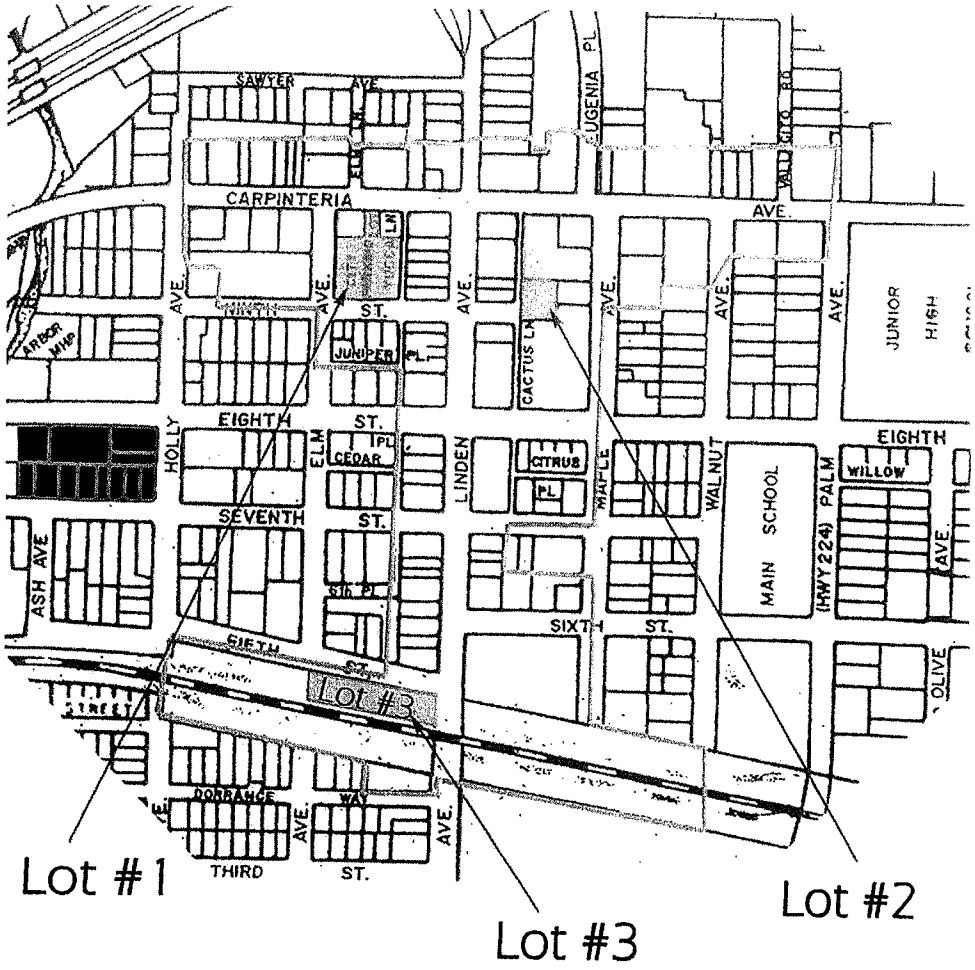
Attachment B

General Assessment	$	119.00
Estimated General Assessment Revenue 2013-2014	$	15,470
Parking Lot Assessment Revenue 2013-14	$	14,600
Total Estimated Revenue	$	30,070
Budgeted Expenditures	$	30,070
Under/ (Over) Budget	$	-

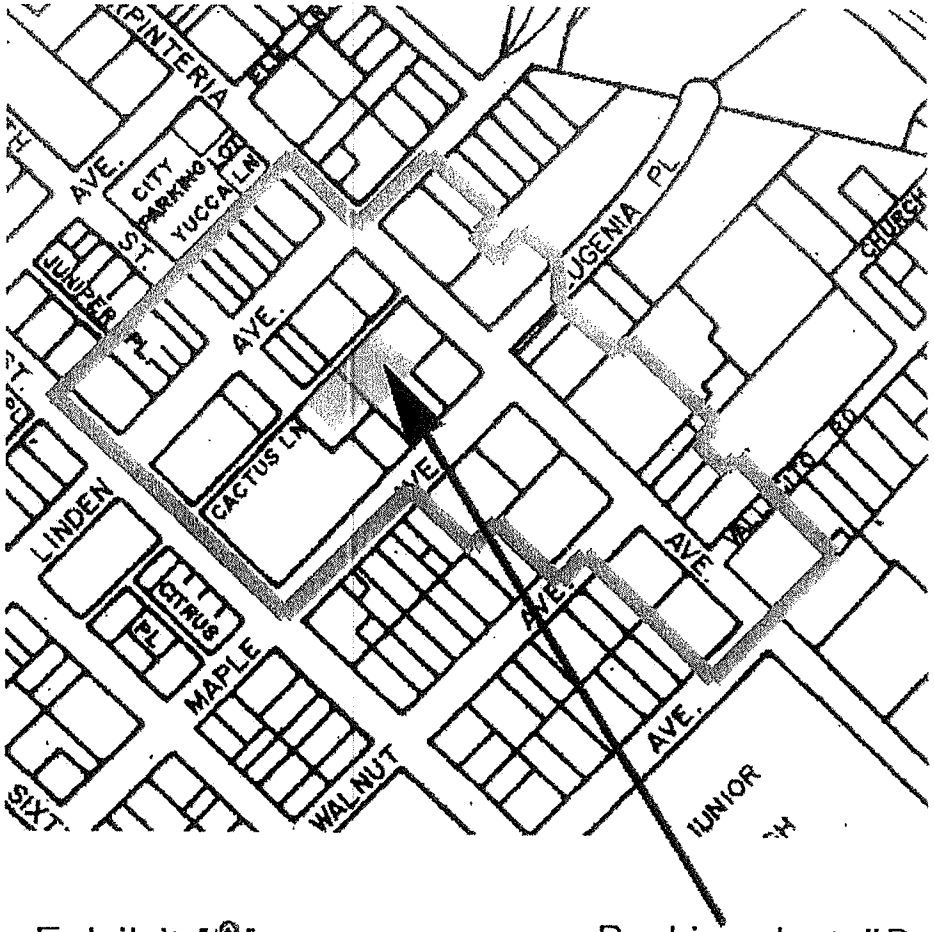
Item Description	Budgeted Amount	Actual Cost	Revenue
MARKETING/PROJECT CARPINTERIA 38-45-22-2			$ 12,126
Downtown Events and Activities			
Independence Day Activities			
Carpinteria Events Company	$ 4,000		
Halloween Safe Trick or Treat			
Fliers and Bags	$ 500		
Holiday Spirit Activities			
Carpinteria Events Company	$ 4,000		
Improvements			
Flags and Banners	$ 2,126		
Directional/Informational Sinage	$ 500		
Sidewalks/Restrooms/Repairs	$ 1,000		
SUB TOTAL	$ 12,126		
DOWNTOWN T PROMOTIONS 38-45-22-8			$ 695
Advertising Program			
Halloween Safe Trick or Treating	$ 300		
Sponsorships			
Avocado Festival	$ 345		
Hospice Light Up a Life Event	$ 50		
SUB TOTAL	$ 695		
PARKING LOT #3 DEBT			$ 17,249
SUB TOTAL	$ 17,249		
GRAND TOTAL	$ 30,070		$ 30,070

Unaudited Existing Fund Balance (Estimated)			$ 21,468





Carpinteria Parking
and Business Improvement
District #4
District Boundary Exhibit "A"



Parking Lot #2

Exhibit "A"
Sub Area "C"
Parking Lot #2

Parking Lot #3

Exhibit "A"
Sub Area "B"

Attachment C

Exhibit C

FUND 38
PARKING AND BUSINESS IMPROVEMENT AREA DISTRICT NO 4

	ACTUAL 2009-10	ACTUAL 2010-11	ACTUAL 2011-12	BUDGET 2012-13	PROJECTED 2013-14
A. SUMMARY OF FUND TRANSACTIONS:					
Fund Balance; July 1	24,537	18,346	19,153	20,301	21,468
Fiscal Year Revenues	29,415	26,740	27,829	27,848	30,177
Fiscal Year Expenditures	35,606	25,933	26,681	26,681	33,249
Fund Balance; June 30	18,346	19,153	20,301	21,468	18,396
Revenue Over/(Under) Expense	(6,191)	807	1,148	1,167	(3,072)
B. BALANCE SHEET, JUNE 30					
ASSETS:					
Cash in Savings	18,346	21,144	21,144	21,468	18,396
Time Deposits	0	0	0	0	0
Accounts Receivable	0	0	0	0	0
*Total Assets>>>>>>>>>>>>>>>>>>>>	18,346	21,144	21,144	21,468	18,396
LIABILITIES AND FUND BALANCE					
Accounts Payable	0	1,991	1,991	0	0
Fund Balance	18,346	19,153	20,301	21,468	18,396
*Total Liabilities & Fund Balance>>	18,346	21,144	22,292	21,468	18,396
C. FISCAL YEAR REVENUE DETAIL:					
Use of Money & Property	930	516	501	520	858
Assessment General BusinessDistric	13,210	11,800	13,232	13,232	13,500
Parking Lot Assessment	15,275	14,424	14,096	14,096	15,819
Transfers In	0	0	0	0	0
*Total Revenues>>>>>>>>>>>>>>>>>>>:	29,415	26,740	27,829	27,848	30,177
D. FISCAL YEAR EXPENDITURE DETAIL:					
Parking Lot #2 Payments					
Project Carpinteria	3,500				
Business Promotion/Revitalization	14,857	8,684	9,432	9,432	16,000
Parking Lot Maintenance	0	0	0	0	0
Parking Lot #3 Debt	17,249	17,249	17,249	17,249	17,249
Other Operating Expense	0	0	0	0	0
*Total Operating Expense>>>	35,606	25,933	26,681	26,681	33,249
Linden Avenue	0	0	0	0	0
Public Restroom					
*Total Capital Outlay Expense>>>>	0	0	0	0	0
*Total Expenditures>>>>>>>>>>>>>>	35,606	25,933	26,681	26,681	33,249

Attachment D

CITY OF CARPINTERIA
Assessment District No. 4
Parking and Business Improvement Area Fund 380
General Business Assesment Budget
FY 2013-2014

General Assessment	$	119.00
Estimated General Assessment Revenue 2013-2014	$	15,470
Parking Lot Assessment Revenue 2013-14	$	14,600
Total Estimated Revenue	$	30,070
Budgeted Expenditures	$	30,070
Under/ (Over) Budget	$	-

Item Description	Budgeted Amount	Actual Cost	Revenue
MARKETING/PROJECT CARPINTERIA 38-45-22-2			$ 12,126
Downtown Events and Activities			
Independence Day Activities			
Carpinteria Events Company	$ 4,000		
Halloween Safe Trick or Treat			
Fliers and Bags	$ 500		
Holiday Spirit Activities			
Carpinteria Events Company	$ 4,000		
Improvements			
Flags and Banners	$ 2,126		
Directional/Informational Sinage	$ 500		
Sidewalks/Restrooms/Repairs	$ 1,000		
SUB TOTAL	$ 12,126		
DOWNTOWN T PROMOTIONS 38-45-22-8			$ 695
Advertising Program			
Halloween Safe Trick or Treating	$ 300		
Sponsorships			
Avocado Festival	$ 345		
Hospice Light Up a Life Event	$ 50		
SUB TOTAL	$ 695		
PARKING LOT #3 DEBT			$ 17,249
SUB TOTAL	$ 17,249		
GRAND TOTAL	$ 30,070		$ 30,070

Unaudited Existing Fund Balance (Estimated)			$ 21,468

Lot 3 Assessment $51.00
Lot 1 Assessment: $0.00
General Assessment $119.00

Includes 0 occupants
5 vacants

LOT 3 ASSESSMENT 14,683.00
LOT 3 COP PAYMENT 17,249.00
G/F SUBSIDY (2,566.00)

Proposed PBIA Assessment Roll FY 2013-14

30-Apr

Line #	Number	Address	Name	Gross Assessment Lot 1	Gross Assessment Lot 3	Benef% Adj Factor	Adjusted Assessment Lot 1	Adjusted Assessment Lot 3	Gen Bus Assess	Prior Year Unpaid Assessments	Total Assess	Sub Area	Total Sq Ft	Spaces Req	Spaces Provided	Deficit Lot 1	Deficit Lot 3	Assess Per Space
			Totals	0.00	18,216.38	xx	0.00	14,683.00	14,875.00	9,140.00	38,698.00							
1	4819	Carpinteria Ave	VACANT LOT	0.00	0.00	30.00%	0.00	0.00	0.00	0.00	0.00	A	1,474	0.00	0.00	0.00	0.00	0.00
2	4915-F	Carpinteria Ave	Axis One Mortgage/CLOSED	0.00	0.00	150.00%	0.00	0.00	0.00	0.00	0.00	A	760	1.52	1.00	0.52	0.00	0.00
3	4939	Carpinteria Ave	Bryanna's Flowers/CLOSED	0.00	0.00	150.00%	0.00	0.00	0.00	0.00	0.00	A	633	1.27	0.00	1.27	0.00	0.00
4	4939	Carpinteria Ave	Karen Gruszka Art Studio/CLOSED	0.00	0.00	150.00%	0.00	0.00	0.00	0.00	0.00	A	174	0.34	0.00	0.34	0.00	0.00
5	4950	Carpinteria Ave	Mama's Store/CLOSED	0.00	0.00	90.00%	0.00	0.00	0.00	0.00	0.00	A	496	1.00	2.00	0.00	0.00	0.00
6	5032	Carpinteria Ave	VACANT (BURCH INS)	0.00	0.00	90.00%	0.00	0.00	0.00	0.00	0.00	C	0	0.00	0.00	0.00	0.00	0.00
7	5292 - B	Carpinteria Ave	VACANT (Import Auto Geeks)	0.00	0.00	70.00%	0.00	0.00	0.00	0.00	0.00	C	0	0.00	0.00	0.00	0.00	0.00
8	600	Linden Avenue	Prufrocks Bed & Breakfast/VACAN	0.00	153.00	100.00%	0.00	0.00	0.00	0.00	0.00	B	3,200	7.00	4.00	0.00	3.00	51.00
9	619	Linden Avenue	Kostas Jewelry/CLOSED	0.00	96.90	70.00%	0.00	0.00	0.00	0.00	0.00	B	950	1.90	0.00	0.00	1.90	51.00
10	700	Linden Avenue	Austin's Home Center/CLOSED	0.00	1,173.00	50.00%	0.00	0.00	0.00	0.00	0.00	B	15,000	30.00	7.00	0.00	23.00	51.00
11	901	Linden Avenue	Hollyhock Cottage / VACANT	0.00	0.00	80.00%	0.00	0.00	0.00	0.00	0.00	A	700	1.60	0.61	0.99	0.00	0.00
12	901-B	Linden Avenue	The Gym Next Door	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	700	1.60	0.61	0.99	0.00	0.00
13	919-B	Linden Avenue	VACANT	0.00	0.00	80.00%	0.00	0.00	0.00	0.00	0.00	A	350	0.70	0.56	0.14	0.00	0.00
14	517	Maple Avenue	Carpinteria Sport & Fitness/CLOSE	0.00	489.60	90.00%	0.00	0.00	0.00	0.00	0.00	B	4,800	9.60	0.00	0.00	9.60	51.00
15	957	Maple Avenue	Image Net/CLOSED	0.00	0.00	90.00%	0.00	0.00	0.00	0.00	0.00	C	480	0.96	0.65	0.00	0.00	0.00
16	5045	Sixth Street	VACANT (formerly Sportwall)	0.00	348.80	90.00%	0.00	0.00	0.00	0.00	0.00	B	3,400	6.80	0.00	0.00	6.80	51.00
17	871 B	Yucca Lane	VACANT	0.00	0.00	125.00%	0.00	0.00	0.00	0.00	0.00	A	0	0.00	0.00	0.00	0.00	0.00
18	929	Yucca Lane	The Guitar Garage/VACANT	0.00	0.00	125.00%	0.00	0.00	0.00	0.00	0.00	A	1,062	2.13	2.00	0.13	0.00	0.00
19	990	Cactus Lane	Petoetera	0.00	0.00	50.00%	0.00	0.00	119.00	332.00	451.00	C	900	3.60	4.00	0.00	0.00	0.00
20	4836	Carpinteria Ave	Sansum Clinic CLOSED	0.00	0.00	30.00%	0.00	0.00	0.00	0.00	0.00	A	9,742	36.00	26.00	10.00	0.00	0.00
21	4835	Carpinteria Ave	Taqueria El Tapatio	0.00	0.00	30.00%	0.00	0.00	119.00	232.00	351.00	A	2,000	25.00	12.00	13.00	0.00	0.00
22	4846	Carpinteria Ave	Angels	0.00	0.00	30.00%	0.00	0.00	119.00	0.00	119.00	A	2,752	5.50	3.00	2.50	0.00	0.00
23	4850	Carpinteria Ave	Rockwell Printing	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	625	1.25	2.50	0.00	0.00	0.00
24	4850	Carpinteria Ave	Rockwell Cleaners	0.00	0.00	90.00%	0.00	0.00	119.00	117.00	236.00	A	1,925	3.85	2.50	1.35	0.00	0.00
25	4856	Carpinteria Ave	Carpinteria - Summerland Coastal	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	624	1.24	1.00	0.24	0.00	0.00
26	4859	Carpinteria Ave	DNA Design & Art	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	1,250	2.50	5.00	0.00	0.00	0.00
27	4860	Carpinteria Ave	Coastal Liquor	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	1,900	3.80	1.00	2.80	0.00	0.00
28	4869	Carpinteria Ave	Husted Plumbing	0.00	0.00	90.00%	0.00	0.00	119.00	117.00	236.00	A	756	1.51	5.00	0.00	0.00	0.00
29	4890	Carpinteria Ave	Danny's Deli / Car Wash	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	1,056	7.00	7.00	0.00	0.00	0.00
30	4897	Carpinteria Ave	Beach Motors & Tires	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	1,854	3.70	5.00	0.00	0.00	0.00
31	4904	Carpinteria Ave	Nueva Imagen	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	680	1.36	1.00	0.36	0.00	0.00
32	4912	Carpinteria Ave	Panaderia Maria's	0.00	0.00	90.00%	0.00	0.00	119.00	232.00	351.00	A	680	1.36	1.00	0.36	0.00	0.00
33	4915-A	Carpinteria Ave	Peggy's Used Treasures	0.00	0.00	150.00%	0.00	0.00	119.00	117.00	236.00	A	2,375	4.75	1.00	3.75	0.00	0.00
34	4915-B/C	Carpinteria Ave	Seascape Realty	0.00	0.00	150.00%	0.00	0.00	119.00	117.00	236.00	A	1,858	3.71	1.00	2.71	0.00	0.00

Lot 3 Assessment $51.00
Lot 1 Assessment: $0.00
General Assessment $119.00

Includes 0 occupants
5 vacants

LOT 3 ASSESSMENT 14,683.00
LOT 3 COP PAYMENT 17,249.00
G/F SUBSIDY (2,566.00)

Proposed PBIA Assessment Roll FY 2013-14

30-Apr

Line #	Number	Address	Name	Gross Assessment Lot 1	Gross Assessment Lot 3	Benef% Adj Factor	Adjusted Assessment Lot 1	Adjusted Assessment Lot 3	Gen Bus Assess	Prior Year Unpaid Assessments	Total Assess	Sub Area	Total Sq Ft	Spaces Req	Spaces Provided	Deficit Lot 1	Deficit Lot 3	Assess Per Space
			Totals	0.00	18,216.38	xx	0.00	14,683.00	14,875.00	9,140.00	38,698.00							
35	4915-D	Carpinteria Ave	Farmers Insurance	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	A	760	1.52	1.00	0.52	0.00	0.00
36	4915-G	Carpinteria Ave	Celebrox Inc	0.00	0.00	150.00%	0.00	0.00	119.00	117.00	236.00	A	860	1.72	1.00	0.72	0.00	0.00
37	4915-H	Carpinteria Ave	Rhio Company, Inc	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	A	480	0.96	1.00	0.00	0.00	0.00
38	4916	Carpinteria Ave	Plaza Theatre	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	3,817	43.20	12.00	31.20	0.00	0.00
39	4920	Carpinteria Ave	Valley Barbers	0.00	0.00	90.00%	0.00	0.00	119.00	232.00	351.00	A	680	1.36	1.00	0.36	0.00	0.00
40	4924	Carpinteria Ave	Puerto Vallarta	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	680	1.36	1.00	0.36	0.00	0.00
41	4928	Carpinteria Ave	Pretty Shoe Repair/Video/CLOSED	0.00	0.00	90.00%	0.00	0.00	0.00	0.00	0.00	A	680	1.36	1.00	0.36	0.00	0.00
42	4939	Carpinteria Ave	Bill's Coins	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	A	174	0.34	0.00	0.34	0.00	0.00
43	4943-B	Carpinteria Ave	L's Salon	0.00	0.00	150.00%	0.00	0.00	119.00	232.00	351.00	A	633	1.27	0.00	1.27	0.00	0.00
44	4945	Carpinteria Ave	Lemos Feed & Pet Supply	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	A	4,500	14.98	4.00	10.99	0.00	0.00
45	4954	Carpinteria Ave	Carpinteria & Linden Pub	0.00	0.00	90.00%	0.00	0.00	119.00	232.00	351.00	A	1,100	7.00	2.00	5.00	0.00	0.00
46	4960	Carpinteria Ave	Yesenia's Boutique	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	630	1.26	0.50	0.76	0.00	0.00
47	4961	Carpinteria Ave	Yudith's Salon	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	680	1.36	1.00	0.36	0.00	0.00
48	4962	Carpinteria Ave	El Corte Perfecto	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	630	1.26	0.50	0.76	0.00	0.00
49	4991	Carpinteria Ave	The Coffee Bean and Tea Leaf	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	680	1.36	1.00	0.36	0.00	0.00
50	4994	Carpinteria Ave	Bank of America	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	A	4,000	8.00	35.00	0.00	0.00	0.00
51	5003	Carpinteria Ave	Giovanni's Pizza	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	4,000	28.00	10.00	0.00	0.00	0.00
52	5030	Carpinteria Ave	Rabobank	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	C	1,925	3.60	5.00	0.00	0.00	0.00
53	5034	Carpinteria Ave	Epstein & Associates	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	C	700	2.00	2.00	0.00	0.00	0.00
54	5036	Carpinteria Ave	VACANT	0.00	0.00	90.00%	0.00	0.00	0.00	0.00	0.00	C	0	0.00	0.00	0.00	0.00	0.00
55	5050	Carpinteria Ave	Jack's Famous Bagels	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	C	5,800	36.50	24.00	0.00	0.00	0.00
56	5065	Carpinteria Ave	VACANT	0.00	0.00	125.00%	0.00	0.00	0.00	0.00	0.00	C	4,250	8.50	7.00	0.00	0.00	0.00
57	5080	Carpinteria Ave	Sunburst Printing	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	0	0.00	0.00	0.00	0.00	0.00
58	5085	Carpinteria Ave	Union 76	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	850	3.40	4.00	0.00	0.00	0.00
59	5096	Carpinteria Ave	Cabo's Baja Grill & Cantina	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	2,200	24.40	19.00	0.00	0.00	0.00
60	5100	Carpinteria Ave	Rincon Cycles	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	4,050	18.20	6.00	0.00	0.00	0.00
61	5100	Carpinteria Ave	VACANT	0.00	0.00	125.00%	0.00	0.00	0.00	0.00	0.00	C	0	0.00	0.00	0.00	0.00	0.00
62	5205	Carpinteria Ave	Foster Freeze	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	2,800	21.20	18.00	0.00	0.00	0.00
63	5210	Carpinteria Ave	Karen Lacks & Co. Real Estate	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	3,150	12.60	9.00	0.00	0.00	0.00
64	5212	Carpinteria Ave	VACANT	0.00	0.00	70.00%	0.00	0.00	0.00	0.00	0.00	C	1,450	4.00	1.00	0.00	0.00	0.00
65	5250	Carpinteria Ave	Rusty's Pizza	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	2,840	29.00	22.00	0.00	0.00	0.00
66	5277	Carpinteria Ave	Eugenia Motel	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	0	12.00	0.00	0.00	0.00	0.00
67	5285	Carpinteria Ave	Rincon Floral, Gifts & Art	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C		0.00	0.00	0.00	0.00	0.00
68	5292	Carpinteria Ave	Tom Watts Automotive	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	0	0.00	0.00	0.00	0.00	0.00

Lot 3 Assessment $51 00
Lot 1 Assessment $0 00
General Assessment $119 00

Includes 0 occupants
5 vacants

LOT 3 ASSESSMENT 14,683 00
LOT 3 COP PAYMENT 17,249 00
G/F SUBSIDY (2,566 00)

Proposed PBIA Assessment Roll FY 2013-14

30-Apr

Line #	Number	Address	Name	Gross Assessment Lot 1	Gross Assessment Lot 3	Benefit Adj Factor	Adjusted Assessment Lot 1	Adjusted Assessment Lot 3	Gen Bus Assess	Prior Year Unpaid Assessments	Total Assess	Sub Area	Total Sq Ft	Spaces Req	Spaces Provided	Deficit Lot 1	Deficit Lot 3	Assess Per Space
			Totals	0 00	18,215 38	x=	0.00	14,683.00	14,875 00	9,140 00	38,698 00							
69	5292	Carpinteria Ave	City Market Center	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	0	0.00	0.00	0.00	0.00	0.00
70	5025	Eighth Street	Beach Medical Clinic	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	B	0	0.00	0.00	0.00	0.00	0.00
71	5025	Eighth Street	Hickey Bros Land Co.	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	B	0	0.00	0.00	0.00	0.00	0.00
72	915	Elm Avenue	Carpinteria Valley Lumber	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	A	5,130	20.50	11.00	9.50	0.00	0.00
73	933	Elm Avenue	Carpinteria Landscape Nursery	0.00	0.00	150.00%	0.00	0.00	119.00	332 00	451.00	A	700	4.69	5.00	0.00	0.00	0.00
74	910-A	Linden Ave	S.O.A.P.	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	350	1.00	0.00	0.00	0.00	0.00
75	389	Linden Avenue	The Spot	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	B	864	9.78	14.00	0.00	0.00	0.00
76	501	Linden Avenue	City Market #15	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	B	2,080	4.16	9.00	0.00	0.00	0.00
77	507	Linden Avenue	Esau's	0.00	1,020.00	125.00%	0.00	1,275.00	119.00	0.00	1,394.00	B	1,900	20.00	0.00	0.00	20.00	51.00
78	509	Linden Avenue	Jiramat Kelloy	0.00	772.65	125.00%	0.00	966.00	119.00	0.00	1,085.00	B	2,075	15.15	0.00	0.00	15.15	51.00
79	550	Linden Avenue	Kilovac Corporation/Tyco	0.00	4,099.38	125.00%	0.00	5,124.00	119.00	0.00	5,243.00	B	43,690	87.38	7.00	0.00	80.38	51.00
80	505	Linden Avenue	Blum & Sons Electric	0.00	120.36	70.00%	0.00	84.00	119.00	0.00	203.00	B	3,184	6.36	4.00	0.00	2.36	51.00
81	619	Linden Avenue	Tidepools	0.00	96.90	70.00%	0.00	68.00	119.00	0.00	187.00	B	950	1.90	0.00	0.00	1.90	51.00
82	855	Linden Avenue	Coast Calibration Co., Inc	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	B	3,300	3.00	6.60	0.00	0.00	0.00
83	659	Linden Avenue	Rincon Designs	0.00	53.04	70.00%	0.00	37.00	119.00	0.00	156.00	B	2,520	5.04	4.00	0.00	1.04	51.00
84	666	Linden Avenue	GiannFranco's Trattoria	0.00	510.00	70.00%	0.00	357.00	119.00	0.00	476.00	B	1,200	10.00	0.00	0.00	10.00	51.00
85	686	Linden Avenue	Sly's Steakhouse & Seafood	0.00	1,479.00	70.00%	0.00	1,035.00	119.00	0.00	1,154.00	B	3,319	33.00	4.00	0.00	29.00	51.00
86	699	Linden Avenue	Tony's Restaurant	0.00	357.00	50.00%	0.00	179.00	119.00	0.00	298.00	B	2,199	20.00	13.00	0.00	7.00	51.00
87	701	Linden Avenue	The Palms Restaurant	0.00	1,938.00	50.00%	0.00	969.00	119.00	0.00	1,088.00	B	1,690	47.00	9.00	0.00	38.00	51.00
88	741	Linden Avenue	Oaxaca Fresh	0.00	561.00	50.00%	0.00	281.00	119.00	0.00	400.00	B	1,530	15.00	4.00	0.00	11.00	51.00
89	751	Linden Avenue	Carpinteria TV/Rainbow Ice Cream	0.00	151.47	50.00%	0.00	76.00	119.00	0.00	195.00	B	1,988	4.97	2.00	0.00	2.97	51.00
90	751	Linden Avenue	Tacos Don Roge	0.00	344.25	50.00%	0.00	172.00	119.00	0.00	291.00	B	440	6.75	0.00	0.00	6.75	51.00
91	768	Linden Avenue	Traveling Pants	0.00	112.20	50.00%	0.00	56.00	119.00	0.00	175.00	B	1,100	2.20	0.00	0.00	2.20	51.00
92	771	Linden Avenue	Lois Bella Salon	0.00	0.00	50.00%	0.00	0.00	119.00	332 00	451.00	B	1,038	2.07	3.00	0.00	0.00	0.00
93	776	Linden Avenue	The Princess & The Pea	0.00	40.60	50.00%	0.00	20.00	119.00	0.00	139.00	B	900	1.80	1.00	0.00	0.80	51.00
94	794	Linden Avenue	Beach Liquors/ Tacos To Go	0.00	102.00	50.00%	0.00	51.00	119.00	0.00	170.00	B	1,500	3.00	1.00	0.00	2.00	51.00
95	801	Linden Avenue	Rite Aid #5776 (SEE MAILING AD	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	A	6,400	12.80	14.00	0.00	0.00	0.00
96	850	Linden Avenue	Von's Market (see mailing address	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	27,720	110.90	138.00	0.00	0.00	0.00
97	855	Linden Avenue	Carpinteria Valley Art Council (po	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	A	600	1.20	0.90	0.30	0.00	0.00
98	865	Linden Avenue	Cajun Kitchen	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	A	1,656	15.32	0.00	15.32	0.00	0.00
99	873	Linden Avenue	Island Outfitters on Linden	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	A	2,160	4.32	4.41	0.00	0.00	0.00
100	877	Linden Avenue	Linden Laundromat	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	C	1,080	2.16	2.20	0.00	0.00	0.00
101	887	Linden Avenue	Head to Toe	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	A	1,080	2.16	2.20	0.00	0.00	0.00
102	888	Linden Avenue	Neumann Mendro Andrulaitis Arch	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	3,395	6.75	0.68	0.00	0.00	0.00

Lot 3 Assessment $51 00
Lot 1 Assessment $0 00
General Assessment $119 00

Includes 0 occupants
5 vacants

LOT 3 ASSESSMENT 14,683 00
LOT 3 COP PAYMENT 17,249 00
G/F SUBSIDY (2,566 00)

Proposed PBIA Assessment Roll FY 2013-14

30-Apr

Line #	Number	Address	Name	Gross Assessment Lot 1	Gross Assessment Lot 3	Benefit Adj Factor	Adjusted Assessment Lot 1	Adjusted Assessment Lot 3	Gen Bus Assess	Prior Year Unpaid Assessments	Total Assess	Sub Area	Total Sq Ft	Spaces Req	Spaces Provided	Deficit Lot 1	Deficit Lot 3	Assess Per Space
			Totals	0 00	18,215 38	x=	0.00	14,683.00	14,875 00	9,140 00	38,698 00							
103	892	Linden Avenue	Senor Frogs	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	1,600	11.00	0.56	0.00	0.00	0.00
104	897	Linden Avenue	Reynaldo's Bakery	0.00	0.00	70.00%	0.00	0.00	119.00	117.00	236.00	A	1,363	2.73	2.75	0.00	0.00	0.00
105	900	Linden Avenue	Rochelle's Fine Candy	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	3,750	7.50	1.40	0.00	0.00	0.00
106	901-C	Linden Avenue	Coast Auto Parts	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	666	1.73	1.21	0.52	0.00	0.00
107	905	Linden Avenue	Blue Pacific	0.00	0.00	80.00%	0.00	0.00	119.00	332.00	451.00	A	1,525	3.05	0.56	2.49	0.00	0.00
108	910	Linden Avenue	Corktree Cellars	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	2,270	9.54	0.34	0.00	0.00	0.00
109	914	Linden Avenue	Hurley Optical	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	1,219	2.44	0.48	0.00	0.00	0.00
110	915	Linden Avenue	Nutbelly Pizzaria & Deli	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	2,750	20.50	1.00	19.50	0.00	0.00
111	916	Linden Avenue	Miraime Salon	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	1,147	2.29	0.45	0.00	0.00	0.00
112	919	Linden Avenue	By The Sea	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	925	1.85	0.56	1.29	0.00	0.00
113	929-A	Linden Avenue	Curious Cup	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	1,120	2.24	1.00	1.24	0.00	0.00
114	933	Linden Avenue	United Studios of Self Defense	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	1,500	9.50	1.30	8.20	0.00	0.00
115	943	Linden Avenue	Homestead Antiques	0.00	0.00	70.00%	0.00	0.00	119.00	0.00	119.00	A	2,000	4.00	4.00	0.00	0.00	0.00
116	944	Linden Avenue	Pacific Health Foods	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	2,800	5.60	2.00	0.00	0.00	0.00
117	954	Linden Avenue	Carpinteria Barber	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	C	710	3.42	2.00	0.00	0.00	0.00
118	961	Linden Avenue	Maggie	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	2,512	4.00	1.93	2.07	0.00	0.00
119	992	Linden Avenue	Whitney	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	1,710	3.42	1.88	0.00	0.00	0.00
120	993	Linden Avenue	Chuck Gallery - out of business	0.00	0.00	80.00%	0.00	0.00	119.00	232.00	351.00	A	424	1.00	2.00	0.00	0.00	0.00
121	970	Linden Avenue	Sushi Teri House	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	4,550	25.00	5.01	0.00	0.00	0.00
122	973	Linden Avenue	Winker Bee Cafe	0.00	0.00	80.00%	0.00	0.00	119.00	0.00	119.00	A	1,282	12.00	4.00	8.00	0.00	0.00
123	977	Linden Avenue	Little Rainbow Foot Spa NEW	0.00	0.00	125.00%	0.00	0.00	119.00	117.00	236.00	C	4,550	25.00	5.01	0.00	0.00	0.00
124	981	Linden Avenue	Luxury Nail Salon	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	4,550	25.00	5.01	0.00	0.00	0.00
125	509	Maple Avenue	PK Engineering & Manufacturing	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	B	0	0.00	0.00	0.00	0.00	0.00
126	529	Maple Avenue	Earth Essentials Inc	0.00	530.40	90.00%	0.00	477.00	119.00	594.00	1,190.00	B	5,200	10.40	0.00	0.00	10.40	51.00
127	555	Maple Avenue	Linden House	0.00	0.00	50.00%	0.00	0.00	119.00	232.00	351.00	B	1,450	2.90	7.00	0.00	0.00	0.00
128	601	Maple Avenue	Phos Industries Inc	0.00	367.20	70.00%	0.00	257.00	119.00	374.00	750.00	B	3,600	7.20	0.00	0.00	7.20	51.00
129	919	Maple Avenue	Roxanne's Wish & a Dream	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	2,690	12.00	7.00	0.00	0.00	0.00
130	919	Maple Avenue	Sea Rose Salon	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	400	12.00	7.00	0.00	0.00	0.00
131	937	Maple Avenue	MOVED - MOORHOUSE FINANC	0.00	0.00	90.00%	0.00	0.00	119.00	117.00	236.00	C	480	0.96	0.65	0.00	0.00	0.00
132	957	Maple Avenue	Matthew I. Berger Law Group	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	C	480	0.96	0.65	0.00	0.00	0.00
133	957	Maple Avenue	Lifespan Development Center	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	C	480	0.96	0.65	0.00	0.00	0.00
134	957	Maple Avenue	Twice As Nice	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	C	300	0.60	0.41	0.00	0.00	0.00
135	4909	Ninth Street	9th Street Dance Shop	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	A	440	0.88	2.00	0.00	0.00	0.00
136	4915	Ninth Street	Curtis Dance Studio	0.00	0.00	150.00%	0.00	0.00	119.00	0.00	119.00	A	880	1.76	2.00	0.00	0.00	0.00

Attachment E

Lot 3 Assessment	$51 00	LOT 3 ASSESSMENT	14,683 00
Lot 1 Assessment	$0 00	LOT 3 COP PAYMENT	17,248 00
General Assessment	$119 00	G/F SUBSIDY	(2,565 00)
Includes	0 occupants 5 vacants		

Proposed PBIA Assessment Roll FY 2013-14

30-Apr

Line #	Number	Address	Name	Gross Assessment Lot 1	Gross Assessment Lot 3	Benefit Adj Factor	Adjusted Assessment Lot 1	Adjusted Assessment Lot 3	Gen Bus Assess	Prior Year Unpaid Assessments	Total Assess	Sub Area	Total Sq Ft	Spaces Req	Spaces Provided	Deficit Lot 1	Deficit Lot 3	Assess Per Space
			Totals	0 00	18,216 38	x=	0.00	14,683 00	14,875 00	9,140 00	38,698 00							
137	4921-A	Ninth Street	Watermark	0.00	0.00	150.00%	0.00	0.00	119.00	117.00	236 00	A	508	2.00	0.00	2.00	0.00	0.00
138	5042	Seventh Street	Whimsy On 7th	0.00	36.72	50.00%	0.00	18.00	119.00	0.00	137.00	B	360	0.72	0.00	0.00	0.72	51 00
139	5040	Sixth Street	Serigraph Ind. Inc.	0.00	1,157.70	90.00%	0.00	1,042.00	119.00	1,159.00	2,320.00	B	11,328	22.70	0.00	0.00	22.70	51 00
140	5049	Sixth Street	Island Brewing Comany	0.00	426.36	125.00%	0.00	533.00	119.00	0.00	652.00	B	3,680	8.36	0.00	0.00	8.36	51.00
141	5055	Sixth Street	Super Springs	0.00	268.26	125.00%	0.00	335.00	119.00	0.00	454.00	B	2,632	5.26	0.00	0.00	5.26	51.00
142	5095	Sixth Street	Holly Workshop / Flag Factory	0.00	1,412.39	90.00%	0.00	1,271.00	119.00	2,774.00	4,164.00	B	13,847	27.69	0.00	0.00	27.69	51.00
143	5098	Sixth Street	Colson's Towing Inc.	0.00	0.00	90.00%	0.00	0.00	119.00	0.00	119.00	B	3,482	6.96	6.00	0.00	0.00	0.00
144	5025	Wullbrandt Way	Carpinteria Cotton Co	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	548	1.09	0.17	0.00	0.00	0.00
145	5035	Wullbrandt Way	Carpinteria Nails	0.00	0.00	125.00%	0.00	0.00	119.00	0.00	119.00	C	532	1.06	0.18	0.00	0.00	0.00
146	5045	Wullbrandt Way	State Farm Insurance	0.00	0.00	125.00%	0.00	0.00	119.00	117.00	236.00	C	459	0.91	0.30	0.00	0.00	0.00
147	871 A	Yucca Lane	STP Screenprinting	0.00	0.00	125.00%	0.00	0.00	119 00	0.00	119.00	A	0	0.00	0.00	0.00	0.00	0.00
148	872	Yucca Lane	Ivy Salon	0.00	0.00	125.00%	0.00	0.00	119.00	117 00	238 00	A	0	0 00	0.00	0.00	0.00	0 00

RESOLUTION NO. 5456

A RESOLUTION OF THE CARPINTERIA CITY COUNCIL ACCEPTING AND ORDERING THE FILING OF THE REPORT MADE PURSUANT TO THE REQUIREMENTS OF RESOLUTION NO. 5449 OF SAID COUNCIL PARKING AND BUSINESS IMPROVEMENT AREA DISTRICT NO. 4 (FY 2013-14)

WHEREAS, the City Council of the City of Carpinteria, California, did in Resolution No. 5449, adopted March 25, 2013, pursuant to the provisions of Chapters 3 and 4 "Parking and Business Improvement Area Law of 1989" of the State of California (Part 6 of Division 18 Section 36530 et seq. of the Streets and Highways Code of said State), require the Parking and Business Improvement Area Advisory Board and the City Manager to make and file with the Clerk of the City Council a report in writing, presenting certain matters relating to the proposed acquisition, construction or maintenance of parking facilities for the benefit of the area; decoration of any public place in the area; promotion of public events which are to take place on or in public places in the area; furnishing music in any public place in the area; and general promotion of business activities in the area as contemplated under the provisions of said "Parking and Business Improvement Area Law of 1989"; and

WHEREAS, said Parking and Business Improvement Area Advisory Board and City Manager, pursuant to the requirements of said City Council as expressed in said Resolution and of said law, did make and on the 13th day of May, 2013, file in the office of the City Clerk (who is ex-officio Clerk of the City Council) of said City, the report in writing responsive to the requirements of said Resolution and as contemplated under the provisions of said "Parking and Business Improvement Area Law of 1989"; and

WHEREAS, said City Clerk has presented the said report to the City Council of said City, and said Council has proceeded to carefully examine, inspect and consider the said report and is satisfied with said report and with each and all of the items therein set forth;

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CARPINTERIA, CALIFORNIA, DOES HEREBY RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That the report of the Parking and Business Improvement Area Advisory Board and City Manager of the City of Carpinteria, California, bearing date of the 13th of May, 2013, which said report was prepared and filed pursuant to the requirements of the provisions of Resolution No. 5449 of the City Council of said City and in conformity with the provisions of the "Parking and Business Improvement Area Law of 1989," of the State of California, (Part 6 of Division 18 of the Streets and Highways Code of said State), and which said report was filed in the office of the City

Clerk of the City of Carpinteria, California, on the 13th day of May, 2013, be and the same is hereby approved as so prepared, presented and filed.

SECTION 2. That the City Clerk shall certify to the passage and adoption of this resolution; shall cause the same to be entered among the original resolutions of the City Council of said City and shall make a minute of the passage and adoption thereof in the records of the proceedings of the City Council of said City in the minutes of the meeting at which the same is passed and adopted.

PASSED, APPROVED AND ADOPTED this 13th day of May, 2013 by the following called vote:

AYES: COUNCIL MEMBER:

NOES: COUNCIL MEMBER:

ABSENT: COUNCIL MEMBER:

_____
Mayor, City of Carpinteria

ATTEST:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held the 13th day of May, 2013.

_____
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

_____
Peter Brown
City Attorney

Attachment F

RESOLUTION NO. 5457

A RESOLUTION OF THE CARPINTERIA CITY COUNCIL DECLARING ITS INTENTION TO ORDER THE CONTINUATION OF AN ASSESSMENT DISTRICT AND COLLECT ASSESSMENTS PURSUANT TO THE PARKING AND BUSINESS IMPROVEMENT AREA LAW OF 1989 FOR PURPOSES OF ACQUISITION, CONSTRUCTION OR MAINTENANCE OF PARKING FACILITIES AND GENERAL PROMOTION OF BUSINESS ACTIVITIES IN THE AREA DESCRIBED AS SHOWN ON THE PLAN AND DIAGRAM FOR THE FISCAL YEAR COMMENCING JULY 1, 2013 AND ENDING JUNE 30, 2014; AND APPOINTING A TIME AND PLACE FOR HEARING PROTESTS IN RELATION THERETO -- CARPINTERIA PARKING AND BUSINESS IMPROVEMENT AREA DISTRICT NO. 4 (FY 2013-14)

THE CITY COUNCIL OF THE CITY OF CARPINTERIA, CALIFORNIA, DOES HEREBY RESOLVE, DECLARE, DETERMINE AND ORDER AS FOLLOWS:

SECTION 1. That the public interest and convenience require, and that it is the intention of the City Council of the City of Carpinteria, California, to order the continuation of an assessment district known as the Carpinteria Parking and Business Improvement Area District No. 4 and to levy and collect assessments pursuant to the Parking and Business Improvement Area Law of 1989 (Streets and Highways Code 36500 et seq.) and to order the acquisition, construction and maintenance of parking facilities as well as to undertake such other activities for the purpose of the general promotion of business activities within the District as described herein, shown on the diagram and plan for the Carpinteria Parking and Business Improvement Area District No. 4, all as on file in the office of the City clerk, for the fiscal year beginning July 1, 2013.

SECTION 2. The following summarizes the proposed boundaries, assessments and programs for Fiscal Year 2013-14 for Improvement Area District No. 4:

1. The boundaries of the Parking and Business Improvement Area District No. 4 are proposed to be unchanged from FY 1997-98.

2. The General Business Assessment, applicable to all businesses within the Improvement Area District No. 4, for FY 2013-14 is proposed to be increased to $119.00 per business per year and increase annually with inflation not to exceed 3 percent in a given year.

3. The Parking Lot #3 assessment within Sub-Area "A" will be $51.00 per parking space shortfall per business as detailed in the Report dated May 13, 2013.

4. Proceeds from the General Business Assessment will be used to promote and advertise business activities within the Improvement Area develop a directional signage program and contribute to parking lot maintenance activities.

SECTION 3. To expedite the making of said improvement, the City Council may at any time transfer into the Carpinteria Parking and Business Improvement Area District No. 4 Fund, from the General Fund, such sums as it shall deem necessary, and the sums so transferred shall be deemed a loan to such Fund and shall be repaid out of the proceeds of the assessments provided for in this resolution, and pursuant to the provisions of the "Parking and Business Improvement Area Law of 1989," referred to herein.

SECTION 4. That said contemplated work and improvement, in the opinion of the City Council, is of more than local or ordinary benefit, and said Council hereby makes the expense of said work and improvement chargeable upon a district, which district said Council hereby declares to be the district benefited by said work and improvement, and to be assessed to pay the cost and expense thereof, which said district consists of portions of the City of Carpinteria as shown on the Diagram and Plan for said District No. 4 on file in the office of the City Clerk, and to which said Diagram and Plan reference is hereby made for a complete and detailed description of said district, excepting from said district any portion of any public street, alley or court that may be included therein. The said Diagram and Plan so on file shall govern for all details as to the extent of said assessment district.

SECTION 5. Any lots or parcels of land known as public property, as the same is defined in Section 22663, Streets and Highways Code, hereinafter referred to, which are included in the said assessment district, shall be omitted and exempt from the assessment to be made to cover the costs and expenses of said contemplated improvement.

SECTION 6. The improvement contemplated by this Resolution of Intention shall be done under the provisions of the "Parking and Business Improvement Area Law of 1989" (now Part 6 of Division 18 of the Streets and Highways Code of the State of California).

SECTION 7. That Tuesday May 28, 2013, at the hour of 5:30 P.M. of said day, be and the same is hereby appointed as the time, and the Council Chamber in the City Hall, at 5775 Carpinteria Avenue in the City of Carpinteria, California, is hereby appointed as the place for hearing protests in reference to said improvement.

SECTION 8. That the City Clerk is hereby authorized, designated and directed to give notice of said hearing in time, form and manner as required by law.

SECTION 9. That the Coastal View, a newspaper of general circulation, published in the County of Santa Barbara and circulated in the City of Carpinteria, California, is hereby designated as the newspaper in which such notice shall be published.

SECTION 10. That this resolution shall take effect immediately, and the City Clerk shall certify to the passage and adoption of this resolution; shall cause the original of the same to be entered among the original resolutions of the City Council of said City; and

shall make a minute of the passage and adoption thereof in the records of the proceedings of the City Council of said City in the minutes of the meeting at which the same is passed and adopted.

PASSED, APPROVED AND ADOPTED this 13th day of May, 2013 by the following called vote:

AYES: COUNCIL MEMBER:

NOES: COUNCIL MEMBER:

ABSENT: COUNCIL MEMBER:

_____
Mayor, City of Carpinteria

ATTEST:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held the 13th day of May, 2013.

_____
City Clerk, City of Carpinteria

APPROVED AS TO FORM:

_____
Peter N. Brown
City Attorney

Agenda Section: Public Hearings
Agenda Item #8
Report # 13-56

STAFF REPORT
COUNCIL MEETING DATE:
May 28, 2013

ITEM FOR COUNCIL CONSIDERATION:

Public Hearing confirming the Engineer's Report, Ordering the Improvement and Levying Annual Assessment for Assessment District No. 5 for the 2013-14 Fiscal Year.

Report prepared by:
Matthew Roberts, Parks and Recreation Director — Signature

Reviewed by:
Dave Durflinger, City Manager — Signature

RECOMMENDATION:

Action Item: √ Non-action item: __

1. Following the Staff Report, open the public hearing and receive any testimony and/or protests concerning the continuation of Assessment District No.5 for Fiscal Year 2013-14.
2. Close the public hearing and continue the District for Fiscal Year 2103-14, by adopting the attached Resolution 5464, as read by title only.

Motion: I move to adopt Resolution No. 5464 as read by title only.

I. BACKGROUND:

The Winter Protection Berm Assessment District No. 5 was formed by Resolution No. 3061 dated December 14, 1992. An assessment is a charge levied on real property for a local public improvement or service that specifically benefits that property. Revenue generated from an assessment district must be used for the specific purpose for which it is collected. District No. 5 assesses owners of ocean front real property within the District's boundaries to partially fund the annual construction and removal of the Winter Protection Berm.

The District was formed under provisions of the Municipal Improvement Act of 1913 that is embodied in the California Streets and Highways Code. In order to comply with Proposition 218, a vote of land owners within the District was held on January 13, 1997. The recurring annual assessment was approved by 70% of these owners.
In order to continue the existing annual assessment, the City follows the provisions of the Streets and Highways Code §22620 that applies to all annual assessments levied after the formation of an assessment district.

The notice of the Public Hearing for this District has been made in conformance with Section 6061 of the Government Code. Adoption of Resolution No. 5451 to initiate proceedings.

A summary of the steps that may be required to levy the annual assessment are provided below;

Event	Date	Resolution #
1. Resolution to Initiate Proceedings	March 25, 2013	5451
2. Public Meeting held	April 22, 2013	
3. Filing of Engineer's Report	April 22, 2013	
4. Resolution of Intention	April 22, 2013	5459
5. Public Hearing held	May 28, 2013	
6. Resolution Confirming Report, Ordering Improvement And Levying Annual Assessment	May 28, 2013	5464

The Engineer's Report, that was ordered pursuant to the City of Carpinteria Resolution Number 5459 and considered by the City Council at its April 22, 2013, meeting contains the following:

A. Plans and specifications of the winter berm project.
B. An estimate of the costs of the project.
C. An assessment role.
D. A statement of the method in which project costs were apportioned to each benefited parcel of land within the district.
E. A list of the names and addresses of each owner of property within the district's boundaries known to the City.
F. An assessment diagram.
G. A statement which confirms the collection of assessments for the project may be subsequent to the work for the project.
H. A statement of the total amount of assessments for all properties with in district's boundaries which remains unpaid and the total true value, as near as may be determined, of the parcels of land and improvements that are proposed to be assessed. This is provided pursuant to §2961 of California's Streets and Highways Code known as the Majority Protest Act of 1931.

The City Council, at is discretion, may modify the findings of this report in any respect (§10300 Streets and Highway code) and the modified report will stand as the report for

all subsequent proceedings except that the City Council may not change the boundaries of the district to include any territory which will not, in its judgment, be benefited by the improvement. If the City Council determines to increase the amount of the assessment or enlarge the boundaries of the district beyond that which is proposed in the Engineer's Report, all property owners must be noticed again and the public hearing process would need to be restarted allowing for at least forty-five days advance noticing (§54954.6 Gov. Code).

II. POLICY:

The City's winter protection berm is an important public safety project that protects public and private property improvements along the City Beach in the City of Carpinteria. The intended purpose of the berm is to provide a measure of protection to the housing front on the Carpinteria City Beach. Protection is needed during the winter in the event of a severe winter storm. Historically, powerful waves generated by large Pacific Ocean storms have been known to overrun and flood local beaches and coastal structures. The winter protection berm is intended to help reduce the frequency of damage to the housing front which otherwise might occur if no berm was built.

III. FINANCIAL CONSIDERATIONS:

The City utilizes the revenue from Assessment District No. 5 to partially pay for the construction and removal of the Winter Protection Berm. Should the District not collect the funds as programmed, the City would need to find an alternative source of funds or discontinue the Winter Protection Berm program.

IV. LEGAL ISSUES:

The minimal protection provided by the berm is not intended to serve as a substitute for any private storm protection improvements or private flood insurance. The winter protection berm is not impervious to being destroyed itself. Even with the winter protection berm in place, the possibility of damage to public and private improvements by winter storms still exists.

V. ATTACHMENTS:

A. Resolution No. 5464

RESOLUTION NO. 5464

A RESOLUTION OF THE CARPINTERIA CITY COUNCIL LEVYING THE ANNUAL ASSESSMENT FOR ASSESSMENT DISTRICT NO. 5 (Pursuant to the Municipal Improvement Act of 1913)

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CARPINTERIA DOES HEREBY RESLOVE, FIND, DETERMINE AND ORDER AS FOLLOWS:

This City Council has taken a series of actions preliminary to assessing the parcels of real property within the boundaries of Assessment District No. 5, and now makes the following findings and orders:

1. The City Council adopted its Resolution Initiating Proceedings for the improvement described therein under the Municipal Improvement Act of 1913, and directed the Engineer of Work for the Assessment District, to prepare the Report required by section 10203 and following of the Streets and Highways Code.

The Report describes the District improvements generally as follows:
The annual installation and removal of The Carpinteria Beach Winter Protection Berm that is located along the entire length of the Carpinteria City Beach between Linden Avenue and the western boundary of Carpinteria City.

2. The Engineer of Work filed the report as directed, and the City Council adopted its Resolution of Intention to levy and collect assessments within the Assessment District for fiscal year 2013-2014 and set a public hearing to be held on May 28, 2013 at Carpinteria City Hall, 5775 Carpinteria Avenue, Carpinteria, CA 93013. Notice of the hearing was given in the time and manner required by law.

3. At the public hearing, the City Council afforded to every interested person an opportunity to make a protest to the annual report either in writing or orally, and the City Council has considered each protest received.

4. The City Clerk has determined that a majority protest does not exist.

5. The City Council hereby confirms Engineers Report, orders the improvement as described and hereby levies the assessment set forth therein for fiscal year 2013-2014.

The Carpinteria City Clerk shall certify to the passage and adoption of this Resolution; shall cause the same to be entered among the original resolutions of the City Council of the City of Carpinteria and shall make a minute of the passage and adoption thereof in the records of the proceedings of the Carpinteria City Council in the minutes of the meeting at which this resolution is passed and adopted.

PASSED, APPROVED AND ADOPTED this 28th day of May, 2013 by the following called vote:

AYES: COUNCIL MEMBER:

NOES: COUNCIL MEMBER:

ABSENT: COUNCIL MEMBER:

_____
Mayor, City of Carpinteria

Attest:

_____
City Clerk, City of Carpinteria

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held the 28th day of May, 2013.

_____
City Clerk, City of Carpinteria

Approved as to Form:

_____
City Attorney, City of Carpinteria

AGENDA SECTION: OTHER BUSINESS
AGENDA ITEM # 9
REPORT # 13-57

STAFF REPORT
COUNCIL MEETING DATE
May 28, 2013

ITEM FOR COUNCIL CONSIDERATION

ADOPTION OF RESOLUTION NO. 5458, A DETERMINATION THAT THE PARKING OF BUSINESS RELATED VEHICLES IN CONJUNCTION WITH A HOME OCCUPATION, UNDER CERTAIN CONDITIONS, IS CONSISTENT WITH CARPINTERIA MUNICIPAL CODE SECTION 14.50.030.

Report prepared by: Silvia Echeverria, Code Compliance Supervisor
Department: Community Development

Silvia Echeverria
Signature

Reviewed by: Jackie Campbell
Community Development Director

Jackie Campbell
Signature

City Manager: Dave Durflinger

Signature

STAFF RECOMMENDATION

ACTION ITEM X ; NON-ACTION ITEM ___

DETERMINE THAT THE PARKING OF BUSINESS RELATED VEHICLES IN A RESIDENTIAL ZONE DISTRICT IN ASSOCIATION WITH A HOME OCCUPATION IS NOT, BY ITSELF, A VIOLATION OF THE CITY'S HOME OCCUPATION REGULATIONS.

FURTHER DETERMINE THAT THE ILLEGAL PARKING OF VEHICLES (INCLUDING BUT NOT LIMITED TO OVERWEIGHT VEHICLES OR THOSE OF EXCESSIVE LENGTH), VEHICLE DISPATCHING, NUISANCE ACTIVITIES SUCH AS VEHICLE LOADING, NOISE, ODOR AND LITTER, AND ANY OTHER VIOLATION OF LOCAL OR STATE LAW WILL REMAIN PROHIBITED AND SUBJECT TO ENFORCEMENT.

MOTION: I MOVE THAT THE CITY COUNCIL ADOPT RESOLUTION NO. 5458, AS READ BY TITLE ONLY.

I. BACKGROUND

The Home Occupation regulations contained in the Carpinteria Municipal Code ("CMC") generally regulate the manner in which a person may conduct a business from a residence. Section 14.50.030 of the CMC contains eleven subsections regulating home occupations. A Home Occupation is defined by the CMC as follows:

> *"Home occupation" means an occupation conducted within not more than one room of the dwelling portion of a building, requiring no structural alterations to be made, conducted solely by the occupants of the dwelling unit, with no displays, no sale of commodities upon the premises, no advertising signs used on the premises, which does not require nor permit more than five customers, patients, clients, students or other persons served by said occupation to be on the premises at one time, and which is strictly secondary and subordinate to the primary residential use and does not change nor detrimentally affect the residential character of the dwelling, or the premises, or the neighborhood.*

Home Occupation related activities at a residence and/or additions or alterations to a residence that have been determined to undermine the City's single family residential land use policies and regulations are prohibited.

At issue here are the provisions of CMC §14.50.030(9)(10). Subsection nine states, "No vehicles or trailers except those incidental to the residential use shall be kept on the site" and subsection ten states, "A home occupation shall be strictly secondary and subordinate to the primary residential use and shall not change or detrimentally affect the residential character of the dwelling, the premises, or the neighborhood."

Staff has interpreted these provisions to prohibit operators of Home Occupations from keeping business related vehicles at the home unless they are out of sight, e.g., parked in a garage, or can't be distinguished from personal vehicles, e.g., they don't have signs or are not of a size or type to suggest commercial, utilitarian purpose. Attachment A to this report shows examples of business related vehicles.

Other than these Home Occupation restrictions, the only unique restrictions on parking of business related vehicles on residential neighborhood streets is the prohibition on commercial vehicles that exceed an established weight limit (CMC §10.28.160), and related regulations that provide limited exceptions to commercial vehicles exceeding the weight limit being allowed to park temporarily in residential neighborhoods, e.g., for deliveries. This means that many business vehicles that are passenger vehicles, vans, pick-up trucks, i.e., those that don't exceed the commercial vehicle weight limit, and are not associated with a Home Occupation business, can and do legally park in residential neighborhoods throughout Carpinteria.

The City's regulations result in two classes of commercial vehicles parking in residential neighborhoods: those that are associated with a Home Occupation and can be found in violation, and those that are not associated with a Home Occupation and can legally park. For example, a resident that operates a plumbing business from home and parks the businesses van at the residence or on the street in front of the residence, can be found in violation of the City's Home Occupation regulations; however, a resident that works for a Santa Barbara plumber and drives a company work van home each night can park at the home or on the street legally.

In this context, making a distinction between legally and illegally parked business vehicles requires an inordinate amount of investigation by Code Enforcement officers and is confusing and frustrating to residents and Home Occupation business owners. For this reason, the City generally responds to complaints concerning parking of commercial vehicles in residential zones but is not proactive in enforcement.

Enforcement of the vehicle related Home Occupation provisions were also a subject considered by the Neighborhood Preservation Committee, which recommended (Attachment C) that certain changes be considered, in part, to normalize the way the City regulates parking of vehicles associated with a Home Occupation and similar vehicles that are not.

The purpose of this agenda item is to allow the City Council to consider taking action that would interpret as a matter of public policy the City's Home Occupation regulations related to parking of business related vehicles in residential areas.

II. DISCUSSION

The situation described in the Background section above has brought to staff's attention that the Home Occupation regulations under §14.50.030 may not be the most appropriate means of regulating the parking of business related vehicles in a residential neighborhood. Instead, staff believes that pertinent issues raised by the parking of business related vehicles in residential zones can be adequately addressed through enforcement of those provisions of the municipal code concerning the parking of commercial vehicles in a residential neighborhood. In addition, staff intends to address this issue in its ongoing comprehensive update of the City's Zoning Code.

Staff is requesting, based on the facts and findings discussed in this report and included in the draft Resolution attached, that the City Council determine that vehicles parked at a residence or on a residential street in association with a Home Occupation business that do not exceed weight limits established at CMC §10.28.060, and otherwise comply with all local regulations and state vehicle code requirements, are considered to be incidental to residential use of a property, are secondary and subordinate to the residential use, and do not change or detrimentally affect the residential character of the dwelling. Staff also requests that this determination be limited to legally parked vehicles, and asks that the City Council confirm that vehicle dispatching, vehicle loading activity, vehicle related nuisances such as noise, odor or litter, and any other violation of local or state law remain in effect and fully enforceable.

III. FINANCIAL

There is no financial impact of not enforcing the Home Occupation Code §14.50.030 Subsections nine and ten on the parking of commercial vehicles. Non-enforcement of these sections may save the City money in that if Administrative Citations are not challenged, this will reduce staff time as well as City Attorney costs to review citations and prepare for Administrative Citation Appeal Hearings.

IV. LEGAL ISSUES

Attached is a Resolution (Attachment D) determining that parking of certain business related vehicles does not violate the City's Home Occupation regulations. The Resolution shall remain in effect unless and until the City Council takes action to alter or rescind this Resolution.

The City Council finds that this Resolution is not subject to the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines §15060(c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical change in the environment) and §15060(c)(3) (the activity is not a project as defined in §15378) (Title 14, of the California Code of Regulations), because it has no potential for resulting in physical change to the environment, directly or indirectly.

V. ATTACHMENTS

Attachment A	Photograph Examples of Business Related Vehicles and Vehicles that exceed Weight Limits for Residential Zones
Attachment B	CMC §10.28.160
Attachment C	Recommendation of the Neighborhood Preservation Committee
Attachment D	Resolution No. 5458

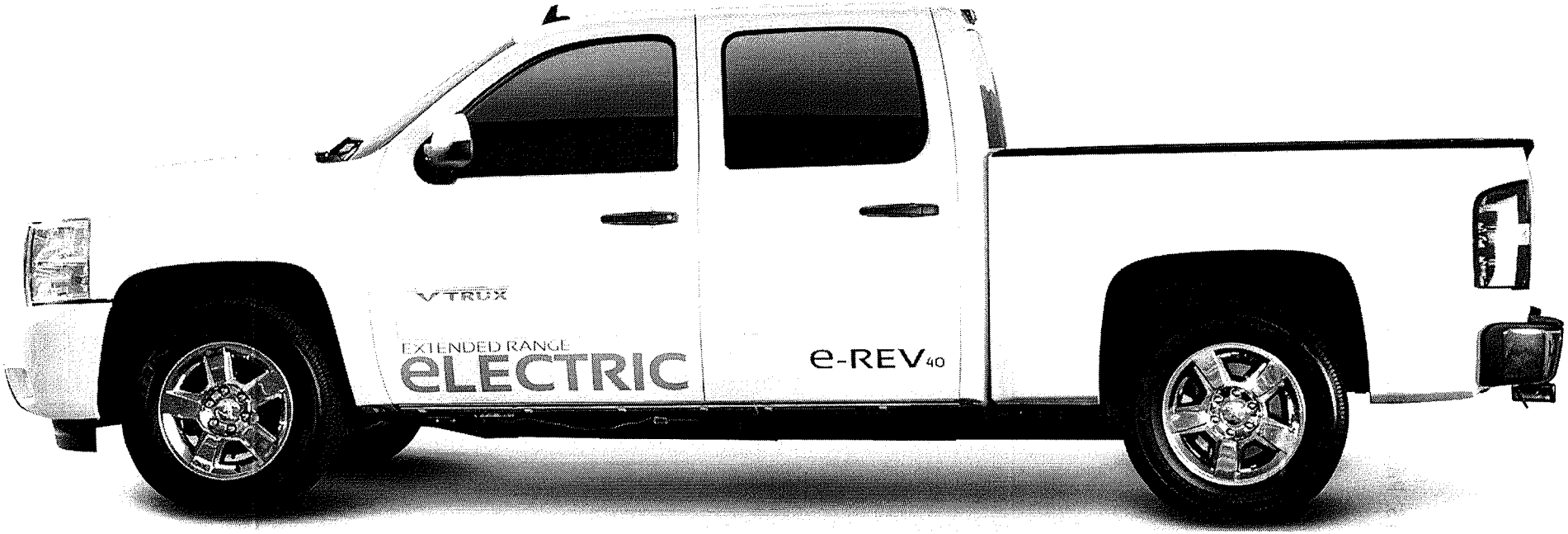
Attachment A

Examples of Business Related Vehicles and Table of Commercial Vehicle Classifications based on Gross Vehicle Weight

THIS PAGE INTENTIONALLY LEFT BLANK


F150
NEW VENTURE
Restoration
HISTORIC PRESERVATIO
802 645-9896
WEST PAWLET, VT.
VtRenovations.com

THIS PAGE INTENTIONALLY LEFT BLANK


VTRUX
EXTENDED RANGE
ELECTRIC
e-REV40

THIS PAGE INTENTIONALLY LEFT BLANK


T&K's

THIS PAGE INTENTIONALLY LEFT BLANK


CONNECTICUT
SIDING
WINDOWS
346-6011

THIS PAGE INTENTIONALLY LEFT BLANK

THIS PAGE INTENTIONALLY LEFT BLANK

THIS PAGE INTENTIONALLY LEFT BLANK

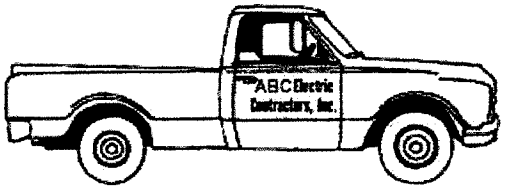
Classifying Commercial Vehicles

LIGHT TRUCKS—up to 10,000 lbs. GVW

Light trucks are of the pickup or light van type. It is very unusual—although possible—for vehicles of these types to have a GVW over 10,000 lbs. Please note that the GVW on step vans can vary between 8,000 lbs. and 17,000 lbs., depending upon the size.

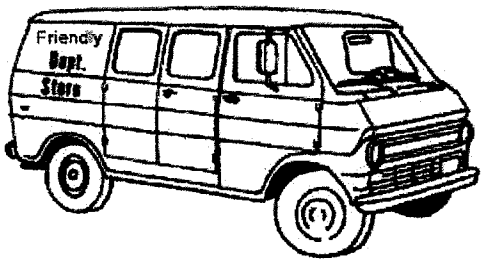
Used to transport the contractor's tools and equipment to job site and principally parked at the job location for the majority of the working day. **No other use.**

Business class is *Service.*



This is operated by a department store for the delivery of goods purchased by its customers to their homes.

The business use class is *Retail.*



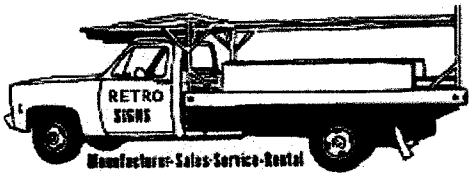
MEDIUM TRUCKS—10,001 lbs. to 20,000 lbs. GVW

The manufacturer usually refers to vehicles in this weight category as "1½ tons" to "2 tons."

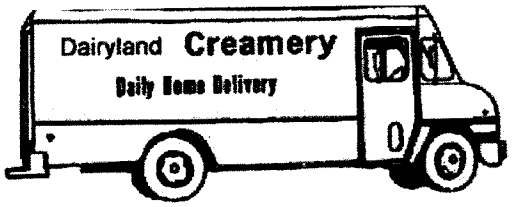
Please take care in verifying GVW since some vehicles that have a manufacturers GVW between 10,000 and 20,000 lbs. often show a weight under 10,000 lbs on the vehicle registration and other vehicles though having a GVW in excess of 20,000 lbs, are registered under 20,000 lbs.

Sign contractor's truck used to bring signs, equipment and tools to job site; principally parked at the job location for most of the working day. **No pickup or delivery of goods to others.**

Business use class is *Service.*



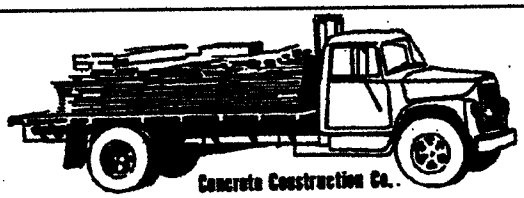
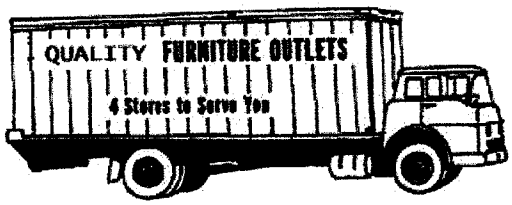
THIS PAGE INTENTIONALLY LEFT BLANK

Door-to-door delivery of milk by creamery. **Business use class is *Retail.***	

HEAVY TRUCKS—20,001 lbs. to 45,000 lbs. GVW

Many trucks other than light trucks will fall into this category. The manufacturer usually refers to these trucks as "2½ tons to "4½ tons" and in some cases up to "5 tons."

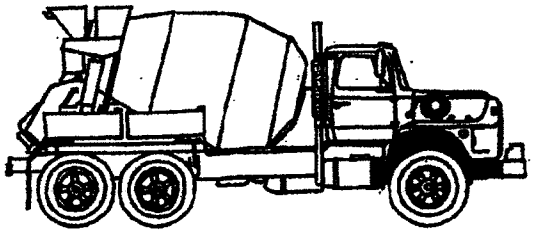
Although many of the 2½-ton trucks will have a gross *registered* weight 20,000 lbs. or less, the GVW given by the manufacturer must still be used.

Concrete forms being brought to job site by building contractor; vehicle principally parked at the job location for most of the working day. **Business use class is *Service.***	
Delivery of furniture to retail customers by store. **Business use class is *Retail.***	

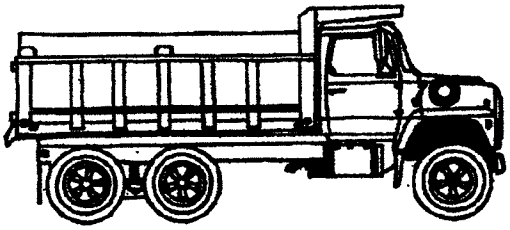
EXTRA HEAVY TRUCKS—over 45,000 lbs. GVW

There are no separate business use classifications for vehicles falling into this weight category. All trucks in this category carry the same class and factor.

Many trucks falling into this category will be the very large dump trucks and the larger mix-in-transit trucks. Vehicles in this weight range will have a nominal rating of 4½ tons and above.

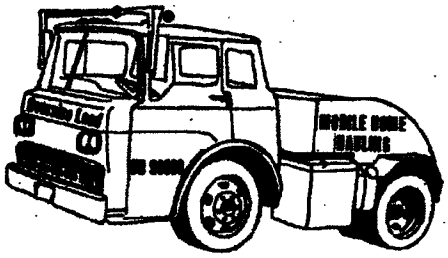
Mix-in-transit truck	

THIS PAGE INTENTINONALLY LEFT BLANK

Dump truck	

HEAVY TRUCK TRACTORS—up to 45,000 lbs. GCW

Tractors in this weight category are the smaller tractors and trucks equipped with a fifth wheel for hauling semi-trailers or mobile homes (known as toters). Strange as it may seem, this category includes those pickups that are equipped to pull semi-trailers used for the transportation of auto, fiberglass boats, etc, commonly referred to as hot shots.

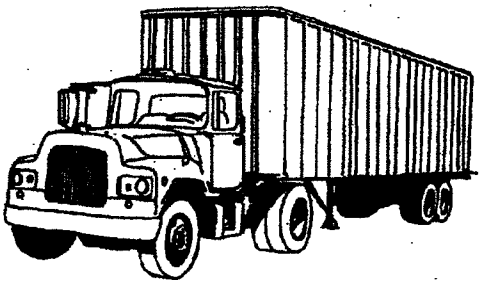
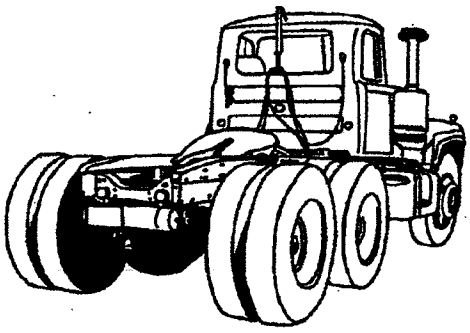
Tractor hauling mobile homes	

Note 1: Very few tractors of this size exist. They are limited to tractors used for hauling very light loads.

Note 2: When classifying tractors, please take care not to confuse GVW with GCW. GVW is given on tractors for registration purposes only and will always be less than the needed GCW.

EXTRA HEAVY TRUCK TRACTORS—over 45,000 lbs. GCW

The majority of tractors fall into this category. It does not matter if the tractor is single rear axle or dual rear axle. If the GCW is over 45,000 lbs., it is classified under this category.

THIS PAGE INTENTIONALLY LEFT BLANK

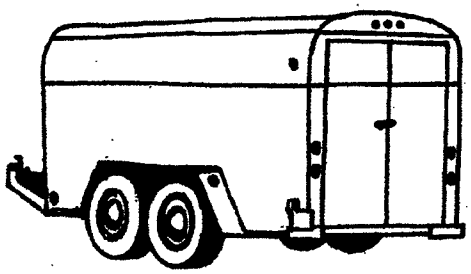
Note 1: Although no business use classifications apply to extra heavy truck tractors, secondary classifications do.

Note 2: When classifying truck tractors, please take care not to confuse GVW with GCW. GVW is given for registration purposes only and will always be less than the needed GCW.

TRAILER TYPES (3 types)

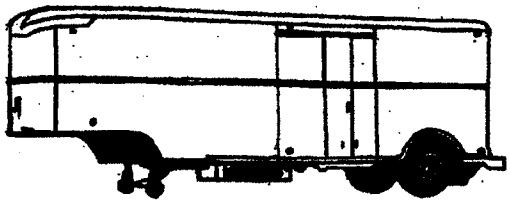
1. **Service or utility trailer**

Trailers or semi-trailers, with a capacity of 2,000 lbs. or less. There is no premium charge for BI and PD.

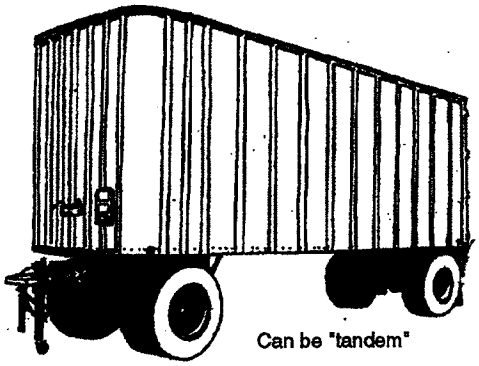


2. **Semi-trailer**

Trailers with a load capacity of 2,000 lbs. with wheels at rear only, equipped with a fifth wheel coupling device and hauled behind tractors.



3. **Trailers:** All other types of trailers including Tilt Bed Trailers with load capacities over 2,000 lbs.



Note: Secondary classifications and factors do not apply to trailers of any type except for dump trailers. For dump trailers secondary designator "OT" applies.

THIS PAGE INTENTIONALLY LEFT BLANK

Attachment B

10.28.160 - Parking of certain large commercial vehicles prohibited—Exceptions.
Pursuant to the provisions of Vehicle Code Section 22507.5, the parking or standing on any street or portions thereof, in any residential district in the city, of any commercial vehicle having a manufacturers gross vehicle weight rating of ten thousand pounds or more, is prohibited at any time, except for emergency parking of disabled vehicles; provided, further, that this section shall not apply to any commercial vehicle making pickups or deliveries of goods, wares and merchandise from or to any building or structure located on such streets, nor to any commercial vehicle delivering materials to be used in the actual and bona fide repair, alteration, remodeling or construction of any such building or structure for which a building permit has previously been obtained, nor to utility vehicles performing work operations, or other commercial vehicles exempted by law from parking restrictions.

Attachment C

Neighborhood Preservation Committee Recommendation No. 3a

Update Zoning Code to define home occupation, reduce maximum number of visitors at a time, restrict hours to 6:00 a.m. to 10:00 p.m., relax maximum number of daily visitors, authorize one commercial vehicle in public view, revisit size and type of vehicles allowed in residential zones, prohibit radio-dispatched vehicles that create noise (such as tow trucks) and prohibit refuse vehicles or panel or state-bed trucks.

RESOLUTION NO. 5458

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CARPINTERIA DETERMINING THAT THE PARKING OF BUSINESS RELATED VEHICLES IN CONJUNCTION WITH A HOME OCCUPATION, UNDER CERTAIN CONDITIONS, IS CONSISTENT WITH CARPINTERIA MUNICIPAL CODE SECTION 14.50.030

WHEREAS, CMC §15.50.030 sets out standards for the conduct of home occupations; and

WHEREAS, CMC §15.50.030 subsections nine and ten require that no vehicles or trailers except those incidental to the residential use shall be kept on the site and that a home occupation shall be strictly secondary and subordinate to the primary residential use and shall not change or detrimentally affect the residential character of the dwelling, the premises, or the neighborhood; and

WHEREAS, Many residents in Carpinteria use a commercial vehicle in their employment whether working from home or elsewhere; and

WHEREAS, The presence of a commercial vehicle associated with a dwelling by itself does not necessarily detrimentally affect the residential character; and

WHEREAS, CMC §10.28.090 provides standards to regulate large commercial vehicles in residential neighborhoods that may impact the character of a dwelling or a neighborhood and will continue to be enforced; and

WHEREAS, The ongoing comprehensive zoning code update will address the matter of parking commercial vehicles in residential areas allowing the City Council to adopt regulations to preserve the character of Carpinteria's residential neighborhoods.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CARPINTERIA DOES HEREBY RESOLVE, DETERMINE and ORDER AS FOLLOWS:

Section 1. That the parking of commercial vehicles in residential neighborhoods shall not by itself alone constitute a violation of subsections nine and ten of Carpinteria Municipal Code §14.50.030.

Section 2. That the illegal parking of vehicles (including but not limited to overweight vehicles or those of excessive length), vehicle dispatching, nuisance activities such as vehicle loading, noise, odor and litter, and any other violation of local or state law will remain prohibited and subject to enforcement.

Section 3. The provisions of this resolution shall be effective immediately upon adoption and shall remain in effect until the City Council takes action to alter or rescind this Resolution.

PASSED, APPROVED AND ADOPTED this 28th day of May 2013, by the following called vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBER(S):

ABSENT: COUNCILMEMBER(S):

_____
MAYOR, CITY OF CARPINTERIA

ATTEST:

_____
CITY CLERK, CITY OF CARPINTERIA

I hereby certify that the foregoing resolution was duly and regularly introduced and adopted at a regular meeting of the City Council of the City of Carpinteria held the 28th day of May 2013.

_____
CITY CLERK

APPROVED AS TO FORM:

_____
PETER N. BROWN
CITY ATTORNEY

AGENDA SECTION: OTHER BUSINESS
AGENDA ITEM # 10
REPORT # 13-58

STAFF REPORT
COUNCIL MEETING DATE:
May 28, 2013

ITEMS FOR COUNCIL CONSIDERATION:

Letter of support for the Federal TIGER (Transportation Investment Generating Economic Recovery) program grant application for the Carpinteria Creek U.S. 101 Bridge widening project.

Report prepared by: Melissa Angeles, Engineering Technician
Department: Public Works

Melissa Angeles
Signature

City Manager: _____
Signature

ACTION X NON-ACTION ___ **STAFF RECOMMENDATION:**

Motion: I move to authorize the Mayor to sign the attached letter, consistent with the request from the Santa Barbara County Association of Governments (SBCAG) to support the Federal TIGER (Transportation Investment Generating Economic Recovery) program grant application for the Carpinteria Creek U.S. 101 Bridge widening project.

I. BACKGROUND/DISCUSSION:

In response to the increasing traffic congestion on U.S. 101 and local freeway interchange deficiencies, the Santa Barbara County Association of Governments (SBCAG), Caltrans and the City of Carpinteria have been actively making efforts to widen the U.S. 101 freeway in south Santa Barbara County which includes the replacement of the Linden Avenue and Casitas Pass Road Interchanges. The Linden Avenue and Casitas Pass Road Interchanges Project provides numerous benefits including increased capacity for reduced congestion and interregional goods movement, improved safety and multi-modal access and jobs creation. The freeway widening will help protect the economic viability of the entire region by reducing travel delays.

A key element of the Linden Avenue and Casitas Pass Road Interchanges Project is the Carpinteria Creek U.S. 101 Bridge replacement. SBCAG is submitting a grant application to the Federal TIGER (Transportation Investment Generating Economic Recovery) program to obtain a $15 million grant to fund the Carpinteria Creek U.S. 101 Bridge reconstruction that is part of the Linden Avenue and Casitas Pass Road Interchanges Project. The bridge project at this

location will widen the U.S. 101 freeway to three lanes in both directions, will increase the flood capacity of Carpinteria Creek at the freeway, provide an all-weather bicycle and pedestrian path along the creek, and restore creek habitat in the area.

SBCAG has requested a letter of support from the City in an effort to obtain the Federal TIGER program grant to fund the Carpinteria Creek U.S. 101 Bridge widening project. Staff has formatted a sample letter provided by SBCAG for Council's review and Mayor's signature. If approved, the letter will be sent to the Federal Department of Transportation via SBCAG in support of the grant request.

II. ATTACHMENT:

Attachment A – Letter of Support

ATTACHMENT A

CITY of CARPINTERIA, CALIFORNIA

May 28, 2013

Jim Kemp, Executive Director
Santa Barbara County Association of Governments
260 North San Antonio Rd., Suite B
Santa Barbara, CA 93110

RE: TIGER Application for the U.S. 101 HOV Widening and Linden Avenue and Casitas Pass Road Interchanges Projects

Dear Mr. Kemp:

The City of Carpinteria strongly supports the Santa Barbara County Association of Governments (SBCAG) efforts to widen the U.S. 101 freeway in south Santa Barbara County. Increasing traffic congestion on the 101 threatens the regional economy by making the area less attractive to visitors from southern California, impacting the ability of local manufacturers and the agricultural industry to get their products to market and makes recruiting and retaining employees harder for local businesses.

The U.S. 101 HOV Widening and Linden Avenue and Casitas Pass Road Interchanges Projects (the Project) were presented to the public as the region's highest priority in Measure A, the local transportation sales tax measure that was approved by nearly 80% of county voters in November 2008. Measure A allocated $140 million of local transportation sales tax funds to the widening of U.S. 101. Development of the Measure A Strategic Plan, which outlines how the projects promised to the voters in Measure A will be completed over the next 30 years, has underscored the critical need to obtain new sources of federal and state funding to complete the Project.

U.S. 101 is one of only two north-south interregional highways between Los Angeles and San Francisco. When Interstate 5 is closed because of accidents, fires, snow, or other inclement weather, all north-south traffic in California is diverted to the U.S. 101 freeway. It is the primary artery along the Central Coast and is vital to statewide commerce; this is reflected by its designation as a state Focus Route and High Emphasis Route. The corridor is a principal arterial on the National Highway System. It serves as a Strategic Highway Network Route, as well as a State Highway Extra Legal Load Route and is part of the National Truck Network. The corridor provides access from California's Central Coast agricultural operations to markets around the country.

A key element of the Project is the Carpinteria Creek U.S. 101 Bridge widening portion of the Project. The TIGER grant application would fund the Carpinteria Creek U.S. 101 Bridge reconstruction that is part of the Linden Avenue and Casitas Pass Road Interchanges Project. The bridge project at this location will widen the U.S. 101 to three lanes in both directions, will increase the flood capacity of Carpinteria Creek at the freeway, provides an all-weather bicycle and pedestrian path along the creek, and restores creek habitat in the area.

5775 CARPINTERIA AVENUE • CARPINTERIA, CA 93013-2603 (805) 684-5405 • FAX (805) 684-5304
www.carpinteria.ca.us

The U.S. 101 HOV Widening and Linden Avenue and Casitas Pass Road Interchanges Projects provide numerous benefits including increased capacity for reduced congestion and interregional goods movement, improved safety and multi-modal access and jobs creation. The freeway widening will help protect the economic viability of the entire region by reducing travel delays.

Cordially,

J. Bradley Stein
Mayor