



Architectural Review Board Meeting Agenda

Thursday, March 27, 2025 at 5:30 p.m.

City of Carpinteria, Council Chamber
5775 Carpinteria Avenue, Carpinteria, CA 93013

In-Person Meeting and Virtual Participation Options

Attendance:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave.)
- View the meeting live through the City's website (<https://carpinteriaca.gov/city-hall/agendas-meetings>) on your computer, tablet or smartphone.
- View the meeting on Government Access Television Channel 21 (broadcast live)
- Call 669-900-9128 (and enter Webinar ID 847 8623 3577) to listen to the meeting on your phone.
- Join the City's Zoom webinar from your computer, tablet, or smartphone by [CLICKING HERE](#). Alternatively, you can join the Zoom webinar by logging on to zoom.us, downloading the application, selecting "Join Meeting", and entering Webinar ID 847 8623 3577.

Public Comments:

- Provide a live public comment during the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item.
- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to the Architectural Review Board by **12:00 P.M. on the day of the meeting** by either submitting your comment via (1) email to PublicComment@carpinteriaca.gov, or (2) the **eComment** link on the City's agenda website (<https://carpinteriaca.gov/city-hall/agendas-meetings>). Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

- Provide a live comment through the City's Zoom webinar platform (through the link provided above). To make public comments through this platform please use the "raise your hand" feature to notify staff that you would like to make a public comment during designated public comment times. Once it is your turn to provide a public comment, staff will unmute your microphone and you will be given a designated amount of time to provide your comment (typically, the practice has been up to 3 minutes per speaker on each item). At the end of your comment, staff will once again mute your microphone.

Architectural Review Boardmembers:

Amy Blakemore, Chair

Patrick O'Connor, Vice Chair

Richard E. Johnson

Richard Little

Lisa Woolf

CALL TO ORDER

ROLL CALL

PUBLIC COMMENT

This is a time for public comments on matters not otherwise on the agenda but within the subject matter jurisdiction of the Architectural Review Board. Comments shall be limited to 15 minutes, divided among those persons desiring to speak, but no person shall speak longer than five minutes. Persons wishing to speak on a specific item will be recognized at the time the agenda item is considered.

The City is not responsible for the content of statements made during the public comment period, or the factual accuracy of any such statements.

PROJECT REVIEW

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of ex parte communications
- Staff presentation
- Applicant presentation
- Public comment
- Review by ARB
- Recommendation by ARB

1. Project: Mayer Residence Remodel & Additions, Project 22-2183-CUP/CDP/ARB
Address: 5557 Calle Arena
Applicant:
Planner: Syndi Souter

Request of Ted Meeder, architect, for Tyler and Jessica Mayer, to consider Project 22-2183-CUP/CDP/ARB for final review of a proposal to partially demolish an existing 2,233 square-foot single-family residence and construct a new 2,663 square-foot two-story single-family residence with an attached 378 square-foot two-car garage, for a total size of 3,041 square feet. The height would reach a maximum of 23.67-feet above finished grade. The proposal also includes new landscaping, hardscape, and fencing. The property is a 7,620 square foot parcel zoned Single Family Residential (6-R-1) and shown as APN 003-382-011, addressed as 5557 Calle Arena.

2. Project: De Mattos Residence Addition & Remodel, Project 23-2269-CDP/ARB
Address: 413 Calle Dia
Applicant: Jyl Ratkevich, architect, for George and Marijo de Mattos
Planner: Syndi Souter

Request of Jyl Ratkevich, architect, for George and Marijo de Mattos, to consider Project 23-2269-CDP/ARB for preliminary review of a proposal to construct three additions totaling 292 square feet to the existing 2,288 square-foot single-story single-family residence, and relocation of the garage door from the side to the front of the garage. The resultant residence would be 2,580 square feet in size with a maximum roof ridge height of 16.42 feet. The project would include new landscaping and hardscape, including a new curb cut and driveway off Calle Dia. A street tree is proposed to be removed to construct the new driveway. The property is a 7,405 square foot parcel zoned Single Family Residential (6-R-1) and shown as APN 003-351-032, addressed as 413 Calle Dia.

3. Project: Little Dom's Private Parklet Dining Patio, Project 24-2302-DPR/CDP
Address: 686 Linden Avenue
Applicants: Joe Andrulaitis, architect for 686 Linden Ave LLC
Planner: Brian Banks

Request of Joe Andrulaitis, architect for 686 Linden Ave LLC, to consider Project 24-2302-DPR/CDP/ARB for preliminary and final review of a proposal to construct an approximately 838 square foot outdoor dining area on the south portion of the Little Dom's restaurant property fronting Linden Avenue, currently functioning as a driveway and parking area. The dining patio area would consist of a chip seal paved surface. The project also includes a six-foot bi-fold wood gate along the Linden Avenue frontage to secure the patio area when not in use, a small planter area between the patio area and Linden Avenue sidewalk, replacement of the rear six-foot vehicle gates along the Seventh Street frontage, an employee bicycle rack

at the rear of the building, and the installation of a public bicycle rack within the City right-of-way adjacent to the project site. The property is a 7,038 square foot parcel zoned Central Business (CB) with a Visitor-serving Commercial (V) Overlay, and shown as APN 003-314-001, addressed as 686 Linden Avenue.

OTHER BUSINESS

CONSENT CALENDAR

3. Action Minutes of the Architectural Review Board Meeting of February 13, 2025.

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL

MATTERS PRESENTED BY STAFF

MATTERS PRESENTED BY BOARDMEMBERS

ATTENDANCE OF BOARDMEMBERS FOR THE NEXT MEETING

ADJOURNMENT

The next regular Architectural Review Board meeting will be held on Thursday, April 17, 2025.

NOTES

For those projects that do not require Planning Commission approval, recommendations for preliminary approval by the Architectural Review Board will be forwarded to the Community Development Director for a decision. Those Community Development Director decisions that are appealable pursuant to CMC §14.12.020(2) may be appealed to the Planning Commission. Appeals must be filed with the City Clerk within 10 calendar days of the Director's action.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community Development Department at (805) 755-4410 (LorenaE@carpinteriaca.gov) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Thursday, March 20, 2025 in the Community Development Department, on the City Hall Public Notices Board, and on the City Website.

**CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of March 27, 2025**

Agenda Item #1

**COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW**

Project: 22-2183-CUP/CDP/ARB **Planner:** Syndi Souter
Address: 5557 Calle Arena
APN: 003-382-011
Zoning: Single Family Residential (6-R-1)
Applicant: Ted Meeder, architect, for Tyler and Jessica Mayer

Project Review: ☐ Conceptual
☐ Preliminary
☒ Final

PROJECT DESCRIPTION

This is a final review of a proposal to partially demolish an existing 2,233 square-foot one-story single-family residence and construct a new 2,663 square-foot two-story single-family residence with an attached 378 square-foot two-car garage, for a total size of 3,041 square feet. The first floor would contain 2,115 square feet of living space and a 242 square-foot covered patio. The second floor would contain 475 square feet of enclosed living space. The height would reach a maximum of 23.67-feet above finished grade. The proposal also includes new landscaping, hardscape, and fencing.

Final plans are included as Attachment A. The proposed colors and materials, including the exterior light fixture, are in Attachment B.

PROJECT HISTORY

This project received preliminary review by the Architectural Review Board (ARB) at their September 14, 2023 meeting. At that meeting, the ARB reviewed a proposal to partially demolish the existing 2,233 square-foot one-story single-family residence and construct a new 2,631 square-foot two-story single-family residence with an attached 378 square-foot two-car garage, for a total size of 3,009 square feet. The first floor would have contained 2,156 square feet of living space with a 242 square-foot covered patio. The second floor would have contained 475 square feet of enclosed living space. The proposed height was at a maximum of 25.5-feet above finished grade. The prior proposal also included new landscaping, hardscape, and fencing.

At that meeting, three neighbors spoke during the public comment period. One neighbor had concerns about the neighborhood compatibility of the second-story addition; another neighbor also expressed concerns about second-story additions in general, but thought this project looked nice;

and the last neighbor's comments were in support of the project. One public comment letter was received prior to the meeting with concerns that the design was too tall for the neighborhood.

The ARB's main comments from that meeting were:

- Lower the plate heights to lower the overall building height,
- Add shingles or siding to the stucco exterior to add texture/interest,
- Appreciate the "wedding cake" placement of the second story, but it should not appear stacked on top of the first floor; suggested shifting the entry roof up to balance the massing,
- Consider privacy when locating the second-story windows,
- Choose an architectural style and use the appropriate details and finishes,
- Support for the Conditional Use Permit to reconstruct the portions of the residence within the legal-nonconforming side yard setback (3 out of 4 ARB members), and
- The high-water demand turf was acceptable because the children need a play area, suggested hedges along sides for privacy, suggested to choose one style for the landscaping palette, and suggested self-cleaning queen palms instead of king palms.

The plans were revised and the project returned to the ARB for continued preliminary review on May 16, 2024. The revised plans included the following changes to the design in response to the ARB's comments:

1. The second story plate height had been lowered from 9-feet to 7.67-feet, which reduced the overall maximum height of the proposed residence by 1.33-feet, from 25-feet down to 23.67-feet;
2. The roof over the front entry was broken up to include a shed roof over a clerestory, with a stepped overhang below;
3. The four windows across the front of the second story were reduced in size and additional windows have been added at the front entry;
4. The details and finishes were revised to be consistent with the "Contemporary Cottage" architectural style; and
5. The palms and agaves were eliminated from the landscaping plan and additional flowering plants and shrubs were added to the palette.

There were no neighbors in attendance at that meeting, and one anonymous public comment letter was received expressing concerns about the proposed height and the preservation of sight lines for the neighbors. The ARB commented that the exterior body color should be darker and that the landscaping plant sizes and layout will need to be reviewed and coordinated before installation. Overall, however, the ARB was supportive of the revised design and appreciated the architect's methods to lower the second-floor height and enhance the front elevation/entry with a clerestory. The ARB voted 4-1 (O'Connor opposed) to recommend preliminary approval with comments to the Planning Commission.

The Planning Commission reviewed the project at their August 5, 2024 meeting. At that meeting, three members of the public spoke and shared concerns about the proposed height and the second story addition. The Commissioners discussed the proposed second story and neighborhood compatibility during their deliberations, and voted 4-1 (Salant dissented) to approve the project as presented.

A copy of the minutes from the September 14, 2023 and May 16, 2024 ARB meetings are included in Attachment C.

PROJECT ANALYSIS

The architectural drawings have not been revised since the May 16, 2024 ARB meeting. The applicant has clarified that the proposed exterior body color will be the darker off-white “Swiss Coffee OC-45” as shown on the colors and materials board, and that the landscaping installation will be supervised. The proposed architectural details can be found on Sheets A3.1, A3.3, A3.4, and A3.5; and the proposed structural details can be found on Sheets S002, S201, S202, S203, and S204. Note that Attachment A includes the full final plan set, but the paper plan sets included in the ARB Boardmember packets include only Sheets A1.0-A3.5 of the architectural drawings.

The Board should comment on the final plans in respect to the architectural style, neighborhood compatibility, details, and proposed colors & materials.

SUMMARY OF ISSUES

- Architectural style and details;
- Proposed colors and materials, including exterior lighting; and
- Neighborhood compatibility.

RECOMMENDATION

The Board should receive public comment and provide feedback on the issues raised. If the Board finds the project to have adequately responded to the Board’s previous comments and the plans to be appropriately developed for final review, then the Board should recommend final approval to the Community Development Director.

ATTACHMENTS

Attachment A- Final Plans

Attachment B- Proposed Final Colors and Materials

Attachment C- Minutes from the September 14, 2023 and May 16, 2024 ARB Meetings

Attachment A
Final Plans

Mayer Residence Remodel and Additions
Project #22-2183-CUP/CDP/ARB
Final ARB Review
March 27, 2025

TED MEEDER
ARCHITECTURE
www.tedmeeder.com

P.O. BOX 342
CARPINTERIA, CA 93013
TED@TEDMEEDER.COM
(805) 684-4266

THIS PROJECT CONSIDERS THE ADDITIONS AND ALTERATIONS TO A SINGLE FAMILY HOME TO INCLUDE A NEW SECOND STORY WITH A CHANGE IN OVERALL BUILDING HEIGHT TO 35' TO 37'5", A NET GRADE REDUCTION OF 16" S, A NET INCREASE IN BUILDING AREA OF 724 S.F., A NEW SECOND FLOOR COVERED BALCONY OF 204 S.F., AND 942 S.F. OF NEW REAR DECK, (214 S.F. COVERED, NEW 728 S.F. DECK) SHIPING WILL BE INSTALLED IN THE FRONT AND REAR VIEWS. TOTALING 2460 S.F. THERE IS NO GRADING IN THIS PROJECT. ALL CONSTRUCTION WILL COMPLY WITH THE 2022 CALIFORNIA BUILDING CODE, THE 2022 CALIFORNIA RESIDENTIAL CODE, THE 2022 CALIFORNIA PLUMBING CODE, THE 2022 CALIFORNIA ELECTRICAL CODE, THE 2022 CALIFORNIA MECHANICAL CODE, THE 2022 CALIFORNIA FIRE CODE, THE 2022 CALIFORNIA ENERGY CODE, AND THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE.

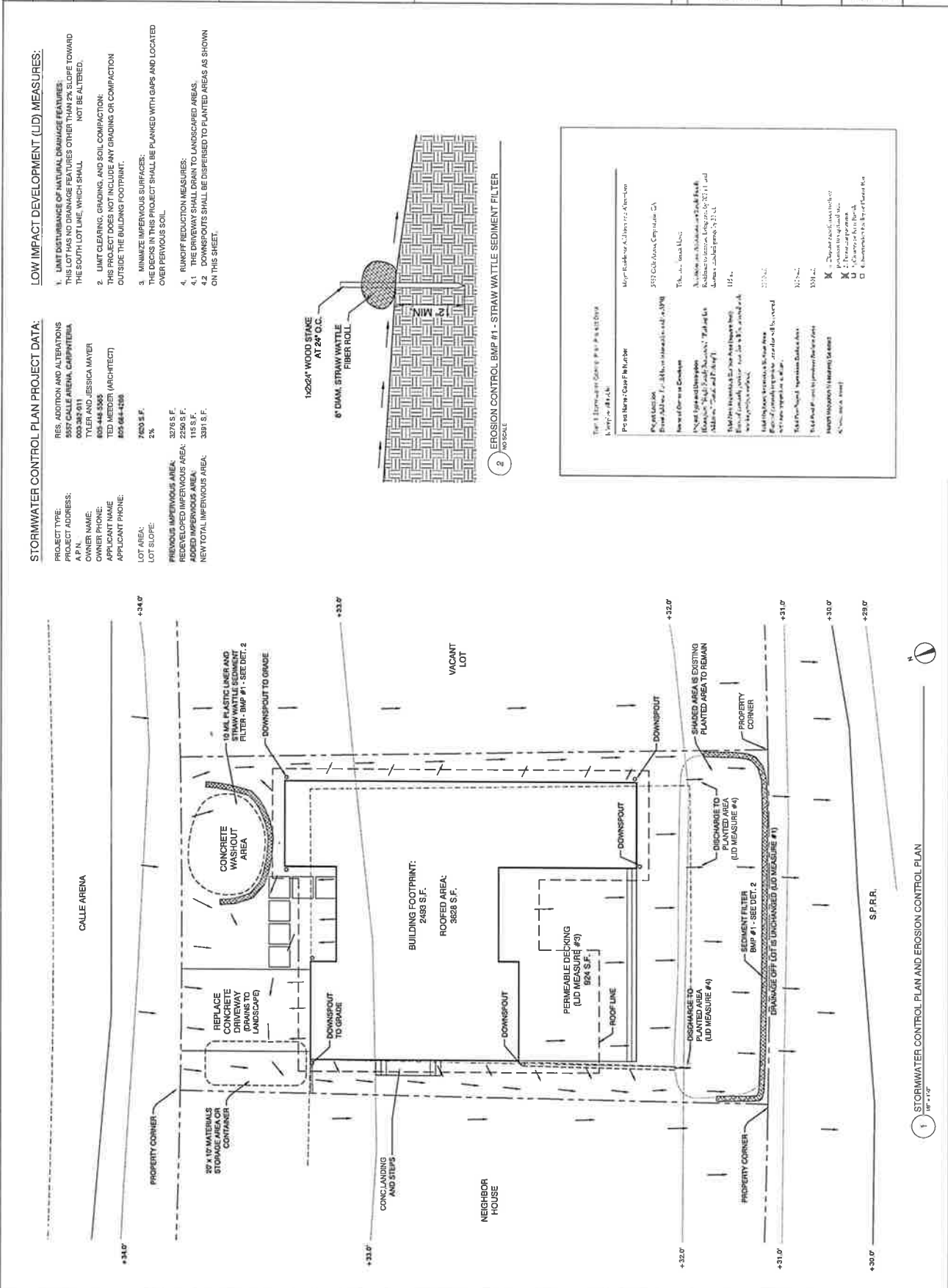
OWNER: TYLER AND JESSICA MAYER
ADDRESS: 5557 CALLE ARENA
CAPISTRANO, CA 93013
650-448-5565
APN: 003-382-011
ZONING: 6R-1
LOT AREA: 7620 S.F.
SLOPE: 2%
HIGH FIRE HAZARD AREA: NO
WILDFIRE RISK: NO

PROP. CONST. TYPE:	V-B		
PROF. CONCENTRATION:	R-3		
EXISTING AREAS:	NET:	GRASS:	
EXISTING DRIVEWAY:	360.5 S.F.	401.5 S.F.	
EXISTING DRIVEWAY:	360.5 S.F.	401.5 S.F.	
EXISTING BUILDING TOTAL:	2129.5 S.F.	223.5 S.F.	
PROPOSED AREAS:	169.5 S.F.	911.5 S.F.	
PROPOSED RESIDENCE GROUND FLOOR:	169.5 S.F.	475.5 S.F.	
PROPOSED RESIDENCE SECOND FLOOR:	341 S.F.	375.5 S.F.	
PROPOSED ATTACHED GARAGE:	341 S.F.	248.5 S.F.	
PROPOSED FLOOR AREA:	2641 S.F.	248.5 S.F.	
PROPOSED BUILDING FOOTPRINT:		73.5 F.	
PROPOSED ENCLOSED PERIMETER FOR F.A.R.:	2041 S.F.	30.07%	
PROPOSED GAR. CITY LOT COVERAGE:	2041 S.F.	30.07%	

SCALE:	AS NOTED
DATE:	8-25-21
SHEET FILE:	
BOOK OR PLOT:	

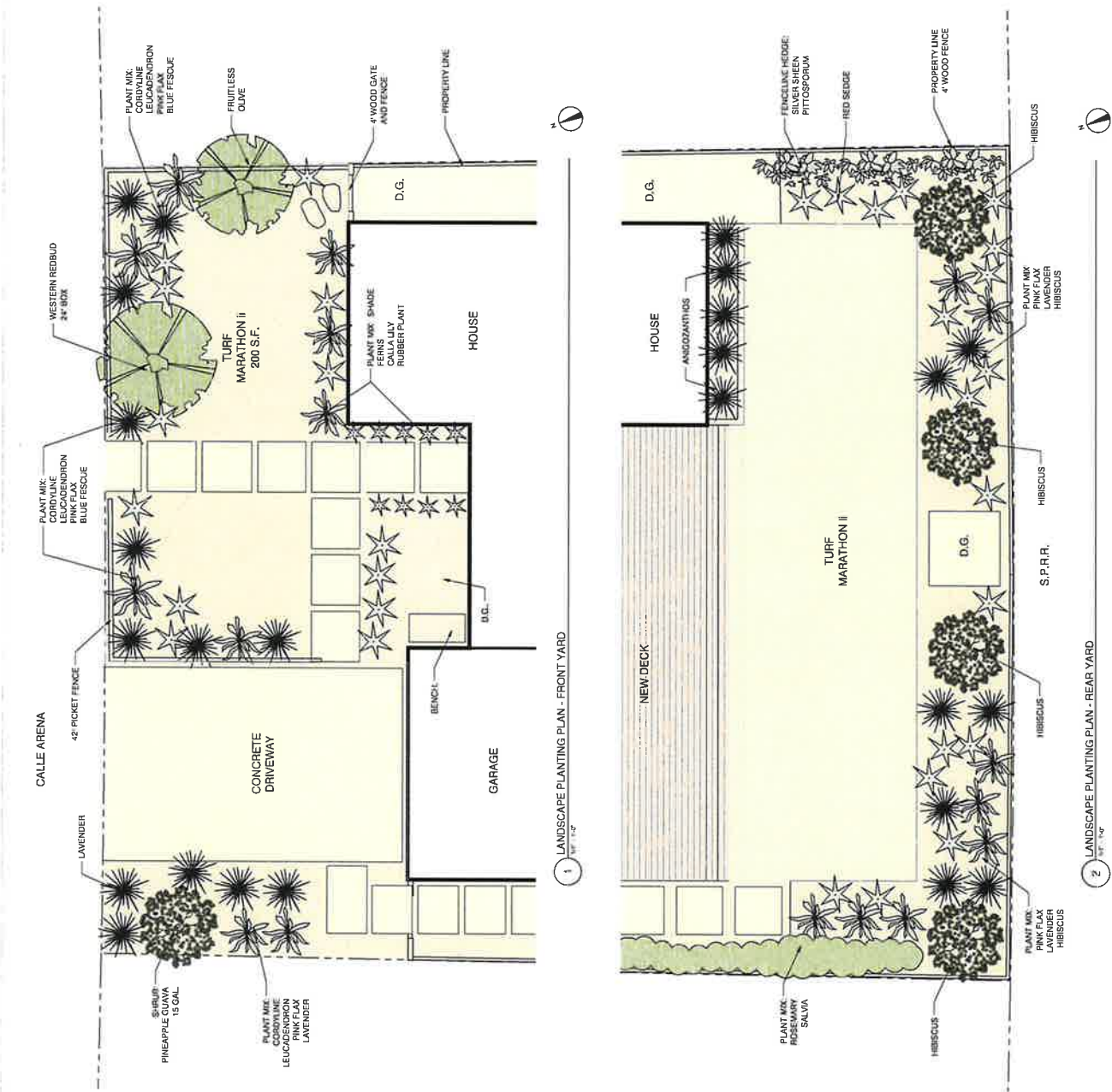
A1.0

A1.0	SITE PLAN AND PROJECT INFO.
A1.1	PROJECT CONDITIONS OF APPROVAL
A1.2	STORMWATER CONTROL PLAN AND DETAILS
A1.3	LANDSCAPE PLANTING PLAN
A1.4	LANDSCAPE IRRIGATION PLAN
A2.0	DEMOLITION PLAN
A2.1	PROPOSED GROUND FLOOR PLAN
A2.2	PROPOSED SECOND FLOOR PLAN
A2.3	PROPOSED ROOF PLAN
A2.4	EXISTING AND PROPOSED ELEVATIONS
A3.0	EXISTING AND PROPOSED ELEVATIONS
A3.1	EXISTING AND PROPOSED ELEVATIONS
A3.2	BUILDING SECTIONS
A3.3	BUILDING SECTIONS AND EXTERIOR DETAILS
A3.4	INTERIOR ELEVATIONS
A3.5	INTERIOR ELEVATIONS
A4.1	CEILING AND LIGHTING PLAN - GROUND FLOOR
A4.2	CEILING AND LIGHTING PLAN - SECOND FLOOR
A4.3	MECH. ELEC. AND PLUMB. PLAN - GROUND FLOOR
A4.4	MECH. ELEC. AND PLUMB. PLAN - SECOND FLOOR
A5.0	ATGIC PLAN AND EQUIPMENT INFO
A5.1	ATGIC PLAN AND EQUIPMENT INFO
A5.2	CAUF. ENERGY CODE COMPLIANCE FORMS
A5.3	CAUF. ENERGY CODE COMPLIANCE FORMS
A5.4	CAUF. ENERGY CODE COMPLIANCE FORMS
A5.5	CAUF. ENERGY CODE COMPLIANCE FORMS
S001	STRUCTURAL GENERAL NOTES
S002	TYPICAL DETAILS AND INSPECTIONS
S101	FOUNDATION PLAN
S102	FRAMING PLAN
S103	ROOF FRAMING PLAN
S201	FOUNDATION DETAILS
S202	FOUNDATION DETAILS
S203	FOUNDATION DETAILS
S301	ROOF FRAMING DETAILS
S302	ROOF FRAMING DETAILS
S303	ROOF FRAMING DETAILS



1 STORMWATER CONTROL PLAN AND EROSION CONTROL PLAN
1/8" = 1'-0"

PLANT PLANTS		
10/2/2019 10:45:29		
	Small green seedling in a pot.	Small green seedling in a pot.
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IRRIGATION SYSTEM - ZONE SCHEDULE

ZONE	NAME	FLOW RATE GAL. / MIN.	# OF HEADS	MAX. GPH	NOTES
1	DRIP SYSTEM NW	10	1/2	GPH	5 VERY LOW WATER USE
2	DRIP SYSTEM NE	24	1/2	GPH	12 VERY LOW WATER USE
3	DRIP SYSTEM N	20	1/2	GPH	10 VERY LOW WATER USE
4	FRONT LAWN	3	15	GPH	45 TURF SPRINKLER
5	DRIP SYSTEM SE	20	1/2	GPH	10 VERY LOW WATER USE
6	DRIP SYSTEM SW	20	1/2	GPH	10 VERY LOW WATER USE
7	DRIP SYSTEM W HEDGE	24	1/2	GPH	12 VERY LOW WATER USE
8	REAR LAWN	10	15	GPH	150 TURF SPRINKLER

WATER EFFICIENT LANDSCAPE IRRIGATION NOTES:

- BACKFLOW PREVENTERS SHALL BE USED AT ALL CONNECTIONS TO THE IRRIGATION SYSTEM.
- AN AUTOMATIC RAIN SENSOR AND ETO SENSOR SHALL BE CONNECTED TO THE ZONE CONTROL SYSTEM.
- AREAS WITH DRIP IRRIGATION SHALL RECEIVE A MIN. 3" THICK MULCH LAYER.
- LAWN SPRINKLERS TO BE ADJUSTABLE PATTERN PRESSURE REGULATING TYPE (RAIN BIRD 1066APTRS)
- OVERHEAD IRRIGATION IS NOT ALLOWED WITHIN 24" OF A NON-PERMEABLE SURFACE.
- ANTI DRAIN VALVES SHALL BE USED AS NECESSARY TO PREVENT LOW HEAD DRAINAGE.
- SEPARATE ZONE CONTROLLERS MAY BE USED AT FRONT AND REAR.
- ZONE CONTROLLERS SHALL BE PROGRAMMED TO NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) AS CALCULATED IN THE WATER EFFICIENT LANDSCAPE WORKSHEET.

1 LANDSCAPE IRRIGATION PLAN - FRONT YARD - 280 S.F. TURF (280 S.F. TURF)

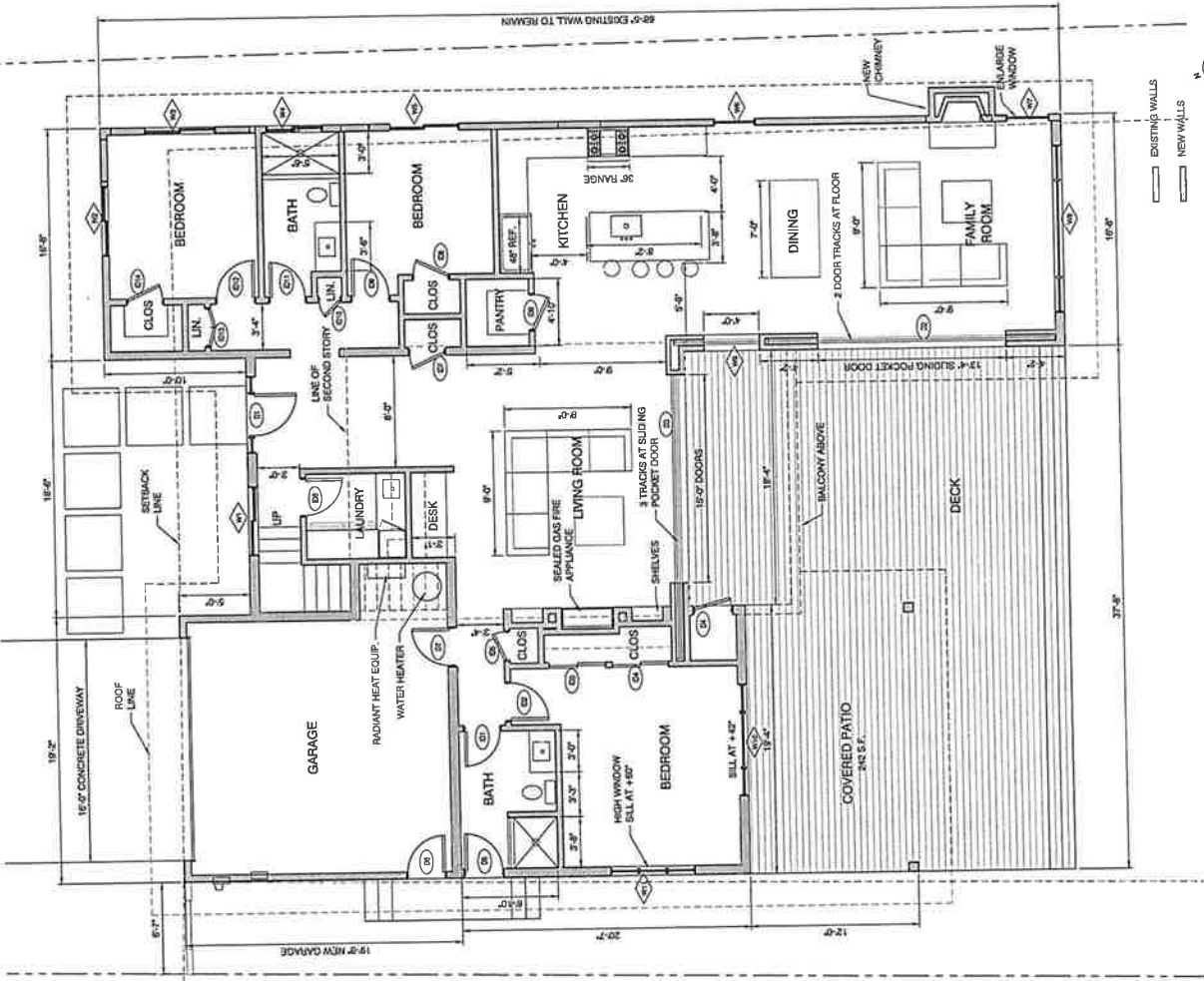
2 LANDSCAPE IRRIGATION PLAN - REAR YARD - 1530 S.F. TOTAL (540 S.F. TURF)

WATER EFFICIENT LANDSCAPE INFORMATION:

- PROJECT DATA:

A. PROJECT DATE:	01/28/25
B. PROJECT APPLICANT:	TED MEEDER 805-884-4286
C. PROJECT ADDRESS:	5777 CALLE ARENA, CARPINTERIA, CA
D. TOTAL LANDSCAPE AREA:	2450 S.F.
D.1 LANDSCAPE AREA (LS area): 1870 s.f. (Drip Irrigation) D.2 SPECIAL LANDSCAPE AREA (SL area): 780 s.f. (Spigot/Irrigated Turf)	
E. PROJECT TYPE:	REPLACED / REHABILITATED LANDSCAPING - RESIDENTIAL
F. WATER SUPPLY:	PUBLIC - CARPINTERIA VALLEY WATER DISTRICT
- WATER EFFICIENT LANDSCAPE WORKSHEET:

A. HYDROZONE LIST:	WUCOLS TYPE:	PLANT FACTOR:	AREA:
1. Front Yard	Very Low Water	0.3	280 s.f.
2. Front Yard	Very Low Water	0.3	300 s.f.
3. Front Yard	Very Low Water	0.3	160 s.f.
4. Front Yard	Special Landscape Area	n/a	240 s.f.
5. Front Yard	Very Low Water	0.3	340 s.f.
6. Front Yard	Very Low Water	0.3	340 s.f.
7. Front Yard	Very Low Water	0.3	310 s.f.
8. Front Yard	Special Landscape Area	n/a	540 s.f.
B. MAXIMUM APPLIED WATER ALLOWANCE (MAWA):			
MAWA = $ET_o \cdot (0.62 \cdot (0.7 \cdot L_{sarea}) + (0.3 \cdot S_{area}))$			
MAWA = $46.6 \cdot 0.62 \cdot (0.7 \cdot 1870) + (0.3 \cdot 780)$			
MAWA = $46.6 \cdot 0.62 \cdot 1370 + 235.55 \text{ GAL / YEAR}$			
C. ESTIMATED TOTAL WATER USE (ETWU):			
ETWU = $ET_o \cdot (0.62 \cdot (L_{sarea} + S_{area}))$			
ETWU = $46.6 \cdot 0.62 \cdot (0.30 \cdot 85 + 1670) + 740$			
ETWU = $46.6 \cdot 0.62 \cdot 1370 + 235.55 \text{ GAL / YEAR}$			



1 PROPOSED FLOOR PLAN
 1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE

MARK	DOOR WIDTH	DOOR HEIGHT	MAX. U-FACTOR	MAX. SHGC	SWING	NOTES
D1	3'-0"	7'-0"	0.35	0.23	LEFT INSWING	CUSTOM ENTRY DOOR WITH SIDELIGHTS
D2	13'-4"	7'-0"	0.45	0.35	CENTER OPEN	4 PANELS / 2 TRACKS POCKET SLIDING DOORS
D3	13'-0"	7'-0"	0.45	0.35	RIGHT ACTIVE	3 PANELS / 3 TRACKS POCKET SLIDING DOORS
D4	2'-8"	6'-8"	0.35	0.23	LEFT OUTSWING	OUTDOOR STORAGE CLOSET
D5	2'-8"	6'-8"	0.35	0.23	LEFT INSWING	GLAZED BATH SIDE DOOR
D6	2'-8"	6'-8"	0.35	0.23	RIGHT INSWING	GARAGE DOOR TO SIDE YARD
D7	2'-8"	6'-8"	0.35	0.23	RIGHT OUTSWING	SOLID WOOD DOOR 1 1/2" THK. WITH CLOSER
D8	15'-0"	7'-0"	0.35	0.23	CENTER OPEN	X-O-X SLIDING GLASS DOOR

DOOR NOTES:
 1. ALL GLAZING AT DOORS AND WITHIN 3' OF DOOR EDGES SHALL BE SAFETY GLAZING PER CBC SEC. 1004.4
 2. ALL GLAZING AT DOOR EDGES SHALL HAVE MAX. U-FACTOR AND MAX. SHGC AS SHOWN ON ENERGY CODE
 COMPLIANCE DOCUMENTS ON SHEET A4.4. MANUFACTURER LABELS SHALL REMAIN ON DOORS UNTIL FINAL
 INSPECTION.

WINDOW SCHEDULE

MARK	FRAME WIDTH	FRAME HEIGHT	MAX. U-FACTOR	MAX. SHGC	TYPE	NOTES
W1	5'-0"	5'-6"	0.35	0.23	GLIDER	
W2	5'-0"	5'-6"	0.35	0.23	GLIDER	EGRESS WINDOW. SEE NOTE 2
W3	5'-0"	5'-6"	0.35	0.23	GLIDER	SAFETY GLAZING AT SHOWER
W4	4'-0"	2'-8"	0.35	0.23	GLIDER	EGRESS WINDOW. SEE NOTE 2
W5	5'-0"	5'-6"	0.35	0.23	GLIDER	
W6	5'-0"	5'-6"	0.35	0.23	CASEMENT	
W7	3'-0"	5'-0"	0.35	0.23	CASEMENT	
W8	12'-0"	6'-0"	0.35	0.23	X-O-X CASEMENT	POCKETS INTO WALL
W9	4'-0"	5'-0"	0.35	0.23	2 PANEL SLIDING	EGRESS WINDOW. SEE NOTE 2
W10	6'-0"	4'-0"	0.35	0.23	X-O-X CASEMENT	
W11	6'-0"	3'-0"	0.35	0.23	X-O-X CASEMENT	7 TOTAL OF THESE WINDOWS
W12	2'-4"	1'-4"	0.35	0.23	FIXED	
W13	2'-8"	2'-8"	0.35	0.23	CASEMENT	
W14	2'-8"	2'-8"	0.35	0.23	CASEMENT	
W15	2'-8"	2'-8"	0.35	0.23	CASEMENT	
W16	2'-8"	2'-8"	0.35	0.23	CASEMENT	SAFETY GLAZING AT SHOWER
W17	3'-0"	2'-8"	0.35	0.23	CASEMENT	
W18	4'-0"	4'-0"	0.35	0.23	CASEMENT	
W19	4'-0"	4'-0"	0.35	0.23	CASEMENT	

WINDOW NOTES:
 1. EGRESS WINDOWS AT SLEEPING ROOMS SHALL HAVE A MAX. SILL HEIGHT OF 44 IN. WITH A MIN. CLEAR OPENING OF 20" WIDE BY 24" HIGH AND A MIN. OPENING AREA OF 5.7 SF AT GRADE LEVEL AND MIN. 5.7 SF AT BALCONY LEVEL.
 2. WINDOWS AT BATHROOMS OR SHOWER ENCLOSURES SHALL HAVE A MIN. SILL HEIGHT OF 44" AND A MIN. CLEAR OPENING OF 20" WIDE BY 24" HIGH AND A MIN. OPENING AREA OF 5.7 SF AT GRADE LEVEL AND MIN. 5.7 SF AT BALCONY LEVEL.
 3. WINDOWS SHALL HAVE MAX. U-FACTOR AND MAX. SHGC AS SHOWN ON ENERGY CODE COMPLIANCE DOCUMENTS ON SHEET A4.4.
 4. THE NFRC THERMAL PERFORMANCE LABELS SHALL REMAIN ON THE NEW WINDOWS UNTIL FINAL INSPECTION.
 5. ALL WINDOWS SHALL MEET THE HIGH FIRE HAZARD REQUIREMENTS OF CBC R307.8



TED MEEDER
ARCHITECTS, INC.
P.O. BOX 392
CARPINTERIA, CA 93513
TEL: (805) 684-1200
FAX: (805) 684-1205
WWW.TEDMEEDER.COM

BUILDING DESIGNER/
ARCHITECT
TED MEEDER 805-684-1200
DATE: 8.29.24
SHEET FILE: 1
JOB FILE: 1

5557 CALLE ARENA
ADDITION AND
ALTERATIONS

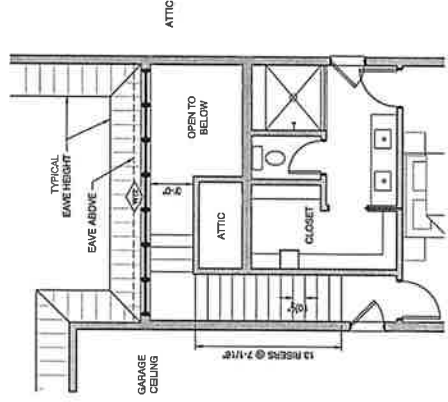
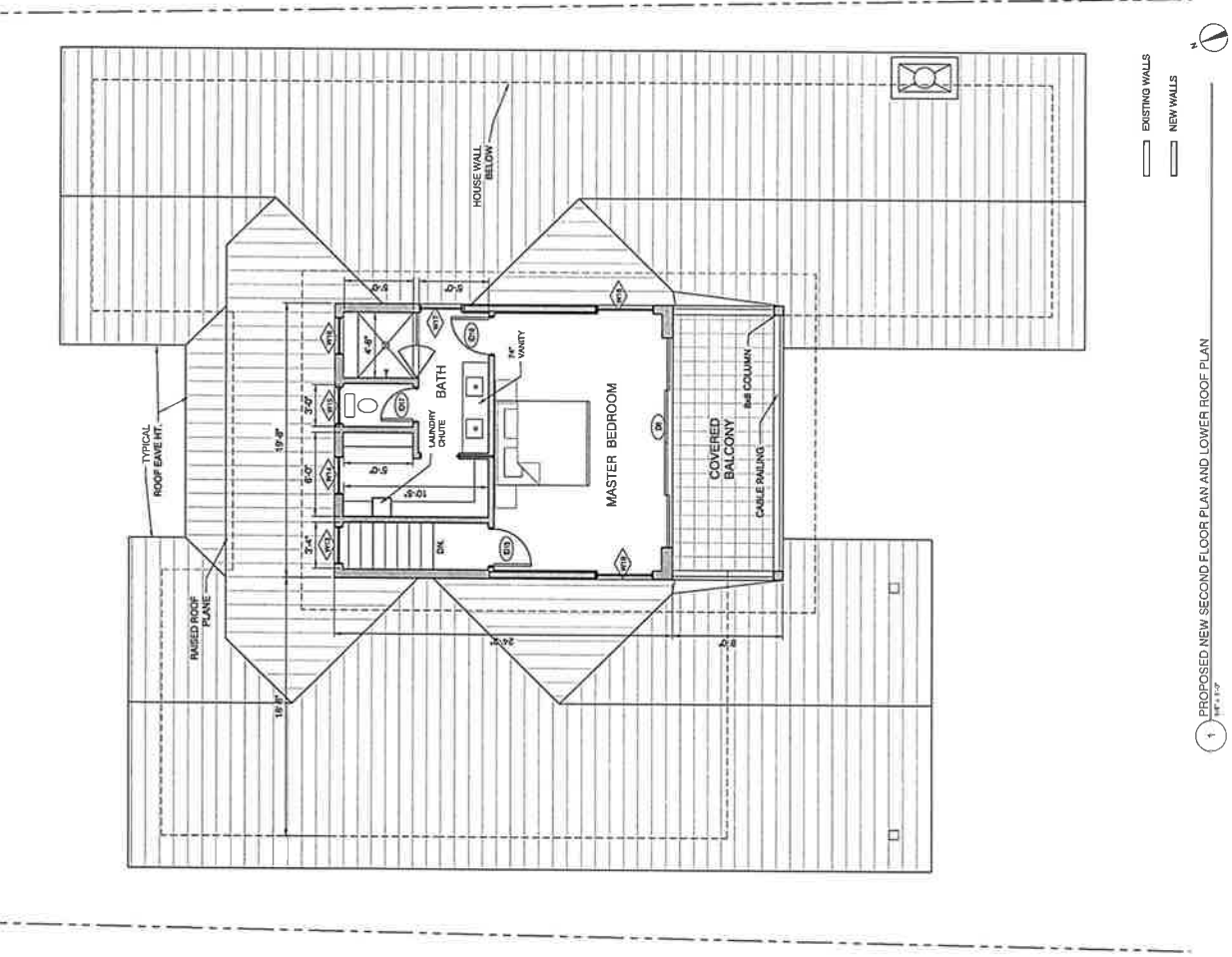
TOTAL JOB #

ISSUED: FOR

PROPOSED
SECOND FLOOR PLAN

SCALE: AS NOTED
DATE: 8.29.24
SHEET FILE: 1
JOB FILE: 1

A2.2

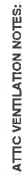


2 PLAN AT HIGH WINDOWS OVER ENTRY
1/4" = 1'-0"

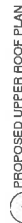
INTERIOR DOOR SCHEDULE				NOTES:
MARK	DOOR WIDTH	DOOR HEIGHT	SWING	
ID1	2'-0"	6'-8"	RH	CLOSET BYPASS DOORS CLOSET BYPASS DOORS CLOSET BYPASS DOORS
ID2	2'-0"	6'-8"	RH	
ID3	4'-0"	6'-8"	SLIDING	
ID4	4'-0"	6'-8"	SLIDING	
ID5	2'-0"	6'-8"	LH	SPECIAL PANTRY DOOR
ID6	2'-0"	6'-8"	RH	
ID7	2'-0"	6'-8"	LH	
ID8	2'-0"	6'-8"	RH	
ID9	2'-0"	6'-8"	LH	HALL LINEN CLOSET
ID10	1'-6"	6'-8"	LH	
ID11	2'-0"	6'-8"	LH	
ID12	2'-0"	6'-8"	RH	
ID13	2'-0"	6'-8"	PAIR	HALL LINEN CLOSET
ID14	2'-0"	6'-8"	LH	
ID15	2'-0"	6'-8"	RH	
ID16	2'-0"	6'-8"	RH	
ID17	2'-4"	6'-8"	LH	TOILET ROOM DOOR

1 PROPOSED NEW SECOND FLOOR PLAN AND LOWER ROOF PLAN
1/4" = 1'-0"

ROOFING TO BE PETERSEN ALUMINUM "SNAP-CLAD" METAL STANDING SEAM .040" ALUMINUM
SMOOTH PANELS WITH 1-3/4" VERTICAL SEAM AT 12" O.C.
COLOR TO BE "SLATE GREY" NON-METALLIC, NON-REFLECTIVE FINISH
ROOFING IS NONCOMBUSTIBLE "CLASS A" AND ICC E-1 LISTED #E1-1200



1. ALL ATTIC AREAS WITH CEILINGS AND VAULTED CEILING AREAS ARE TO BE INSULATED WITH MIN. R-30 APPLICATION OF CLOSED CELL ISOCYANATE SPRAY FOAM INSULATION AT THE UNDERSIDE OF ROOF SHEATHING. NO RIDGE VENTS OR OTHER ATTIC VENTS ARE REQUIRED.



A2.3

TED MEEDER
ARCHITECTURE

P.O. BOX 382
CARPINTERIA, CA 93013
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BUILDING DESIGNER/
PLAN PREPARED
TED NEEDER 805-684-0266

557 CALLE ARENA
ADDITION AND
ALTERATIONS

TURNING POINT •

ISSUED:	FOR:

PROPOSED
ROOF PLAN

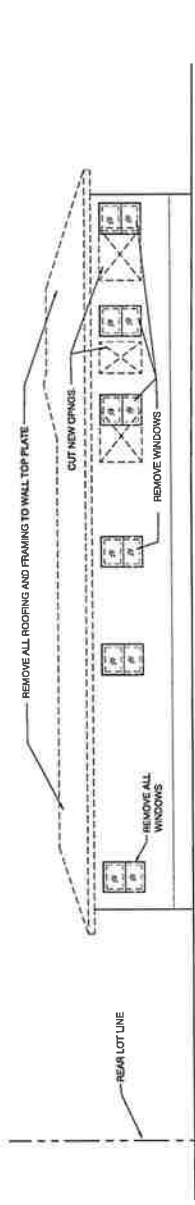
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DATE:	9.25.21
SHEET FILE:	
REF FILE:	

A2.3

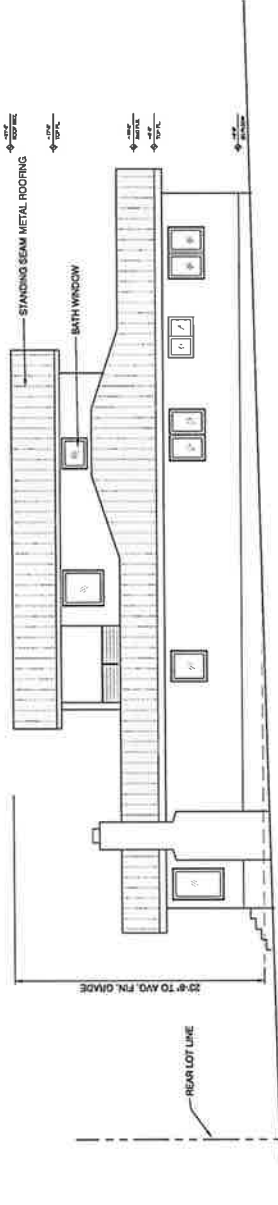
PROJECT #	1004
DATE	
SHEET #	1
SHEET TOTAL	1
DATE	
BY	
CHECKED	
DATE	

EXISTING AND
PROPOSED
ELEVATIONS

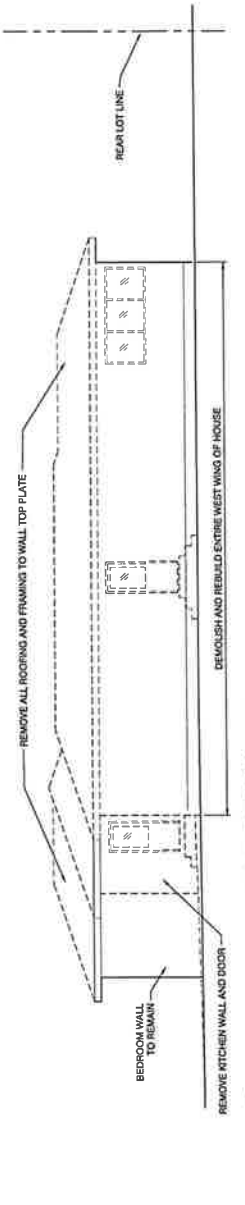
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SHEET FILE	
POST FILE	



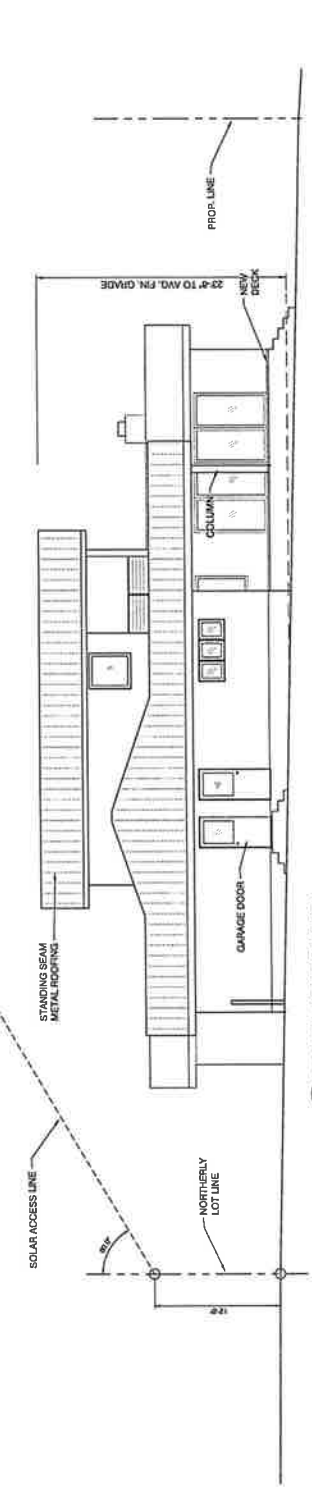
1 EXISTING EAST ELEVATION WITH DEMOLITION SHOWN DASHED
3/8" = 1'-0"



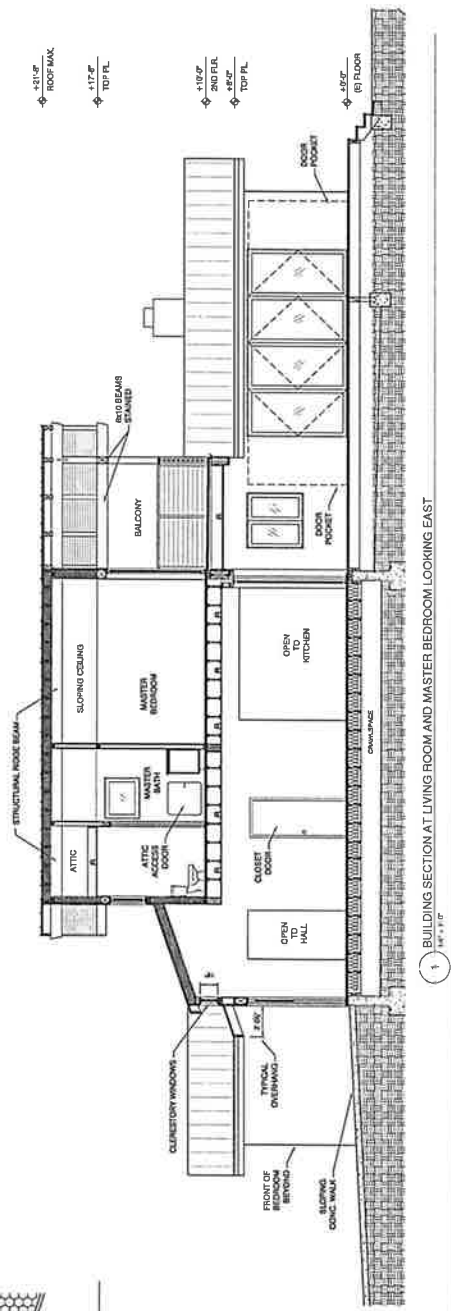
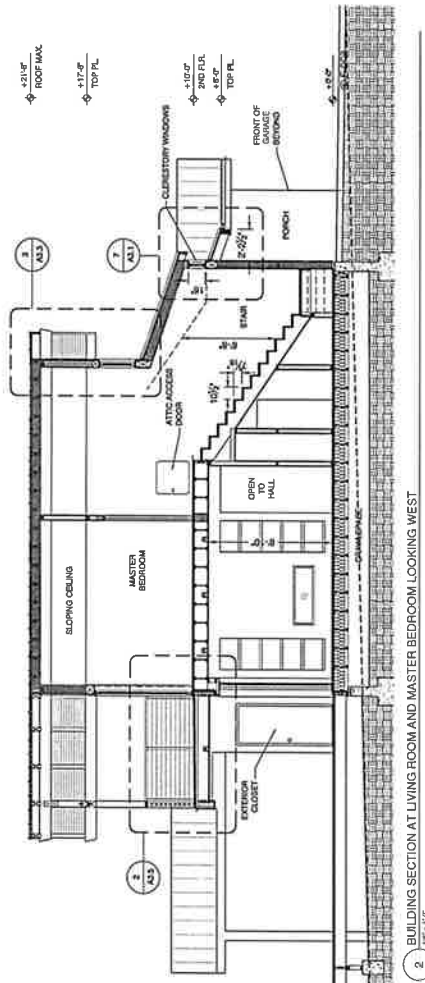
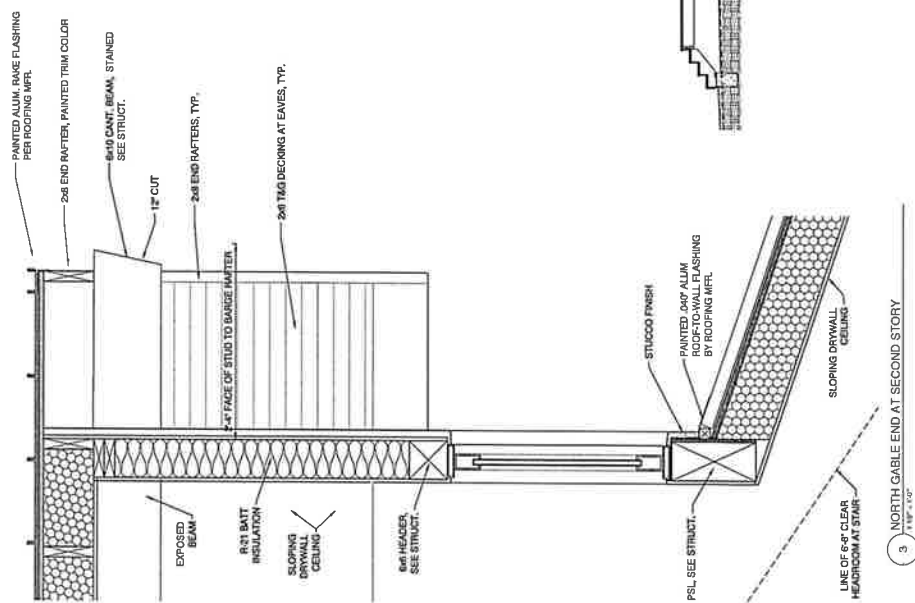
2 PROPOSED EAST ELEVATION
3/8" = 1'-0"

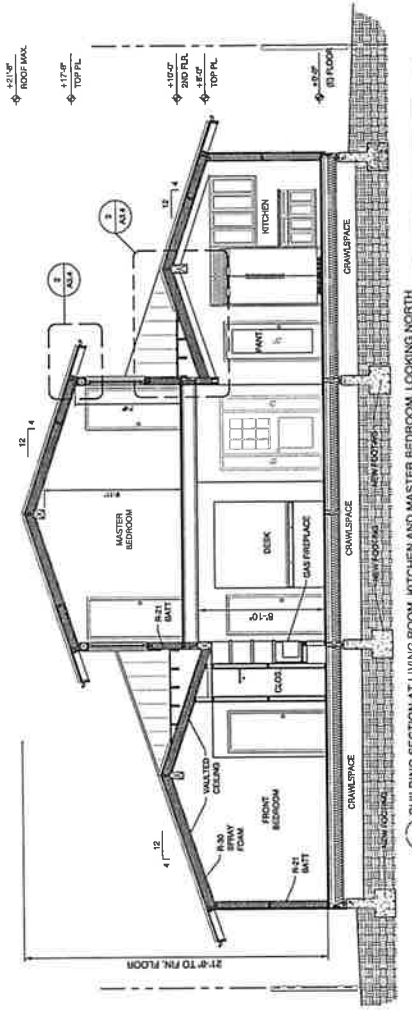


3 EXISTING WEST ELEVATION WITH DEMOLITION SHOWN DASHED
3/8" = 1'-0"

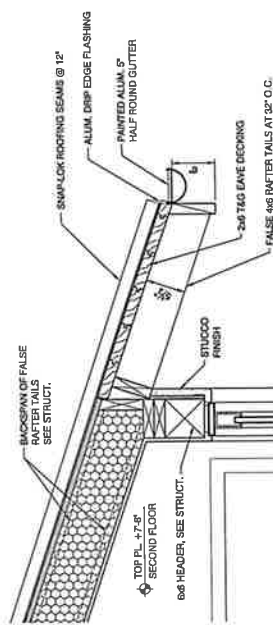


4 PROPOSED WEST ELEVATION
3/8" = 1'-0"

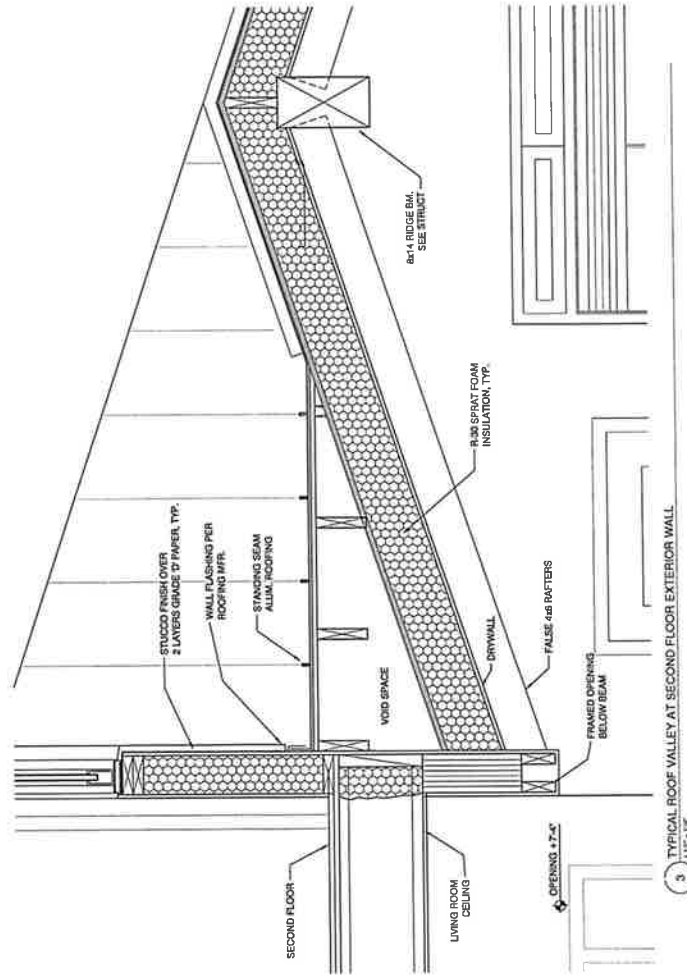




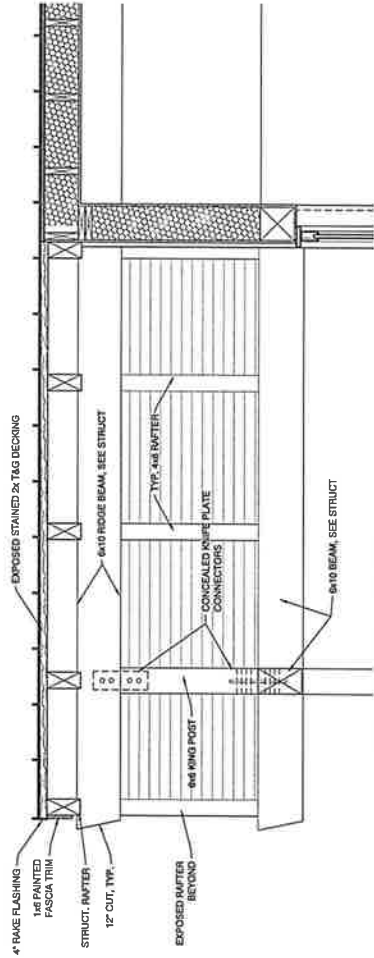
BUILDING SECTION AT LIVING ROOM, KITCHEN AND MASTER BEDROOM, LOOKING NORTH



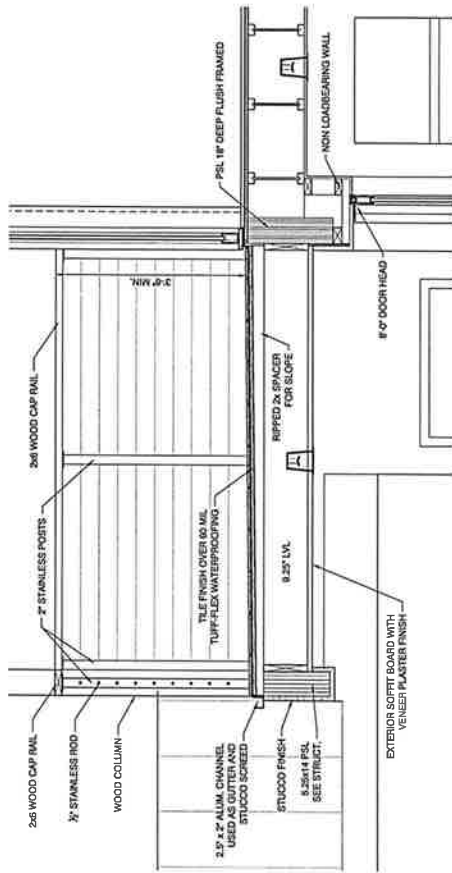
○ TYPICAL ROOF EAVE AT SECOND STORY



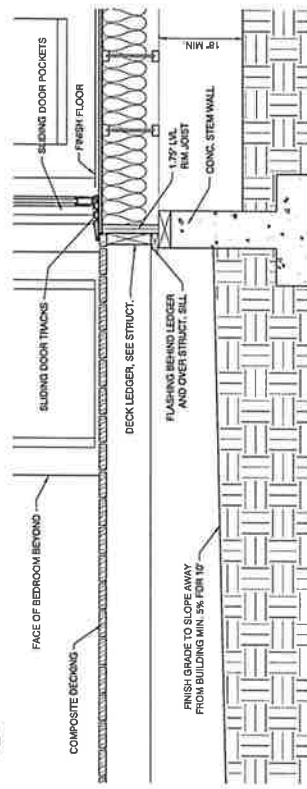
— TYPICAL ROOF VALLEY AT SECOND FLOOR EXTERIOR WALL



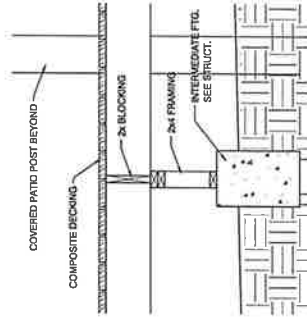
1 DETAIL AT COVERED BALCONY
1\"/>



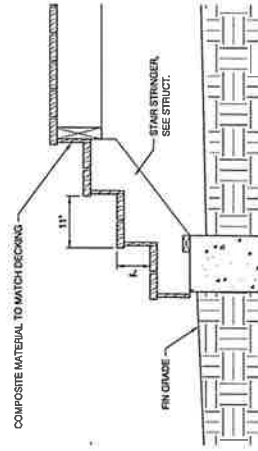
2 DETAIL AT BALCONY
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3 DETAIL AT EXTERIOR FOOTING AND DECK AT SLIDING DOORS
1\"/>



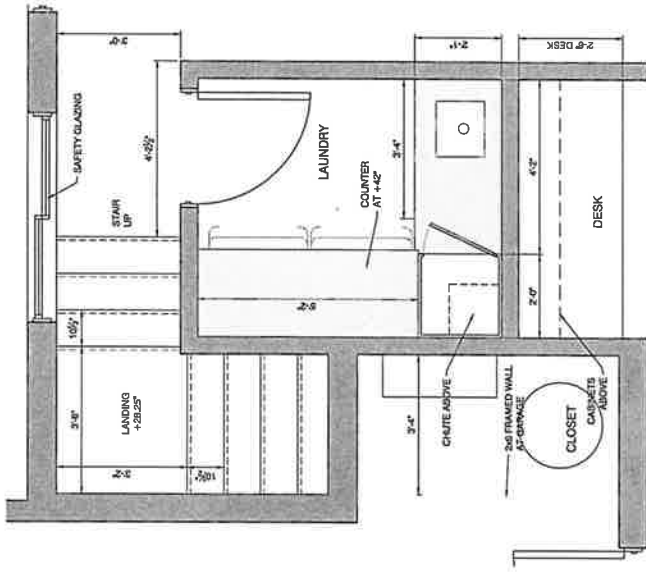
4 MID-SPAN DECK FOOTING
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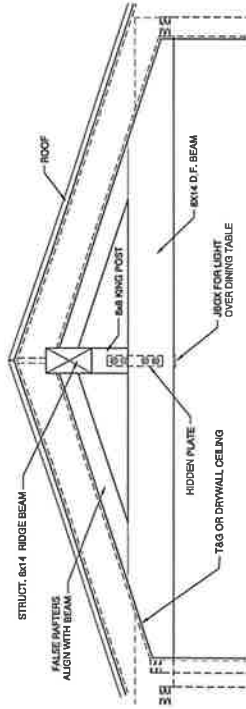
5 END SPAN DECK FOOTING
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EXTERIOR
DETAILS

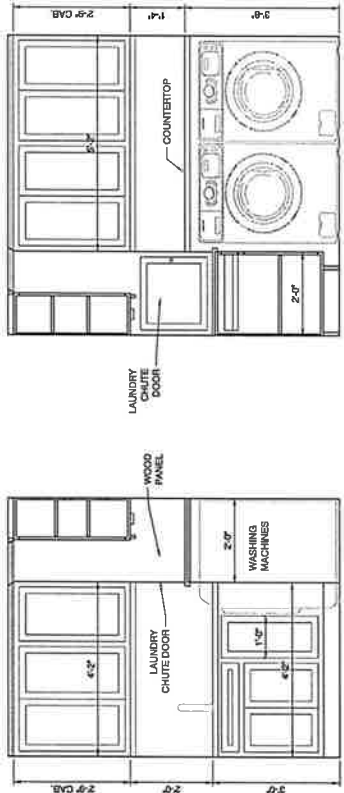
SCALE:	AS NOTED
DATE:	8-28-19
SHEET FILE:	
REF FILE:	



5 LOWER STAIR, LAUNDRY ROOM AND DESK PLAN 3/4"=1'-0"

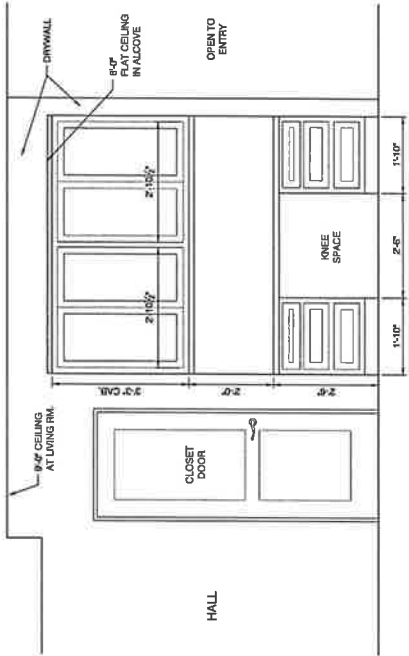


6 SUPPORT BEAM AT MID-SPAN OF KITCHEN RIDGE BEAM $34' \times 1'-0"$

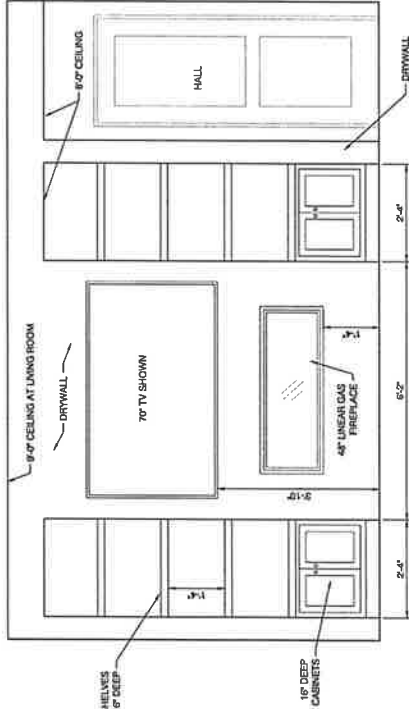


4 LAUNDRY ROOM WEST ELEVATION
3/4" = 1'-0"

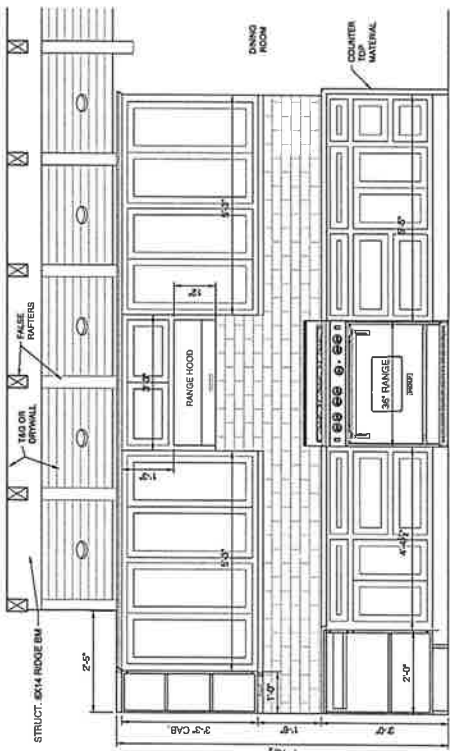
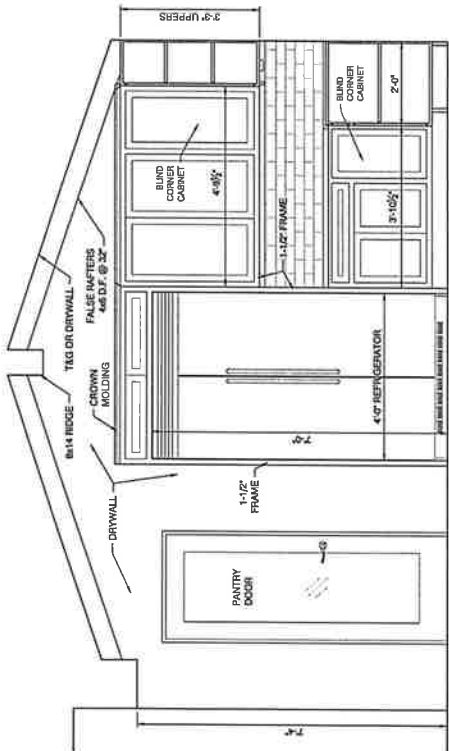
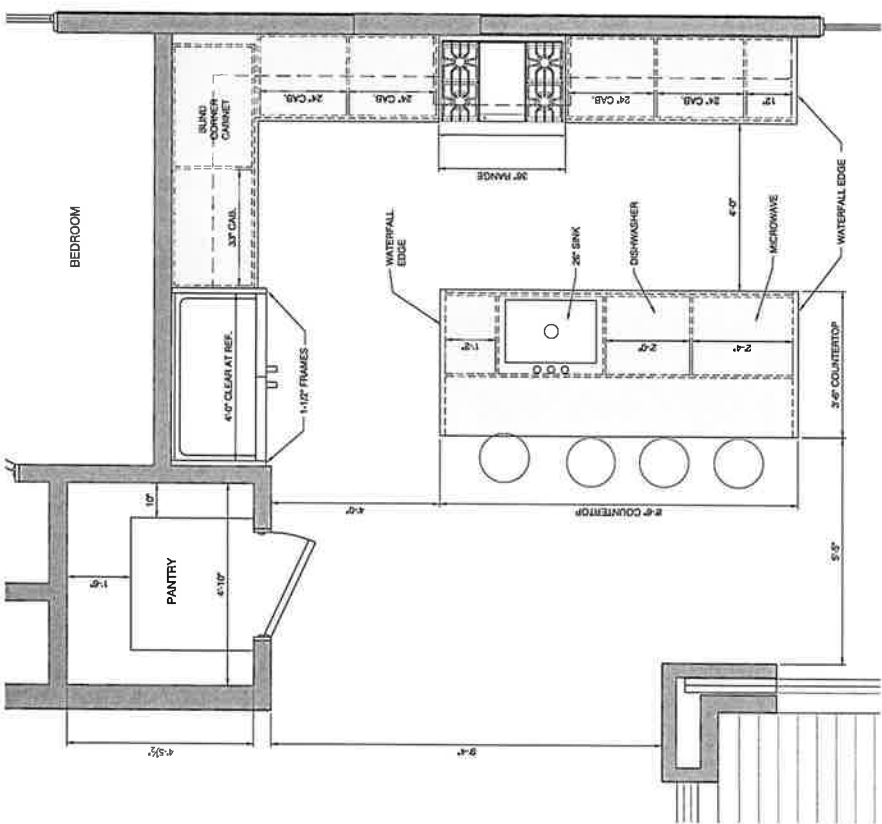
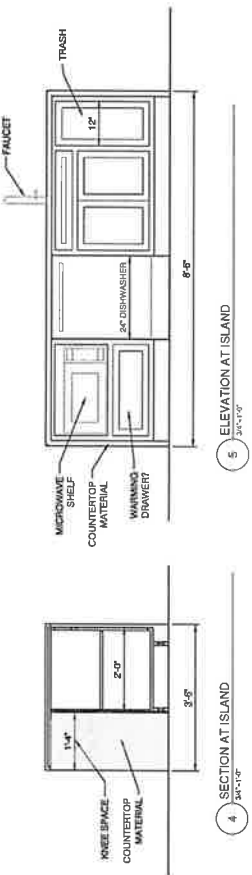
3 LAUNDRY ROOM SOUTH ELEVATION

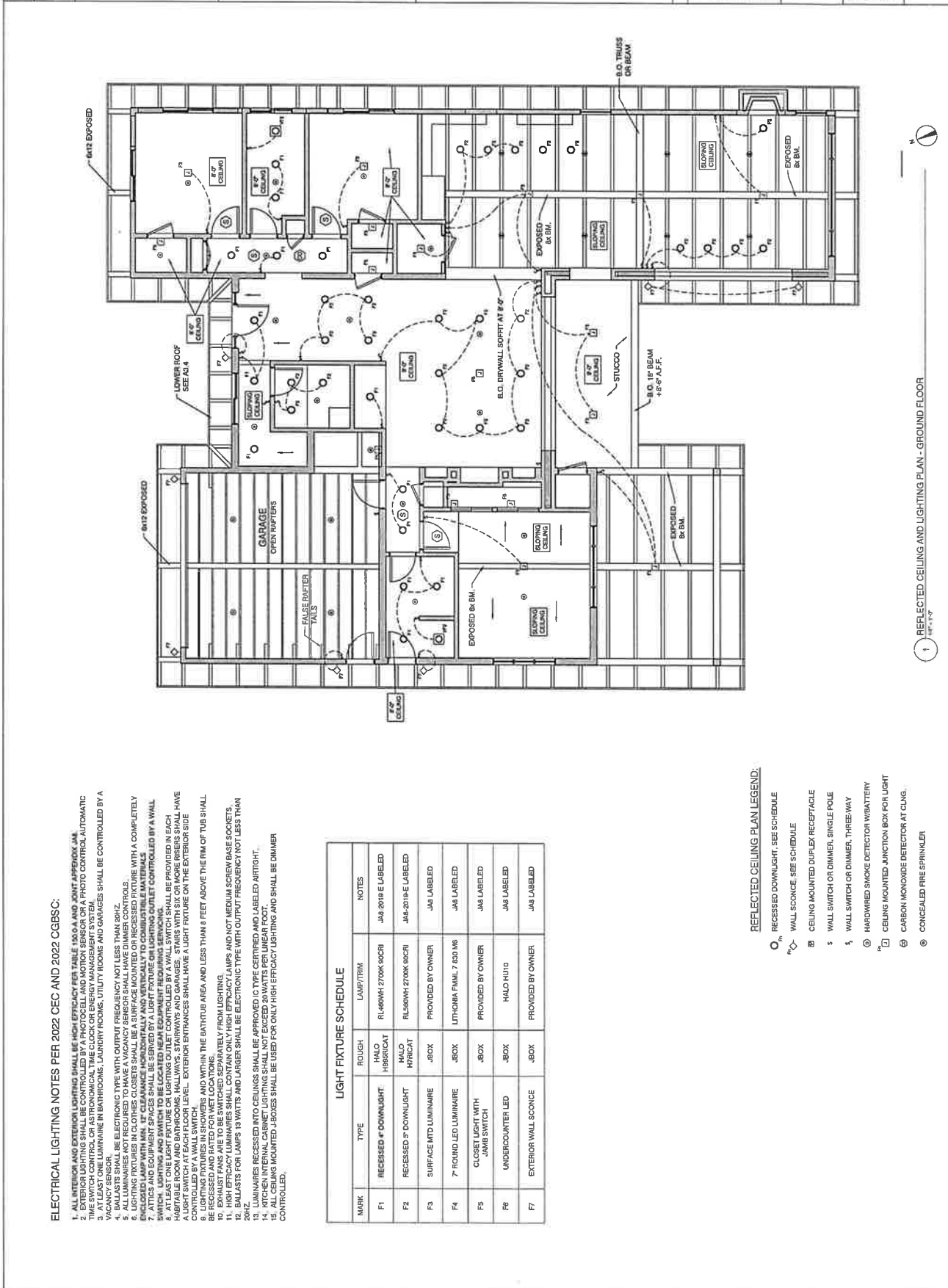


2 ELEVATION AT LIVING ROOM DESK ALCOVE 34" x 1'-0"



1 ELEVATION AT LIVING ROOM FIREPLACE AND BUILT-IN SHELVES
34" x 1'-0"





- ELECTRICAL LIGHTING NOTES PER 2022 CEC AND 2022 CGBSC:
1. ALL INTERIOR AND EXTERIOR LIGHTING SHALL BE HIGH EFFICACY PER TABLE 150.0-A AND JOINT APPENDIX A-M.
 2. EXTERIOR LIGHTING SHALL BE CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR A PHOTO CONTROL AUTOMATIC VACUUM SENSOR.
 3. AT LEAST ONE LUMINAIRE IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS AND GARAGES SHALL BE CONTROLLED BY A VACUUM SENSOR.
 4. ALL LUMINAIRES SHALL BE ELECTRONIC TYPE WITH OUTPUT FREQUENCY NOT LESS THAN 120HZ.
 5. ALL LUMINAIRES NOT REQUIRED TO HAVE A VACUUM SENSOR SHALL HAVE DIMMER CONTROLS.
 6. LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL BE A SURFACE MOUNTED OR RECESSED FIXTURE WITH A COMPLETELY ENCLOSED LAMP WITH MIN. 12" CLEARANCE HORIZONTALLY AND VERTICALLY TO COMBUSTIBLE MATERIALS.
 7. LIGHTING AND SWITCHES TO BE LOCATED NEAR EQUIPMENT REQUIRING SERVICE.
 8. AT LEAST ONE LIGHT FIXTURE OR LIGHTING OUTLET CONTROLLED BY A WALL SWITCH SHALL BE PROVIDED IN EACH HABITABLE ROOM AND BATHROOMS, HALLWAYS, STAIRWAYS AND GARAGES. STAIRS WITH SIX OR MORE RISERS SHALL HAVE A WALL SWITCH.
 9. LIGHTING FIXTURES IN SHOWERS AND WITHIN THE BATHTUB AREA AND LESS THAN 8 FEET ABOVE THE RIM OF TUB SHALL BE CONTROLLED BY A WALL SWITCH.
 10. EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING.
 11. HIGH EFFICACY LUMINAIRES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS AND NOT MEDIUM SCREW BASE SOCKETS.
 12. BALLASTS FOR LAMPS 19 WATTS AND LARGER SHALL BE ELECTRONIC TYPE WITH OUTPUT FREQUENCY NOT LESS THAN 120HZ.
 13. LUMINAIRES RECESSED INTO CEILING SHALL BE APPROVED IC TYPE CERTIFIED AND LABELED AIRTIGHT.
 14. KITCHEN INTERNAL CABINET LIGHTING SHALL NOT EXCEED 20 WATTS PER LINEAR FOOT.
 15. ALL CEILING MOUNTED J-BOXES SHALL BE USED FOR ONLY HIGH EFFICACY LIGHTING AND SHALL BE DIMMER CONTROLLED.

LIGHT FIXTURE SCHEDULE				
MARK	TYPE	ROUGH	LAMP/TRIM	NOTES
F1	RECESSED 4" DOWNLIGHT	HALO HYPERGAT	RL460WH 2700K 90CRI	JAS 2019 E LABELED
F2	RECESSED 3" DOWNLIGHT	HALO HYPERGAT	RL460WH 2700K 90CRI	JAS 2019 E LABELED
F3	SURFACE MTD LUMINAIRE	JBOX	PROVIDED BY OWNER	JAS LABELED
F4	7" ROUND LUMINAIRE	JBOX	LITHONIA FAMIL 7 520 MB	JAS LABELED
F5	CLOSET LIGHT WITH JAMB SWITCH	JBOX	PROVIDED BY OWNER	JAS LABELED
F6	UNDERCOUNTER LED	JBOX	HALO HUIO	JAS LABELED
F7	EXTERIOR WALL SCONCE	JBOX	PROVIDED BY OWNER	JAS LABELED

REFLECTED CEILING PLAN LEGEND:

- _R RECESSED DOWNLIGHT, SEE SCHEDULE
- _W WALL SCONCE, SEE SCHEDULE
- _C CEILING MOUNTED DUPLEX RECEPTACLE
- ⚡ WALL SWITCH OR DIMMER, SINGLE POLE
- ⚡₃ WALL SWITCH OR DIMMER, THREE-WAY
- ⊗ HARDWIRED SMOKE DETECTOR W/BATTERY
- ⊞ CEILING MOUNTED JUNCTION BOX FOR LIGHT
- ⊞ CARBON MONOXIDE DETECTOR AT CLING
- ⊞ CONCEALED FIRE SPRINKLER

1 REFLECTED CEILING AND LIGHTING PLAN - GROUND FLOOR
1/8" = 1'-0"

1. EXTERIOR AND EXTERIOR LIGHTING SHALL BE HIGH EFFICACY PER SECTION 90.0.4 AND VENT APPENDIX A.6.
2. ALL OUTDOOR LIGHTING SHALL BE CONTROLLED BY A PHOTOCELL AND MOTION SENSOR OR A PHOTO CONTROL AUTOMATIC TIME SWITCH CONTROL ON ASTRONOMICAL CLOCK OR ENERGY MANAGEMENT SYSTEM.
3. ALL DIMMER CONTROLS SHALL BE ELECTRONIC TYPE WITH OUTPUT FREQUENCY NOT LESS THAN 20HZ.
4. BALLASTS SHALL BE ELECTRONIC TYPE WITH OUTPUT FREQUENCY NOT LESS THAN 20HZ.
5. ALL LUMINAIRES NOT REQUIRED TO HAVE A VACUANCY SENSOR SHALL HAVE DIMMER CONTROLS.
6. ALL LUMINAIRES IN CLOTHES CLOSETS SHALL BE A SURFACE MOUNTED OR RECESSED FIXTURE WITH A COMPLETELY ENCLOSED LAMP
7. ALL LUMINAIRES IN BATHS SHALL BE A SURFACE MOUNTED OR RECESSED FIXTURE WITH A COMPLETELY ENCLOSED LAMP
8. ATTICS AND EQUIPMENT SPACES SHALL BE SERVED BY A LIGHT FIXTURE OR LIGHTING OUTLET CONTROLLED BY A WALL SWITCH, LIGHTING SWITCH OR EQUIPMENT SWITCH.
9. AT LEAST ONE LIGHT FIXTURE OR LIGHTING OUTLET CONTROLLED BY A WALL SWITCH SHALL BE PROVIDED IN EACH HABITABLE ROOM AND PORCHES, PATIOS, TERRAZZOS, DECKS, BALCONIES, AND PORCHES SHALL HAVE A LIGHT SWITCH AT EACH FLOOR LEVEL.
10. EXTERIOR ENTRANCES SHALL HAVE A LIGHT FIXTURE ON THE EXTERIOR SIDE CONTROLLED BY A WALL SWITCH.
11. LIGHTING FIXTURES IN SHOWERS AND WITHIN THE BATHTUB AREA AND LESS THAN 6 FEET ABOVE THE RIM OF TUB SHALL BE RECESSED AND RATED FOR WET LOCATIONS.
12. ALL LUMINAIRES SHALL BE SWITCHED SEPARATELY FROM LIGHTING.
13. HIGH EFFICACY LUMINAIRES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS AND NOT MEDIUM SCREW BASE SOCKETS.
14. BALLASTS FOR LAMPS 13 WATTS AND LARGER SHALL BE ELECTRONIC TYPE WITH OUTPUT FREQUENCY NOT LESS THAN 20HZ.
15. LUMINAIRES RECESSED INTO CEILINGS SHALL BE APPROVED IC TYPE CERTIFIED AND LABELED AIRTIGHT.
16. ALL CEILING MOUNTED BOXES SHALL BE USED FOR ONLY HIGH EFFICACY LIGHTING AND SHALL BE DIMMER CONTROLLED.

WhisperRecessed LED

PV00002

Superintendente, Saneamento Básico (Fazendas de Itaipu) em

Itaipu, Mato Grosso do Sul, 2019. O projeto foi desenvolvido em parceria com a Prefeitura Municipal de Itaipu, Mato Grosso do Sul, e a Companhia Saneamento de Itaipu, Mato Grosso do Sul. O projeto foi desenvolvido em parceria com a Prefeitura Municipal de Itaipu, Mato Grosso do Sul, e a Companhia Saneamento de Itaipu, Mato Grosso do Sul. O projeto foi desenvolvido em parceria com a Prefeitura Municipal de Itaipu, Mato Grosso do Sul, e a Companhia Saneamento de Itaipu, Mato Grosso do Sul.

Projeto de Arquitetura e Urbanismo

Projeto de Arquitetura e Urbanismo

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- Q RECESSED DOWNLIGHT. SEE SCHEDULE
- R₁ WALL SCONCE. SEE SCHEDULE
- CEILING MOUNTED DUPLEX RECEPTACLE
- ⊗ WALL SWITCH OR DIMMER, SINGLE POLE
- ⊗ WALL SWITCH OR DIMMER, THREE-WAY
- ① HARDWIRED SMOKE DETECTOR, WIREMATTED
- ② CEILING MOUNTED JUNCTION BOX FOR LIGHTING
- ③ CARBON MONOXIDE DETECTOR AT CLING
- ④ CONCEALED FIRE SPRINKLER

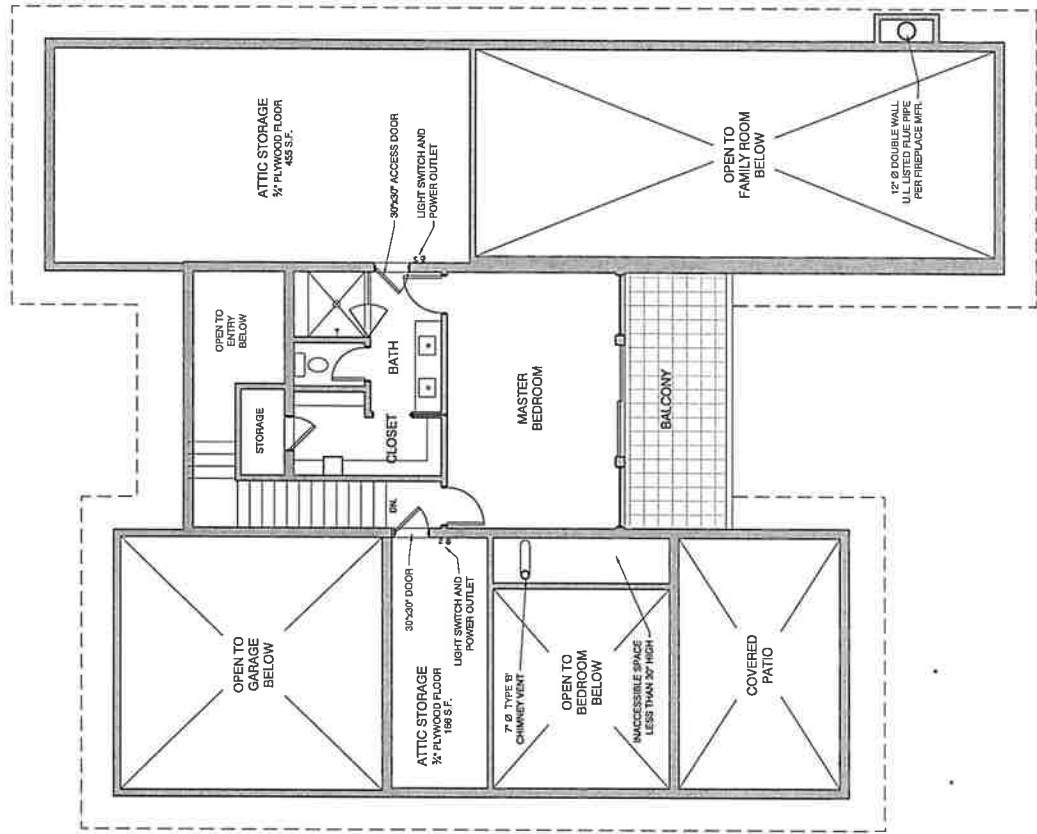


A4.2

REFLECTED
CEILING AND
LIGHTING PLAN

SCALE:	AS NOTED
DATE:	9-26-21
SHEET NO.:	0
OF 60 SHEETS	0

5557 CALLE ARENA
ADDITION AND
ALTERATIONS



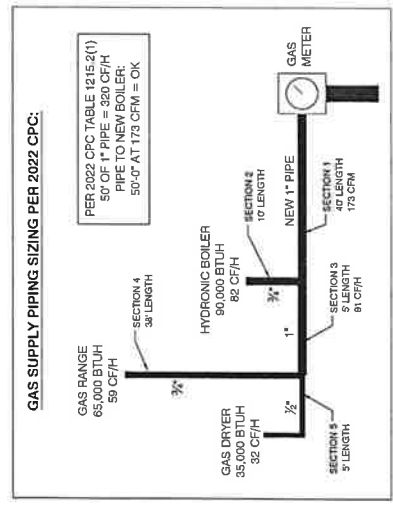
1 ATTIC PLAN - CUT JUST ABOVE SECOND FLOOR LEVEL
1/4" = 1'-0"

HVAC NOTES PER 2022 CMC, 2022 CGBC, AHSRAE 62.2

1. EXHAUST FANS ARE TO BE SWITCHED SEPARATELY FROM LIGHTING.
2. WHOLE HOUSE FAN IS NOT REQUIRED, PROJECT IS LOCATED IN CLIMATE ZONE 9.
3. EACH KITCHEN HOOD EXHAUST FAN SHALL PROVIDE MIN. 100 CFM AT 0.25" STATIC PRESSURE.
4. EACH BATHROOM EXHAUST FAN SHALL PROVIDE MIN. 50 CFM AT 0.25" STATIC PRESSURE.
5. DOORS BETWEEN THE GARAGE AND DWELLING UNIT SHALL BE GASED OR LESS.
6. CEILING MOUNTED WHOLE HOUSE FANS SHALL OPERATE AT 1.0 SONES OR LESS.
7. CEILING MOUNTED KITCHEN AND BATH FANS SHALL OPERATE AT 3.0 SONES OR LESS.
8. COMBUSTION AIR FOR DRIVER IS TO BE PROVIDED PER MANUFACTURERS' RECOMMENDATIONS.
9. DRYER MANUFACTURERS' INSTALLATION INSTRUCTIONS ARE TO BE ON SITE FOR INSPECTION.

HVAC EQUIPMENT SCHEDULE		
TYPE	MFR. / MODEL	NOTES
HYDRONIC HEAT DISTRIBUTION PANEL	FLOOR HEAT COMPANY EASYFLOW SYSTEM	4 ZONES WITH PUMPS, EXPANSION TANK AND PRESSURE VALVE
HYDRONIC HEAT BOILER	RINNAI R909SN	100,000 BTU/H INPUT, 65% AFUE
WATER HEATER	RHEEM XE25T0H4500	HEAT PUMP 45 GAL. / 4.05 VED ALL ELECTRIC NO GAS

EXHAUST FAN SCHEDULE					
MARK	TYPE	MFR. / MODEL	RATED CFM @ 0.25" W.C.	SONES	NOTES
VF1	WHOLE HOUSE FAN				NOT REQUIRED
VF2	KITCHEN HOOD	WING WAC6555	600	N/A	VARIABLE SPEED
VF3	BATH EXHAUST	PANASONIC FV45H9Z	66	0.8	COMBO LIGHT/FAN HUMIDISTAT CONTROL





STRUCTURAL DRAWINGS PREPARED FOR

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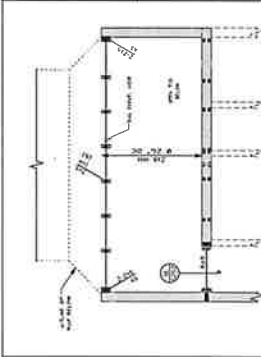
SHEARWALL SCHEDULE

SHEARWALL SCHEDULE									
LINE NO.	TYPE	SOBBE	THICKNESS	START ELEV.	END ELEV.	FINISH ELEV.	FINISH TYPE	FINISH	FINISH
1	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
2	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
3	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
4	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
5	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
6	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
7	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
8	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
9	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
10	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
11	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
12	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
13	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
14	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
15	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
16	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
17	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
18	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
19	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
20	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
21	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
22	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
23	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
24	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
25	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
26	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
27	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
28	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
29	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
30	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
31	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
32	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
33	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
34	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
35	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
36	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
37	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
38	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
39	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
40	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
41	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
42	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
43	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
44	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
45	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
46	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
47	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
48	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
49	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
50	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
51	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
52	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
53	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
54	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
55	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
56	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
57	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
58	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
59	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
60	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
61	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
62	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
63	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
64	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
65	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
66	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
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73	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
74	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
75	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
76	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
77	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
78	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
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80	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
81	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
82	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
83	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
84	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
85	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
86	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
87	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
88	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
89	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
90	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
91	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
92	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
93	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
94	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
95	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
96	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
97	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
98	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
99	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"
100	WALL	24" CM	27' 00"	0' 00"	27' 00"	0' 00"	0' 00"	0' 00"	0' 00"

[illegible]

NOTE:
 • Do not fill, seal, weld or glue valves, air lines or structural connections. All bottles are Type I, non-refillable.
 • Check and test pressure on all 2000's.
 • If required, replace, supplement, all valves, air lines or structural connections with an approved air cylinder with a pressure

[illegible]



CLERESTORY FRAMING PLAN

ALL WALLS TO BE CONFORM TO THE FOLLOWING:

 1. ALL WALLS TO BE BUILT UP AS FOLLOWS:

 2. ALL WALLS TO BE BUILT UP AS FOLLOWS:

 3. ALL WALLS TO BE BUILT UP AS FOLLOWS:

FRAMING LEGEND

 WOOD POST CONTINUOUS TO LEVEL BELOW

 1x6 @ 12" O.C. STUD WALL

 1x6 @ 12" O.C. STUD WALL

 1x6 @ 12" O.C. STUD WALL

ROOF FRAMING NOTES

 ALL TRUSSES TO BE BUILT UP AS FOLLOWS:

 ALL TRUSSES TO BE BUILT UP AS FOLLOWS:

 ALL TRUSSES TO BE BUILT UP AS FOLLOWS:

HARDY FRAME SCHEDULE

 HARDY FRAME SCHEDULE

TYPE	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00
2	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00
3	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00

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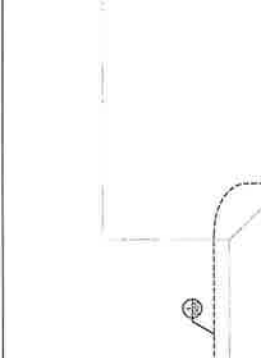
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1	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00
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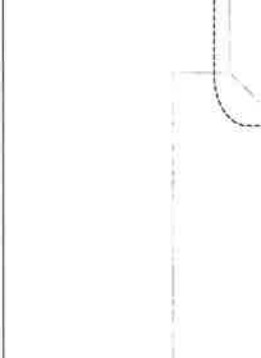
TYPE	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00
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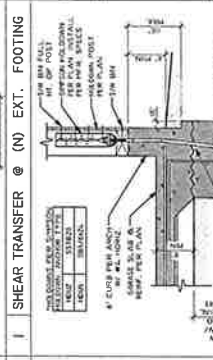
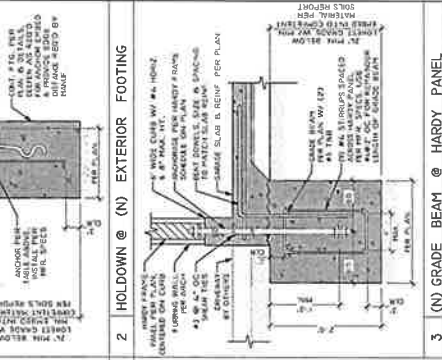
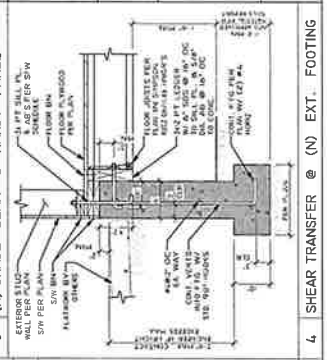
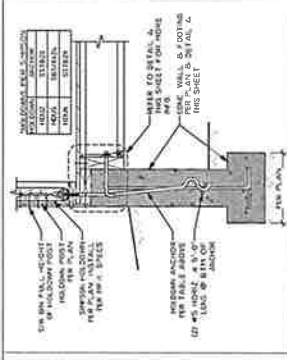
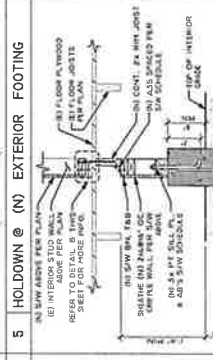
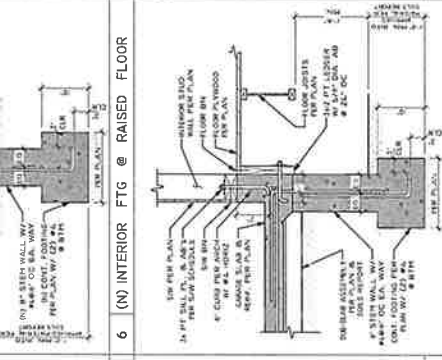
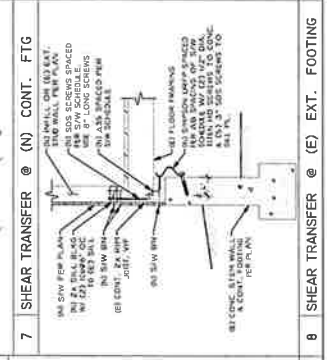
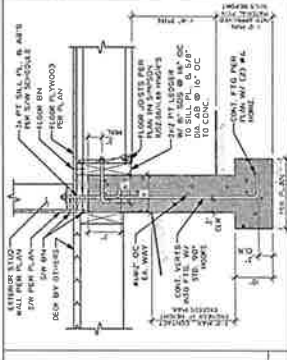
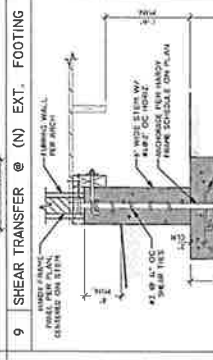
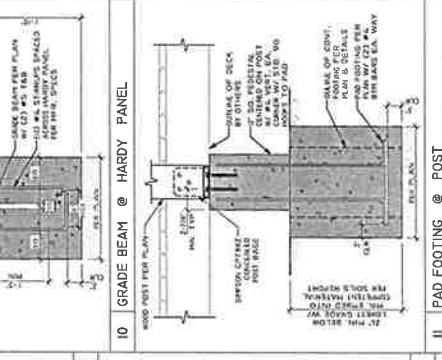
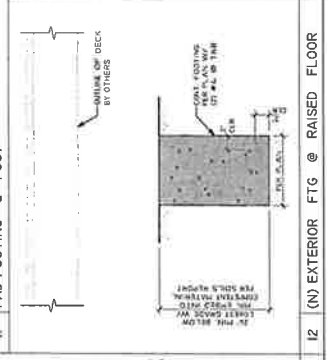
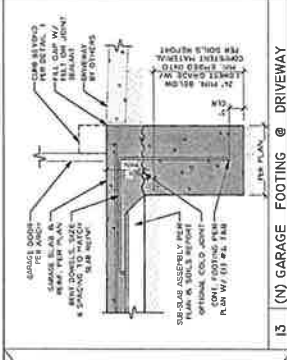
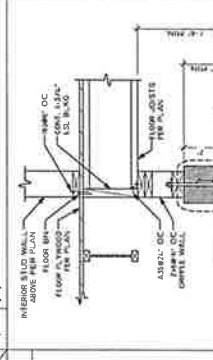
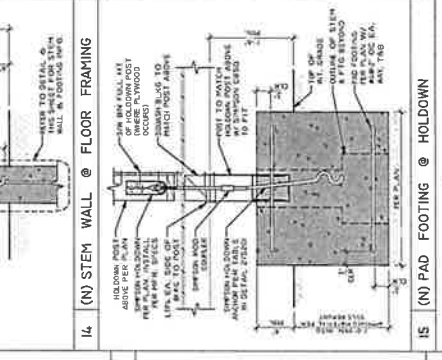
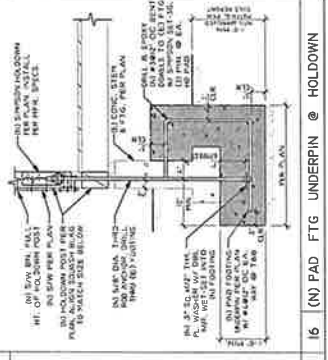
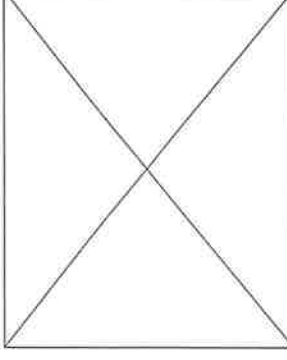
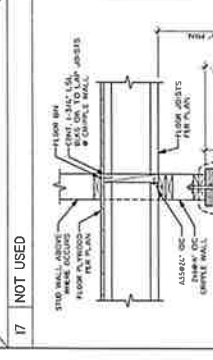
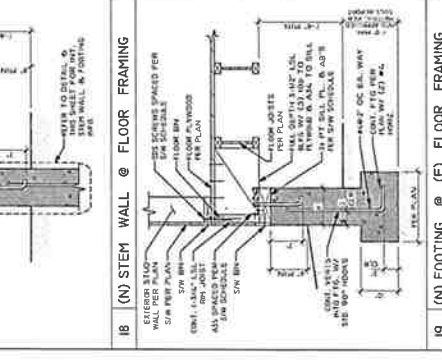
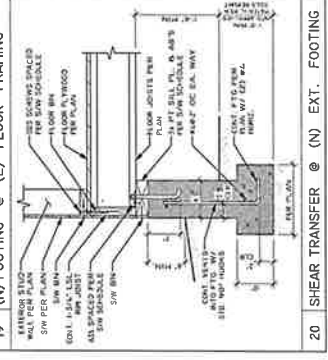
TYPE	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00
2	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00
3	1x6 @ 12" O.C. STUD WALL	100	LF	1.50	150.00

ALL WALLS TO BE CONFORM TO THE FOLLOWING:

 1. ALL WALLS TO BE BUILT UP AS FOLLOWS:

 2. ALL WALLS TO BE BUILT UP AS FOLLOWS:

 3. ALL WALLS TO BE BUILT UP AS FOLLOWS:

 CS CEDAR STRUCTURAL (405) 455-6120 WWW.CSCEDARSTRUCTURAL.COM	 DAVID J. SMITH REGISTERED PROFESSIONAL ENGINEER STATE OF CALIFORNIA NO. 50812 EXPIRATION DATE 12/31/2024	5557 CALLE ARENA CARPINTERIA, CA 93013 NEW RESIDENCE STRUCTURAL DRAWINGS PREPARED FOR	FOUNDATION DETAILS S201
17 NOT USED	15 (N) GARAGE FOOTING @ DRIVEWAY 	14 (N) STEM WALL @ FLOOR FRAMING 	16 (N) PAD FTG UNDERPIN @ HOLDOWN 
9 SHEAR TRANSFER @ (N) EXT. FOOTING 	5 HOLDOWN @ (N) EXTERIOR FOOTING 	10 GRADE BEAM @ HARDY PANEL 	12 (N) EXTERIOR FTG @ RAISED FLOOR 
10 GRADE BEAM @ HARDY PANEL 	5 HOLDOWN @ (N) EXTERIOR FOOTING 	10 GRADE BEAM @ HARDY PANEL 	12 (N) EXTERIOR FTG @ RAISED FLOOR 
9 SHEAR TRANSFER @ (N) EXT. FOOTING 	5 HOLDOWN @ (N) EXTERIOR FOOTING 	10 GRADE BEAM @ HARDY PANEL 	12 (N) EXTERIOR FTG @ RAISED FLOOR 
9 SHEAR TRANSFER @ (N) EXT. FOOTING 	5 HOLDOWN @ (N) EXTERIOR FOOTING 	10 GRADE BEAM @ HARDY PANEL 	12 (N) EXTERIOR FTG @ RAISED FLOOR 

NEW RESIDENCE

5557 CALLE ARENA
CARPINTERIA, CA 93013

STRUCTURAL DRAWINGS PREPARED FOR

FOUNDATION DETAILS

S201

REMARKS:	2018
DATE:	07/20/24
BY:	DAVID J. SMITH
CHECKED:	DAVID J. SMITH
DATE:	07/20/24
BY:	DAVID J. SMITH



5557 CALLE ARENA
CARPINTERIA, CA 93013

NEW RESIDENCE

STRUCTURAL DRAWINGS PREPARED FOR

REMARKS:	2018
DATE:	07/20/24
BY:	DAVID J. SMITH
CHECKED:	DAVID J. SMITH
DATE:	07/20/24
BY:	DAVID J. SMITH

FOUNDATION DETAILS

S201

17	ROOF SHEAR TRANSFER @ INT. S/W	15	OPENING IN S/W	9	CONCEALED CONNECTIONS @ BEAM/POST	5	ROOF SHEAR TRANSFER @ EXT. S/W	1	ROOF SHEAR TRANSFER @ EXT. S/W
18	ROOF FRAMING @ HEADER	14	ROOF FRAMING @ RIDGE BEAM	10	ROOF SHEAR TRANSFER @ EXT. S/W	6	RIDGE BEAM @ POST/HEADER	2	ROOF FRAMING @ INT. RIDGE BEAM
19	ROOF FRAMING @ HEADER	15	ROOF SHEAR TRANSFER @ EXT. S/W	11	ROOF SHEAR TRANSFER @ EXT. S/W	7	RIDGE BEAMS @ POST	3	ROOF SHEAR TRANSFER @ INT. S/W
20	SHEAR TRANSFER @ HARDY PANEL	16	SHEAR TRANSFER @ HARDY PANEL	12	SHEAR TRANSFER @ (N) EXTERIOR S/W	8	ROOF SHEAR XFER @ EXT. HEADER	4	ROOF FRAMING @ EXTERIOR BEAM

CEEDAR STRUCTURAL
(805) 455-6120
WWW.CEEDARSTRUCTURAL.COM

IN CALL SAINT BARBARA, CA 93102

5537 CALLE ARENA
CARPINTERIA, CA 93013

NEW RESIDENCE

STRUCTURAL DRAWINGS PREPARED FOR

NOT FOR CONSTRUCTION

DATE: 08/20/2013

BY: CEDAR STRUCTURAL, INC.

FOR: CEDAR STRUCTURAL, INC.

PROJECT: 5537 CALLE ARENA, CARPINTERIA, CA 93013

REVISIONS

NO.	DATE	DESCRIPTION
1	08/20/2013	ISSUED FOR PERMIT
2	08/20/2013	ISSUED FOR PERMIT
3	08/20/2013	ISSUED FOR PERMIT

STRUCTURAL DETAILS

S203

[illegible]

Attachment B
Proposed Final Colors and Materials

Mayer Residence Remodel and Additions
Project #22-2183-CUP/CDP/ARB
Final ARB Review
March 27, 2025

5557 Calle Arena Addition and Alterations
Color and Materials



House Body-Swiss Coffee
Benjamin Moore OC-45



Fascia Trim & Eaves-Gravel Gray
Benjamin Moore 2127-30



Standing Seam Metal Roofing
Pac-Clad "Musket Gray"



Decking
Tru-Organics Bamboo Composite
Color: "Sedona"



Beams and Rafters
Benjamin Moore Semi Trans
Stain "Rustic Taupe 999"

PITCH SINGLE OUTDOOR WALL

VISUAL COMFORT & CO.

PRODUCT FEATURES

- Powerful, long lasting (L70, 70,000 hours) dimmable LED tested against the highest quality standards to ensure it delivers consistent LED performance and color over time.
- Die-cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements. appropriate for commercial use.
- Mount vertically for downlight only.
- Wet listed, IP65 (International Protection rating indicating resistance to dust and water. Suitable for wet location when facing down).
- The LED Driver is housed within the junction box for this product
- 5-year Warranty. Go to www.techlighting.com for warranty details.



LAMPING

Black



Black



Bronze



Charcoal



Silver

ORDERING INFORMATION

700WSPIT	SHAPE OR SIZE	FINISH	LAMP
	SINGLES	B BLACK	-LED827 LED 90 CRI 2700K 120V
		Z BRONZE	-LED827-277 LED 90 CRI 2700K 277V
		H CHARCOAL	-LED830 LED 90 CRI 3000K 120V
		I SILVER	-LED830-277 LED 90 CRI 3000K 277V

700WSPIT

JOB NAME

NOTES



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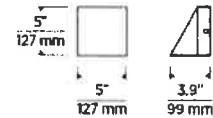
7400 Linder Avenue, Skokie, IL 60077
T 847.410.4400 | F 847.410.4500 | techlighting.com

PITCH SINGLE OUTDOOR WALL

VISUAL COMFORT & Co.

SPECIFICATIONS

PRIMARY MATERIAL	Aluminum
SHADE MATERIAL	Aluminum
NET WEIGHT	1.2 lbs
HEIGHT	5in
WIDTH	3.9in
LENGTH	5in
WET LISTED	
DAMP LISTED	
DRY LISTED	
GENERAL LISTING	ETL Listed
INCLUDES	



LAMPING SPECIFICATIONS

	LED LAMP	INTEGRATED LED	NON LED	NO LAMP
DELIVERED LUMENS		823		
WATTS		26.2		
MAX WATTAGE PER BULB		26.2W		
		120V ELV		
		277V ELV		
CCT		3000K		
		2700K		
CRI		90 CRI		
LED LIFETIME				
L70		>60000		
AVERAGE BULB HOURS				
FIELD SERVICEABLE LED				
LAMP BASE		Integrated LED		
LAMP SHAPE		Integrated LED		
LAMP INCLUDED?		True		
WARRANTY**		5 Years		

* Dimming information available at www.techlighting.com/Downloads#dimming

** Visit techlighting.com for specific warranty limitations and details.

T20 / T24 / JAB INFORMATION

	Integrated LED	Replacement LED Lamp	No Lamp *
This product can be used to comply with California Building Energy Efficiency Standards 2016 Title 24 Part 6 / JAB.	Yes		
This product can be used to comply with California Appliance Efficiency Standards 2016 Title 20 and may be shipped to and sold in California.	N/A		

* If a light fixture or component does not include a lamp or light source, it is the responsibility of the customer to select a lamp that meets the T24 and T20 requirements.



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7400 Linder Avenue, Skokie, IL 60077
T 847.410.4400 | F 847.410.4500 | techlighting.com

Attachment C
Minutes from the September 14, 2023 and
May 16, 2024 ARB Meetings

Mayer Residence Remodel and Additions
Project #22-2183-CUP/CDP/ARB
Final ARB Review
March 27, 2025

ACTION MINUTES

The meeting was called to order at 5:31 p.m. by Vice Chair Blakemore.

ROLL CALL

Boardmembers present:

Amy Blakemore, Vice Chair
Richard Johnson
Richard Little
Patrick O'Connor

Boardmembers absent: Brad Stein, Chair

OTHERS PRESENT: Approximately 15 members of the public were in attendance.

PUBLIC COMMENT:

Sue Skenderian asked about the plan for parking at 700 Linden. Nick Bobroff responded that 20 spaces will be provided behind the building along Cactus Lane and that the project also has parking credits in Lot 3.

A public comment letter from J.J. Gobbell concerning the proposed mixed-use project at 4745 Carpinteria Avenue was received ahead of the meeting. The letter generally expressed opposition to the project related to scale, density and intensity. A copy of the letter is on file with the Community Development Department.

PROJECT REVIEW

- 1) Projects: Mayer Residence Remodel & Additions, Project 22-2183-CUP/CDP/ARB
Address: 5557 Calle Arena
Applicant: Ted Meeder, architect, for Tyler and Jessica Mayer
Planner: Syndi Souter

Request of Ted Meeder, architect, for Tyler and Jessica Mayer, to consider Project 22-2183-CUP/CDP/ARB for preliminary review of a proposal to partially demolish an existing 2,233 square-foot single-family residence and construct a new 2,631 square-foot two-story single-family residence with an attached 378 square-foot two-car garage, for a total size of 3,009 square feet. The height would reach a maximum of 25.5-feet above finished grade. The proposal also includes new landscaping, hardscape, and fencing. The property is a 7,620 square foot parcel zoned Single Family Residential (6-R-1) and shown as APN 003-382-011, addressed as 5557 Calle Arena.

Ex Parte Communications Disclosure:

Boardmember O'Connor disclosed that he had discussed the Concha Loma Design Guidelines with Gail Marshall ahead of the meeting.

Staff Comments:

Syndi Souter described the proposed scope of work. She explained that the existing residence is legal nonconforming on the front and eastern side setback, and the applicants propose to reconstruct the new residence in the same nonconforming dimensions with a Conditional Use Permit approved by

Planning Commission. Staff was concerned about the overall height and prominence of the proposed second floor addition, noting the proposed height of the residence is 25 feet, and photos of the project's story poles illustrated the height relative to the story poles and residences on neighboring properties. Boardmember Johnson asked about exterior colors, and Ms. Souter responded that the primary exterior color would be beige stucco, with dark grey metal roofing and dark grey trim. Boardmember O'Connor asked for clarification on the residence's legal nonconformity in the setbacks.

Applicant Comments: Ted Meeder, architect, described how he made every effort to place the second story as far back as possible and "bury" some of the front exterior stucco wall into the ground floor level roof. Given the scope of the remodel, he felt the 8'11" plate height of the first floor was a "minimum," to help keep overall height down. None of the proposed walls extend to two stories. Turf was chosen for landscaping because the clients have young children. Mr. Meeder described the proposed open picket fence that aligns with Concha Loma design guidelines. He noted that the landscape plan will continue to be refined. He explained that all bedrooms in the proposed residence would be utilized by immediate family members, and there are no "luxury" rooms being proposed, such as guest rooms or offices—maintaining the current legal nonconforming setbacks would allow space needed for the family. Boardmember Johnson asked the applicant to clarify the height of the second story windows.

Public Comment:

Gail Marshall expressed that the proposed design fits well into the neighborhood, except for the second story. She explained that neighbors had conducted a survey of Concha Loma residents regarding two story homes, and most expressed interest in maintaining the number of single-story homes. She felt that the increase of two-story residences will turn the neighborhood into "Anytown, USA" and erase the area's unique character.

Sue Skenderian expressed that the precedent has been set by a previous project for allowing two story residences in Concha Loma, and that the neighborhood's "feeling" is gone. She hopes that this project and future ones will put a lot of thought into the way second stories are designed. She expressed that the proposed design for this project is unoffensive and looks nice, although the blank space between the peak of the second story and the second story front windows seems to "thrust" the house upward.

Robert Mayer, who grew up in the neighborhood, expressed support for the design of the project, citing the family's need for space.

Lorie Stout submitted a comment letter ahead of the meeting that described the house as being too tall for the neighborhood and asked that the height be limited to better fit the neighborhood. A copy of the letter is on file with the Community Development Department.

Boardmember Discussion:

Boardmember O'Connor commented that the power lines in front of the residence are "crazy," and asked if there was a plan for the neighborhood to underground them. He expressed his dislike for the precedent of second story residences in Concha Loma, and for allowing nonconforming setbacks to continue. Boardmember O'Connor wondered about the privacy of the residents, given that the second story windows are quite exposed. He commented that the proposed residence would remain closer to the street than the neighboring proposed two-story residence (Pfaff, Project 23-2209). He qualified his nay vote by noting he was against the project on the principle of nonconforming setbacks, not the

project design specifically, and the continuing precedent of breaching the neighborhood guidelines restricting second stories.

Boardmember Little commented on the higher plates on the second story, given that there were already concerns about the massing and height. He suggested the plates be dropped to 7.5 feet, which would make the height less intimidating from the street, and lower than nearby existing and proposed two story homes. He noted the stucco felt bland, and suggested that hardy shingles or planks could be added to the front side to dress up the appearance. He liked the design of the rear side.

Boardmember Johnson appreciated the “wedding cake” placement of the second story, but suggested the applicant explore ways to make it appear less like a second story stacked on top. He felt the four square windows on the front were “monotonous” and could be made more charming. By shifting the eave over the front door up, he suggested, more of the blank second story mass could be covered, and the mass of the first versus second story would feel more balanced. He also suggested a hip roof on the second story instead of the proposed gable, and lowering the second story plate height. He said that siding or wainscot could add more interest to the front of the residence. He expressed no issue with the side setback’s legal nonconformance, and liked the proposed sandy color and light fixtures. He commented that the architecture should identify a style of home, such as contemporary or craftsman, and lean into it with appropriate details and finishes.

Vice Chair Blakemore agreed with others that the second story seems to be “floating” on top of the first story, and suggested the architecture “settle” it into the overall home more. She expressed no issue with the setbacks, and felt ok with the turf because the family’s children would use it frequently. She suggested hedges be planted on the sides to provide a small buffer between houses, and that the overall landscape design select one style and apply it to all plants chosen. She also suggested the queen palms be swapped for king palms, which self-clean.

Mr. Meeder responded to the suggestions on roofing. He explained that the four-foot roof overhang on the back second story patio was to prevent the patio from being counted as covered patio floor area. He also noted that the proposed placement of the second story was chosen because it is in a structurally ideal place.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Little, to recommend continuance to a future meeting and for the applicant to return with a more refined design.

VOTE: 3-1 (O’Connor opposed)

OTHER BUSINESS: None

CONSENT CALENDAR: None

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

ADJOURNMENT

Chair Stein adjourned the meeting at 6:26 p.m. to the next scheduled meeting to be held at 5:30 pm on Thursday, September 28, 2023. All Boardmembers present indicated they expect to be in attendance.

Applicant Comments:

Dylan Chappell, architect, answered questions from Boardmember Johnson as to reasons for the changes to the plans that were not directly related to the Board's previous comments. Dylan explained that the stone veneer was removed to accommodate flood venting if required in the future. He further explained that the chimneys were removed because wood burning fireplaces are no longer allowed so the fireplaces will be natural gas with direct venting; the color change was an owner preference; and the second-floor bedroom window was eliminated to allow for furniture placement and so there would not be a direct view of the garage.

Public Comments: NoneBoardmember Discussion:

Boardmember O'Connor commented that it is going to be a nice project.

Boardmember Little commented that he liked the elimination of the chimneys.

Boardmember Johnson commented that the standing seam roof should have a spacing of 16 inches - 18 inches between seams (not 24 inches or wider) and recommended one (1) 2.5 watt - 3.5 watt LED bulb for each exterior light fixture.

Boardmember Blakemore confirmed that no landscape lighting was proposed and appreciated the changes in response to the ARB's preliminary comments. She preferred the previously proposed gray exterior color but indicated that the proposed brown color was acceptable.

Chair Stein expressed his overall support for the project.

ACTION: Motion by Boardmember Blakemore, seconded by Boardmember O'Connor, to recommend Final approval with conditions that roof seams be spaced 16 - 18 inches and one LED bulb per light fixture of 2.5 watt - 3.5 watts.

VOTE: 5-0

- 2) Project: Mayer Residence Remodel & Additions, Project 22-2183-CUP/CDP/ARB
Address: 5557 Calle Arena
Applicant: Ted Meeder, architect, for Tyler and Jessica Mayer
Planner: Syndi Souter

Request of Ted Meeder, architect, for Tyler and Jessica Mayer, to consider Project 22-2183-CUP/CDP/ARB for continued preliminary review of a proposal to partially demolish an existing 2,233 square-foot single-family residence and construct a new 2,663 square-foot two-story single-family residence with an attached 378 square-foot two-car garage, for a total size of 3,041 square feet. The height would reach a maximum of 23.67-feet above finished grade. The proposal also includes new landscaping, hardscape, and fencing. The property is a 7,620 square foot parcel zoned Single Family Residential (6-R-1) and shown as APN 003-382-011, addressed as 5557 Calle Arena.

Ex Parte Communications Disclosure: NoneStaff Comments:

Syndi Souter provided a presentation and described the updates to the project in response to the ARB's preliminary review comments, including: lowering of the second-floor plate and overall height reduction; revisions to front entry roof; revisions to four second story windows at front of the project; updates to the architectural details and finishes, and revisions to the landscape plantings. Syndi clarified that the CUP request is related to the non-conforming setback condition and concluded her presentation by requesting the Board's comments on:

- Second story size and massing;
- Window sizes and locations;
- Revised landscape plan;
- Architectural style;
- Colors, materials and exterior lighting; and
- Neighborhood compatibility.

Applicant Comments:

Ted Meeder, architect, related to the Board that the primary change to the project was lowering the massing and the related changes to the four front windows on the second floor. He commented that the project was a "puzzle" given the constraints of the existing residence's location on the lot, and the lot coverage, and FAR requirements. Ted noted that the second-floor addition comprises only approximately 20% of the overall size of the residence. He related that the revisions to the architectural style, including the design of the clerestory windows, results in a 1960's style architecture which is compatible with the neighborhood. He further related that the lowered height of the project is also compatible. Ted answered questions from Boardmember O'Connor confirming that the power lines would be placed underground and Syndi clarified that a new or major remodel would require undergrounding the power line from the nearest pole. Boardmember Johnson asked for clarification of the standing seam spacing, the top detail of the rear balcony railing, and clarification of the garage door glass.

Public Comments: An anonymous electronic comment letter was received and provided to the Board. The commenter expressed concern that the project is too tall and should be lowered to conform to other home heights and preserve sight lines for the neighbors.

Boardmember Discussion:

Boardmember Blakemore commented that she appreciates the refinement of the planting palette and asked the architect to spend time to ensure that the plant sizes and layout are appropriate and coordinated, and commented that the rubber plant's root structure could impact the foundation. She further commented that the architectural changes are nice and the height reduction is appreciated.

Boardmember Johnson commented that the revised design is a handsome improvement and appreciates the architect's effort. He did express concern that the exterior color may be "too white".

Boardmember Little commented that he appreciates the lower plate height and indicated that it does make a difference. He was glad the second chimney was eliminated and understands the clerestory window design. He agreed with Boardmember Johnson that the color should be darker.

Boardmember O'Connor agreed with the majority of the other comments, and appreciated the lowering of the project height. However, he indicated that "the elephant in the room" of having a second story in the Concha Loma subdivision is a concern considering the CC&Rs restriction.

Chair Stein indicated that he walked the neighborhood prior to the meeting and understands the concerns related to the addition of second stories in the Concha Loma neighborhood. However, he expressed that most of the homes in the neighborhood will eventually become two story residences. He appreciated the drop in height and agreed that the project is challenging and understands the front window design and how they break up the front elevation.

ACTION: Motion by Chair Stein, seconded by Boardmember Johnson, to recommend preliminary approval with comments attached for Planning Commission review and consideration.

VOTE: 4-1 (O'Connor no)

- 3) Project: 700 Linden Adaptive Reuse Project Mural, Project 21-2090-DP/CDP
Address: 700 Linden Avenue
Applicant: Michael Stroh, DMHA Architects for CHT, LLC
Planner: Brian Banks

Request of Michael Stroh, DMHA Architects, to consider Project 21-2090-DP/CDP for preliminary and final review of a proposed mural on the new 700 Linden multi-tenant commercial development currently under construction. The proposed mural would be located on the painted plaster wall along the project's primary Seventh Street façade of the remodeled "Hardware" building. The property is a 0.69-acre parcel zoned Central Business (CB) with a Visitor-serving Commercial (V) Overlay and shown as APN 003-313-001, addressed as 700 Linden Avenue.

Ex Parte Communications Disclosure: None

Staff Comments:

Brian Banks provided a presentation and recapped the project history and previous ARB reviews. He described the proposed mural location and overall design and noted the fact that a mural on the Seventh Street façade had always been planned, however an artist and design had yet to be developed until now. He further noted the Planning Commission and ARB's requirement that all exterior changes be reviewed by the ARB, including the proposed mural.

Applicant Comments:

The artist, Benjamin Anderson, informed the ARB of his inspiration when commissioned by the building owners to complete the mural. He noted that it was important that the mural design honor nature and the Chumash history and culture in Carpinteria, especially in the downtown setting. He answered questions from Boardmember O'Connor confirming that he would coordinate with local Chumash representatives to obtain their feedback on the appropriateness of the design before proceeding with the mural work. He also answered questions from Boardmember Little regarding graffiti protection. Izzy Savage, architect, answered questions from the Board regarding the mural lighting and confirmed that the existing light fixtures would illuminate the mural and that no other lighting is proposed.

**CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of March 27, 2025**

Agenda Item #2

**COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW**

Project: 23-2269-CDP/ARB **Planner:** Syndi Souter
Address: 413 Calle Dia
APN: 003-351-032
Zoning: Single Family Residential (6-R-1)
Applicant: Jyl Ratkevich, Architect, for George and Marijo de Mattos

Project Review: ☐ Conceptual
☒ Preliminary
☐ Final

PROJECT DESCRIPTION

This is a preliminary review of a request to construct three additions totaling 292 square feet to the existing 2,288 square-foot single-story single-family residence, and relocation of the garage door from the side to the front of the garage. The resultant residence would be 2,580 square feet in size with a Floor Area Ratio of 34.8%. The plate heights throughout the residence will be raised to nine-feet and the maximum roof ridge height of the residence would increase to 16.42 feet. The project would include new landscaping and hardscape, including a new curb cut and driveway off Calle Dia. A 14-inch diameter Liquidambar styraciflua ‘Rotundiloba’ (Sweetgum) street tree is proposed to be removed to construct the new driveway.

Preliminary plans are included as Attachment A, and the proposed colors and materials board is in Attachment B.

PROJECT SETTING

The project site is located at 413 Calle Dia on the west side of the street and at the southern terminus of Calle Dia where it joins Calle Pacific. The lot is approximately 7,405 square feet in size, and is presently developed with a single-family dwelling with an attached garage that was originally constructed in 1957, according to the Santa Barbara County Assessor’s Office. According to the City permit records, an addition of approximately 450 square feet at the southwest corner of the residence was approved in 1962 (the location of the existing den), and a permit was issued in 2012 to remedy a code violation for unpermitted interior alterations.

The project site is located in the Concha Loma Neighborhood (Community Design subarea 5), in the Carpinteria Park Subdivision, which is a residential neighborhood composed of single-family dwellings. The subject property is bordered by one-story single-family dwellings to the north, south, and across the street to the east. To the west, the property is bordered by one- and two-story single-

family dwellings along Calle Ocho. The site is zoned Single Family Residential (6-R-1) and has a Low-Density Residential land use designation (LDR). The property is not subject to any overlay districts.

PROJECT ANALYSIS

Carpinteria Municipal Code

The project is located in the 6-R-1 Single Family Residential zoning district and is subject to the requirements of Carpinteria Municipal Code (CMC) §14.12. Single family residences are permitted uses in this zone district, subject to approval of a Coastal Development Permit and the development standards of CMC §14.12. The following table and discussion identifies the project's conformance with the applicable Municipal Code requirements:

Standard	Requirement/Allowance	Proposal
Setbacks		
Front (East/ Calle Dia)	50 feet from centerline of street or 20 feet from property line, whichever is greater	64 feet from centerline; 34 feet from property line
Side (North)	10% of lot width (~7.9 feet)	Existing residence: 5 feet* Addition: 5 feet
Side (South)	10% of lot width (7.9 feet)	Existing residence: 8 feet Existing garage: 9 feet
Rear (West)	15 feet min.	Existing residence: 15 feet
Building Height	30 feet max.	Residence: 16 feet-5 inches
Building Coverage	35% max. (2,592 square feet)	34.8% (2,580 square feet)
Parking	2 garage spaces	2 garage spaces

**See Legal Nonconforming Structures discussion below.*

Legal Nonconforming Structures

The subject property is legal nonconforming with respect to the side (north) setback requirements of the 6-R-1 zone district as the existing residence encroaches approximately 2.9 feet into the now required 7.9-foot (10% of the lot width) side setback. At the time of construction, only a minimum 5-foot side setback was required. The scope of the proposed project includes an addition and interior remodel partially within the 7.9-foot side setback; however, the proposed addition would maintain the established residence setback and not encroach closer to the northern property line than the existing condition.

Pursuant to CMC §14.12.070(1)(b), in order to preserve architectural integrity, the side yard setback required for an addition to an existing building in the R-1 zone district may be permitted to utilize the established setback, provided that the established side yard setback is not less than five feet. As proposed, the addition along the north side of the property would align with the established setback, and would maintain the required 5-foot setback distance as required by the municipal code.

Design Review

The proposed project includes an approximate 168 square foot addition at the northwest corner of the residence to create a new bedroom, and an approximate 125 square foot infill addition along the south-central portion of the residence to slightly expand the existing kitchen area. The existing residence has eight-foot plate heights that would be increased to nine-feet throughout. The project also includes a new entry porch with a painted wood trellis, and an interior remodel to reconfigure the entry, kitchen, bathroom, laundry, living room, and den areas.

The existing attached two-car garage would remain, however the existing garage door which currently faces to the interior of the property would be in-filled and a new garage door would orient towards the street. As a result, the existing driveway would be abandoned and a new driveway and curb cut would be required to access the new garage opening. The garage reorientation and removal of the existing driveway results in a substantial reduction in paved area in the front yard area and allows for comprehensive re-landscaping.

New exterior finish materials would be added to the residence, new doors and windows would be installed throughout the residence, and the front porch landing would be expanded. A mix of painted horizontal wood siding and painted plaster would clad the front and sides of the structure, with exclusive use of plaster at the rear. The wood siding would be painted in a midtone green color (Behr S370-4 “Rejuvenation”); the plaster would be painted in a complementary olive-green color (Behr S370-3 “Sage Brush”); and the trim, including the entry trellis, would be painted in a creamy white color (Behr HDC-MD-08 “Whisper White”). New Windsor “Pinnacle Wood Clad” windows would be installed. No exterior lighting details were provided, however light fixture details will be provided as part of the Final ARB review to ensure consistency with the City’s dark sky lighting policy.

Significant landscaping and hardscape improvements are proposed as part of the project. As previously described, the existing driveway along the northern portion of the front yard would be removed and replaced with a new, much smaller, colored concrete driveway along the southern front yard area. The new driveway would require the removal of a 14-inch diameter Liquidambar styraciflua ‘Rotundiloba’ (Sweetgum) street tree within the City right-of-way, which would be replaced by a new street tree of an appropriate species in conformance with the City’s Street Tree Management Plan. New landscaping, including trees, shrubs, hedging and groundcover plantings would be planted throughout the property. Hardscaping in the front yard area would include a new flagstone entry walk leading to the new entry from the sidewalk, along with a gravel accent/seating area and small fountain/focal point in the front yard, and new colored concrete pavers leading from the sidewalk to the side of the residence along the northern property line. To the south, a new 6-foot-tall wood fence and gate would connect the garage to the existing southern property line fence,

behind which would be a colored concrete walkway and trash bin storage area, new raised wood planter beds, and a new flagstone patio area. No landscape changes are proposed within the rear yard area other than removal of the existing concrete patio area.

The Board's comments on the proposed architectural style, detailing, materials, and landscaping/hardscape plans would be appreciated.

General Plan/Coastal Plan Neighborhood Policies

The project site has a General Plan/Local Coastal Plan designation of Low Density Residential (LDR). The City's Community Design Element of the General Plan contains both general over-arching citywide policies and specific subarea policies. The project site is in Design subarea 5 (Concha Loma Neighborhood).

Citywide Community Design Policies

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the City.*

The proposed residence addition and exterior remodel would be consistent with the architectural style found in the surrounding neighborhood, and the proposed residence would maintain the single-story character of the existing home. The project would result in a lot coverage of 34.8% (or 2,580 square feet) which remains just below the maximum lot coverage allowed of 35% (or 2,592 square feet). The majority of the new square footage would be located at the front of the property and visible from the street, however the addition would be substantially set back from the street and would be located behind the footprint of the existing garage and generally in line with the pattern of development in the surrounding neighborhood. Overall, the residence would be compatible with the surrounding development pattern and its perceived scale would not be significantly changed by the project.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea.*

The maximum roof height of the proposed addition at the front of the residence would be approximately 2.42-feet lower than the main roof ridgeline, and the proposed smaller kitchen in-fill addition along the south portion of the residence would result in the existing roof line simply being extended. As the residence would remain single-story and would not affect the public's view of the mountains or the ocean, and the proposed additions are no taller in height, the project would not impact public views of the mountains or the sea.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the “living rooms” of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

Policy CD-5b: *Garages should not dominate views from any public street.*

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas, which maintain and enhance the quality of Carpinteria’s streetscape.*

The proposal includes a new expanded front porch with a trellis above to accentuate the front entry. Additionally, new landscaped pathways are proposed to lead from the street to the front entry, which would create a welcoming sense to passers-by. While the change in the garage door location would make it more visible from the street, the location of the garage itself would remain the same and the associated removal of the larger existing driveway allows for a comprehensive re-landscaping of the front yard area, creating an attractive frontage and an overall enhancement of the streetscape over the existing condition. Overall, the proposal appears to fit with other homes in the neighborhood and results in a comprehensive architectural and landscape enhancement of the property.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photo pollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

New exterior lighting is not shown on the preliminary plans at this time. Should the project be approved by the Community Development Director, the project would return to the ARB for final review at which time staff and the Board would have the opportunity to review the final working drawings, including any existing and proposed exterior lighting, for consistency with this Objective and Policy.

Subarea 5 Objectives and Policies

Objective CDS5-2: *Preserve the existing residential neighborhoods and their unique characteristics, and ensure that new development enhances the neighborhood character.*

Objective CDS5-3: *Ensure that new development is sensitive to the scale and character of the existing neighborhoods and consistent with the City's "small beach town" image.*

Implementation Policy 53: *The existing pattern of setbacks should be preserved. Additions to existing houses, or new houses, should match the front yard setbacks of the houses on adjacent lots, or the "string line" between them in the case of differing setbacks.*

The proposed residence generally fits the established style, layout and setbacks of the Concha Loma Neighborhood. The northern side yard setback, although legal non-conforming, will remain unchanged. The single-story contemporary cottage style of architecture would be compatible with neighboring residences. Overall, the project could be described as an enhancement of the existing residence and would not significantly alter the scale or character of the home.

Concha Loma Neighborhood Residential Design Guidelines

DG 6: *Entrances should be oriented toward the street through the use of porches, walkways and forward-facing front doors. Hedges and structures in front yards should be low in height and adequately set back to allow visibility of homes from the street. Front yard outdoor living areas are encouraged.*

DG 7: *Where unique or varied architectural styles are proposed, design review should ensure compatibility with the neighborhood. Variation in architecture is not discouraged in the Concha Loma Neighborhood, but should be compatible with the established mass and scale.*

DG 8: *The size, scale and form of buildings, and their placement on a parcel, should be sensitive to the scale and character of the predominantly one-story character of the Concha Loma neighborhood.*

DG 11: *Windows and doors should be consistent in design with the theme of a house and when appropriate should draw from elements in the existing neighborhood.*

DG 12: *The use of bay windows, dormers, balconies, covered porches and other decorative elements providing building articulation is encouraged when appropriate to the architecture, particularly when these elements are oriented toward a public street or break up a façade of more than 20 feet.*

The proposed single-story additions to the existing single-story residence would be in scale with other homes in the area. The contemporary cottage theme is prevalent in the neighborhood, especially on more recent remodeling projects. The project includes improvements to the front entry

by expanding the front porch and adding a trellis above, reducing the amount of paving and driveways in the front yard, and creating new appropriate-scaled hardscape pathways leading to the entry from the street and driveway.

DG 13: *Muted or earth tones should be used to achieve consistency with surrounding residences.*

DG 14: *Accent colors that do not match the surrounding area should only be used to unify the structure with other elements such as landscaping.*

DG 15: *A cohesive mixture of materials is welcomed.*

DG 16: *Roofing materials and colors should be compatible with those in the existing neighborhood and with the architectural style of the residence.*

The existing residence is comprised of a mixture of vertical board and batten, horizontal wood, a painted plaster siding with a composition shingle roof. New exterior finish materials would be added to the residence including mix of painted horizontal wood siding and painted plaster for the front and sides of the structure, with exclusive use of plaster at the rear. The wood siding would be painted in a midtone green color (Behr S370-4 “Rejuvenation”); the plaster would be painted in a complementary olive-green color (Behr S370-3 “Sage Brush”); and the trim, including the entry trellis, would be painted in a creamy white color (Behr HDC-MD-08 “Whisper White”). Proposed roofing would be a similar brown composition shingle. As such, the proposed muted tones with creamy white trim accents create a cohesive mixture of materials, consistent with surrounding residences.

DG 17: *The semi-rural charm of the neighborhood should be preserved.*

DG 18: *Frontage elements should not interfere with the visibility of the property from the street.*

DG 19: *Main entrances should be oriented to the street. Porches, landings and walkways should be incorporated into the frontage design.*

DG 20: *Garages should not be the focal point of the residence. Garages should be placed at the rear of the lot where feasible.*

DG 22: *Open fences, including split rail and picket types, are appropriate on frontage lines. Solid fences and walls should be limited to side and rear lot lines.*

DG 23: *Fences in the front yard should be constructed of decorative materials that emulate the architectural style of the house. Chain-link, wire and similar materials should be avoided.*

DG 24: *Fences should be set back a minimum of two feet from the back of sidewalk or property line to allow for planting between the right-of-way and the fence.*

As discussed previously, the proposal includes improvements to the front entry of the residence and new landscaping and hardscape, including new fencing. The new 6-foot would fence and gate would connect the garage to the existing southern property line fence. The fence and gate would be substantially set back from the street along the southern side of the garage, and would replace an existing chain link fence and gate, resulting in an overall aesthetic improvement. While the change in the garage door location would make it more visible from the street, the location of the garage itself would remain the same and the associated removal of the large existing driveway allows for a reduction in impermeable surfaces and a comprehensive re-landscaping of the front yard area, creating an attractive frontage and an overall enhancement of the streetscape over the existing condition.

DG 25: *Landscaping that is drought tolerant or native to the region is preferred. Invasive plants should be avoided.*

DG 26: *Attractive landscape frontage designs should be maintained. New development should be carefully planned with landscaping that maintains and enhances the quality of the streetscape.*

DG 27: *Hardscape materials should complement the building and be distinguishable from materials used in the public realm. Hardscape that incorporates varied materials, textures and designs is encouraged.*

DG 28: *Permeable materials are encouraged for all driveways and parking areas and other hardscape areas to reduce runoff.*

As previously described, the existing driveway along the northern portion of the front yard would be removed and replaced with a new, smaller, colored concrete driveway along the southern front yard area, resulting in an overall decrease in impermeable surfaces. New landscaping, including trees, shrubs, hedging and groundcover plantings would be planted throughout the property. The proposed plant palette appears to mostly consist of low water use and drought tolerant species. Hardscaping in the front yard area would include a new flagstone entry walk leading to the new entry from the sidewalk, along with a gravel accent/seating area and small fountain/focal point in the front yard, and new colored concrete pavers leading from the sidewalk to the side of the residence along the northern property line.

DG 29: *Outdoor lighting should be low intensity and designed to minimize direct view of light sources.*

DG 30: *Outdoor lighting should include:*

- *Fully shielded fixtures positioned so that light is not visible above the horizontal plane of the fixture;*
- *Motion sensors and timers to keep lights off when not in use;*
- *Energy efficient types with low watts and lumens;*
- *Fewest number of fixtures possible at minimum height necessary; and*
- *Cutoffs for lighting fixtures that minimize glare to prevent spillover onto neighboring properties.*

New exterior lighting is not shown on the preliminary plans at this time. Should the project be approved by the Community Development Director, the project would return to the ARB for final review at which time staff and the Board would have the opportunity to review the final working drawings, including any existing and proposed exterior lighting, for consistency with these design guidelines.

SUMMARY OF ISSUES

- Proposed architectural style and details,
- Proposed colors and materials,
- Fencing heights and locations, and
- Proposed landscaping and hardscape plan.

RECOMMENDATION

The Board should comment on the proposal and the identified issue areas. If the Board feels the project meets the applicable design criteria, the Board may recommend preliminary approval to the Community Development Director.

ATTACHMENTS

Attachment A- Preliminary Architectural Plans
Attachment B- Colors and Materials Board

Attachment A
Preliminary Architectural Plans

De Mattos Residence Remodel & Additions
Project #23-2269-CDP/ARB
Preliminary ARB Review
March 27, 2025

JYL BARANKE
ARCHITECT
4800 JEFFERSON AVENUE, SUITE 200
SAN FRANCISCO, CA 94134
(415) 774-1111
www.jylbaranek.com

Date: 12-10-24
Revisions:

FLOOR PLAN

George & Mario de Matos
413 Calle Dia
Carpinteria, CA
Proposed Remodel for:



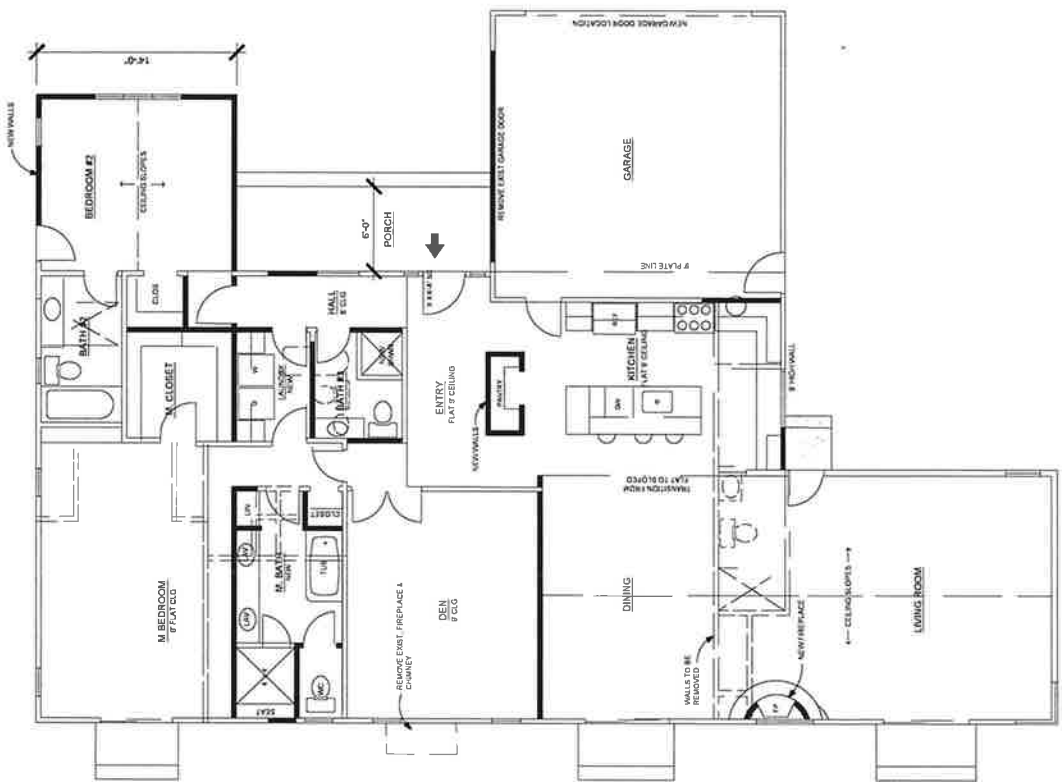
Jyl Ratkevich, Architect
1636 Loma St
SANTA BARBARA, CA 93103
(805) 682-5607 Email: jylratkevich@stl.com



1/4" = 1'-0"

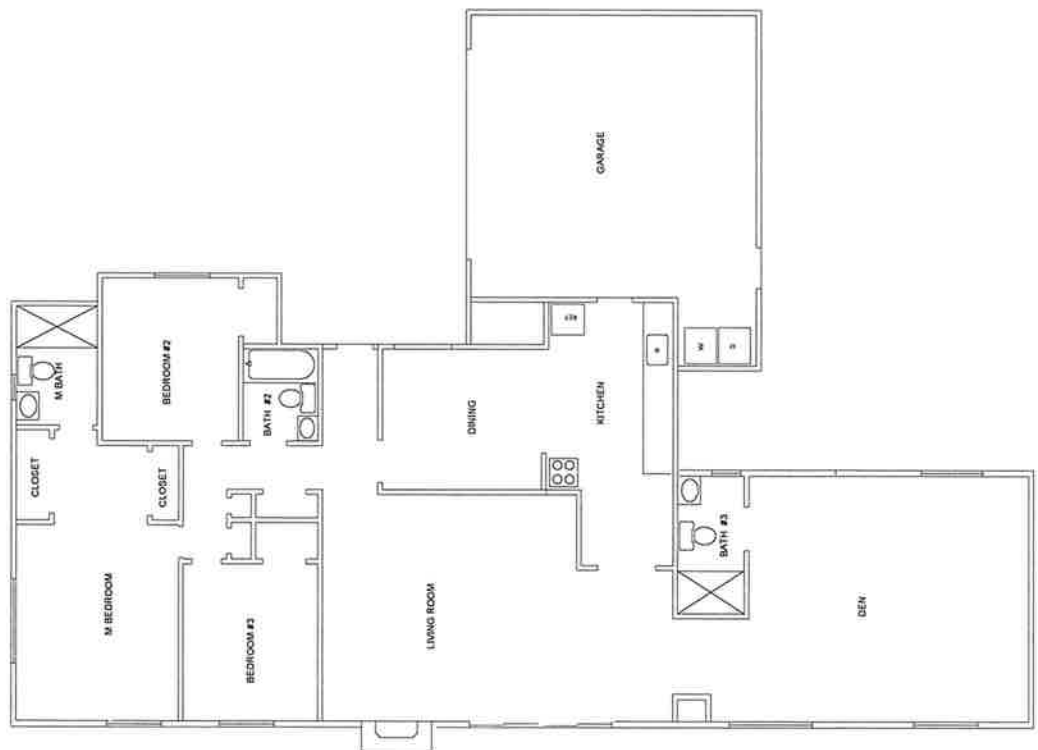
PROPOSED FLOOR PLAN

BASE ALL PLATES TO 8'
WINDOWS TO BE WOODEN FRAME WOOD CLAD



1/4" = 1'-0"

EXISTING FLOOR PLAN



JYL ARCHITECT
413 Calle Dia
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Tel: (805) 682-5607
Email: jyrk@jylarchitect.com

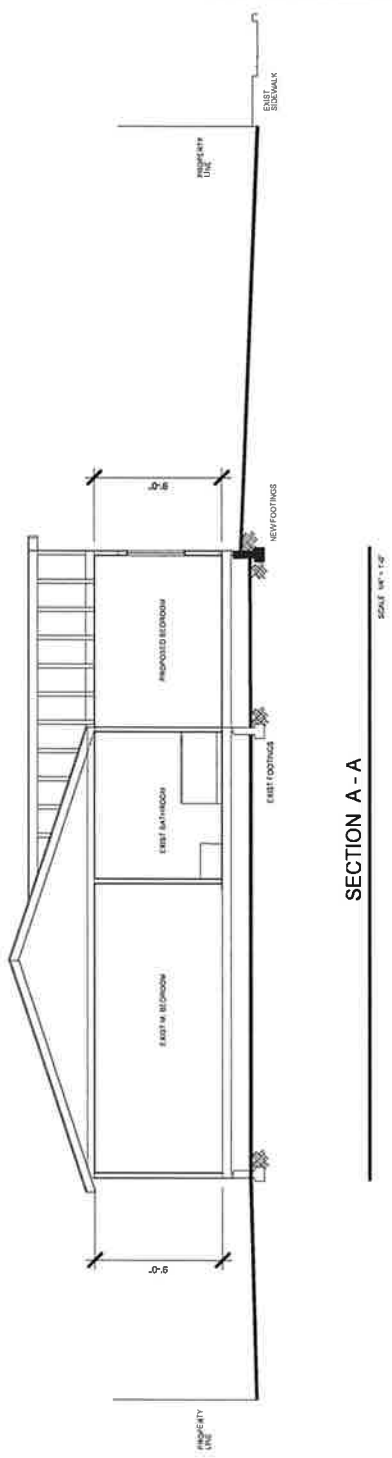
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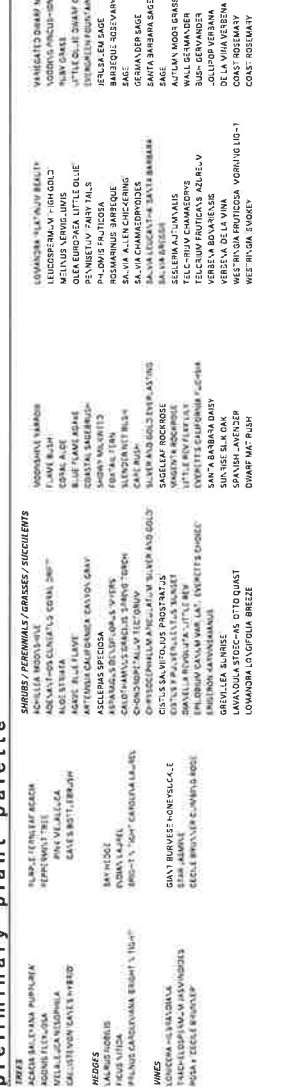
SECTION

Proposed Remodel for:
George & Marjo de Mattos
413 Calle Dia
Carpiinteria, CA



Jyl Ratkevich, Architect
1836 Lomo St
SANTA BARBARA, CA 93103
(805) 682-5607 Email: jyrk@jylarchitect.com





Attachment B
Preliminary Colors & Materials Board

De Mattos Residence Remodel & Additions
Project #23-2269-CDP/ARB
Preliminary ARB Review
March 27, 2025

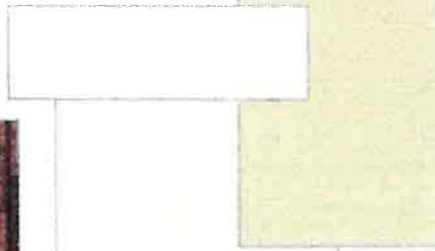
ROOFING:
TRUDEFINITION DURATION
COOL ARCHITECTURAL SHINGLES
BY OWENS CORNING
COLOR - MOUNTAIN SIDE



DOOR COLOR:
N400-TYNE LEAF
BY BEHR



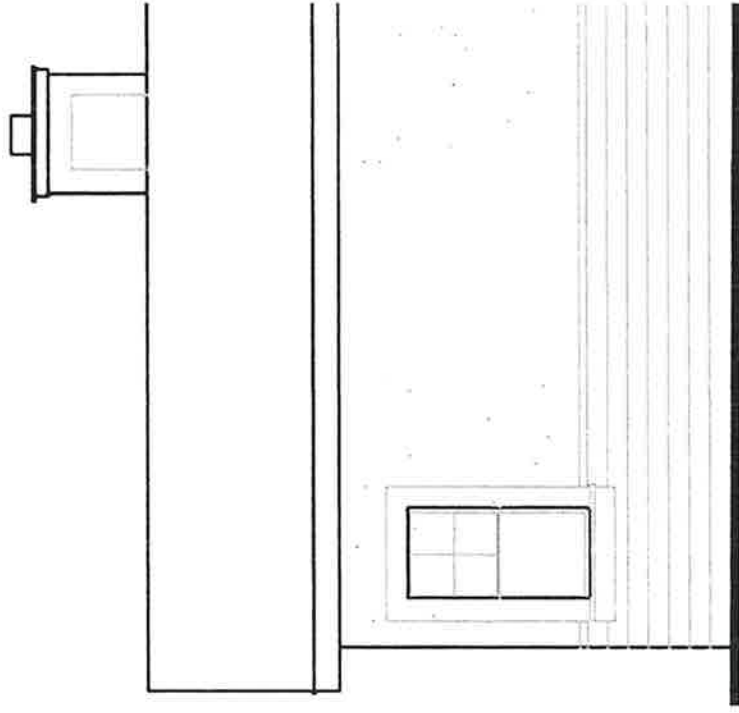
TRIM COLOR:
HCC-M-D-05
WHISPER WHITE
BY BEHR



PLASTER COLOR:
S270-3 SAGE BRUSH
BY BEHR



SIDING COLOR:
S270-4 REJUVINATION
BY BEHR



COLOR BOARD

413 CALLE DIA
CARINTERIA

**CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of March 27, 2025**

Agenda Item #3

**COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW**

Project: 24-2302-DPR/CDP/ARB **Planner:** Brian Banks
Address: 686 Linden Avenue
APN: 003-314-001
Zoning: Central Business (CB), Visitor-serving Commercial (VC) Overlay
Applicant: Joe Andrulaitis for 686 Linden Ave LLC

Project Review: ☐ Conceptual
☒ Preliminary/Final

PROJECT DESCRIPTION

This is the preliminary and final review of a request for an approximately 838 square foot outdoor dining area on the south portion of the Little Dom's restaurant property fronting Linden Avenue, currently functioning as a driveway, parking, and de facto storage area. The dining patio area would consist of a chip seal paved surface. The project also includes a six-foot tall bi-fold wood fence and gate along the Linden Avenue frontage to secure the dining patio area when not in use, a small planter area between the patio area and Linden Avenue sidewalk, replacement of the unpermitted rear six-foot vehicle gates along the Seventh Street frontage, replacement of an existing employee bicycle rack at the rear of the building, and the installation of an additional public bicycle rack within the City right-of-way adjacent to the project site.

Plans are attached as Exhibit A.

PROJECT SETTING

The project site is located at the southeast corner of the Linden Avenue and Seventh Street intersection. The subject property is a 7,038 square foot lot, presently improved with a 3,374 square foot restaurant building, home to Little Dom's restaurant. The existing building is oriented toward Linden Avenue and has a secondary frontage on Seventh Street.

The masonry building dates to the early 1920s and except for a seismic retrofit in the early 1990s and permitted window changes in 2019 (Project 18-1951-DPR/CDP), the building appears to have undergone few significant alterations. As a part of the previous review for the window alterations, an analysis of the building by an architectural historian found that the building is eligible for listing as a City of Carpinteria historic resource.

The project site is located in the Downtown Core District (Subarea 2A), which is the City's downtown commercial core (also referred to as the Downtown "T"). The downtown core is the civic and commercial hub of the City, and functions as the City's "main street" flanked by storefronts and mixed-use developments, connecting the town to the beach. The project site is bordered by commercial businesses to the north (across Seventh Street), south, and west (across Linden Avenue). The project site backs up to a residential property on Seventh Street, to the east.

The site is zoned Central Business ("CB") and has a Visitor-serving Commercial ("VC") land use designation. The property is also subject to the City's Visitor-serving Commercial ("V") overlay district.

PROJECT ANALYSIS

Carpinteria Municipal Code

The subject property is zoned CB (CMC §14.22) and is subject to the V overlay district (CMC §14.44). Permissible uses in the CB zone district and V overlay district, subject to approval of a Development Plan and Coastal Development Permit, include *"hotels, motels, restaurants, service and retail commercial uses normally associated with the needs of visitors and which may also serve local residents, recreation facilities, and uses, buildings and structures accessory and customarily incidental to the above uses"* (CMC §14.44.050). The proposed addition of an outdoor dining patio to the property would be consistent with the types of uses allowable in the CB zone district and V overlay district.

The following table summarizes the project's consistency with applicable CB zone district development standards:

Standard	Requirement/Allowance	Proposal
Setbacks (CMC 14.20.090)		
Front (west- Linden Ave)	35 feet from centerline of street or 5 feet from property line, whichever is greater. (5 feet from PL)	~46 feet from centerline of street; 6 feet from property line.
Side (north- Seventh St)	35 feet from centerline of street or 5 feet from property line, whichever is greater. (5 feet from PL)	N/A
Side (south)	0 feet	0 feet

Rear (east)	0 feet from residentially-zoned property lines for structure less than 20 feet in height.	~75 feet from a residentially-zoned property line.
Fences, Walls, and Hedges (CMC 14.50.050)	When a Development Plan is not required, CDD may condition a fence proposal or refer any proposals to the ARB if the following findings can be made: a) That the design and materials of the fence is compatible with adjacent property fences and the surrounding neighborhood; and b) That the fence shall not impede vision or create a hazardous condition for motor vehicles, bicyclists or pedestrians.	6 feet*
Landscaping (CMC 14.22.050)	5% min. to 20% max. as established by Planning Commission (352 sq ft – 1,408 sq ft)	~355 square feet (~5.04%)
Parking (CMC 14.54.040)*	Restaurant/Bar/Café: 1 space per 500 square feet of gross floor area + 1 space per 50 square feet of seating area Total: = 40 spaces	29 spaces (0 spaces onsite + 29 spaces in City Parking Lot #3)*

* See fences and walls discussion below.

** See parking discussion below.

Fences and Walls

Carpinteria Municipal Code §14.50.050 – Fences, Walls, and Landscape Plantings, specifies that when a Development Plan is not required, CDD may condition a fence proposal or refer any proposals to the ARB if the following findings can be made:

a) That the design and materials of the fence is compatible with adjacent property fences and the surrounding neighborhood; and

b) That the fence shall not impede vision or create a hazardous condition for motor vehicles, bicyclists or pedestrians.

With respect to finding a), the proposed stained wood fencing material and color would appear to be consistent with similar fences in the surrounding neighborhood. However, the height of the proposed fencing and gates, at six feet in height and located close to both the Linden Avenue and Seventh Street frontages, appears to be incompatible with fencing in the downtown core and adjacent residential neighborhood. The proposed six-foot fence and bi-fold gate along the Linden Avenue frontage would have the effect of "walling-off" the property, especially because of the proposed fence and gate location only approximately 5.5 feet from the property line along Linden Avenue. Similarly, the proposed replacement of the unpermitted six-foot vehicular gate right up to the property line along the Seventh Street frontage appears incompatible with fencing in the surrounding neighborhood.

In order to address these issues, potential solutions could be to lower the height of the proposed fence and bi-fold gates along the Linden Avenue frontage, or to relocate them further to the interior of the property and propose a more visually permeable fence design. A three-to-four-foot fence to prevent trespass within the outdoor dining area afterhours, combined with a six-foot fence at the rear of the dining area to secure and screen the storage area, would seem appropriate.

One example of more visually permeable fencing design is that of the 700 Linden Avenue Adaptive Reuse Project which features a fence and gate that secures the interior plaza after hours, but includes wider and more visually permeable spacing of the fencing material.

With respect to finding b), the proposed six-foot vehicular gate may be appropriate to replace the unpermitted gate, however the gate location could be relocated approximately six feet further to the interior of the property to provide the required security and visual screening of the storage. This revised location would also provide sufficient visibility when exiting the driveway so as not to create a hazardous condition for passing vehicles, bicyclists and pedestrians.

The Board's comments on the proposed fencing and gate design, height and locations would be appreciated.

Parking Requirements

Carpinteria Municipal Code §14.50.040 - Parking Spaces Required, provides required parking rates for various types of land uses. Parking rates for commercial uses including restaurants/cafes/taverns and retail uses are listed as follows:

- *Restaurant, café, tavern: one space per fifty square feet of seating area, and one space per five hundred square feet of gross floor area (CB zone).*

- *General Commercial: one space per five hundred square feet of gross floor area (CB zone)*

Based on the above parking rates for a restaurant use, the existing restaurant requires 33 parking spaces. As previously approved, the restaurant use included 4 onsite parking spaces on the south side of the building, resulting in a deficit of 29 parking spaces for a restaurant use on the subject lot. The property enjoys a historic credit for these 29 spaces in City Parking Lot #3, which the City has traditionally honored when considering new or re-development projects in the City's downtown core. Therefore, the existing restaurant use complied with the required number of parking spaces as specified in the municipal code. Subsequent to the project approval, the 4 onsite spaces were rendered inaccessible when the area was repurposed as an unpermitted de facto outdoor storage area.

The proposed outdoor dining patio would trigger an additional 7 parking spaces. The previous abandonment of the 4 onsite parking spaces combined with the proposed new dining patio, would now render the property deficient 11 parking spaces when calculated per the municipal code requirements. However, the applicant seeks to leverage the provisions of Assembly Bill (AB) 2097 - Parking Exemption Near Transit, which prohibits the City from requiring minimum parking standards for development projects located within one-half mile of a qualifying public transit stop (which in Carpinteria includes the train platform at Linden Avenue and Fifth Street).

While the City may not prohibit an applicant from leveraging AB 2097 to reduce or eliminate required parking spaces, all proposed development within the City must comply with the public access provisions of the Coastal Act and the City's certified Local Coastal Program (LCP) to ensure that any parking reduction allowed under AB 2097 does not negatively impact the ability of City residents or visitors from accessing the coast. As such, to offset the impacts of the reduced onsite parking resulting from the new outdoor seating area and elimination of the 4 existing onsite parking spaces, the project includes the installation of an additional public bicycle rack on the public sidewalk immediately adjacent to the building at the corner of Linden Avenue and Seventh Street, and replacement of an existing bicycle rack at the rear of the building with a secured employee bicycle rack with space for 4 bicycles.

Landscape Coverage Requirements

With respect to the site's landscape coverage requirement, CMC §14.22.050 provides that for existing lots of 7,500 square feet or less, the minimum landscaping requirement shall be five percent of the net lot area. The subject lot is approximately 7,078 square feet in area; therefore, the minimum landscape area must total at least 352 square feet.

The plans indicate approximately 355 square feet of existing landscape area would remain onsite, which is primarily along the project's Linden Avenue frontage. This amount of landscaping equates to approximately 5.04% of site coverage, which satisfies the minimum landscape area requirement.

Design Review

The proposed outdoor dining area would consist of a chip seal paved surface to replace a portion of the existing driveway and parking area's asphalt surface. The project also includes a six-foot tall fence and bi-fold wood gate along the Linden Avenue frontage to secure the patio area when not in use, a small planter area between the patio area and Linden Avenue sidewalk, replacement of the unpermitted rear six-foot vehicle gates along the Seventh Street frontage, replacement of an existing employee bicycle rack at the rear of the building, and the installation of an additional public bicycle rack within the City right-of-way adjacent to the project site.

Along the Seventh Street frontage, at the rear of the building, a 6-foot-tall painted wood vehicular gate would be added to complete the storage area perimeter. The gate would be painted "Maroon" to match the building color of the easternmost Seventh Street elevation, as previously approved by the ARB.

The small planter area between the patio access ramp off the Linden Avenue sidewalk would feature a mixture of succulent plantings including, Aeonium, Agave, Aloe, Crassula, Dudleya and Echeveria to replace the existing landscape plantings.

Outdoor lighting would consist of a string of hanging lights over the patio with covered globes to ensure light is directed downward and would not result in light spillover to adjacent properties.

The Board's comments on the proposed architectural style and detailing of the dining area, fencing, landscaping and lighting would be appreciated.

General Plan/Coastal Plan Neighborhood Policies

The project site has a General Plan/Coastal Plan designation of Visitor-serving Commercial (VC) and is within Subarea 2a, Downtown Core District, as identified in the Community Design Element.

The following is a list of relevant policies contained in the City's General Plan/Coastal Land Use Plan that pertain to the proposed project.

Land Use

Objective LU-1: *Establish the basis for orderly, well planned urban development while protecting coastal resources and providing for greater access and recreational opportunities for the public.*

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City's edge.*

Policy LU-3d: *Establish a commercial sector that balances the retail and service needs of citizens and tourists.*

Policy LU-3e: *Direct commercial development toward the center of town and in established commercial nodes. Exceptions include visitor-serving commercial uses in the Bluffs III sub-area, and commercial uses of a character, size and location that are intended solely to serve a specific neighborhood and thereby reduce vehicle trips.*

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with principles established in the Community Design Element.*

Policy LU-3g: *Provide for a range of business activities that bring vitality, revenue, and employment to Carpinteria and are compatible with its small town character.*

The proposed project would add a permanent outdoor dining option for Little Dom's restaurant to replace the previously existing public parklet on Linden Avenue. The modestly sized dining patio along the Linden Avenue frontage would create an additional option for both residents and visitors to enjoy al fresco dining in the downtown core, which was proven to be a popular amenity because of the relaxed outdoor dining allowances (both public and private) during the COVID-19 emergency. When designed correctly, these public and private outdoor dining areas can help to create a lively and vibrant environment downtown and help encourage patrons to linger in the downtown core, bringing vitality, revenue, and employment to the City, while maintaining the City's "small town" character.

Visitor-serving Commercial Development

Objective LU-5: *Maintain availability of agriculture, coastal -dependent industry and visitor-serving commercial development including hotels/motels, restaurants and commercial recreation uses.*

Policy LU-5c: *The City shall prohibit the removal or conversion of visitor-serving development unless it will be replaced by development offering comparable visitor-serving opportunities.*

Objective CDS2-2: *Preserve and enhance the downtown's historic status as the center of commercial activity by encouraging a range of uses that serve both residents and visitors.*

The addition of an outdoor dining area to the existing restaurant provides an option for both residents and visitors to enjoy the City's nearly year-round mild weather. Appropriately designed and scaled outdoor dining amenities can help to further the downtown's reputation as a visitor-friendly destination and serve to preserve and enhance the downtown's historic status as the City's center of commercial activity.

While application of AB 2097 allows the applicant to eliminate existing onsite parking and prohibits the City from requiring minimum parking standards for the project, the applicant would take steps to attempt to mitigate impacts to public coastal access parking by providing both employee and patron bicycle parking areas.

Downtown Core and "Small Beach Town" Character

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

Policy OSC-13b: *Require new development or redevelopment in the downtown section of Carpinteria to conform to the scale and character of the existing community and consistent with the city's theme of a small beach-oriented community.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the city.*

Objective CDS2A-2: *Preserve and enhance the downtown's historic status as the center of commercial activity of the city by encouraging a range of uses that serve both residents and visitors.*

Policy CDS2A-b: *Ensure that intensified land uses within the subarea support a lively place to visit, live, work and shop, and that the scale and character of the District remain consistent with the city's "small beach town" image.*

Objective CD-7: *Enhance and maintain the Linden Avenue downtown core, the Carpinteria Avenue commercial core, the Eugenia Professional office area, the Casitas Village, Shepard's place Shopping Center, and the Cindy Lane-Mark Avenue industrial park districts.*

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas which maintain and enhance the quality of Carpinteria's streetscape.*

Policy CD-10a: *Minor variations in front yard building alignments within a block are encouraged. Relatively steady setback patterns clearly define the public space of the street and reinforce small town character.*

Policy CD-10c: *Commercial and mixed-use frontages should generally have wide sidewalks adequate to encourage customers and residents to walk, shop and linger in the public right-of-way. Commercial buildings should have large windows and entries on the street at the ground level. Residential ground floor uses should be set up or back from the street enough to afford privacy within the dwelling.*

Policy CDS2A-d: *Enhance the pedestrian character of the District's streets, plazas, paseos, parks and lanes.*

CDS2A Implementation Policy 26: *The provision of small spaces with benches, fountains, public art and other special elements that encourage people to gather and linger in public should be encouraged, particularly where they support businesses, such as sidewalk cafes*

The proposed outdoor dining area is prominently situated along the Linden Avenue corridor and would comply with each of the above objectives and policies. The proposed dining patio would be subordinate to the existing restaurant building and compatible with the surrounding size, scale and form of buildings in the downtown core. In addition, the proposed dining patio would create an attractive and pedestrian-oriented area of the property, especially as compared to the current arrangement of a driveway and parking areas prominently visible from Linden Avenue where the proposed dining patio would be located. The dining patio would offer a small space for locals and visitors to gather, and further the historic and recent development pattern along the Linden Avenue corridor which provides open courtyards and dining patios as featured in the recently developed 700 Linden project and recently approved Palms Restaurant Renovation project. While the location and design of the outdoor dining patio itself appears consistent with above objectives and policies, the proposed fencing design and location appears to be inconsistent and potentially incompatible with the surrounding neighborhood. As such, as analyzed in the Fencing and Walls municipal code discussion above, revisions to the proposed fence and gate locations and/or changes in the fence details to create a more visually permeable design may be more appropriate. Finally, as discussed in the Cultural Resources policy consistency analysis below, the proposed at-grade dining patio and associated fencing would be compatible with the restaurant building's historic status.

The Board's comments on the proposed project's consistency with the above community design objectives and policies and "Small Beach Town" character would be appreciated, especially as related to the proposed fencing strategy.

Cultural Resources

Objective OSC-16: *Preserve Carpinteria's cultural resources.*

Policy OSC-16a: *Carefully review any development that may disturb important archaeological or historically valuable sites.*

As previously described, the subject building dates to the early 1920s and except for a seismic retrofit in the early 1990s, and permitted window changes in 2019 (Project 18-1951-DPR/CDP), the building appears to have undergone few significant alterations. As a part of the previous review for the window alterations, an analysis of the building by an architectural historian found that the building is eligible for listing as a City of Carpinteria historic resource. Because the proposed dining patio area would not alter the existing building, and because the patio area could be removed at a future time, the

proposed project would comply with the Secretary of the Interior Standards for Treatment of Historic Properties and therefore would not impair the building's historic status.

Noise

Objective N-5: *The City will minimize the effects of nuisance noise effects on sensitive land uses.*

Policy N-5a: *The City will address nuisance noise on a case-by-case basis and develop appropriate mitigation measures such as scheduling of events or activities during hours when effects would be minimal.*

The project site is bordered by commercial businesses to the north (across Seventh Street), south, and west (across Linden Avenue). The project site backs up to a residential property on Seventh Street, to the east. In general, the downtown core is an appropriate and desired location for restaurant establishments that help to draw visitors into the City. The provision of outdoor useable areas that can provide additional seating or spaces for public community functions are also encouraged and appropriate for the downtown setting, especially when outdoor dining areas are oriented towards Linden Avenue. Although outdoor dining areas have the potential for nuisance noise impacts that could negatively affect some of the surrounding residential land uses, the location and orientation of the dining patio towards Linden Avenue, with approximately 75 feet of separation from the nearest residential property to the east, limits the potential for nuisance noise impacts that could result from the use of a portion of the existing driveway and parking area for an outdoor dining patio.

SUMMARY OF ISSUES

- Layout, colors/materials, lighting and landscape design;
- Fencing design and arrangement; and
- Overall Compatibility with Downtown Core & "small beach town" character.

RECOMMENDATION

The Board should receive public testimony and provide comments to the applicant and staff. If the Board finds the proposed project consistent with the applicable design criteria, the Board should recommend preliminary approval, or if warranted, preliminary and final approval to the Community Development Director.

ATTACHMENTS

Exhibit A – Preliminary Architectural Plans

Attachment A

Preliminary/Final Architectural and Landscape Plans

Little Dom's Restaurant Private Parklet
Project 24-2302-DPR/CDP/ARB
Preliminary/Final ARB Review
March 27, 2025

endrukt@mkn.com

2740 ALABAMA AVE. N.E.
ATLANTA, GEORGIA 30317
CALLING A 404.597.2338

Proposed Project/Remodel for:
the Dom's Seafood
686 Linden Avenue
Carpinteria, CA 93013

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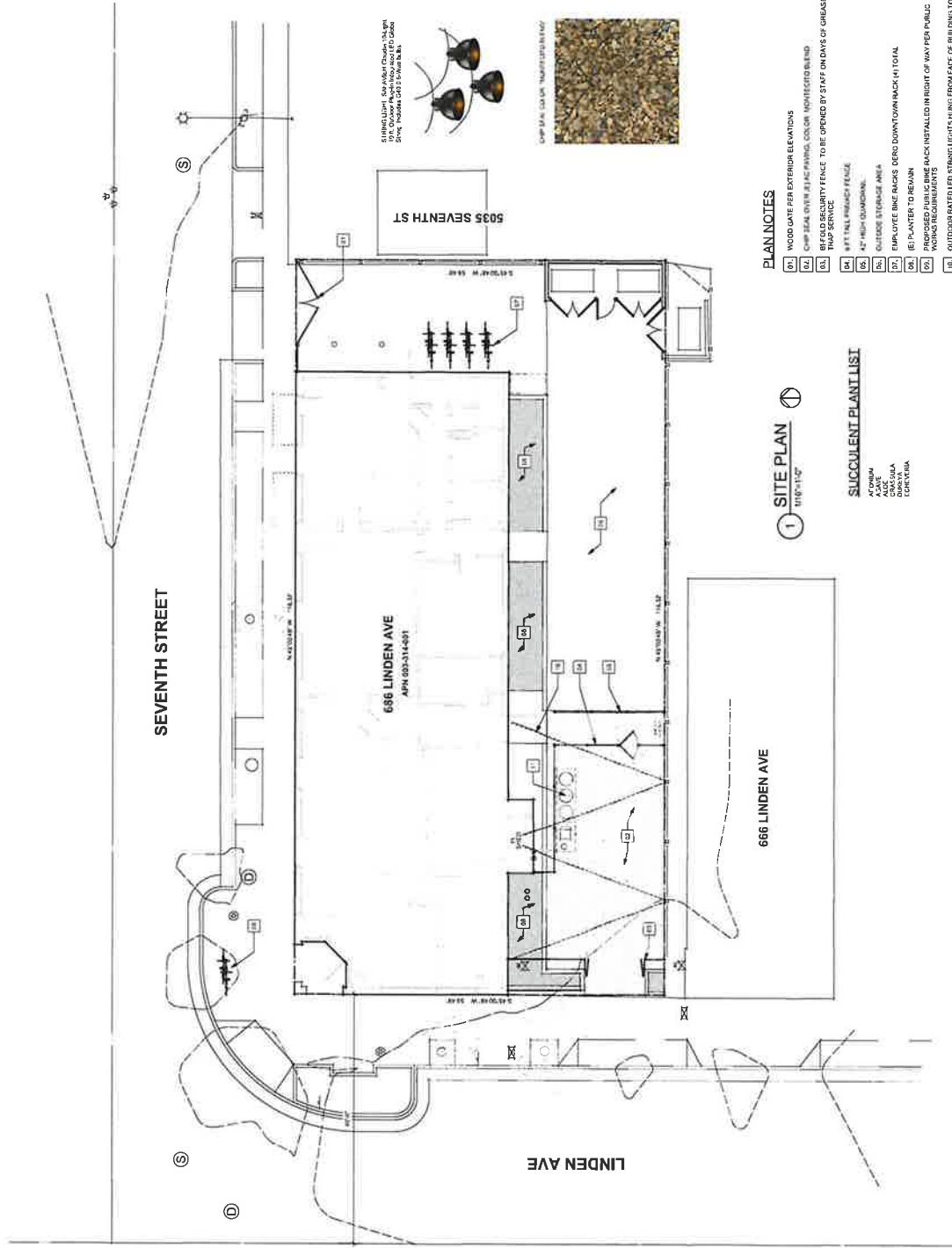


Proposed Project/Remodel for:
Little Dom's Seafood
686 Linden Avenue
Carpinteria, CA 93013

LICENSE	
JOB NUMBER	18-004
PERMIT NUMBER	
CONTENTS	
DATE	PHOTOS
SUBMITTALS	
ISSUE DATE	
02-22-18	
REVISIONS	
G-001	



Proposed Project/Remodel for:
Little Dom's Seafood
686 Linden Avenue
Carpinteria, CA 93013

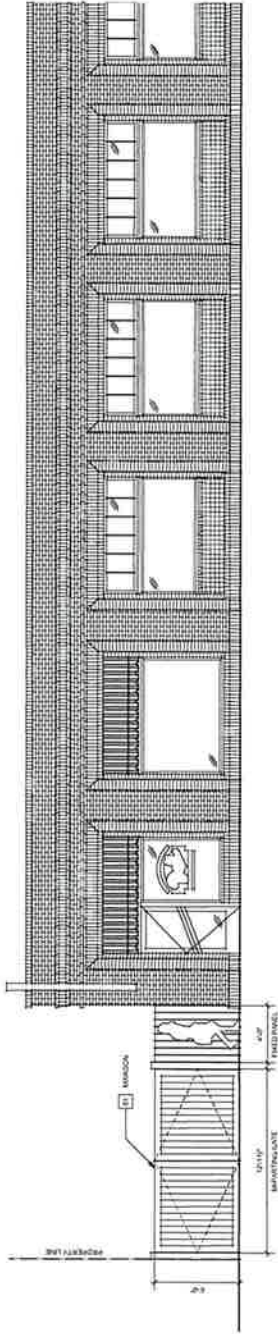
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PLAN NOTES

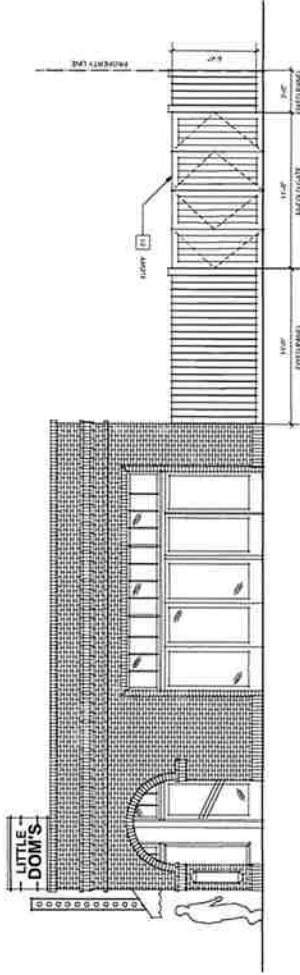
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| 003 | COPY FROM DRAWING TO MATCH COLOR, MONITOR BUILDING |
| 004 | CONCRETE FENCE TO BE OPENED BY STAFF ON DAYS OF GRIEVE |
| 005 | 4" X 4" TALL PINE FENCE |
| 006 | 4" X 4" TALL PINE FENCE |
| 007 | NOODS TO BE REMOVED |
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SUCCULENT PLANT LIST

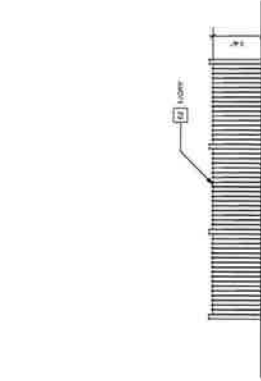
- ATONILUM
A SAVIE
ALOC
CRAS SULA
DUREYA
EGHEVENIA



1 North Elevation
1/4" = 1'-0"



2 West Elevation
1/4" = 1'-0"



3 Fence/Rail Elevation
1/4" = 1'-0"

COLORS



ELEVATION NOTES

- 14' 12" TALL WOOD CROWN FENCE AND OR GATE, PAINTED
- 15' 12" TALL WOOD CROWN FENCE AND OR GATE, PAINTED

LICENSE	
JOB NUMBER	18-008
PERMIT NUMBER	
CONTENTS	EXTERIOR ELEVATIONS
SUBMITTALS	
ISSUE DATE	02.25.23
REVISIONS	
A-201	

ACTION MINUTES

The meeting was called to order at 5:34 p.m. by Vice-Chair Blakemore

ROLL CALL

Boardmembers present: Amy Blakemore
Richard Johnson
Richard Little
Patrick O'Connor
Lisa Woolf

Boardmembers absent: None

OTHERS PRESENT: None

PUBLIC COMMENT: None

ELECTION OF CHAIR AND VICE CHAIR

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Little, to nominate Boardmember Blakemore as Chair.

VOTE: 5-0

ACTION: Motion by Boardmember Little, seconded by Boardmember Blakemore, to nominate Boardmember O'Connor as Vice Chair.

VOTE: 5-0

PROJECT REVIEW

- 1) Project: Pfaff New Residence, Project 23-2209-ARB/CDP
Address: 5559 Calle Arena
Applicants: Jon Starr, designer, for Mark and Megan Pfaff
Planner: Syndi Souter

Request of Jon Starr, designer, for Mark and Megan Pfaff, to consider Project 23-2209-ARB/CDP for final review of a proposal for a new 2,631 square-foot two-story single-family residence with an attached 401 square-foot two-car garage on a vacant lot, for a total size of 3,032 square feet. The height would reach a maximum of 20.7-feet above finished grade. The proposal also includes new landscaping, hardscape, fencing, and walls. The property is a 7,583 square foot parcel zoned Single Family Residential (6-R-1) and shown as APN 003-382-012, addressed as 5559 Calle Arena.

Ex Parte Communications Disclosure: None

Staff Comments:

Syndi Souter provided a presentation and described the updates to the project plans in response to the ARB's preliminary review comments, including: final color selection for the siding; window design revisions; extended roof overhangs; a different pathway light fixture; and landscape planting revisions.

Syndi then presented the final architectural details and discussed the final landscape design and plantings. Syndi concluded her presentation by requesting the Board's comments on:

- Window sizes and locations;
- Proposed exterior light fixture, including night-sky compliance;
- Night lighting and proposed lighting plan;
- Architectural style and materials; and
- Neighborhood compatibility.

Applicant Comments:

George Manuras, agent for the property owner, was in attendance to answer questions from the Boardmembers. Mark Pfaff, owner, attended via Zoom and provided additional information regarding the final project design, including the idea behind the covered patio design to provide a protected area for outdoor gathering and dining, and being covered for privacy purposes.

Public Comments: None

Boardmember Discussion:

Vice Chair O'Connor commented that the applicant had addressed all of the Board's previous comments but noted that the "elephant left the room and grew a beard" – further explaining that it is not within the ARB's purview to enforce CC&R restrictions that could prohibit second stories. He added that he could now support the project.

Boardmember Little commented that he appreciated the reduction of the window sizes and that they now feel more residential in character. However, Boardmember Little still did not understand the need to have a roofed patio area with the adjacent tall wall, and thought the patio would be too dark as a result.

Boardmember Johnson commented that the east elevation's first story roofline over the trash/mechanical area could be eliminated to reduce the massing. He also noted that the sections depict the second-floor plate height approximately 6 inches taller than needed and the plate height should be lowered to meet the wall height without changing the roof pitch, resulting in an approximate overall height reduction of 6 inches. In addition, he noted that his previous comments regarding incorporating wainscoting below the second-floor windows did not appear to be addressed on the plans. Boardmember Johnson concluded his comments by stating that the overall material selection was good.

Chair Blakemore commented that she appreciated the response to the Board's previous comments. However, she noted that the WELO calculations appear to be incorrect (with the proposed lawn being watered by drip) and need to be revised as part of the Building Permit review. She also indicated that the proposed lawn should be pulled-away from the proposed olive trees, and the proposed lawn area adjacent to the driveway on the east side should be eliminated to reduce water usage.

Boardmember Woolf did not have any additional comments.

ACTION: Motion by Vice Chair O'Connor, seconded by Boardmember Chair Blakemore, to recommend final approval to the Director with the following comments/conditions of approval attached:

- 1) The second-floor plate height should be reduced by approximately 6 inches to meet the second story wall framing as shown on the plan sections;
- 2) The landscape plan should be updated per Chair Blakemore's comments;
- 3) The civil plans should be updated to be consistent with design and finished floor elevations on the architectural plans;
- 4) Add wainscotting below the second-floor window sills; and
- 5) Delete the roof over the trash enclosure.

VOTE: 5-0

- 2) Project: The Palms Renovation, Project 24-2303-DP/CDP/ARB
Address: 701 Linden Avenue
Applicants: Laurel Perez, agent for 701 Linden LLC
Planner: Brian Banks

Hearing on the request of Laurel Perez, agent for 701 Linden LLC, to consider Project 24-2303-DP/CDP/ARB for final review of an interior and exterior renovation of the "Palms" building and conversion of a portion of the roof to a covered bar and uncovered lunge area. The project would include a restaurant and market/café retail area on the ground floor, a banquet/event space on the second floor, and a bar and dining area on the roof. The project includes replacement of the non-original first floor addition along the Linden Avenue frontage with a covered patio dining area, removal of an existing stairway on the Seventh Street frontage, partial demolition and renovation of the existing stairway at the rear of the building, the addition of an elevator, and new and renovated landscaping. The maximum height of the rooftop bar trellis roof would reach 31 feet-eight inches, with an overall building height to the top of the elevator tower reaching 36 feet-10 inches. The resultant building would have a floor area of approximately 9,949 square feet and ground floor and rooftop patio areas totaling approximately 2,909 square feet. A total of 9 parking spaces would be provided. The property is a 11,453 square foot parcel zoned Central Business (CB), and shown as APN 003-311-007, addressed as 701 Linden Avenue.

Ex Parte Communications Disclosure: None**Staff Comments:**

Brian Banks provided a presentation outlining the updates to the project plans in response to the ARB's preliminary review comments and the comments provided by the Planning Commission regarding the appropriate sign design on the Linden Avenue façade. Brian further explained that the Planning Commission requested that the ARB to determine the appropriate sign design, considering the historic context of the building and summarized the project historian's analysis of the proposed signage. Brian then presented the final architectural and landscape details and concluded his presentation by requesting the Board's comments on:

- Response to ARB preliminary review comments;
- Response to Planning Commission comments related to "The Palms" signage/text;
- Architectural details, lighting and landscape design; and
- Overall Compatibility with Downtown Core & "small beach town" character.

Public Comments:

John Wulbrandt, a lifelong Carpinteria resident, provided comments over Zoom. Mr. Wulbrandt's comments focused specifically on the proposed "The Palms" signage on the Linden Avenue façade, advocating for the new sign to reflect the same style of script/text as currently painted, rather than the proposed script/text ("Banana Font") or the original block style lettering. Mr. Banks also provided a copy of Mr. Wulbrandt's Planning Commission comment letter to the ARB expressing the same preference for the signage.

Applicant Comments:

Laurel Perez, land use agent, provided a presentation focusing on the proposed signage and historic compatibility.

Tim Hazeltine, project historical consultant, then provided comments over Zoom summarizing his analysis of the proposed signage and answered questions of the Board regarding his conclusions.

Darrell Becker, project designer, briefly discussed the overall updates to the plans in response to the ARB's preliminary comments, including the revisions to the rear stairway railing system, paint color for the rooftop elements, and proposed lighting fixtures.

Elisa Reed, landscape architect, was next to present, and provided a summary of the final version of the landscape plans and related landscape lighting details.

Boardmember Discussion:

Boardmember Johnson led the discussion by commenting that the applicant had done a great job with the plan updates and noted that the revised design for the rear stairs and railing was an improvement. He further commented that the proposed gas lamp lighting fixtures were nostalgic and appropriate to the project, and that the front terrace and rooftop elements were well designed. Boardmember Johnson concluded his comments by stating that the applicant should use a darker gray color than the proposed gray color and encouraged a mid-century script for the proposed Linden Avenue signage that would closely resemble the existing painted script.

Boardmember Little commented that he was glad to see "spiky" plants proposed within the rooftop planters along the edge to discourage children from climbing the railings and getting too close to the roof edge. He further commented that he was glad that the Planning Commission did not support the previously proposed mural along the Seventh Street façade, and thought that the proposed gas lamp fixture proposed at the rear of the building looked out of place. Boardmember Little concluded his comments by expressing his preference for the Linden Avenue sign to use a font that more closely matches the existing painted script style.

Vice Chair O'Connor commented that the revisions to the rear stair are great and makes a big difference. He further commented that he liked the proposed gas lamp fixture and prefers the charcoal color, rather than white color, for the "annex" portion of the project. Finally, Vice Chair O'Connor commented that the proposed sign font was too "comical" and that a font style that more closely matches the existing painted script style should be used.

Boardmember Woolf commented that she preferred the proposed "Banana" font for the Linden Avenue sign and related that there is nothing wrong with "tweaking" and updating the sign style to reflect the other updates to the building. She expressed concern with the proposed gas lamp fixture

at the rear of the building and commented that it could be a potential target for vandalism and having natural gas released if the glass was broken. Boardmember Woolf concluded her comments by stating that the proposed charcoal color is appropriate for the “annex”, noting that it doesn’t need to match the main building.

Chair Blakemore concluded the discussion, noting the landscape plan is “fantastic”, that the proposed gas lamp at the rear of the building is problematic, and that the “annex” color should be charcoal rather than white. Chair Blakemore concluded her comments by stating that the proposed sign should use a font style similar to the existing script, but in a smaller and more proportional size than the existing script.

ACTION: Motion by Chair Blakemore, seconded by Vice Chair O’Connor, to recommend final approval to the Director with the following comments attached:

- 1) The rear light fixture should be electric rather than gas, with the same fixture design; 2) the “annex” should be painted with the charcoal color option; 3) the rooftop elements should be painted in a darker gray than proposed: Benjamin Moore “Gray Owl”, and 4) the sign on the Linden Avenue façade shall use a font that matches the existing painted script in a smaller size.

VOTE: 5-0

OTHER BUSINESS: None

CONSENT CALENDAR:

- 3) Action Minutes of the Architectural Review Board Meeting of January 16, 2024.

ACTION: Motion by Chair Blakemore, seconded by Boardmember Johnson, to approve the minutes as drafted.

VOTE: 5-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

901-B Linden Avenue Storefront:

Marysol Smith provided a presentation for review of “as-built” improvements to the storefront noting elements which differed from the ARB’s previous final approval in 2020, consisting of five elements:

- 1) Facade decorative brickwork and column trim; 2) location of decorative black wood header element above entry and windows; 3) general consistency of styles, materials, and finishes with existing facade elements; 4) minor lighting fixture location change, and 5) door and entry alcove color.

The project architect, Thomas Chu, was in attendance to answer questions from the Board.

The ARB provided the following comments:

- 1) The additional as-built facade brickwork and column trim details can remain; 2) the decorative black header elements can remain as installed but should be repainted in a color and finish to

be reviewed by CDD; 3) the plaster below the header and between the windows should be painted a black color matching the headers; 4) the exterior lighting fixture locations can remain as installed, and 5) the entry alcove can remain the dark color and be repainted if necessary to better match the other elements, but the unpainted aluminum entry door should be addressed by either installing a new door or painting to match the color and finish of the storefront windows.

ADJOURNMENT

Chari Blakemore adjourned the meeting at 7:23 p.m. to the next scheduled meeting to be held at 5:30 pm on Thursday, March 13, 2025. All Boardmembers present expect to attend.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board