Architectural Review Board
Meeting Agenda

Thursday, November 14, 2024 at 5:30 p.m.
City of Carpinteria, Council Chamber
5775 Carpinteria Avenue, Carpinteria, CA 93013

In-Person Meeting and Virtual Participation Options

Attendance:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave.)
- View the meeting live through the City's website (https://carpinteriaca.gov/city-hall/agendas-meetings) on your computer, tablet or smartphone.
- View the meeting on Government Access Television Channel 21 (broadcast live)
- Call 669-900-9128 (and enter Webinar ID 847 8623 3577) to listen to the meeting on your phone.
- Join the City's Zoom webinar from your computer, tablet, or smartphone by CLICKING HERE. Alternatively, you can join the Zoom webinar by logging on to zoom.us, downloading the application, selecting "Join Meeting", and entering Webinar ID 847 8623 3577.

Public Comments:

- Provide a live public comment during the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item.
- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to the Architectural Review Board by **12:00 P.M. on the day of the meeting** by either submitting your comment via (1) email to PublicComment@carpinteriaca.gov, or (2) the **eComment** link on the City's agenda website (https://carpinteriaca.gov/city-hall/agendas-meetings). Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

- Provide a live comment through the City's Zoom webinar platform (through the link provided above). To make public comments through this platform please use the "raise your hand" feature to notify staff that you would like to make a public comment during designated public comment times. Once it is your turn to provide a public comment, staff will unmute your microphone and you will be given a designated amount of time to provide your comment (typically, the practice has been up to 3 minutes per speaker on each item). At the end of your comment, staff will once again mute your microphone.

Architectural Review Boardmembers:

Brad Stein, Chair
Amy Blakemore, Vice Chair
Richard E. Johnson
Richard Little
Patrick O'Connor

CALL TO ORDER

ROLL CALL

PUBLIC COMMENT

This is a time for public comments on matters not otherwise on the agenda but within the subject matter jurisdiction of the Architectural Review Board. Comments shall be limited to 15 minutes, divided among those persons desiring to speak, but no person shall speak longer than five minutes. Persons wishing to speak on a specific item will be recognized at the time the agenda item is considered.

The City is not responsible for the content of statements made during the public comment period, or the factual accuracy of any such statements.

PROJECT REVIEW

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of ex parte communications
- Staff presentation
- Applicant presentation
- Public comment
- Review by ARB
- Recommendation by ARB

1. Project: Ubaldo Diaz for Bernardo Cruz, Project 15-1781-DP/CDP/ARB
Address: 4675 Carpinteria Avenue
Applicants: Bernardo Cruz, property owner
Planner: Brian Banks

Request of Ubaldo Diaz, agent for Bernardo Cruz to consider Project 15-1784-DP/CDP/ARB for final review of a proposal to construct a two-story 2,784 square foot mixed use building. The building would be comprised of a 494 square foot ground floor commercial space and two upstairs one-bedroom apartment units (880 square feet each). Two single-car residential garage spaces and two additional covered commercial parking spaces would be provided onsite. The property is a 4,846 square foot lot zoned Commercial Planned Development (CPD) with a Flood Hazard (FH) Overlay and shown as APN 003-242-007 addressed as 4675 Carpinteria Avenue.

OTHER BUSINESS

CONSENT CALENDAR

2. Action Minutes of the Architectural Review Board Meeting of October 17, 2024.

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL

MATTERS PRESENTED BY STAFF

MATTERS PRESENTED BY BOARDMEMBERS

ATTENDANCE OF BOARDMEMBERS FOR THE NEXT MEETING

ADJOURNMENT

The next regular Architectural Review Board meeting will be held on Thursday, December 12, 2024.

NOTES
For those projects that do not require Planning Commission approval, recommendations for preliminary approval by the Architectural Review Board will be forwarded to the Community Development Director for a decision. Those Community Development Director decisions that are appealable pursuant to CMC §14.12.020(2) may be appealed to the Planning Commission. Appeals must be filed with the City Clerk within 10 calendar days of the Director's action.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community

Development Department at (805) 755-4410 (LorenaE@carpinteriaca.gov) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Thursday, November 7, 2024 in the Community Development Department, on the City Hall Public Notices Board, and on the City Website.

CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of November 14, 2024

Agenda Item #1

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT REVIEW

Project: 15-1781-DP/CDP/ARB
Address: 4675 Carpinteria Avenue
APN: 003-242-007
Zoning: Commercial Planned Development (CPD)
Applicant: Ubaldo Diaz/Gil Garcia for Bernardo Cruz

Planner: Brian Banks

Project Review: ☑ Final

PROJECT DESCRIPTION

This is a final review of a request to construct a two-story, mixed-use building on an existing vacant lot. The proposed building would be comprised of a 494 square foot ground floor commercial space located at the front of the lot facing Carpinteria Avenue, two covered commercial parking spaces, two single-car residential garage spaces, and two upstairs one-bedroom apartment units (of 880 square feet each). Total square footage of the proposed mixed-use building would be 2,784 square feet. Maximum height of the proposed building would be 26 feet three inches (26' 3") from finished grade at the City sidewalk to the top of the hip roof ridge.

The project includes a front setback modification to allow the covered ground floor porch to fully encroach into the required five-foot front setback. The covered porch eaves and raised planters around the base of the porch would encroach slightly into the City's Carpinteria Avenue right-of-way.

Additional site improvements would include site grading and importation of fill, new driveway and paving, new site landscaping, underground utilities, stormwater drainage infrastructure, and frontage improvements.

Final architectural, civil and landscape plans are included as Attachment A.

PROJECT HISTORY

Architectural Review Board In-Progress Meeting

The project was most recently considered by the Architectural Review Board ("ARB") for in-progress review on June 29, 2023. Several neighbors from the Arbor Trailer Park spoke at the meeting. Their comments predominately revolved around the property line wall and privacy impacts that could result from the project, as well as drainage concerns. Two of the commenters expressed their preference for a block wall along the property lines as opposed to fencing.

Overall, the ARB members were supportive of the project and the development of the in-progress plans. The ARB ultimately recommended the project return for final review with complete working drawings with the following comments addressed:

- Ensure that the plan elevations and floor plans are internally consistent;
- Ensure that the plan sections are accurate; and
- Propose an attractive finish/paint for the perimeter block walls.

A copy of the Minutes from the June 29, 2023 ARB Meeting is included as Attachment B.

PROJECT ANALYSIS

The applicant has prepared updated final plans to show how the project has been refined to address previous ARB and Planning Commission comments. Key revisions are summarized below:

- As requested by the ARB, accurate plan elevations, floor plans and sections have been provided (see sheets A-2, A-3, A-4, A-5, A-9 and A-10);
- Paint/Finish information for the perimeter block walls are provided (Sheet A-12); and
- Final architectural details and notations are included on the plans.

Overall, staff believes the project has satisfactorily addressed the ARB's comments from the June 29, 2023 in-progress review meeting.

The Board's comments on the revisions to the plans in response to their in-progress review comments would be appreciated.

SUMMARY OF ISSUES

- Architectural Details;
- Design and details for shared property line walls;
- Building colors and materials; and
- Proposed exterior light fixture and "night-sky" compliance.

RECOMMENDATION

The Board should receive public comment and provide feedback on the issues raised. If the Board finds the project to have adequately responded to the Board's previous comments and the plans to be appropriately developed for final review, then the Board should recommend final approval to the Community Development Director.

ATTACHMENTS

Attachment A Final Architectural Plans
Attachment B June 29, 2023 ARB Meeting Minutes

Attachment A.

Final Architectural Plans

Cruz Mixed-Use Building, 4675 Carpinteria Avenue
Project 15-1781-DP/CDP
November 14, 2024 Architectural Review Board Meeting

CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING

PROJECT INFORMATION

PROJECT NAME:	CRUZ BUILDING
OWNER:	BERNARDO CRUZ 5347 OGAN RD CARPINTERIA, CALIFORNIA 93103
PROJECT ADDRESS:	4675 CARPINTERIA AVE CARPINTERIA, CALIFORNIA 93013
ASSESSOR'S PARCEL NO:	003-242-007
ZONING:	(CPD) COMMERCIAL PLAN DEVELOPMENT
BUILDING STORIES:	2
TOTAL SITE AREA:	4,846 SF

PROJECT STATISTICS

	GROSS	NET
UNIT A LIVING SPACE	880 SF	808 SF
UNIT B LIVING SPACE	880 SF	808 SF
COMMERCIAL SPACE	494 SF	440 SF
UNIT A 1-CAR GARAGE	262 SF	228 SF
UNIT B 1-CAR GARAGE	268 SF	233 SF
TOTAL	2784 SF	2517 SF
FRONT PORCH	180 SF	
UPPER FLOOR BALCONY	180 SF	
FOOTPRINT	1,298 SF	32%
PAVING AREA	2,140 SF	44%
LANDSCAPE AREA	1,140 SF	24%

SCOPE OF WORK:

CONSTRUCT 2,784 SF MIXED USE BUILDING. THE BUILDING WOULD BE COMPRISED OF A 494 SF GROUND FLOOR COMMERCIAL SPACE AND TWO UPSTAIRS ONE-BEDROOM APARTMENT UNITS (880 SF AND 880 SF) RESPECTIVELY. TWO SINGLE-CAR RESIDENTIAL GARAGE SPACES (262 SF AND 268 SF) AND TWO ADDITIONAL COVERED COMMERCIAL PARKING SPACES WOULD BE PROVIDED ON SITE.

PROJECT TEAM

OWNER	BERNARDO CRUZ 5347 OGAN RD CARPINTERIA, CALIFORNIA 93013
DESIGN	UDICA DESIGN + PERMITS GIL GARDA ARCHITECT UBALDO DIAZ DESIGNER 260 PABST LN SANTA MARIA, CA 93455 PHONE (805) 363-8810 EMAIL: UDICA69@GMAIL.COM
CIVIL	STANTEC WAYNE T. FITCH, P.E. 111 EAST VICTORIA STREET SANTA BARBARA, CA 93101 PHONE (805) 963-9532
LANDSCAPE:	CMA+LA CHARLES McCLURE LANDSCAPE ARCHITECT 1315 DE LA VINA STREET SANTA BARBARA, CA 93101 PHONE (805) 728-1179

SHEET INDEX

SHEET No.	SHEET NAME
A-0	COVER SHEET, PROJECT DATA, SHEET INDEX
A-1	SITE PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	CAR ENTERING CONDITION
A-7	CAR EXITING CONDITION
A-8	STORY POLES PLAN
A-9	STORY POLES SECTIONS
A-10	BUILDING SCHEMATIC SECTIONS
A-11	ROOF PLAN
A-12	COLOR AND MATERIAL BOARD
A-13	OUTDOOR LIGHTING DETAIL
A-14	ARCHITECTURAL DETAILS
L-1	PLANTING PLAN
L-2	IRRIGATION PLAN
L-3	DETAILS
L-4	DETAILS

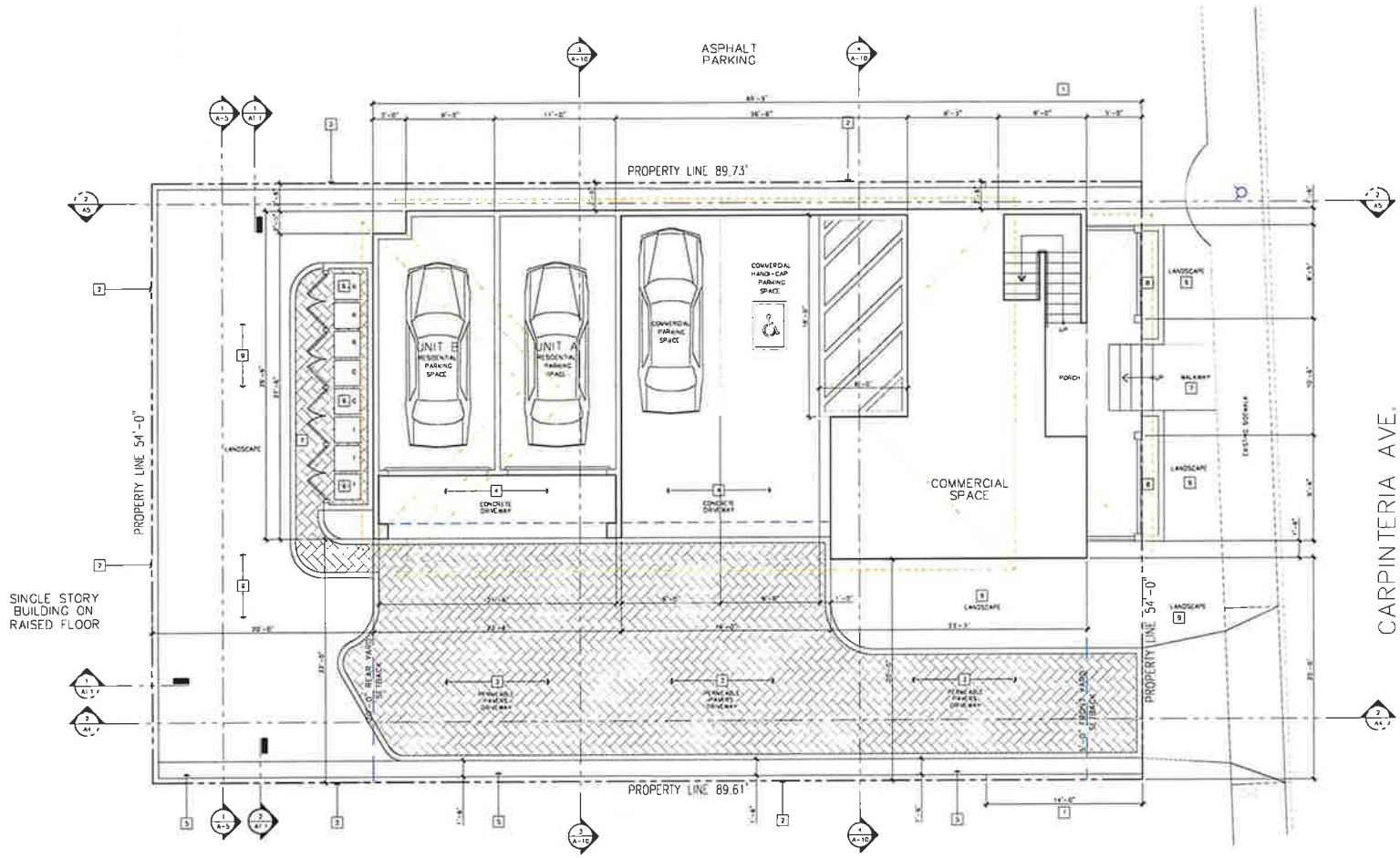
VICINITY MAP

UDICA
DESIGN + PERMITS

NO.	DATE	DESCRIPTION
1	8/14/2025	
2		
3		
4		

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE, CARPINTERIA, CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OGAN RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: COVER SHEET
PROJECT DATA

DATE: 6/24/24
PROJ. NO.: 1100
SHEET: OF
SHEET: A-0



SITE PLAN

SCALE: 1/4"=1'-0"

1. 3'-6" HIGH 8" CMU WALL FOR 14'-0" AS SHOWN
2. 8" CMU WALL ON CONCRETE BLOCK RETAINING WALL 8'-4" HIGH FROM LOWEST ADJACENT GRADE LEVEL SEE DETAIL 1/A1.1
3. PERMEABLE COBBLE-TYPE UNIT PAVER (SEE LANDSCAPE PLAN)
4. POURED CONCRETE FIELD-INTEGRAL COLOR L.M. SCHOFFIELD DESERT SAND C-11 MEDIUM SANDBLASH FINISH
5. WATER DRAINAGE TREATMENT SEE DETAIL 2/A1.1 AND CIVIL PLANS
6. TRASH AND RECYCLE CANS STORAGE SPACE
7. CONCRETE PAVING WITH ENHANCED PAVING PAVER PATTERN, TYPICAL
8. PLANTER AREA (SEE LANDSCAPE)
9. LANDSCAPE AREA (SEE LANDSCAPE PLAN)

SITE PLAN NOTES

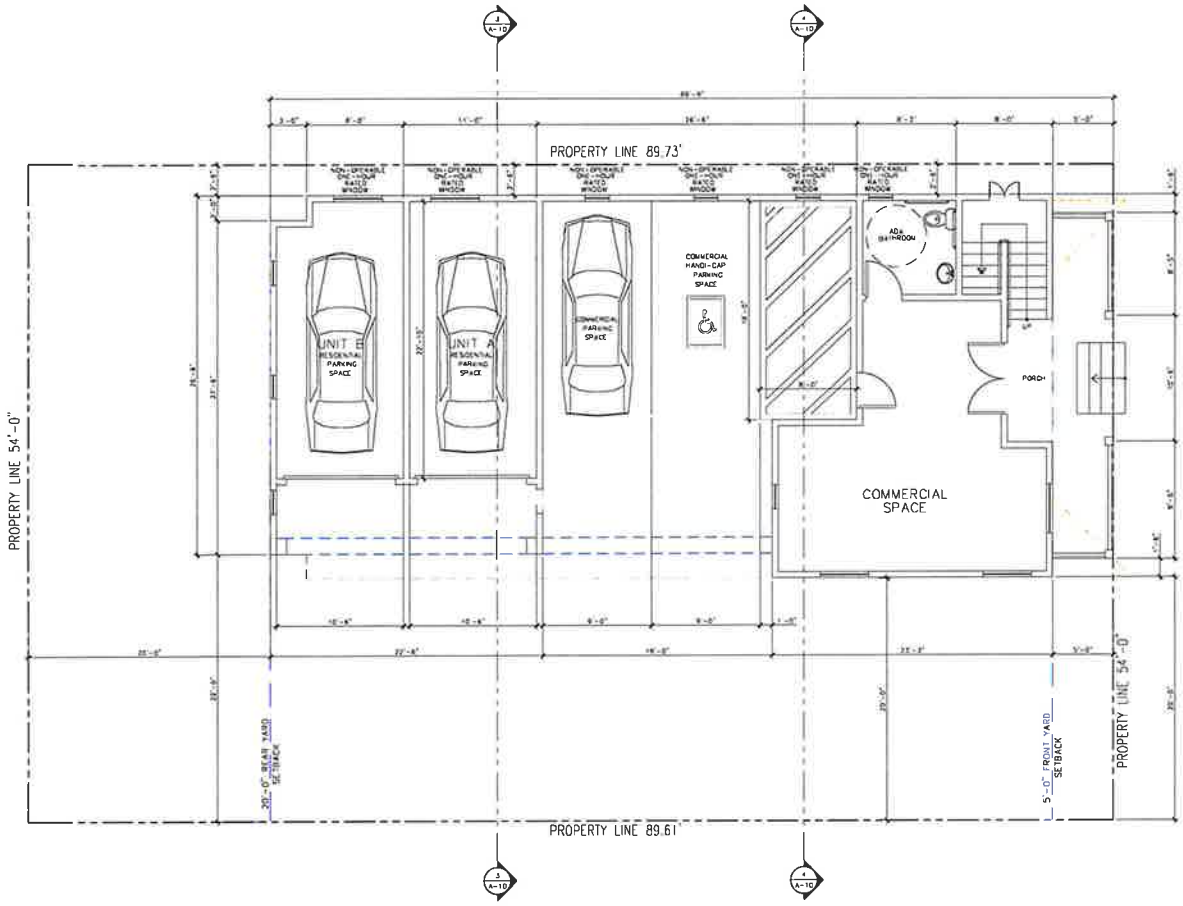
UDICA
DESIGN + PERMITS

REVISIONS

REV	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4575 CARPINTERIA AVE CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 DON RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: SITE PLAN

DATE: 6/20/23
PROJECT NO: 1100
SHEET: OF
SHEET NO: A-1



FIRST FLOOR PLAN

SCALE 1/4"=1'-0"

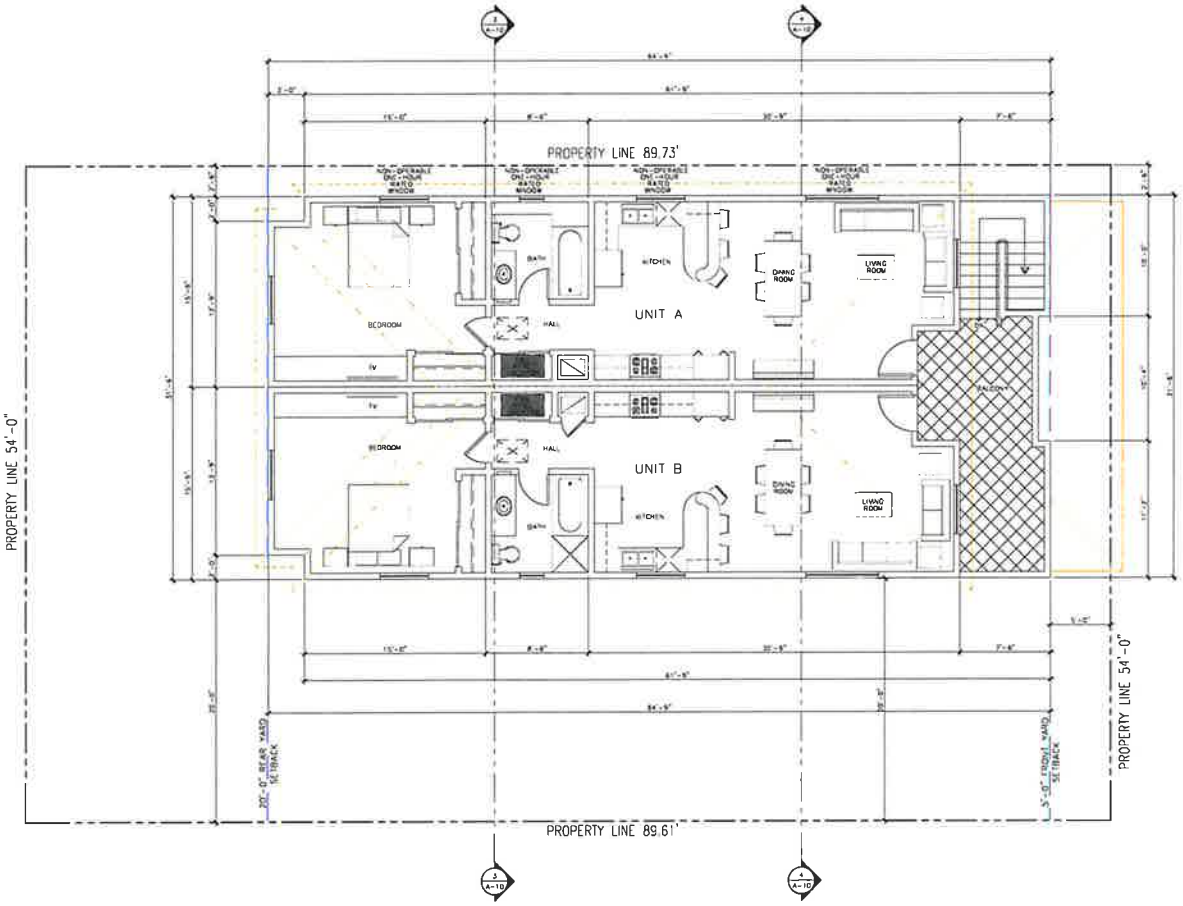
UDICA
DESIGN + PERMITS

REVISIONS

BY	DATE	DESCRIPTION

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4515 DEAN RD CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5317 DEAN RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: FIRST FLOOR PLAN

DATE: 6/22/23
PROJECT NO: 1100
SHEET: 8
SHEET NO: A-2



SECOND FLOOR PLAN

SCALE 1/4"=1'-0"

UDICA
DESIGN + PERMITS
260 PARSI LN SANTA MARIA CALIFORNIA 93455
PHONE(S) 303 8819 EMAIL: UDICA@GMAIL.COM

REVISIONS

NO	DATE	DESCRIPTION
-	-	-
-	-	-
-	-	-

PROJECT NAME: CRUZ BUILDING
MIXED RESIDENTIAL-COMMERCIAL BUILDING
4576 CARPINTERIA AVE, CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5417 OCEAN RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: SECOND FLOOR PLAN

DATE: 8/22/23
PCR-JOB #: 1100
SHEET: 9
SHEET NO: A-3

1- FRONT ELEVATIONS (NORTH)

SCALE 1/4"=1'-0"

ELEVATION NOTES

ROOFING

- ASPHALT SHINGLES CLASS "A" NON-COMBUSTIBLE
  OVER 30# FELTS
  GAF TIMBERLINE ROOFING SHINGLES
  ULTRA HD COLOR CHARCOAL

WINDOWS

- SIERRA PACIFIC WINDOWS
  METAL CLAD WINDOWS
  COLOR 335 BEIGE STANDARD

DOORS

- EXTERIOR DOORS, TO BE PAINTED BENJAMIN MOORE
  SIMPLY WHITE (2143-70)

TRIM

- DOOR AND WINDOW TRIM TO BE PAINTED BENJAMIN MOORE
  SIMPLY WHITE 2143-70
- GARAGE DOORS TO BE PAINTED BENJAMIN MOORE NAVAJO WHITE-6126

GUTTERS AND DOWNSPOUTS

- (5" G.I. SHT MTL GUTTERS AND DOWNSPOUTS PAINTED BENJAMIN MOORE SIMPLY
  WHITE (2143-70) TO MATCH WINDOW TRIM AND FASCIAS

FASCIAS, CORBELS AND PORCH POSTS

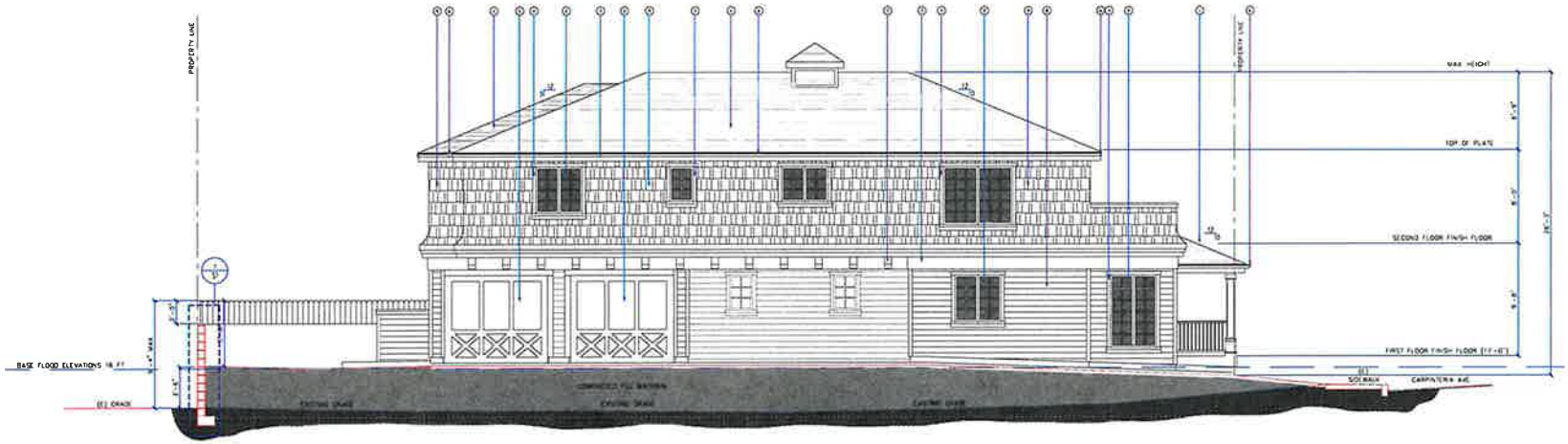
- PAINT BENJAMIN MOORE
  SIMPLY WHITE 2143-70

SIDING

- SHIPLAND SIDING (6" EXPOSURE) OVER BUILDING PAPER
  PRIMED MDF SHIPLAP SIDING MODEL 168PMDFSL
  PAINT BENJAMIN MOORE WHITALL BROWN HC-69

SIDING

- SHINGLE SIDING OVER BUILDING PAPER
  PLY GEM CEDAR POLYPROPYLENE SIDING COLOR BEIGE



2- SECTION "A" - SIDE ELEVATION (EAST) VIEW FROM DRIVEWAY SIDE

SCALE 1/4"=1'-0"

UDICA
DESIGN + PERMITS
320 PABST LN SANTA MARIA CALIFORNIA 93455
PHONE: 363 8818 EMAIL: UDICA@YAHOO.COM

REVISIONS

REV	DATE	DESCRIPTION
1		
2		
3		
4		

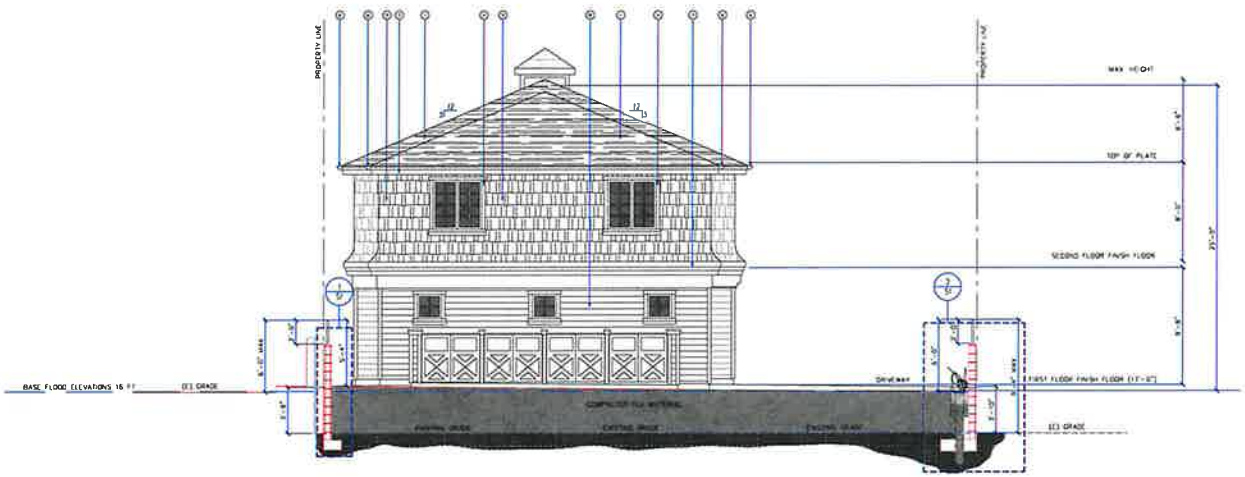
PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OCAN RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: SITE SECTION
EXTERIOR ELEVATIONS

DATE: 6/20/23

FCR-JOB-# 1100

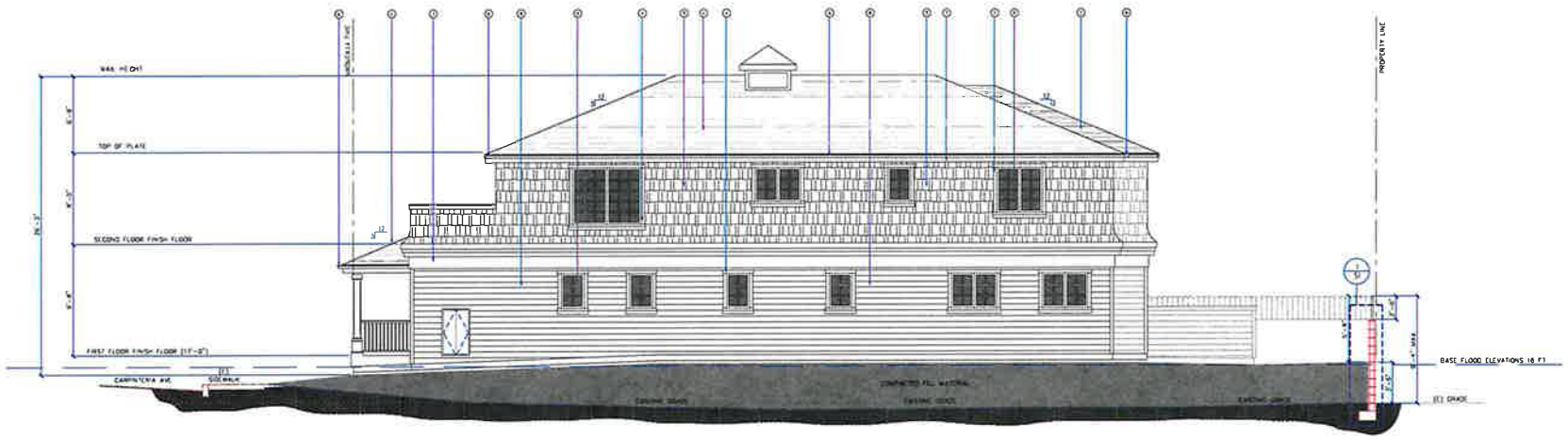
SHEET OF

SHEET NO. A-4



1- SECTION B - REAR ELEVATION (SOUTH)

SCALE: 1/4"=1'-0"



2- SECTION "C" - SIDE ELEVATION (WEST)

SCALE: 1/4"=1'-0"

ELEVATION NOTES

ROOFING

① ASPHALT SHINGLES CLASS "A" NON-COMBUSTIBLE
OVER 30# FELTS.
CAF TIMBERLINE ROOFING SHINGLES
ULTRA HD COLOR CHARCOAL

WINDOWS

② SIERRA PACIFIC WINDOWS
METAL CLAD WINDOWS
COLOR 335 BEIGE STANDARD

DOORS

③ EXTERIOR DOORS, TO BE PAINTED BENJAMIN MOORE
SIMPLY WHITE (2143-70)

TRIM

④ DOOR AND WINDOW TRIM TO BE PAINTED BENJAMIN MOORE
SIMPLY WHITE 2143-70

⑤ GARAGE DOORS TO BE PAINTED BENJAMIN MOORE NAVAJO WHITE-6126

GUTTERS AND DOWNSPOUTS

⑥ (5" G.I. SHT MTL GUTTERS AND DOWNSPOUTS PAINTED BENJAMIN MOORE SIMPLY
WHITE (2143-70) TO MATCH WINDOW TRIM AND FASCIAS

FASCIAS, CORBELS AND PORCH POSTS

⑦ PAINT BENJAMIN MOORE
SIMPLY WHITE 2143-70

SIDING

⑧ SHIPLAND SIDING (6" EXPOSURE) OVER BUILDING PAPER
PRIMED MDF SHIPLAP SIDING MODEL 16BPMDFSL
PAINT BENJAMIN MOORE WHITALL BROWN HC-69

SIDING

⑨ SHINGLE SIDING OVER BUILDING PAPER
PLY GEM CEDAR POLYPROPYLENE SIDING COLOR BEIGE

UDICA
DESIGN + PERMITS

PROJECT NAME	CRUZ BUILDING A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS	4015 CARPINTERIA AVE CARPINTERIA CALIFORNIA 93013
OWNER NAME	BERNARDO CRUZ
ADDRESS	5347 OCAN RD CARPINTERIA, CALIFORNIA, 93013
SHEET TITLE	SITE SECTION EXTERIOR ELEVATIONS
DATE	8/20/23
PCP-JOB-#	1100
SHEET	8
SHEET NO.	A-5

CAR ENTERING CONDITION

SCALE: 1/8"=1'-0"

PROJECT NAME	CRUZ BUILDING A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS	4575 CARPINTERIA AVE CARPINTERIA CALIFORNIA 93013
OWNER NAME	BERNARDO CRUZ
ADDRESS	5247 OCAY RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE	CAR ENTERING CONDITION
DATE	6/20/23
SCALE	1/8"=1'-0"
SHEET	A-6

REVISIONS

NO.	DATE	DESCRIPTION
1		
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260 PAGET LN SANTA MARIA CALIFORNIA 93455
PH(805) 343 8813 EMAIL UDICA98@AOL.COM

CAR EXITING CONDITION

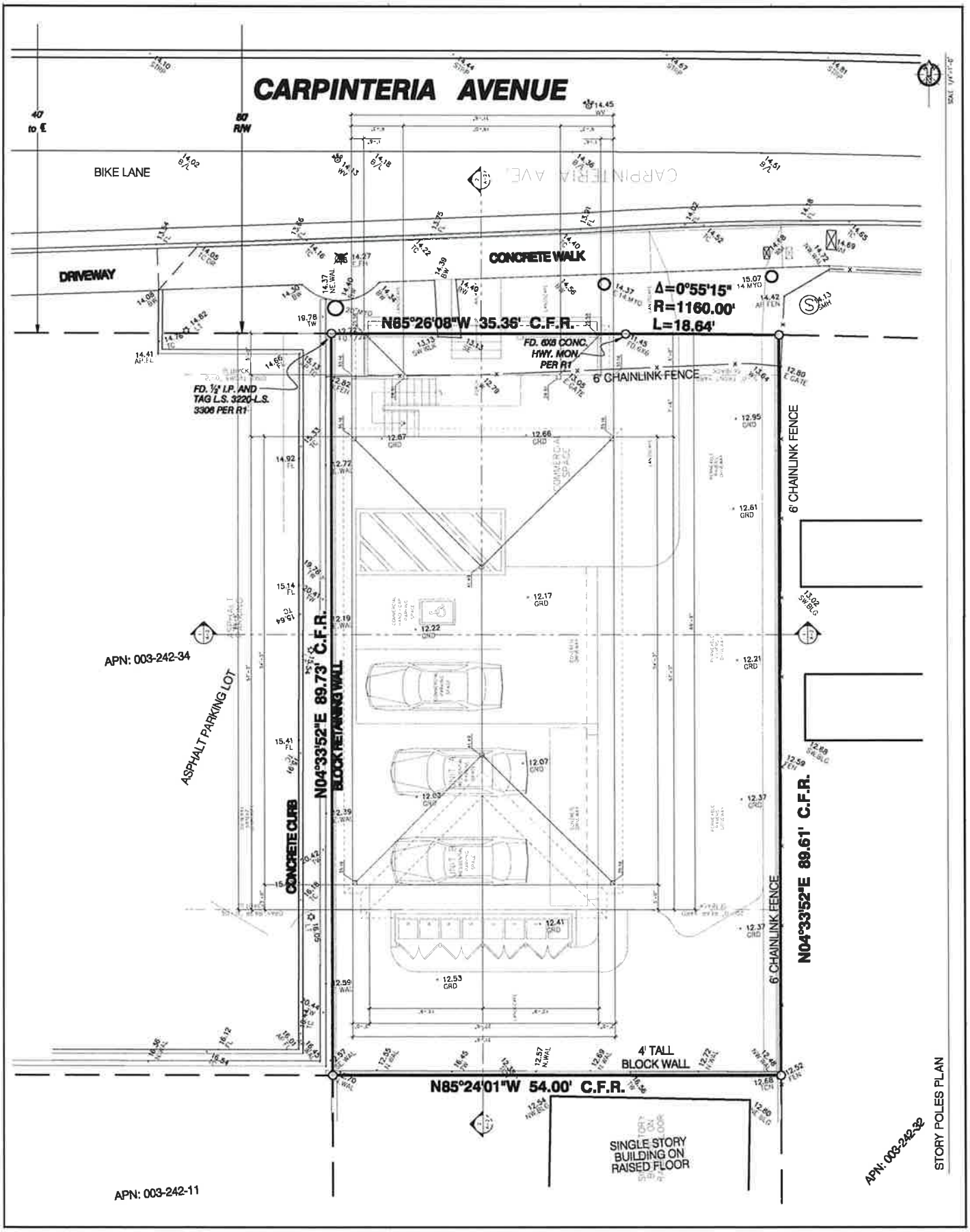
SCALE: 1/8"=1'-0"

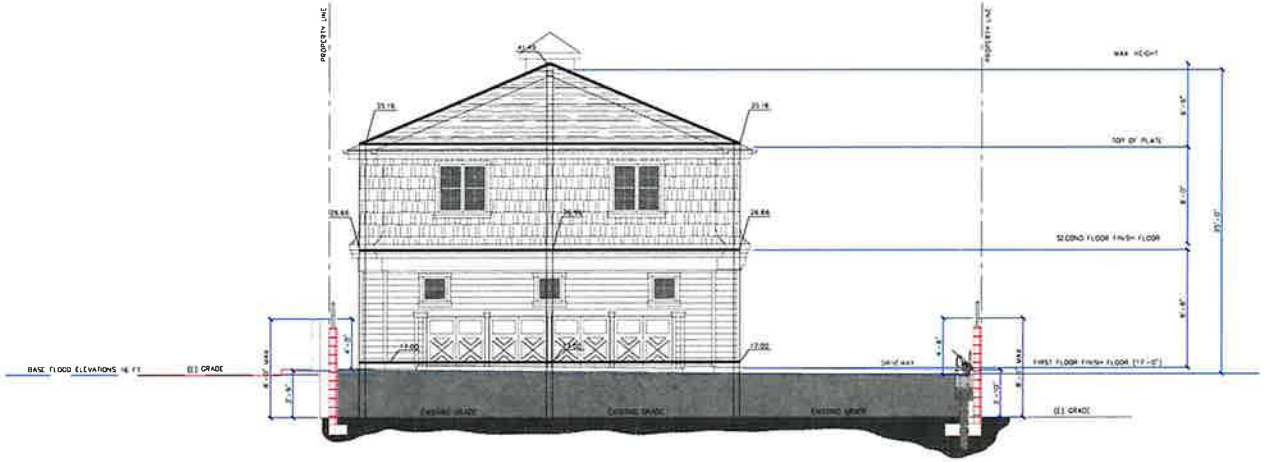
PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
PROJECT ADDRESS: 4675 CARPINTERIA AVE CARPINTERIA, CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 CCAN RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: CAR EXITING CONDITION

DATE: 6/15/23
PROJECT NO.: 1100
SHEET: A-7

REVISIONS
NO. DATE DESCRIPTION

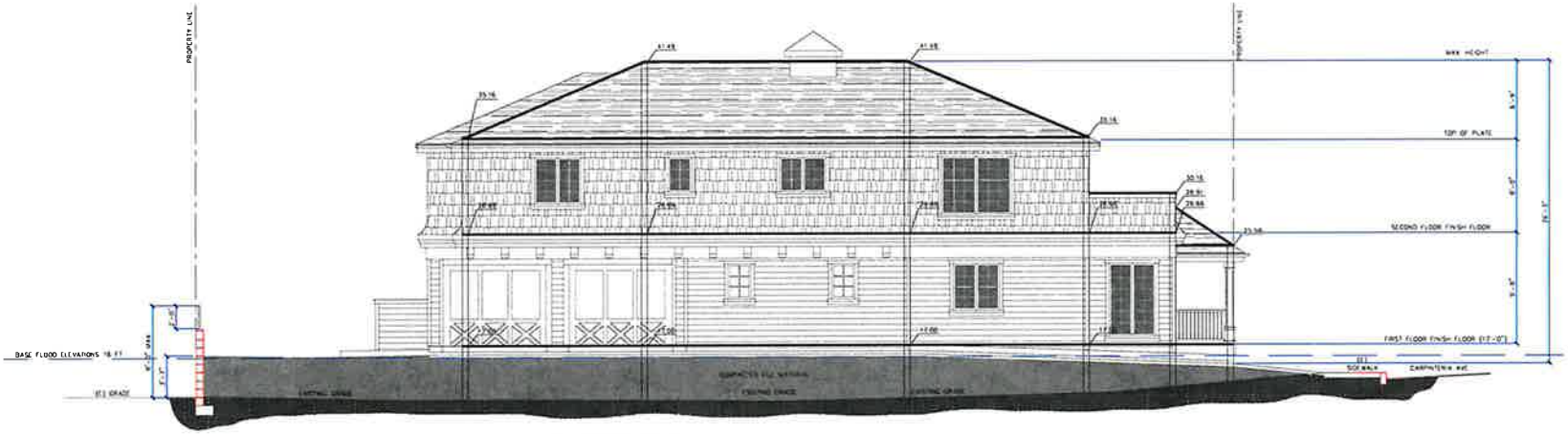
UDICA
DESIGN + PERMITS
242 FIGUEROA STREET SANTA BARBARA CALIFORNIA 93101
PHONE: 323 882 3345 EMAIL: UDICA@GMAIL.COM


CARPINTERIA AVENUE
40' to ℄
50' R/W
BIKE LANE
DRIVEWAY
CONCRETE WALK
Δ=0°55'15"
R=1160.00'
L=18.64'
N85°26'08"W 35.36' C.F.R.
FD. 6X8 CONC. HWY. MON. PER R1
6' CHAINLINK FENCE
FD. 1/2" I.P. AND TAG L.S. 3220-L.S. 3306 PER R1
6' CHAINLINK FENCE
APN: 003-242-34
ASPHALT PARKING LOT
N04°33'52"E 89.73' C.F.R.
BLOCK RETAINING WALL
CONCRETE CURB
N04°33'52"E 89.61' C.F.R.
6' CHAINLINK FENCE
4' TALL BLOCK WALL
N85°24'01"W 54.00' C.F.R.
SINGLE STORY BUILDING ON RAISED FLOOR
APN: 003-242-32
APN: 003-242-11
STORY POLES PLAN



SECTION 1

SCALE: 1/4"=1'-0"



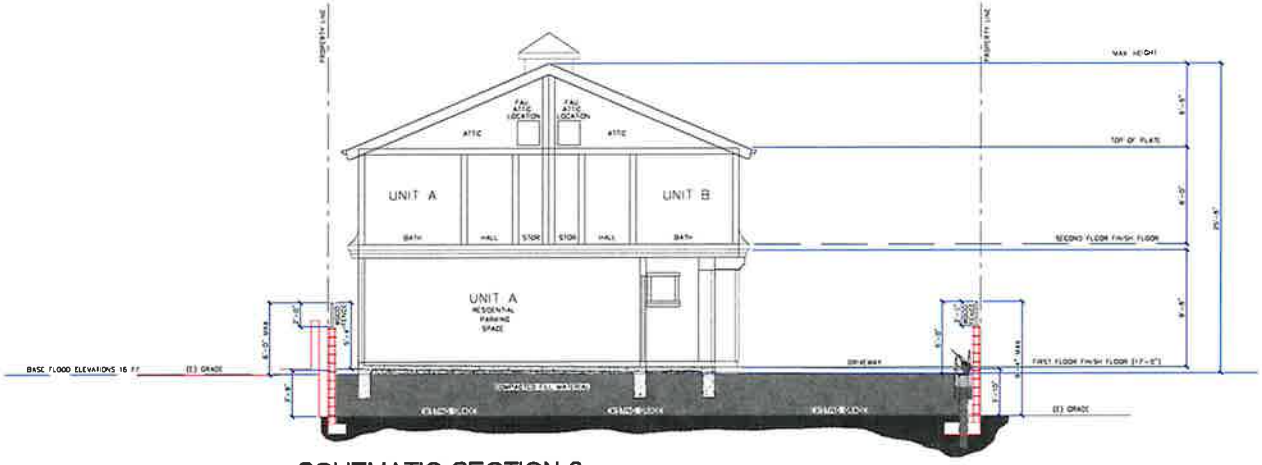
SECTION 2

SCALE: 1/4"=1'-0"

UDICA
DESIGN + PERMITS

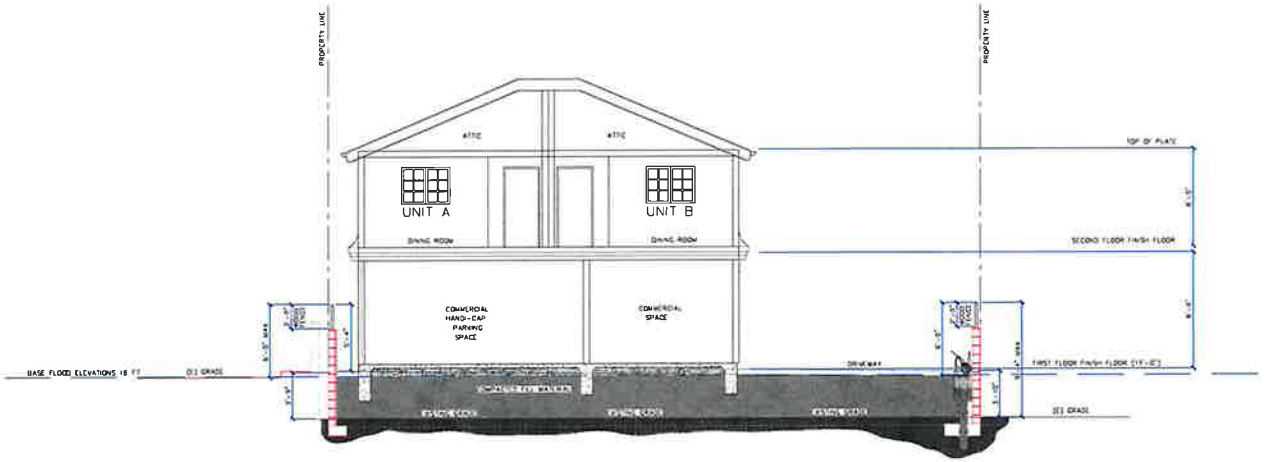
PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE, CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5397 OCAN RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: STORY POLES SECTIONS

DATE: 8/20/23
PCR-JOB-# 1100
SHEET #: A-9



SCHEMATIC SECTION 3

SCALE: 1/4"=1'-0"



SCHEMATIC SECTION 4

SCALE: 1/4"=1'-0"

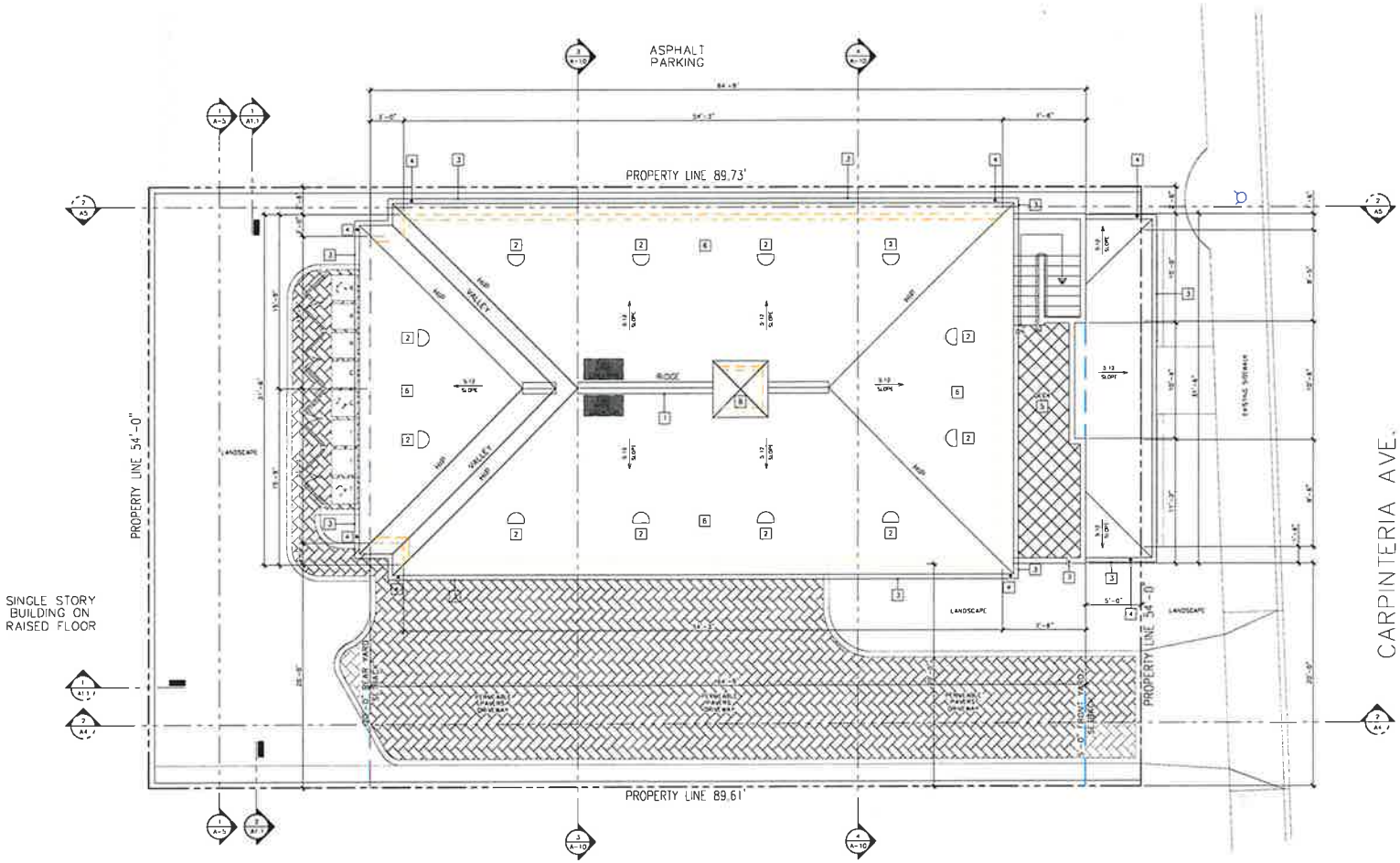
UDICA
DESIGN + PERMITS
260 PABST LN SANTA MARIA CALIFORNIA 93455
PH(805) 343-8883 EMAIL UDICA@GMAIL.COM

REVISIONS

REV	DATE	DESCRIPTION
1		
2		
3		
4		

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4 NORTH MAIN ST CARPINTERIA, CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 3447 OCEAN RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: SCHEMATIC SECTIONS

DATE: 8/20/23
FOR JOB #: 1100
SHEET OF
SHEET NO: A-10



ROOF PLAN

SCALE 1/4"=1'-0"

ROOF NOTES	NEW ATTIC CALCULATIONS
1.- PROVIDE CONTINOUS RIDGE & HIP VENT	ATTIC VENTING AREA REQUIRED: 1 PER 150
2.- PROVIDE 24" DIA G.I ROOF DOMES WHERE SHOWN (VENTING AREA 94 SQ FT)	ATTIC AREA 1707 SQ FT. VENTING AREA REQUIRED 1707/150 = 11.34 SQ FT ROOF DOMES (NET FREE AREA 0.94 SF) 12 DOMES X .94 = 11.28 SQ FT. VENTING AREA PROVIDED 11.28 SQ FT
3 - 5" G.I SHT METAL O.G GUTTER	
4 - 3" DIA. G.I SHT METAL DOWN SPOUT	LOCATE PLUMBING AND MECHANICAL ROOF VENTS TOWARDS REAR OF BUILDING, PAST THE RIDGE WHENEVER FEASIBLE
5 - TILE DECK AREA	ETCH, PRIME AND PAINT ALL ATTIC, PLUMBING AND MECHANICAL VENTS TO MATCH ROOF COLOR
6 - ASPHALT SHINGLES CLASS "A" NON-COMBUSTIBLE OVER 30# FELTS GAF TIMBERLINE ROOFING SHINGLES ULTRA HD COLOR CHARCOAL	PROVIDE G.I VALLEY FLASHING PER S.M.A.C.N.A. RECOMENDATIONS
7 - SCUPPER	PROVIDE EAVE (3-1.5" DIAM. HOLES PER BLOCK) AND RIDGE VENTS FOR VOLUME CEILINGS. HOLES MUST BE COVERED INSIDE AND OUT WITH 1/4" CORROSION RESISTANT WIRE MESH
8 - 48"X48" VENTED CUPOLA	

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285 PARST LN SANTA MARIA CALIFORNIA 93455
PHONE: 933 8819 E-MAIL: UDICA@PACBELL.CP

REVISIONS

NO	DATE	DESCRIPTION
1		
2		

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
PROJ. ADDRESS: 4675 CARPINTERIA AVE CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
OWNER ADDRESS: 5347 OCAN RD CARPINTERIA CALIFORNIA 93013
SHEET TITLE: ROOF PLAN

DATE: 8/20/23
PCR JOB #: 1100
SHEET: OF
SHEET NO: A-11

COLOR AND MATERIAL BOARD

ROOFING

ASPHALT SHINGLES CLASS "A" NON-COMBUSTIBLE
OVER 30# FELTS
GAF TIMBERLINE ROOFING SHINGLES
ULTRA HD COLOR CHARCOAL

WINDOWS

SIERRA PACIFIC WINDOWS
METAL CLAD WINDOWS
COLOR 335 BEIGE STANDARD

DOORS

EXTERIOR DOORS, TO BE PAINTED BENJAMIN MOORE
SIMPLY WHITE (2143-70)

TRIM

DOOR AND WINDOW TRIM TO BE PAINTED BENJAMIN MOORE
SIMPLY WHITE 2143-70

GARAGE DOORS TO BE PAINTED BENJAMIN MOORE NAVAJO WHITE-6126

GUTTERS AND DOWNSPOUTS

(5" G.I SHT MTL GUTTERS AND DOWNSPOUTS PAINTED BENJAMIN MOORE SIMPLY WHITE (2143-70) TO MATCH WINDOW TRIM AND FASCIAS

FASCIAS, CORBELS AND PORCH POSTS

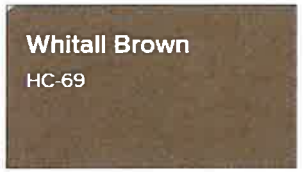
PAINT BENJAMIN MOORE
SIMPLY WHITE 2143-70

STUCCO FINISH PERIMETER WALL AND WOOD FENCE (STUCCO BOTH SIDES AT PROPERTY LINE PERIMETER)

PAINT BENJAMIN MOORE
SIMPLY WHITE 2143-70

SIDING

SHIPLAND SIDING (6" EXPOSURE) OVER BUILDING PAPER
PRIMED MDF SHIPLAP SIDING MODEL 16BPMDFSL
PAINT BENJAMIN MOORE WHITALL BROWN HC-69



SIDING

SHINGLE SIDING OVER BUILDING PAPER
PLY GEM CEDAR POLYPROPYLENE SIDING COLOR BEIGE

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265 PARKER LN SANTA MARIA CALIFORNIA 93455
PH(805) 343 8813 EMAIL UDICA@GMAIL.COM

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4815 CARPINTERIA AVE. CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5149 OCEAN RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: COLOR AND MATERIAL BOARD

DATE: 9/24/24
SCALE: 1:100
SHEET NO: A-12

EXTERIOR LIGHT FIXTURE

PORTSMOUTH OUTDOOR ENTRANCE WALL SCONCE - SINGLE LIGHT

SKU 941509

FEATURES

Installation Type: Wall Mount
Design Rules:
Material: Aluminum
Width: 6"
Height: H 1/8"
Depth: H 1/2"
Base Plate Height: 1"
Mounting Hardware Included: Yes
Downlight Mounting: No
Number of Bulbs: 1
Base Plate Width: 5"
Location Type: Suitable for Wet Locations
Bulbs Included: No
Bulb Type: Medium E 26
Wattage per Bulb: 100

CODES/STANDARDS

UL 1598 / CSA C22.2 No 250.0

Date
REVISED 11/07/2021

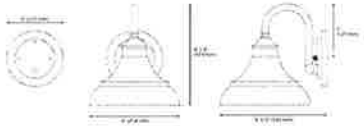
SIGNATURE HARDWARE

See Warranty for warranty information
signaturehardware.com/warranty

signaturehardware.com

PORTSMOUTH SINGLE LIGHT OUTDOOR ENTRANCE WALL SCONCE

SKU 941509



Date
PRI0209

SIGNATURE HARDWARE

See Warranty for warranty information
signaturehardware.com/warranty

signaturehardware.com

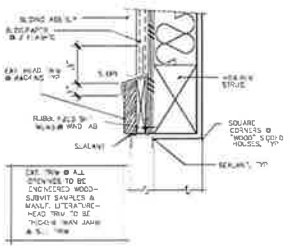
UDICA
DESIGN + PERMITS
260 PABST LN SANTA MARIA CALIFORNIA 93455
PH(805) 363-8803 EMAIL UDICA@GMAIL.COM

REVISIONS

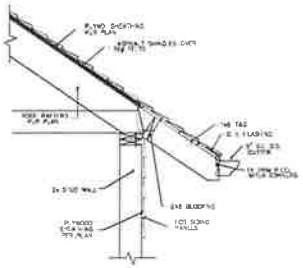
NO	DATE	DESCRIPTION

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4125 SANTA MARIA AVE, SANTA MARIA CALIFORNIA 93455
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 DEAN RD CARPINTERIA, CALIFORNIA, 93013
SHEET TITLE: EXTERIOR LIGHT FIXTURE CUT SHEET

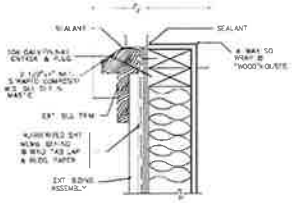
DATE: 9/24/24
PCN-JOB #: 1100
SHEET: 9
SHEET NO: A-13



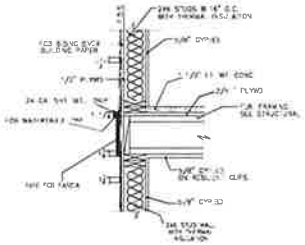
WINDOW HEAD 1



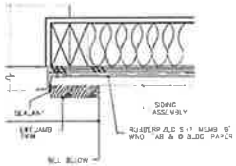
CAVE DETAIL 4



WINDOW SILL 2



DETAIL 5



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DESIGN + PERMITS

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
3		
4		

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4510 CARPINTERIA AVE CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 CORA RD CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: ARCHITECTURAL DETAILS

DATE: 9/24/24

PCR-X08-2 1100

SHEET OF

SHEET NO. A-14

CRUZ BUILDING

APN 003-242-007
4675 CARPINTERIA AVENUE
CARPINTERIA, CALIFORNIA

OWNER INFORMATION

BERNARDO CRUZ
5347 OGAN ROAD
CARPINTERIA, CA 93013
(805) 565-3471

DESIGNER INFORMATION

WAYNE F. FITCH, P.E., QSD/P
STANTEC
200 E CARRILLO ST, SUITE 101
SANTA BARBARA, CA 93101
(805) 308-9185
WAYNE.FITCH@STANTEC.COM

SURVEY NOTES

1. BASIS OF BEARINGS

PARCEL MAP NO. 25,102 AS FILED IN BK. 36, PGS. 24 & 25(R1) AND GRANT DEED PER INSTR. NO. 209-0073866 OF O.R.

2. CONTOUR INTERVAL

NO CNTOURS PLOTTED AT THIS TIME.

3. BENCH MARK

CITY OF CARPINTERIA BENCH MARK INDEX OF 1995 NAVD88 DATUM
LOCAL BENCH: MAG NAIL AND SHINER ON S'LY SIDE OF CARPINTERIA AVENUE, W'LY OF SUBJECT SITE.
ELEV.=13.70' PER TRACT NO. 25,172 FILED IN BK. 201, PGS. 26-30

UTILITY PURVEYORS

SANITARY SEWER
CARPINTERIA SANITARY DISTRICT –
EDDIE SAENZ
(805) 684-7214
EDDIES@CARPSAN.COM

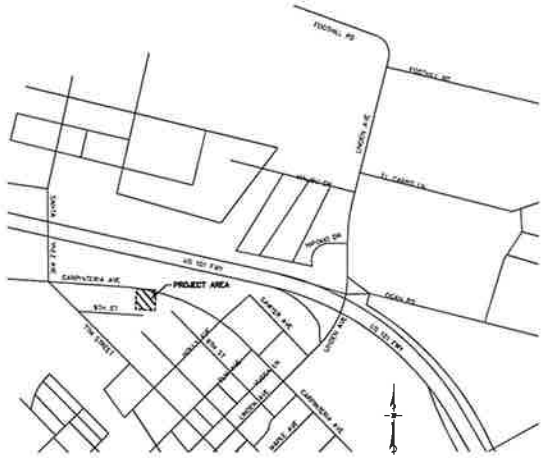
WATER
CARPINTERIA VALLEY WATER DISTRICT –
BRIAN KING
(805) 684-2816 x107
BRIAN@CVWD.NET

GAS
SOUTHERN CALIFORNIA GAS –
JOEL CANIZALEZ
NORTHWESTDISTRIBUTIONUTILITY
REQUEST@SEMPRAUTILTIES.COM

ELECTRICAL
SOUTHERN CALIFORNIA EDISON –
LOCAL PLANNING SANTA BARBARA
(805) 683-5211
ADMINSCESB@SCE.COM

TELEPHONE
FRONTIER –
CATHY BROWN
BROWN.CATHY@FTR.COM

CABLE
COX COMMUNICATIONS –
CARL GIVENS
COXFACILITYINQUIRIES@COX.COM



VICINITY MAP

NOT TO SCALE

ESTIMATED EARTHWORK QUANTITIES:

ESTIMATED EARTHWORK QUANTITIES – RAW QUANTITIES

CUT= 0 C.Y. FILL= 300 C.Y. IMPORT= 300 C.Y.

THE ABOVE QUANTITIES ARE REPRESENTATIVE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISH GRADE OR SUBGRADE. EXISTING GROUND IS DEFINED BY THE TOPOGRAPHIC CONTOURS AND/OR SPOT ELEVATIONS ON THE PLAN. PROPOSED FINISH GRADE IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED. PROPOSED SUBGRADE ELEVATION IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED BENEATH PAVEMENTS OR STRUCTURES.

THE ABOVE QUANTITIES ARE FOR BUILDING PERMIT PURPOSES ONLY AND HAVE NOT BEEN FACTORED TO INCLUDE ALLOWANCES FOR BULKING, CLEARING AND GRUBBING, SUBSIDENCE, SHRINKAGE, OVEREXCAVATION AND RECOMPACTION, UNDERGROUND UTILITY AND SUBSTRUCTURE SPOILS, INCLUDING RETAINING WALL AND COLUMN FOOTINGS AND CONSTRUCTION METHODS. EARTHWORK IS NOT INTENDED TO BALANCE ON SITE.

THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS.

FLOOD HAZARD ZONE

THE PROJECT IS COMPLETELY WITHIN ZONE AE PER THE FEMA FLOOD INSURANCE RATE MAP (FIRM) NUMBER 06083C1419H DATED SEPTEMBER 28, 2018

THE FLOOD ELEVATION IS APPROXIMATELY 13.8' (NAVD88 DATUM)

SITE INFORMATION

TOTAL SITE AREA: 4,690 SF
DISTURBED AREA: 5,274 SF
BUILDING AREA: 3,090 SF
PERVIOUS AREA: 2,549 SF
IMPERVIOUS AREA: 2,138 SF

SHEET INDEX

SHEET	DESCRIPTION
C-0.0	TITLE SHEET
C-0.1	GENERAL NOTES
C-0.2	GENERAL NOTES
C-0.3	SITE TOPOGRAPHIC MAP
C-1.1	GRADING AND DRAINAGE PLAN
C-1.2	SITE WATER AND SEWER PLAN
C-1.3	EROSION CONTROL PLAN
C-2.1	DETAILS
C-2.2	DETAILS
C-2.3	SECTIONS
C-2.4	DETAILS

NOTE

CONTRACTOR SHALL POTHOLE AND VERIFY ALL EXISTING UTILITIES WITHIN PROJECT SITE PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE CITY'S REPRESENTATIVE. CONTRACTOR SHALL PROPOSE ANY HORIZONTAL REALIGNMENT AND/OR VERTICAL ADJUSTMENT FOR UTILITY AND SITE IMPROVEMENTS DESIGN TO THE CITY'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION AND PERFORM THE REQUIRED ADJUSTMENTS AT NO ADDITIONAL COST TO THE CITY OR THE PROJECT

811
Know what's below.
Call before you dig.

Stantec

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DESIGN + PERMITS

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE. CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OGAN RD CARPINTERIA CALIFORNIA 93013
SHEET TITLE: TITLE SHEET
DATE: 12/8/23
1100
SHEET OF
SHEET NO. C-0.0

GENERAL CONSTRUCTION NOTES

1 ALL REFERENCED SPECIFICATIONS, CODES, DRAWINGS AND DETAILS SHALL BE INCORPORATED INTO THESE PLANS AND MADE A PART HEREOF AS IF SPELLED OUT OR DELINEATED IN THEIR ENTIRETY HEREON

2 GRADING OR OTHER CONSTRUCTION WORK OFFSITE IS NOT PERMITTED WITHOUT PRIOR WRITTEN PERMISSION OF THE AFFECTED OFFSITE PROPERTY OWNERS AND PUBLIC AGENCIES.

3 IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PROJECT'S PLANS AND SPECIFICATIONS AND ABIDE BY THEIR REQUIREMENTS AS APPLICABLE.

4 BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE AND THE UTILITY COMPANIES, AND SHALL DETERMINE FROM EACH (1) SCOPE OF WORK TO BE OBSERVED AND BY WHOM, (2) SCOPE OF TESTING, AND (3) ADVANCE NOTICE REQUIRED (MINIMUM OF 48 HOURS). DURING THE COURSE OF WORK, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR OBSERVATION AND TESTING AS STIPULATED PURSUANT TO ABOVE DETERMINATIONS. WORK NOT OBSERVED AND TESTED WILL BE SUBJECT TO REJECTION

5 BEFORE BEGINNING WORK, THE CONTRACTOR SHALL DETERMINE OR VERIFY THE LOCATION AND FLOWLINE ELEVATION OF ALL EXISTING WATER, SEWER, AND DRAINAGE STRUCTURES AND/OR CONDUITS TO BE JOINED BY NEW CONSTRUCTION. IF DIFFERENCES ARE OBSERVED THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE BY PHONE AND IN WRITING

6 EXISTING PERMANENT SURVEY MONUMENTS SHOWN ON THE PLANS, INCLUDING PROPERTY CORNERS AND BENCHMARKS, SHALL BE PRESERVED BY THE CONTRACTOR OR SHALL BE TIED-OUT PRIOR TO CONSTRUCTION AND RE-SET AFTER CONSTRUCTION BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

7 AREAS TO RECEIVE FILL MATERIAL AND AREAS TO RECEIVE BUILDINGS, WALLS, PAVEMENT, SIDEWALKS AND OTHER STRUCTURAL IMPROVEMENTS SHALL BE PREPARED AS RECOMMENDED BY, AND UNDER THE OBSERVATION AND TESTING OF THE OWNER'S REPRESENTATIVE. RECOMMENDATIONS FOR OVER-EXCAVATION, ADDITIONAL SCARIFICATION, BACKFILL AND RECOMPACTION ARE CONTAINED IN THE PROJECT SPECIFICATIONS AND PLANS.

8 IF NOT DIMENSIONED, LOCATION OF FINISH GRADE ELEVATIONS AND FEATURES SUCH AS SWALES, RIDGE LINES, ETC. SHALL BE DETERMINED BY SCALE FROM KNOWN POINTS SHOWN ON THE PLANS. UNIFORM GRADIENTS OR VERTICAL CURVES, AS APPROPRIATE, SHALL BE ASSUMED BETWEEN CONTROL ELEVATIONS SHOWN ON THE PLANS.

9 ALL EXCESS EARTH, ASPHALT PIECES, ETC. (SPOILS) SHALL BE TRANSPORTED OFF SITE AND DISPOSED OF LEGALLY

10 ACTUAL CONSTRUCTION HOURS ARE FROM 7:30 AM TO 5:00 PM, MONDAY THRU FRIDAY.

11 EARTH COMPACTION TESTING, CONCRETE TESTING SHALL BE PROVIDED BY OWNER'S GEOTECHNICAL ENGINEER / TESTING LABORATORY

12 ALL EXISTING AND PROPOSED STORM DRAIN GRATES AND UTILITY SURFACE FEATURES SHALL BE SET TO FINISH GRADE BY THE CONTRACTOR AS A PART OF THIS PROJECT.

13 SAWCUTTING OF EXISTING PAVEMENT SHALL BE TO A CLEAN STRAIGHT EDGE AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

14 CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION STAKING, INCLUDING CALCULATION AND FIELD STAKING, WHICH SHOULD BE PERFORMED BY A CALIFORNIA LICENSED SURVEYOR

GENERAL REQUIREMENTS OF CONTRACTOR

1 THE CONTRACTOR SHALL MAINTAIN A COMPLETE AND ACCURATE RECORD OF ALL CHANGES OF CONSTRUCTION FROM THAT SHOWN IN THESE PLANS AND SPECIFICATIONS FOR THE PURPOSE OF PROVIDING A BASIS FOR CONSTRUCTION RECORD DRAWINGS. NO CHANGES SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE AND THE AGENCY HAVING JURISDICTION. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL DELIVER THIS RECORD OF ALL CONSTRUCTION CHANGES TO THE OWNER'S REPRESENTATIVE ALONG WITH A LETTER WHICH DECLARES THAT THE PROJECT WAS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPROVED CHANGE ORDERS.
CAUTION. THE ENGINEER WHO PREPARED THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE

2 THE CONTRACTOR SHALL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE BY PHONE AND IN WRITING UPON DISCOVERY OF, AND BEFORE DISTURBING, ANY PHYSICAL CONDITIONS DIFFERING FROM THOSE REPRESENTED BY APPROVED PLANS AND SPECIFICATIONS.

3 THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONALS HARMLESS FROM ALL LIABILITY AND CLAIMS, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONALS.

4 THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR PROTECTION OF PUBLIC AND PRIVATE PROPERTY IN THE VICINITY OF THE JOB SITE AND FURTHER AGREES TO, AT CONTRACTOR'S EXPENSE, REPAIR OR REPLACE TO THE ORIGINAL CONDITION, ALL EXISTING IMPROVEMENTS WITHIN OR IN THE VICINITY OF THE JOB SITE WHICH ARE NOT DESIGNATED FOR REMOVAL AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF CONTRACTOR'S OPERATIONS

5 THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL AND SAFETY THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD AND SHALL FURNISH, INSTALL, AND MAINTAIN SUCH FENCING, SIGNS, LIGHTS, TRENCH PLATES, BARRICADES, AND/OR OTHER PROTECTION AS IS NECESSARY FOR SAID CONTROL AND SAFETY

6 EXISTING BURIED CONDUITS AND STRUCTURES KNOWN TO THE ENGINEER ARE SHOWN ON THESE PLANS. HOWEVER ALL SUCH CONDUITS AND STRUCTURES MAY NOT BE SHOWN AND THE LOCATIONS OF THOSE SHOWN ARE APPROXIMATE ONLY AND HAVE NOT NECESSARILY BEEN INDEPENDENTLY VERIFIED BY THE PREPARER OF THESE PLANS

7 THE CONTRACTOR SHALL INDEPENDENTLY VERIFY THE PRESENCE OF BURIED CONDUITS AND STRUCTURES, BOTH ACTIVE AND ABANDONED-IN-PLACE AND, BEFORE COMMENCING WORK, CONTRACTOR SHALL DETERMINE THE EXACT LOCATION INCLUDING DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES, INCLUDING SERVICE CONNECTIONS, WHICH MAY AFFECT OR BE AFFECTED BY HIS OPERATIONS. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH OCCUR AS A RESULT OF CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, CONDUITS AND STRUCTURES.

8 UPON ENCOUNTERING EXISTING BURIED CONDUITS OR STRUCTURES NOT SHOWN OR LOCATED DIFFERENTLY THAN SHOWN ON THE PLANS, CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE AND THE OWNER OF THE CONDUIT OR STRUCTURE BY PHONE AND IN WRITING. IF SUCH CONDUIT OR STRUCTURE AFFECTS OR IS AFFECTED BY THE WORK, CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION AND DIRECTION BEFORE PROCEEDING WITH THE WORK, EXCEPTING THAT IN AN EMERGENCY AFFECTING SAFETY OF LIFE, WORK OR ADJACENT PROPERTY, CONTRACTOR SHALL ACT AT ONCE WITHOUT INSTRUCTIONS TO PREVENT INJURY OR LOSS.

9 REMOVAL OF CONFLICTING MATERIALS (UTILITIES, PAVEMENT, WALLS, ETC.) SHALL BE DISPOSED OF OFFSITE OR STOCKPILED ONSITE AT THE DIRECTION OF THE OWNER'S REPRESENTATIVE.

10 ALL DAMAGE CAUSED TO PUBLIC STREETS, INCLUDING HAUL ROUTES, ALLEYS, SIDEWALKS, CURBS OR STREET FURNISHINGS, OR TO THE PROPERTY AND ADJACENT PRIVATE PROPERTY SHALL BE REPAIRED AT THE SOLE EXPENSE OF THE CONTRACTOR TO THE OWNER'S REPRESENTATIVE'S SATISFACTION

11 ALL PERMITS NECESSARY SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION IN THE PUBLIC RIGHT OF WAY

TRENCHING AND BACKFILLING NOTES

1 WATER ENCOUNTERED IN TRENCH OR STRUCTURE EXCAVATION SHALL BE REMOVED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE TO PROVIDE DRY CONDITIONS DURING CONSTRUCTION OF PIPE OR STRUCTURE.

2 TRENCH OR STRUCTURE EXCAVATION SUBGRADE SHALL BE OBSERVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLACEMENT OF BEDDING MATERIAL OR FORMS. WET OR UNSTABLE SOIL ENCOUNTERED IN THE BOTTOM OF THE EXCAVATION AND DEEMED BY THE OWNER'S REPRESENTATIVE TO BE INCAPABLE OF PROPERLY SUPPORTING THE PIPE OR STRUCTURE BEING CONSTRUCTED, SHALL BE REMOVED TO THE DEPTH RECOMMENDED BY THE OWNER'S REPRESENTATIVE AND THE EXCAVATION BACKFILLED TO THE BOTTOM OF THE PIPE OR STRUCTURE GRADE WITH SUITABLE MATERIAL RECOMMENDED BY THE OWNER'S REPRESENTATIVE.

3 ALL WORK INVOLVING EXCAVATION FOR UTILITY LINES AND LATERAL CONNECTIONS SHALL BE COMPLETED, OBSERVED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE STRUCTURAL BACKFILL OBSERVED, TESTED FOR COMPACTION AND APPROVED BEFORE AGGREGATE BASE, PAVING OR OTHER PERMANENT SURFACE CONSTRUCTION MAY COMMENCE.

4 ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE HEALTH AND SAFETY LAWS, ORDINANCES, REGULATIONS, RULES, AND STANDARDS INCLUDING ALL REQUIREMENTS OF THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND OF CAL-OSHA.

5 CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN SUCH SHEETING, SHORING, BRACING AND/OR OTHER PROTECTION AS IS NECESSARY TO PREVENT FAILURE OF TRENCH

6 VERTICAL TRENCH SHORING SHALL CONFORM WITH THE ORDERS OF THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY (DIS) AND O.S.H.A. STANDARDS. CONTRACTOR SHALL SUBMIT SHORING DETAILS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO TRENCHING CONSTRUCTION.

GENERAL GRADING NOTES

1 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL ENGINEERING REPORT.

2 PERFORM WORK IN COMPLIANCE WITH STRICT REQUIREMENTS OF CAL/OSHA CONSTRUCTION SAFETY ORDER

3 CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SITE AIR POLLUTION CONTROL IN STRICT CONFORMANCE WITH THE COUNTY OF SANTA BARBARA AIR POLLUTION CONTROL DISTRICT REQUIREMENTS REQUIREMENTS

4 CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION SITE NOISE CONTROL IN STRICT CONFORMANCE WITH OWNER'S REPRESENTATIVE REQUIREMENTS.

5 THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING AND FAMILIARIZE HIMSELF WITH EXISTING SITE CONDITIONS AND HOW THE SITE CONDITIONS AFFECT THE WORK OF THIS SECTION.

6 PROTECTION OF PERSONS AND PROPERTY: BARRICADE AND FENCE OPEN EXCAVATIONS OCCURRING AS PART OF THIS WORK AND POST WITH WARNING LIGHTS. KEEP GATES CLOSED AT ALL TIMES. SECURE GATES AND SITE WHENEVER THE WORK AREA IS UNOCCUPIED

- A. OPERATE WARNING LIGHTS AS REQUESTED BY OWNER'S REPRESENTATIVE AND THE OWNER, AND AS REQUIRED FOR SITE SAFETY.
- B. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENT, AND OTHER FACILITIES FROM WASHOUT AND OTHER HAZARDS CREATED BY EARTHWORK OPERATIONS.
- C. PREVENT DUST FROM BECOMING A NUISANCE TO THE RESIDENTS, PUBLIC, AND TO OTHER WORK BEING PERFORMED.
- D. ALL TRENCHES SHALL BE EITHER BACKFILLED OR STEEL PLATED DAILY AND POSTED WITH WARNING LIGHTS. PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES IMMEDIATELY ADJACENT TO EXCAVATIONS FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT AND OTHER HAZARDS.

9 EXISTING UTILITIES.

- A. NUMEROUS EXISTING ON-SITE UTILITY LINES LOCATED WITHIN THE PROJECT SITE. POTHOLE TO LOCATE EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REPORT ANY POTENTIAL CONFLICT WITH EXISTING AND PROPOSED UTILITIES TO OWNER'S REPRESENTATIVE. IF UTILITIES ARE TO REMAIN IN PLACE, PROVIDE ADEQUATE MEANS OF PROTECTION DURING GRADING OPERATIONS AND CONSTRUCTION.
- B. SHALL UNCHARTED, OR INCORRECTLY CHARTED, PIPING OR OTHER UTILITIES BE ENCOUNTERED DURING EXCAVATION, CONTACT THE OWNER'S REPRESENTATIVE AND CONSULT WITH UTILITY OWNER IMMEDIATELY FOR DIRECTIONS. COOPERATE WITH THE OWNER'S REPRESENTATIVE IN KEEPING RESPECTIVE SERVICES AND FACILITIES IN OPERATION. REPAIR DAMAGED LINES AND UTILITIES TO SATISFACTION OF UTILITY COMPANY AND THE OWNER'S REPRESENTATIVE.
- C. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS, EXCEPT WHEN PERMITTED IN WRITING BY THE OWNER'S REPRESENTATIVE AND THEN ONLY AFTER ACCEPTABLE TEMPORARY UTILITY SERVICES HAVE BEEN PROVIDED

10 PROVIDE CONTINUOUS AND POSITIVE DRAINAGE OF SURFACE WATERS AWAY FROM ALL EXCAVATIONS, COMPLETED STRUCTURAL FILL AND STOCKPILES. MAINTAIN EXCAVATIONS AND TRENCHES FREE OF STANDING AND RUNNING WATER AT ALL TIMES. PROVIDE PUMPS, SUMPS AND/OR DRAINS AS NECESSARY WITHOUT ANY FURTHER COMPENSATION. CONTRACTOR SHALL COMPLY WITH PROJECT STORM WATER POLLUTION PREVENTION REQUIREMENTS WHEN DEALING WITH SITE STORM WATER RUNOFF

11 CONSTRUCTION EQUIPMENT, INCLUDING ALL TRUCKS, CARS, ETC., SHALL NOT PARK OR BE DRIVEN UPON BIKE PATHS OR SIDEWALKS. NO OTHER ITEMS ARE ALLOWED ON BIKE PATHS, SIDEWALKS, MULTI-MODAL PATHS, OR ROADS INCLUDING HOSES, POWER CHORDS, ROPES, CONSTRUCTION MATERIALS, DIRT AND DEBRIS, ETC. ALL SIDEWALKS, BIKE PATH AND ROADWAY SHALL REMAIN CLEAR AND THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN TEMPORARY, SAFE AND EFFECTIVE PEDESTRIAN AND VEHICULAR ACCESS AT ALL TIMES, INCLUDING NON-CONSTRUCTION HOURS.

12 USE OF AND/OR STORAGE OF EXPLOSIVES WITHIN THE OWNER'S SITE AND THE CONSTRUCTION SITE IS STRICTLY PROHIBITED.

13 BURNING OF MATERIALS WITHIN THE OWNER'S SITE IS STRICTLY PROHIBITED.

14 SITE PREPARATION
SITE PREPARATION FOR THE PROJECT SITE WILL REQUIRE REMOVAL OF PAVEMENT SECTIONS, TREES, ROOTS, ORGANIC MATTER, UNSUITABLE FILL MATERIALS, CONSTRUCTION DEBRIS, OR OTHER DELETERIOUS MATERIALS. THOSE MATERIALS SHALL BE REMOVED AND WASTED FROM CONSTRUCTION AREAS. ABANDONED UNDERGROUND STRUCTURES SUCH AS IRRIGATION SYSTEMS, WELLS, PIPELINES, UTILITY CONDUITS, OLD FOUNDATIONS, ETC., SHALL BE REMOVED OR TREATED IN A MANNER PRESCRIBED BY THE CONTROLLING GOVERNMENTAL AGENCIES. EXCAVATIONS REQUIRED FOR THE REMOVAL OF SUCH FACILITIES THAT EXTEND BELOW THE PLANNED REMEDIAL GRADING LIMITS (E.G. OVEREXCAVATION DEPTH) SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO BACKFILLING

15 REMEDIAL GRADING AND OVEREXCAVATION SHALL BE PERFORMED BENEATH THE PROPOSED BUILDING AREAS TO PROVIDE A UNIFORM BLANKET OF COMPACTED FILL FOR SUPPORT OF THE STRUCTURAL FOOTINGS. THE OVEREXCAVATION AND SOIL REMOVAL SHALL EXTEND A MINIMUM FOUR FEET BELOW THE BASE OF THE PROPOSED FOOTINGS AND FIVE FEET LATERALLY BEYOND THE PROPOSED BUILDING FOOTPRINT. THE BUILDING FOOTPRINT IS CONSIDERED TO BE THE BUILDING PERIMETER PLUS ANY EXTERNAL STRUCTURES SUCH AS ENTRANCE WAYS, STAIRS, ETC., THAT ARE CONNECTED TO THE BUILDING. THE OVEREXCAVATED SUBGRADE SHALL BE CUT NEAT, AT A RELATIVELY UNIFORM ELEVATION, AND NOT DISTURBED BY THE EXCAVATION OPERATIONS

16 REMEDIAL GRADING AND OVEREXCAVATION FOR EXTERIOR SLAB AREAS. OVEREXCAVATION FOR EXTERIOR SLAB ON GRADE SHALL EXTEND A MINIMUM 18 INCHES BELOW THE PROPOSED PAVEMENT SURFACE OR 12 INCHES BENEATH THE PROPOSED SUBGRADE ELEVATION, WHICHEVER IS DEEPER. OVEREXCAVATION SHALL EXTEND LATERALLY AT LEAST 3 FEET BEYOND THE PROPOSED PAVEMENT LIMITS OR EXTERIOR SLABS ON GRADE. THE OVEREXCAVATION SUBGRADE SHALL BE CUT NEAT AND NOT DISTURBED BY THE EXCAVATION OPERATIONS

17 SUBGRADE PREPARATION:
OVEREXCAVATION SUBGRADE IN BUILDING, PAVEMENT, EXTERIOR SLAB-ON-GRADE AREAS, AND IN AREAS TO RECEIVE FILL SHALL BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PROCESSING THE SUBGRADE OR PLACING FILL MATERIALS. IF SOFT OR LOOSE, COMPRESSIBLE, ORGANIC, OR OTHERWISE UNSUITABLE SOILS ARE PRESENT AT THE SUBGRADE LEVEL, THE OVEREXCAVATION WILL NEED TO BE DEEPENED TO REMOVE THOSE SOILS. THE PRESENCE OF LOOSE OR COMPRESSIBLE MATERIALS CAN BE EVALUATED VISUALLY BY USING A HAND PROBE OR BY PROOF ROLLING. PROVISIONS FOR DEEPENING THE OVEREXCAVATION SHALL BE INCLUDED IN THE PROJECT PLANS AND SPECIFICATIONS.
FOLLOWING APPROVAL OF THE SUBGRADE BY THE GEOTECHNICAL ENGINEER, THE EXCAVATION SUBGRADE SHALL BE SCARIFIED AND CROSS-SCARIFIED TO A MINIMUM DEPTH OF 8 INCHES, MOISTURE CONDITIONED TO WITHIN NEAR 2 PERCENT ABOVE OPTIMUM, AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION. ROOTS OR ORGANICS OBSERVED DURING THE SCARIFYING WORK SHALL BE REMOVED PRIOR TO COMPACTION. COMPACTED FILL CAN BE PLACED TO FINISHED GRADE AFTER THE COMPLETION OF THE RECOMMENDED OVEREXCAVATION. WHERE UNSUITABLE OR PUMPING SUBGRADE IS ENCOUNTERED, STABILIZATION MEASURES WILL BE REQUIRED PRIOR TO THE PLACEMENT OF OVERLYING FILL.

18 TEMPORARY SLOPES AND SUPPORT
TEMPORARY SLOPES, EXCAVATIONS, AND SUPPORT SHALL CONFORM TO FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REGULATIONS AND ANY OTHER LOCAL ORDINANCES AND BUILDING CODES, AS REQUIRED. ONSITE SOIL FINE-GRAINED ARTIFICIAL FILL AND TERRACE DEPOSITS MAY BE CLASSIFIED AS OSHA TYPE B SOIL MATERIALS. TEMPORARY SLOPES UP TO 8 FEET HIGH SHALL BE EXCAVATED AT AN INCLINATION OF 1H:1V OR FLATTER. EXCAVATIONS EXTENDING INTO COARSE-GRAINED TERRACE DEPOSITS DEEPER THAN 8 FEET SHALL CONFORM TO THE REQUIREMENTS FOR OSHA TYPE C SOIL MATERIALS AND SHALL BE EXCAVATED AT AN INCLINATION OF 1.5H:1V OR FLATTER

THE CONTRACTOR SHALL BE MADE RESPONSIBLE FOR ALL SAFETY ISSUES AFFECTING OPEN EXCAVATIONS. THE CONTRACTOR SHALL CONTINUOUSLY MONITOR TEMPORARY SLOPES AND REMOVE LOOSE OR UNSTABLE ROCK, OR SOIL MASSES. STOCKPILED MATERIAL OR EQUIPMENT SHALL NOT BE PLACED CLOSER THAN 5 FEET FROM ANY SLOPE CREST

RUNOFF SHALL BE DIRECTED AWAY FROM TEMPORARY EXCAVATIONS AND SHALL NOT BE ALLOWED TO FLOW ACROSS SLOPE FACES AND EXCAVATIONS. SINCE GROUNDWATER IS ANTICIPATED WITHIN THE EXCAVATION DEPTHS, DEWATERING SHALL BE PROVIDED IN ADVANCE OF THE EXCAVATION TO AVOID THE POTENTIAL FOR GROUNDWATER TO DAYLIGHT ON THE SLOPE. SLOPES SHALL NOT BE CONSIDERED STABLE IF SEEPAGE DAYLIGHTS ON THE SLOPES

19 FILL SELECTION, PLACEMENT, AND COMPACTION

ALL FILL MATERIALS, ONSITE OR IMPORTED, SHALL BE FREE FROM ORGANIC MATERIAL, HAZARDOUS SUBSTANCES, UNSUITABLE FILL DEBRIS, AND ANY OTHER DELETERIOUS MATERIALS. ROCK FRAGMENTS OR POORLY WEATHERED MATERIAL LESS THAN 3 INCHES IN DIAMETER COULD BE UTILIZED IN FILL MATERIALS, PROVIDED THOSE MATERIALS ARE NOT PLACED IN CONCENTRATED POCKETS. THE FILL MATERIAL SHALL NOT CONTAIN ROCKS, BLOCKY MATERIAL OR LUMPS OVER 3 INCHES IN MAXIMUM DIMENSION, OR MORE THAN 15 PERCENT MATERIAL LARGER THAN 2 INCHES. FILL SOILS SHALL BE THOROUGHLY MIXED AND BLENDED PRIOR TO USE AS COMPACTED FILL.

FILL MATERIALS SHALL BE PLACED IN LAYERS THAT, WHEN COMPACTED, SHALL NOT EXCEED 8 INCHES IN COMPACTED THICKNESS. EACH LAYER SHALL BE SPREAD EVENLY, MOISTURE-CONDITIONED NEAR 2 PERCENT ABOVE OPTIMUM, AND PROCESSED AND COMPACTED TO OBTAIN A UNIFORMLY DENSE LAYER. THE FILL SHALL BE PLACED AND COMPACTED ON NEAR-HORIZONTAL PLANES, TO A MINIMUM OF 90 PERCENT OF THE MAXIMUM DRY DENSITY DETERMINED FROM ASTM D1557

ONSITE SOILS CAN ALSO BE USED AS GENERAL BACKFILL AND FILL BENEATH PROPOSED STRUCTURES. ONSITE CLAYEY SOILS ARE EXPANSIVE AND SHALL NOT BE USED AS FILL WITHIN 24 INCHES OF THE BASE OF INTERIOR CONCRETE FLOOR SLABS AND WITHIN 8 INCHES OF EXTERIOR CONCRETE SLABS. WE RECOMMEND THAT FILL USED WITHIN THIS ZONE CONSIST OF CLASS 2 AGGREGATE BASE. OTHER GRANULAR NON-EXPANSIVE MATERIAL COULD BE USED IN LIEU OF AGGREGATE BASE, IF APPROVED BY OWNER'S REPRESENTATIVE. FOR INTERIOR FLOOR SLABS, THE THICKNESS OF THE SAND-VAPOR BARRIER CAN BE CONSIDERED TO BE PART OF THE 24 INCHES OF GRANULAR, NON-EXPANSIVE MATERIAL

IF ADDITIONAL RISK REDUCTION IS REQUIRED, ADDITIONAL REMOVAL AND SOILS REPLACEMENT, DEEP FOUNDATIONS, AND STRUCTURAL OR POST TENSIONED FLOOR SYSTEMS WOULD LIKELY BE REQUIRED AND AS DIRECTED BY OWNER'S REPRESENTATIVE

GENERAL GRADING NOTES (CONT.)

20 SUGGESTED MATERIALS SPECIFICATIONS

THE FOLLOWING ARE SUGGESTED SPECIFICATIONS FOR THE MATERIALS

- A. ONSITE SOILS TO BE USED AS COMPACTED FILL SHALL BE FREE OF ORGANICS, DEBRIS, AND OVERSIZE ROCKS (GREATER THAN 3 INCHES IN DIAMETER). ONSITE SOILS CAN BE USED AS COMPACTED FILL IN OVEREXCAVATED AREAS AND BENEATH FOUNDATIONS. ONSITE CLAYEY SOILS SHALL NOT BE USED WITHIN 24 INCHES OF THE BASE OF INTERIOR SLABS AND WITHIN 8 INCHES OF THE BASE OF EXTERIOR SLABS.
- B. IMPORTED BORROW SHALL CONSIST OF SOIL SUITABLE FOR ITS INTENDED USE AND AREA OF PLACEMENT AT THE SITE AND SHOULD BE REVIEWED BY THE GEOTECHNICAL ENGINEER BEFORE BEING BROUGHT TO THE SITE. IMPORTED BORROW FOR USE AS COMPACTED FILL SHALL HAVE AN EXPANSIVE INDEX OF NO MORE THAN 40 WITH NO MORE THAN 50 PERCENT PASSING THE NO. 200 SIEVE. IMPORTED BORROW PLACED AS FILL IN VEHICLE AND BIKE TRAFFIC AREAS SHALL HAVE AN R-VALUE OF AT LEAST 15.
- C. AGGREGATE BASE SHALL CONSIST OF CLASS 2 CONFORMING TO SECTION 26-1.02B, "CLASS 2 AGGREGATE BASE," OF THE CALTRANS STANDARD SPECIFICATIONS.
- D. DRAINAGE MATERIAL SHALL CONSIST OF CLASS 2 PERMEABLE MATERIAL CONFORMING TO SECTION 68-1.025 OF THE CALTRANS STANDARD SPECIFICATIONS. CLASS 1 MATERIALS COULD ALSO BE USED PROVIDED THEY ARE USED IN CONJUNCTION WITH FILTER FABRIC OR A SEPARATION GEOTEXTILE
- E. GEOCOMPOSITE DRAIN SHALL CONSIST OF A MANUFACTURED PLASTIC CORE NOT LESS THAN 0.25 INCHES THICK WITH BOTH SIDES INTEGRALLY BONDED TO A LAYER OF FILTER FABRIC THAT WILL PROVIDE A DRAINAGE VOID. THE DRAIN SHALL PRODUCE A FLOW RATE THROUGH THE DRAINAGE VOID OF AT LEAST 15 GALLONS PER MINUTE PER FOOT OF WIDTH AT A HYDRAULIC GRADIENT OF 1.0 AT MAXIMUM EXTERNALLY APPLIED PRESSURE.
- F. GEOTEXTILE FOR SEPARATION SHALL CONSIST OF NONWOVEN GEOTEXTILE THAT CONFORMS TO THE REQUIREMENTS OUTLINED IN THE CALTRANS STANDARD SPECIFICATIONS FOR FILTER FABRIC-UNDERDRAINS, SECTION 88-1.03.
- G. GEOGRID REINFORCEMENT FOR USE IN SUBGRADE STABILIZATION SHALL CONSIST OF TENSAR BX1100 BIAXIAL GEOGRID.
- H. CRUSHED (FLOAT) ROCK TO BE USED FOR SUBGRADE STABILIZATION SHALL CONSIST OF 3-INCH OR 4- INCH MINUS QUARRY-RUN ROCK HAVING 100 PERCENT OF THE MATERIAL PASSING THE 4-INCH SIEVE, 0 TO 30 PERCENT PASSING THE 2-INCH SIEVE, 0 TO 10 PERCENT PASSING THE 3/4-INCH SIEVE, AND LESS THAN 5 PERCENT PASSING THE NO. 4 SIEVE. THE ROCK PARTICLES SHALL HAVE AT LEAST 75 PERCENT FRACTURED FACES.
- I. RETAINING WALL BACKFILL MATERIAL SHALL CONSIST OF IMPORTED SOIL MATERIAL CONFORMING TO CALTRANS STANDARD SPECIFICATIONS FOR STRUCTURE BACKFILL, SECTION 19-3.06, EXCEPT THAT THE MINIMUM SAND EQUIVALENT VALUE FOR MATERIAL TO BE PLACED BEHIND RETAINING WALLS SHALL BE INCREASED TO AT LEAST 30.

21 CONCRETE WALKWAYS TO EXISTING UNITS, THAT ARE NOT BE REMODELED, BUT ARE SHOWN TO BE DEMOLISHED BASED ON PROJECT GRADING REQUIREMENTS SHALL BE CONSTRUCTED TO CONCRETE REQUIREMENTS PER THE CONSTRUCTION DOCUMENTS. THE EXISTING NON-REMODELED UNITS' WALKWAYS ARE NOT REQUIRED TO BE CONSTRUCTED TO ADA COMPLIANCE AND ARE SHOWN TO MATCH TO AN EXISTING STEP OR STOOP. NOT ALL SLOPES HAVE BEEN PLACED ON THESE WALKWAYS AND IF THE LONGITUDINAL SLOPE OF THE WALKWAY IS TOO STEEP BASED ON FIELD CONDITIONS, THE CONTRACTOR SHALL CONSTRUCT CONCRETE STEPS AS NECESSARY AT NO ADDITIONAL COST TO THE PROJECT.

22 THE CONTRACTOR SHALL POTHOLE AND VERIFY EXISTING UTILITIES AT ALL LOCATIONS WHERE PROPOSED STORM DRAIN PIPES ARE TO BE CONSTRUCTED PER THE CONSTRUCTION DOCUMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL VERIFY THAT THE PROPOSED STORM DRAIN SYSTEM CAN BE CONSTRUCTED AS DESIGNED. CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE OF ANY PROPOSED ADJUSTMENTS OR REALIGNMENTS OF THE STORM DRAIN PRIOR TO CONSTRUCTION

NOISE GENERAL NOTES

1 CONTRACTOR SHALL COMPLY WITH THE FOLLOWING MEASURES TO REDUCE THE IMPACT OF CONSTRUCTION NOISE.

- A. ALL CONSTRUCTION EQUIPMENT, FIXED OR MOBILE, MUST BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS. NOISE ATTENUATION BARRIERS AND MUFFLERS OF GRADING EQUIPMENT MUST BE REQUIRED FOR CONSTRUCTION EQUIPMENT GENERATING NOISE LEVELS ABOVE 85 DB AT 50 FEET FROM THE SOURCE.
- B. CONSTRUCTION NOISE REDUCTION METHODS SUCH AS BUT NOT LIMITED TO SHUTTING OFF IDLING EQUIPMENT, INSTALLING ACOUSTIC BARRIERS AROUND SIGNIFICANT SOURCES OF STATIONARY CONSTRUCTION NOISE SOURCES, MAXIMIZING THE DISTANCE BETWEEN EQUIPMENT AND STAGING AREAS OCCUPIED RESIDENTIAL AREAS, AND USE OF ELECTRIC AIR COMPRESSORS AND SIMILAR POWER TOOLS (RATHER THAN DIESEL EQUIPMENT) MUST BE USED WHEN FEASIBLE.
- C. DURING CONSTRUCTION, STATIONARY CONSTRUCTION EQUIPMENT MUST BE PLACED SUCH THAT EMITTED NOISE IS DIRECTED AWAY FROM SENSITIVE NOISE RECEIVERS.
- D. DURING CONSTRUCTION, STOCKPILING AND VEHICLE STAGING AREAS MUST BE LOCATED AS FAR AS PRACTICABLE FROM NOISE SENSITIVE RECEPTORS.
- E. EARTHMOVING EQUIPMENT OPERATING ON THE CONSTRUCTION SITE MUST BE AS FAR AWAY FROM VIBRATION-SENSITIVE SITES AS POSSIBLE; AND
- F. CONSTRUCTION HOURS, ALLOWABLE WORKDAYS, THE TELEPHONE NUMBER OF THE JOB SUPERINTENDENT AND THE TELEPHONE NUMBER OF CITY STAFF CONTACT(S) MUST BE CLEARLY POSTED AT ALL CONSTRUCTION ENTRANCES TO ENABLE SURROUNDING OWNERS AND RESIDENTS TO CONTACT THE JOB SUPERINTENDENT DIRECTLY. IF THE JOB SUPERINTENDENT RECEIVES A COMPLAINT, THE SUPERINTENDENT MUST NOTIFY THE PLANNING AND ENVIRONMENTAL REVIEW DIRECTOR, OR DESIGNEE, AND INVESTIGATE, TAKE APPROPRIATE CORRECTIVE ACTION, AND REPORT THE ACTION TAKEN TO THE REPORTING PARTY AND THE PLANNING AND ENVIRONMENTAL REVIEW DIRECTOR OR DESIGNEE

2 CONSTRUCTION NOISE: STATIONARY CONSTRUCTION EQUIPMENT THAT GENERATES NOISE WHICH EXCEEDS 65 DBA AT THE PROJECT BOUNDARIES MUST BE SHIELDED TO THE PLANNING AND ENVIRONMENTAL REVIEW DIRECTOR, OR DESIGNEE, SATISFACTION, PLAN REQUIREMENTS AND TIMING. THE APPLICANT/CONTRACTOR MUST SUBMIT A LIST OF ALL STATIONARY EQUIPMENT TO BE USED IN PROJECT CONSTRUCTION WHICH INCLUDES MANUFACTURER'S SPECIFICATIONS ON EQUIPMENT NOISE LEVELS AS WELL AS RECOMMENDATIONS FROM THE PROJECT ACOUSTICAL ENGINEER TO SHIELDING SUCH STATIONARY EQUIPMENT SO THAT IT COMPLIES WITH THIS REQUIREMENT FOR REVIEW AND APPROVAL BY THE PLANNING AND ENVIRONMENTAL REVIEW DIRECTOR. THE EQUIPMENT AREA WITH APPROPRIATE ACOUSTIC SHIELDING MUST BE DESIGNATED ON BUILDING AND GRADING PLANS. EQUIPMENT AND SHIELDING MUST REMAIN IN THE DESIGNATED LOCATION THROUGHOUT CONSTRUCTION ACTIVITIES

EMISSIONS GENERAL NOTES

1 CONTRACTOR SHALL ADHERE TO REQUIREMENTS THAT REDUCE EMISSIONS OF OZONE PRECURSORS AND PARTICULATE EMISSIONS FROM DIESEL EXHAUST AS FOLLOWS.

- A. ALL PORTABLE DIESEL-POWERED CONSTRUCTION EQUIPMENT MUST BE REGISTERED WITH THE CALIFORNIA PORTABLE EQUIPMENT REGISTRATION PROGRAM OR OBTAIN A SBAPCD PERMIT.
- B. FLEET OWNERS OF MOBILE CONSTRUCTION EQUIPMENT ARE SUBJECT TO THE CALIFORNIA AIR RESOURCES BOARD (CARB) REGULATION FOR IN-USE OFF-ROAD DIESEL VEHICLES (TITLE 13, CALIFORNIA CODE OF REGULATIONS, §2449)
- C. ALL COMMERCIAL DIESEL VEHICLES ARE SUBJECT TO LIMITATIONS ON IDLING TIME (TITLE 13, CALIFORNIA CODE OF REGULATIONS, §2485). IDLING OF HEAVY-DUTY DIESEL CONSTRUCTION EQUIPMENT AND TRUCKS DURING LOADING AND UNLOADING IS LIMITED TO FIVE MINUTES. ELECTRIC AUXILIARY POWER UNITS SHOULD BE USED
- D. DIESEL CONSTRUCTION EQUIPMENT MEETING THE CARB TIER 2 OR HIGHER EMISSION STANDARDS FOR OFF-ROAD HEAVY-DUTY DIESEL ENGINES MUST BE USED. IF SUCH EQUIPMENT IS NOT COMMERCIALLY AVAILABLE, EQUIPMENT MEETING CARB TIER 1 OR HIGHER EMISSION STANDARDS MUST BE USED
- E. WHERE IT IS POSSIBLE TO DO SO, DIESEL-POWERED EQUIPMENT MUST BE REPLACED BY ELECTRIC EQUIPMENT.
- F. DIESEL CONSTRUCTION EQUIPMENT MUST BE EQUIPPED WITH SELECTIVE CATALYTIC REDUCTION SYSTEMS, DIESEL OXIDATION CATALYSTS, AND DIESEL PARTICULATE FILTERS AS CERTIFIED AND/OR VERIFIED BY CARB OR THE EPA IF AVAILABLE.
- G. CATALYTIC CONVERTERS MUST BE INSTALLED ON GASOLINE-POWERED EQUIPMENT IF FEASIBLE.
- H. ALL CONSTRUCTION EQUIPMENT MUST BE MAINTAINED IN TUNE PER THE MANUFACTURER'S SPECIFICATIONS.
- I. THE ENGINE SIZE OF CONSTRUCTION EQUIPMENT MUST BE THE MINIMUM PRACTICAL SIZE.
- J. THE NUMBER OF CONSTRUCTION EQUIPMENT OPERATING SIMULTANEOUSLY MUST BE MINIMIZED THROUGH EFFICIENT MANAGEMENT PRACTICES TO ENSURE THAT THE SMALLEST PRACTICAL NUMBER IS OPERATING AT ANY ONE TIME.
- K. CONSTRUCTION WORKER TRIPS MUST BE MINIMIZED BY PROMOTING CARPOOLING AND BY PROVIDING LUNCH ONSITE.
- L. COATINGS (E.G. PAINTS) MUST BE LABELED AS LOW-VOC OR ZERO-VOC IN ACCORDANCE WITH EPA RULES FOR INTERIOR AND EXTERIOR SURFACES.

2 DIESEL FUEL EMISSIONS MUST BE LIMITED AS FOLLOWS DURING ALL CONSTRUCTION AND SUBSEQUENT OPERATIONAL ACTIVITIES.

- A. DIESEL-FUELED VEHICLES EXCEEDING 10,000 POUNDS CANNOT IDLE IN ONE LOCATION FOR MORE THAN FIVE (5) MINUTES AT A TIME.
- B. DIESEL-FUELED VEHICLES EXCEEDING 10,000 POUNDS CANNOT USE DIESEL-FUELED AUXILIARY POWER UNITS FOR MORE THAN FIVE (5) MINUTES TO POWER HEATER, AIR CONDITIONER, OR OTHER ANCILLARY EQUIPMENT ON ANY SUCH VEHICLE
- C. THE PERMITTEE MUST DESIGNATE ONE OR MORE LOCATIONS AS DEEMED APPROPRIATE FOR THE PERMANENT POSTING OF A NOTICE(S) TO ALL DRIVERS OF DIESEL-FUELED VEHICLES EXCEEDING 10,000 POUNDS OF THESE LIMITATIONS ON VEHICLE IDLING IN ALL AREAS OF THE PROPERTY THAT MAY BE FREQUENTED BY SUCH VEHICLES. SUCH SIGNS MUST BE MAINTAINED IN THEIR APPROVED LOCATION(S) AS LONG AS DIESEL-FUELED VEHICLES EXCEEDING 10,000 POUNDS ARE BEING USED

EXISTING UTILITIES

1 THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS ARE BASED ON AVAILABLE RECORD SOURCES AND ARE APPROXIMATE ONLY. THE RECORD INFORMATION MAY BE INCOMPLETE AND THE VERTICAL LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PROFILE DRAWINGS ARE ESTIMATED AND MAY BE SUBSTANTIALLY DIFFERENT FROM THE ACTUAL LOCATION AND DEPTH. THE CONTRACTOR SHALL EXCAVATE WITH CAUTION AND VERIFY EXISTING UTILITIES FOR THEIR DEPTH AND LOCATIONS PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT SHALL BE MADE TO THE CONTRACTOR FOR REPAIR OF ANY UTILITY DAMAGE BY THE CONTRACTOR'S OPERATIONS

DUST CONTROL NOTES

1 IN ADDITION TO THESE NOTES, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DUST AND EROSION CONTROL REQUIREMENTS IDENTIFIED IN THE CONDITIONS OF APPROVAL. THE CONTRACTOR SHALL UTILIZE DUST CONTROL METHODS ON ANY DUST-PRODUCING CONDITION IN COMPLIANCE WITH REGULATIONS OF THE OWNER AND THE COUNTY OF SANTA BARBARA AIR POLLUTION CONTROL DISTRICT

2 THE OWNER SHALL VERIFY THAT THE CONTRACTOR OR BUILDER DESIGNATES A PERSON OR PERSONS TO MONITOR THE DUST CONTROL PROGRAM AND TO ORDER INCREASED WATERING AS NECESSARY TO PREVENT TRANSPORT OF DUST OFFSITE. THEIR DUTIES MUST INCLUDE HOLIDAY AND WEEKEND PERIODS WHEN WORK MAY NOT BE IN PROGRESS. THE NAME AND TELEPHONE NUMBER OF SUCH PERSONS MUST BE PROVIDED TO THE DIRECTOR OF PLANNING AND ENVIRONMENTAL SERVICES, OR DESIGNEE, AND TO THE SBAPCD, AND MUST BE POSTED IN THREE LOCATIONS ALONG THE PROJECT SITE'S PERIMETER FOR THE DURATION OF GRADING AND CONSTRUCTION ACTIVITIES.

3 DUST GENERATED BY CONSTRUCTION AND/OR DEMOLITION ACTIVITIES SHALL BE KEPT TO A MINIMUM. THE FOLLOWING DUST CONTROL MEASURES MUST BE SHOWN ON ALL BUILDING AND GRADING PLANS AND THE OWNER SHALL VERIFY THAT THESE MEASURES ARE IMPLEMENTED BY THE CONTRACTOR.

4 DURING CLEARING, GRADING, EARTH-MOVING, EXCAVATION, AND/OR TRANSPORTATION OF CUT OR FILL MATERIALS, EXCESSIVE FUGITIVE DUST EMISSIONS MUST BE CONTROLLED BY REGULAR WATERING OR OTHER DUST-PREVENTIVE MEASURES USING THE FOLLOWING PROCEDURES, AS SPECIFIED BY THE SBAPCD

5 DURING CONSTRUCTION, WATER TRUCKS OR SPRINKLER SYSTEMS SHALL BE USED TO KEEP ALL AREAS OF THE VEHICLE MOVEMENT DAMP ENOUGH TO PREVENT DUST FROM LEAVING THE SITE. AT A MINIMUM, THIS SHOULD INCLUDE WETTING DOWN SUCH AREAS IN THE LATE MORNING AND AFTER WORK IS COMPLETED FOR THE DAY. INCREASED WATERING FREQUENCY SHOULD BE REQUIRED WHENEVER WIND EXCEEDS 15 MILES PER HOUR. RECLAIMED WATER SHOULD BE USED WHENEVER POSSIBLE

6 MINIMIZE AMOUNT OF DISTURBED AREA AND REDUCE ON-SITE VEHICLE SPEEDS TO 15 MILES PER HOUR OR LESS (THE SITE WILL CONTAIN POSTED SIGNS WITH THE SPEED LIMIT)

7 SOIL STOCKPILED FOR MORE THAN TWO DAYS SHALL BE COVERED, KEPT MOIST, OR TREATED WITH SOIL BINDERS TO PREVENT DUST GENERATION. TRUCKS TRANSPORTING SOIL MATERIAL TO AND FROM THE SITE SHALL BE TARPED FROM THE POINT OF ORIGIN

8 GRAVEL PADS MUST BE INSTALLED AT ALL ACCESS POINTS TO PREVENT THE TRACKING OF MUD ONTO PUBLIC ROADS.

9 AFTER CLEARING, GRADING, EARTH MOVING, AND/OR EXCAVATION IS COMPLETE, THE DISTURBED AREA MUST BE TREATED BY WATERING, OR REVEGETATING, OR BY SPREADING SOIL BINDERS UNTIL THE AREA IS PAVED OR OTHERWISE DEVELOPED IN A MANNER THAT PREVENTS DUST GENERATION

EARTHWORK QUANTITIES

ESTIMATED EARTHWORK QUANTITIES – RAW QUANTITIES

CUT= 0 C.Y. FILL= 300 C.Y. IMPORT= 300 C.Y.

THE ABOVE QUANTITIES ARE REPRESENTATIVE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISH GRADE OR SUBGRADE. EXISTING GROUND IS DEFINED BY THE TOPOGRAPHIC CONTOURS AND/OR SPOT ELEVATIONS ON THE PLAN. PROPOSED FINISH GRADE IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED. PROPOSED SUBGRADE ELEVATION IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED BENEATH PAVEMENTS OR STRUCTURES

THE ABOVE QUANTITIES ARE FOR BUILDING PERMIT PURPOSES ONLY AND HAVE NOT BEEN FACTORED TO INCLUDE ALLOWANCES FOR BULKING, CLEARING AND GRUBBING, SUBSIDENCE, SHRINKAGE, OVEREXCAVATION AND RECOMPACTION, UNDERGROUND UTILITY AND SUBSTRUCTURE SPOILS, INCLUDING RETAINING WALL AND COLUMN FOOTINGS AND CONSTRUCTION METHODS. EARTHWORK IS NOT INTENDED TO BALANCE ON SITE.

THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS

FLOOD HAZARD ZONE

THE PROJECT IS COMPLETELY WITHIN ZONE AE PER THE FEMA FLOOD INSURANCE RATE MAP (FIRM) NUMBER 06083C1418H DATED SEPTEMBER 28, 2018

THE FLOOD ELEVATION IS APPROXIMATELY 15.0' (NAVD88 DATUM)

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PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
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OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OCEAN RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: GENERAL NOTES

DATE: 12/8/23
1100
SHEET OF:
SHEET NO. C-0.1

STORM DRAIN CONSTRUCTION GENERAL NOTES

1. ALL STORM DRAIN LINE CONSTRUCTION SHALL BE IN CONFORMANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK, 2012 EDITION), AND ASTM STANDARDS.
2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION.
3. PIPE MATERIALS: HIGH DENSITY POLYETHYLENE PIPE (HDPE), HANCOR PRODUCT HIGH-DENSITY POLYETHYLENE PIPE, SURE-LOK WATERTIGHT PRODUCT, OR ADS PRODUCT, OR EQUAL. STORM DRAIN SHALL CONFORM TO ASTM D3212 WHEN TESTED ACCORDING TO THE METHOD DESCRIBED IN ASTM D3212. PIPE AND FITTING SHALL CONFORM TO AASHTO M294 TYPES AND MATERIALS MEET ASTM D3350 MINIMUM CELL CLASSIFICATION 335420C. PIPE SHALL BE SUITABLE FOR H20 LOADING AND WATER TIGHT.
4. PIPE ACCESSORIES
   - A. FITTINGS: SAME MATERIAL AS PIPE MOLDED OR FORMED TO SUIT PIPE SIZE AND END DESIGN, IN REQUIRED TEE, BENDS, ELBOWS, CLEANOUTS, REDUCERS, TRAPS AND OTHER CONFIGURATIONS REQUIRED. FITTINGS SHALL BE WATERTIGHT.
   - B. TRACE WIRE: MAGNETIC DETECTABLE CONDUCTOR, PLASTIC COVERING, IMPRINTED WITH "STORM DRAIN SERVICE" IN LARGE LETTERS.
5. CATCH BASINS AND MANHOLES
   - A. GRATES AND FRAMES: GALVANIZED GRATES AND FRAMES MANUFACTURED BY BROOKS COMPANY, ALHAMBRA FOUNDRY CO., OR EQUAL. USE TRAFFIC GRATE FOR ALL TRAFFIC PATH AND PAVED AREAS. USE HEEL PROOF GRATE WITH MAXIMUM ½" OPENINGS IN BOTH DIRECTIONS FOR ALL GRATES LOCATED IN WALKWAY AREAS. IF GRATES HAVE ELONGATED OPENINGS, THE GRATES SHALL BE ORIENTED SO THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
   - B. CONCRETE CATCH BASINS AND MANHOLES: MANUFACTURED BY BROOKS COMPANY, ALHAMBRA FOUNDRY CO., OR EQUAL. CONTRACTOR MAY SUBMIT AN EQUIVALENT CAST-IN-PLACE CONCRETE CATCH BASIN TO OWNER REPRESENTATIVE FOR APPROVAL IN ACCORDANCE WITH DIVISION 1 SPECIFICATION. THE OWNER'S REPRESENTATIVE SHALL HAVE THE FINAL DECISION AS TO THE ACCEPTANCE OF SUCH CAST-IN-PLACE CATCH BASIN. ALL MANHOLE INCLUDING FRAME AND COVER SHALL SUSTAIN H-20 LOADING. THERE SHALL BE NO PONDING OF STORM WATER IN THE BOTTOM OF THE MANHOLE OR CATCH BASIN.
6. ALL CONCRETE SHALL BE CLASS 560-C-3250 PER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
7. BEDDING
   - A. PLACE BEDDING MATERIAL IN TRENCH BOTTOM, LEVEL MATERIALS IN CONTINUOUS LAYER. BEDDING SHALL BE 1/2 OF PIPE DIAMETER OR 4-INCH MINIMUM THICKNESS WHICHEVER IS GREATER, COMPACT TO MINIMUM 95 PERCENT COMPACTION.
   - B. MAINTAIN OPTIMUM MOISTURE CONTENT OF BEDDING MATERIAL TO ATTAIN REQUIRED COMPACTION DENSITY.
8. INSTALL PIPE, FITTINGS, AND ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND PER TRENCH SECTION IN CONSTRUCTION DOCUMENTS. SEAL JOINTS WATERTIGHT.
9. INSTALL 3-INCH WIDE CONTINUOUS TRACT TAPE FOR STORM DRAINS OVER TOP OF PIPE AND MAXIMUM OF 18-INCHES BELOW FINISH GRADE.
10. FIELD TESTS ON INSTALLED STORM DRAINAGE PIPE
    - A. GENERAL: THE CONTRACTOR SHALL FURNISH THE MATERIAL, LABOR, AND EQUIPMENT FOR MAKING TESTS FOR LEAKAGE AND INFILTRATION OF GROUNDWATER. TESTS SHALL BE MADE AFTER THE STORM DRAIN TRENCH HAS BEEN BACKFILLED AND COMPACTED BUT BEFORE PAVING. ALL SECTIONS OF STORM DRAIN SHALL BE TESTED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS FOR LEAKAGE AND INFILTRATION TESTS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
    - B. PRELIMINARY TESTS: THE CONTRACTOR MAY PERFORM ANY TESTS DESIRED WHICH ARE NOT HARMFUL TO THE LINES BEFORE BACKFILLING IS COMPLETED.
    - C. CLEANING: BEFORE FINAL TESTS ARE PERFORMED FOR ACCEPTANCE OF ANY STORM DRAIN PIPE, CLEAN THE PIPE BY INFLATABLE RUBBER BALL METHOD.
    - D. PIPE TESTING: THE CONTRACTOR SHALL PERFORM WATER INFILTRATION TEST PER SECTION 306-1.4 OF THE GREENBOOK.
    - E. REPAIRS, IF NECESSARY: IF THE LEAKAGE OR INFILTRATION AS SHOWN BY THE TESTS IS GREATER THAN THE AMOUNT SPECIFIED, THE PIPE SHALL BE OVERHAULED AND RE-LAID IF NECESSARY BY THE CONTRACTOR, AT ITS OWN EXPENSE, UNTIL THE JOINTS WILL HOLD SATISFACTORILY. REGARDLESS OF THE RESULTS OF THE ABOVE TESTS, ANY VISIBLE EVIDENCE OF INDIVIDUAL LEAKS SHALL BE CORRECTED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
    - F. CLEANING STORM DRAIN: AFTER ALL BACKFILLING, COMPACTION TESTING AND PAVING IS COMPLETED, STORM DRAIN LINES SHALL BE CLEANED BY INFLATABLE RUBBER BALL METHOD, FLUSHED AND CLEANED, BEFORE ACCEPTANCE BY THE OWNER'S REPRESENTATIVE AND CONNECTION TO THEIR STORM DRAIN SYSTEM IS MADE.
    - G. THE CONTRACTOR SHALL FURNISH ALL STORM DRAIN LINE PLUGS NECESSARY FOR BLOCKING OFF ALL LINES AS REQUIRED BY THE OWNER'S REPRESENTATIVE UNTIL FINAL ACCEPTANCE.
11. AFTER INSTALLATION OF ANY DRAINAGE IMPROVEMENTS OR EROSION CONTROL MEASURES, THE APPLICANT SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL IMPROVEMENTS IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, THE APPROVED PLANS AND CONDITIONS OF APPROVAL.

SEWERLINE MATERIALS NOTES

1. GENERAL: ALL PIPE SIZES REFER TO THE NOMINAL INSIDE DIAMETER OF PIPE (INCLUDING ANY PIPE LININGS). NO PIPE, EXCEPT WHERE SPECIFIED HEREIN, SHALL BE MORE THAN ONE-QUARTER INCH SMALLER THAN THE NOMINAL SIZE DESIGNATED. ALL PIPE, PIPE JOINTS INCORPORATED INTO THE PIPE, AND MANUFACTURED FITTINGS CONNECTING PIPE BETWEEN STRUCTURES SHALL BE OF THE SAME TYPE, QUALITY, CLASS AND SIZE UNLESS OTHERWISE SPECIFIED OR DETAILED ON THE DRAWINGS.

   CONTRACTOR SHALL CAREFULLY EXAMINE ALL PIPE AND FITTINGS FOR CRACKS AND OTHER DEFECTS AND SHALL REMOVE ALL FOREIGN MATTER FROM INTERIOR AND ENDS OF PIPE AND APPURTENANCES BEFORE LOWERING INTO TRENCH. PIPES AND APPURTENANCES SHALL BE LOWERED CAREFULLY INTO THE TRENCH PIECE BY PIECE, TO PREVENT DAMAGE TO PIPE MATERIALS, PROTECTIVE COATINGS, AND LININGS. UNDER NO CIRCUMSTANCE SHALL THE PIPE OR APPURTENANCE BE DUMPED INTO TRENCH. IF PIPE CANNOT BE LOWERED INTO TRENCH AND INTO A PLACE WITHOUT CONTAMINATION FROM SOIL, THE CONTRACTOR SHALL PLACE HEAVY, TIGHTLY WOVEN CANVAS BAG OVER EACH END AND LEAVE IN PLACE UNTIL JOINTS ARE MADE.

   - A. POLYVINYL CHLORIDE (PVC) PIPE FOR GRAVITY SEWER: ALL PVC PIPE AND FITTINGS SHALL BE UNPLASTICIZED POLY VINYL CHLORIDE MANUFACTURED FOR SEWER APPLICATIONS. FOR PIPE SIZES EQUAL OR LESS THAN 12 INCHES DIAMETER SHALL MEET THE PIPE WALL THICKNESS REQUIREMENTS FOR AN SDR 35 PIPE IN ACCORDANCE WITH ASTM D3034. FOR PIPE SIZES GREATER THAN 12 INCHES DIAMETER SHALL MEET WITH ASTM F679 PS 115 PVC REQUIREMENTS.
   - B. PIPE JOINTS ON PVC SHALL BE ELASTOMERIC GASKETED JOINT IN A BELL AND SPIGOT ASSEMBLY. RUBBER GASKETS SHALL MEET THE REQUIREMENTS OF ASTM D1869. NO SOLVENT CEMENTED JOINTS WILL BE PERMITTED IN THE CONSTRUCTION OF SEWERS. ALL PVC PIPE ENTERING OR LEAVING A CONCRETE STRUCTURE SHALL HAVE A WATER TIGHT RUBBER SEALING GASKET, AS SUPPLIED BY THE PIPE MANUFACTURER, FIRMLY SEATED PERPENDICULAR TO THE PIPE AXIS, AROUND THE PIPE EXTERIOR AND CAST INTO THE STRUCTURE BASE OR NEAR THE STRUCTURE WALL CENTER AS A WATER STOP. WATER STOP MAY ALSO CONSIST OF MANHOLE FLEXIBLE COUPLING (BOOT) WITH WATERTIGHT SEALING BONDS.
2. SPECIAL JOINTS
   - A. REPAIR AND TRANSITION JOINTS: REPAIR COUPLINGS AND TRANSITION COUPLINGS FOR PIPE SIZES FOUR (4) INCH TO EIGHTEEN (18) INCH SHALL BE BANDED RUBBER TYPE CONFORMING TO SECTION 208 OF THE GREENBOOK.
   - B. REHABILITATED PIPE JOINTS: CAST IN PLACE PIPE OR SPIRAL WOUND PIPES SHALL BE TIED IN USING INSERT-A-TEE SADDLES.
   - C. CLAY PIPE JOINTS: PIPE JOINTS FOR VCP SHALL BE TYPE G JOINTS AS SPECIFIED IN SECTION 208 OF GREENBOOK. THE SEALING COMPONENTS OF THE JOINT SHALL RESIST ATTACK BY CHEMICAL OR BACTERIA NORMALLY PRESENT IN DOMESTIC AND INDUSTRIAL WASTE SEWAGE.
3. SEWER FITTINGS
   - A. FITTINGS: WYE, BENDS, RISERS, AND CAPS SHALL BE OF THE SAME MATERIAL AS PIPE MATERIAL BEING USED. FITTINGS SHALL BE STORED, PREPARED AND INSTALLED PER MANUFACTURER'S PRINTED REQUIREMENTS.

     WYE FITTINGS SHALL BE USED FOR ALL NEW LATERALS AND CLEANOUTS. TEE FITTINGS WILL NOT BE ALLOWED WITHOUT THE PRIOR APPROVAL OF THE SCHOOL'S REPRESENTATIVE.
   - B. PLUGS: PLUGS SHALL BE WATERTIGHT BUTYL RUBBER AND SHALL BE EQUIPPED WITH AN EXPANSION BOLT TO HOLD PLUG IN END OF PIPE.

PAVEMENT MATERIAL NOTES

1. ALL PAVEMENT CONSTRUCTION AND IMPROVEMENTS SUCH AS ASPHALTIC CONCRETE, AGGREGATE BASE, CONCRETE PAVEMENT, ETC. SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) STANDARD PLANS AND SPECIFICATIONS.
2. MINIMUM THICKNESS OF ASPHALT CONCRETE (PG 64-10) AND CLASS 2 AGGREGATE BASE MATERIAL SHOWN ON THE PLANS. CONTRACTOR SHALL CONSTRUCT THE PAVEMENT SECTION MATCHING THE EXISTING SECTION, WHICHEVER IS GREATER.
3. ALL MATERIAL SUBMITTALS SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE ASPHALT CONCRETE SHALL BE PG64-10, TYPE B, 1/2" MAXIMUM, MEDIUM GRADATION. THE AGGREGATE BASE SHALL BE CLASS 2 AGGREGATE BASE, 3/4" MAXIMUM GRADING. SAND SHALL HAVE SAND EQUIVALENT OF 30 OR GREATER WITH 100% PASSING A 3/8" SIEVE; 15% TO 75% PASSING A NO. 30 SIEVE; 2% TO 10% PASSING A NO. 100 SIEVE; AND 0% TO 4% PASSING A NO. 200 SIEVE.
4. ALL CONCRETE PAVEMENT SHALL BE CONSTRUCTED AND IN CONFORMANCE WITH STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS SECTION 73 – CONCRETE CURBS AND SIDEWALKS. CONCRETE SHALL BE TYPE B, 3000 PSI PER SPECIFICATION SECTION 90 – CONCRETE.
5. TYPE II SLURRY SEAL SHALL BE PER CALTRANS STANDARD SPECIFICATIONS SECTION 37-3 (2015) WHERE OCCURS.

WATERLINE MATERIALS NOTES

1. ALL WATER LINES SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 250 PSI. ALL FITTINGS AND APPURTENANT PIPING MATERIALS SHALL HAVE MINIMUM WORKING PRESSURE OF 250 PSI UNLESS OTHERWISE INDICATED.
2. PIPE
   - A. POLYVINYL CHLORIDE (PVC) POTABLE WATER PIPE: FOR PIPE SIZE EQUAL OR GREATER THAN 4-INCHES DIAMETER, POLYVINYL CHLORIDE PIPE SHALL BE AWWA C900 CLASS 305 PIPE OR OTHERWISE SPECIFIED ON CONSTRUCTION DOCUMENTS AND STRICT CONFORMANCE PER AWWA STANDARDS AND MANUFACTURER SPECIFICATIONS.
   - B. POLYVINYL CHLORIDE (PVC) POTABLE WATER PIPE: FOR PIPE SIZE SMALLER THAN 4-INCHES DIAMETER USE POLYVINYL CHLORIDE SCHEDULE 80 SOLVENT WELD PIPE MANUFACTURED IN ACCORDANCE WITH ASTM-1785.
   - C. FITTINGS: FITTINGS SHALL BE DUCTILE IRON RATED FOR 250 PSI WORKING PRESSURE AND SHALL HAVE MECHANICAL JOINTS OR FLANGED JOINTS AS SHOWN ON CONSTRUCTION DOCUMENTS. ALL FITTINGS SHALL BE MEGALUG RESTRAINED DEVICE, AS MANUFACTURED BY EBAA IRON, OR EQUAL. MECHANICAL JOINT FITTINGS SHALL CONFORM TO ANSI A21.10, ANSI A21.53 OR AWWA C110. FLANGED FITTINGS SHALL BE IN FULL CONFORMANCE WITH AWWA C110 OR AWWA C153 AND ANSI B16.2, FLAT FACED AND DRILLED 125-POUND ANSI STANDARD.

     INTERNAL LINING AND EXTERNAL COATING: DUCTILE IRON PIPE FITTINGS SHALL BE LINED WITH A UNIFORM 1/8-INCH THICKNESS OF CEMENT MORTAR AND SEALED WITH A BITUMINOUS COATING IN ACCORDANCE WITH THE PROVISIONS OF AWWA C104. LINING FOR FITTINGS SHALL BE PLASTIC ENGINEERING P.E.I. 100 EPOXY TO A MINIMUM THICKNESS OF 10 MILS. FITTINGS SHALL BE WRAPPED WITH 10-MIL POLYETHYLENE SHEET. ALL BOLTS, SET SCREWS AND NUTS SHALL BE COATED WITH NON-FIBERED ASPHALT EMULSION TYPE "HENRY'S 208" OR EQUAL AFTER TIGHTENING. ALL UNDERGROUND NUTS AND BOLTS SHALL BE WRAPPED WITH 10-MIL POLYETHYLENE SHEET. DUCTILE IRON PIPE, FITTINGS AND ANCHOR ROD FOR CONCRETE THRUST BLOCK SHALL BE EXTERNALLY COATED WITH A BITUMINOUS COATING IN ACCORDANCE WITH THE PROVISIONS OF SECTION 207-9.2.4 OF THE STANDARD SPECIFICATIONS. DAMAGED COATINGS SHALL BE REPAIRED USING FIELD-APPLIED MASTIC, TWO COATS, 40-MIL. HOLD-BACK AREAS FOR PIPE JOINTS SHALL BE COATED AS SPECIFIED FOR PIPE AND FITTINGS EXCEPT THE TOTAL COATING THICKNESS SHALL BE 10-MIL. FIELD-COAT THE HOLD-BACK AREA WITH ONE COAT, 20-MIL MASTIC AFTER ASSEMBLY.
   - D. ALL ABOVE GROUND PIPING, FITTINGS AND APPURTENANT MATERIALS SHALL BE GALVANIZED.
3. GATE VALVES
   - A. CONFORM TO AWWA C-509.
   - B. GATE VALVES SHALL BE IRON BODY, NRS VALVES WITH O-RING SEALS, AND SHALL OPEN WHEN THE STEM IS ROTATED COUNTERCLOCKWISE. THE VALVES SHALL BE DESIGNED FOR A MINIMUM WORKING PRESSURE OF 250 PSI, HAVE A BRONZE STEM, AND HAVE A CAST IRON WEDGE WITH STYRENE BUTADIENE RUBBER PERMANENTLY BONDED TO THE WEDGE. THE VALVES SHALL HAVE FULL PORT OPENINGS FOR UNOBSTRUCTED FLOW, BE DESIGNED FOR UNDERGROUND SERVICE, AND BE IN FULL COMPLIANCE WITH THE LATEST REVISION OF AWWA C509. THE VALVE LININGS AND COATINGS SHALL BE IN ACCORDANCE WITH AWWA C710. LININGS AND COATINGS SHALL BE FACTORY APPLIED. VALVES SHALL BE FURNISHED WITH 2-INCH SQUARE OPERATING NUT.
4. FIRE HYDRANT
   - A. FIRE HYDRANT SHALL BE JAMES JONES NO. 3700 SERIES, OR EQUAL (NO KNOWN EQUAL), AND INCLUDE ONE 4-INCH STREAMER HOSE OUTLET, TWO 2-1/2 INCH HOSE OUTLETS. FIRE HYDRANT SHALL BE CALIFORNIA TYPE "WETBARREL" CONFORMING TO AWWA SHALL HAVE BRASS OR CAST IRON CAP, AND TO BE CHAINED TO THE BODY OF THE HYDRANT. FIRE HYDRANT SHALL BE PRIMED THEN PAINTED WITH TWO COATS OF CHROME YELLOW PAINT "EVERGUARD" OR MATCH EXISTING CAMPUS FIRE HYDRANT COLOR. PLASTIC ENAMEL VISIBILITY YELLOW #5506. "AMERITONE" #719 SAFETY YELLOW HYDRANT SHALL BE ATTACHED TO THE SPOOL WITH HOLLOW BREAKAWAY BOLTS WITH THE NUTS ON THE UPPER FLANGE. ALL HYDRANTS SHALL BE INSTALLED SO THAT 4-INCH STEAMER HOSE OUTLET IS POSITIONED 90 TO THE CENTER LINE OF THE ROADWAY OR PATH. FIRE HYDRANT SHALL HAVE BRONZE CAP. ALL HYDRANTS SHALL BE INSTALLED IN SUCH A MANNER AS VALVES CAN BE OPERATED FREELY WITH STANDARD EQUIPMENT AND PROVIDE UNOBSTRUCTED USE OF THE VALVES.
5. ACCESSORIES
   - A. CONCRETE FOR THRUST BLOCKS: CONTRACTOR SHALL CONSTRUCT CONCRETE THRUST BLOCKS PER DETAIL ON PLAN.
   - B. THRUST BLOCKS SHALL BE CONSTRUCTED TO BEAR AGAINST UNDISTURBED EARTH AND SHALL NOT BEAR AGAINST ADJACENT PIPE, FITTINGS, OR VALVES. WHERE CONCRETE MUST BE POURED AROUND ADJACENT PIPE, A BLOCK OUT OR A SHORT PIPE LENGTH SHALL BE USED SUCH THAT A FLEXIBLE JOINT EXISTS WITHIN 12-INCHES OF EACH SIDE OF THRUST BLOCK, UNLESS INDICATED OTHERWISE ON THE PLANS. CONCRETE SHALL NOT BE ALLOWED TO SET IN CONTACT WITH PIPE SURFACES OR TO ENTER OR COME IN CONTACT WITH ANY JOINT.
   - C. VALVE BOX BODY SHALL BE UNREINFORCED CONCRETE 8-3/4 INCHES INSIDE DIAMETER TRAFFIC BOX WITH CAST IRON RING. THE VALVE BOX COVER SHALL BE CAST IRON. BOTH VALVE BODY AND COVER SHALL BE BROOKS PRODUCTS, INC. – RT OR EQUAL. THE COVER SHALL BE MARKED "WATER." THE COVER OF EACH VALVE BOX SHALL BE PROVIDED WITH A 2-INCH DIAMETER BRONZE DISC AND THE CONTRACTOR SHALL STAMP THE VALVE NUMBER ON THE DISC PER THE UNIVERSITY'S REPRESENTATIVE'S INSTRUCTIONS. THE DISC SHALL BE MOUNTED TO THE VALVE BOX COVER OR HIGHER USING STAINLESS STEEL SCREWS. THE EXTENSION PIECE SHALL BE 8-INCHES IN DIAMETER, CLASS 100 P.V.C. WATER LINE CONFORMING TO THE REQUIREMENTS OF AWWA C-900.

WATERLINE PRESSURE TEST

1. PRESSURE TEST OF WATER PIPING SYSTEM
   - A. CONTRACTOR TO CONDUCT PRESSURE AND LEAKAGE TESTS ON ALL NEWLY INSTALLED PIPING. FURNISH ALL NECESSARY EQUIPMENT AND MATERIAL AND MAKE ALL TAPS IN THE PIPE, AS REQUIRED. THE SCHOOL'S REPRESENTATIVE WILL MONITOR THE TESTS. PIPING SHALL BE TESTED TO THE PRESSURE OF 150 PSI HYDROSTATIC PRESSURE TEST FOR A MINIMUM OF 2 HOURS AND THEN TO THE PRESSURE OF PIPE WORKING PRESSURE PLUS 50 PSI FOR AN ADDITIONAL 6 HOURS.
   - B. TEST WATER LINES HYDROSTATICALLY. DO NOT FILL PIPE WITH WATER UNTIL JOINT PROTECTION MATERIALS HAVE CURED AS RECOMMENDED BY THE COATING MANUFACTURER. IF RECOMMENDED BY THE COATING MANUFACTURER, ADDITIONAL HEAT MAY BE ADDED IN ORDER TO DECREASE THE TIME REQUIRED FOR CURING. THE TRENCH SHALL BE LEFT OPEN UNTIL A VISUAL INSPECTION OF THE PIPE CAN BE MADE DURING THE REQUIRED PRESSURE TEST.
   - C. CONTRACTOR SHALL SUBMIT TO THE SCHOOL'S REPRESENTATIVE A DETAILED PLAN FOR THE HYDROSTATIC TESTING AND FILLING OF THE SECTIONS OF THE PIPING. THIS PLAN SHALL INCLUDE DATE AND DURATION OF THE TEST. THE PLAN SHALL BE SUBMITTED 3 DAYS IN ADVANCE OF DATE TESTING IS TO BE PERFORMED UNLESS OTHERWISE APPROVED.
   - D. ALL PRESSURE MEASUREMENTS FOR THE PIPELINES SHALL BE MADE AT THE LOW POINT IN THE PIPELINE OR ADJUSTED TO THIS VALUE IF TAKEN AT A HIGHER ELEVATION. SLOWLY FILL THE PIPE WITH WATER AND EXPEL ALL AIR FROM THE PIPE. APPLY AND MAINTAIN THE SPECIFIED TEST PRESSURE BY CONTINUOUS PUMPING IF NECESSARY FOR THE ENTIRE TEST PERIOD. THE PUMP SUCTION SHALL BE IN A BARREL OR SIMILAR DEVICE OR METERED SO THAT THE AMOUNT OF WATER REQUIRED TO MAINTAIN THE TEST PRESSURE MAY BE MEASURED ACCURATELY.
   - E. LEAKAGE IS DEFINED AS THE QUANTITY OF WATER REQUIRED TO HOLD THE SPECIFIED TEST PRESSURE FOR THE DURATION OF THE TEST PERIOD. NO LEAKAGE WILL BE ALLOWED FOR THE PIPING INSTALLED UNDER THIS SECTION. SHOULD ANY TEST DISCLOSE ANY LEAKAGE, LOCATE AND REPAIR THE DEFECTIVE JOINTS, PIPE, OR APPURTENANCES UNTIL NO LEAKAGE FROM SUBSEQUENT TESTING. ALL LEAKS SHALL BE REPAIRED. THE PIPELINE SHALL BE LEFT FULL OF WATER AFTER REPAIR OF LEAKS. THE CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, MATERIALS AND WATER REQUIRED FOR REPAIRING AND TESTING THE PIPELINES.
   - F. CONTRACTOR SHALL FILL IN AND COMPLETE NFPA 24 "CONTRACTOR'S MATERIAL AND TEST CERTIFICATE FOR PRIVATE FIRE SERVICE MAINS" AND CONDUCT A PRE-TEST PRIOR TO REQUESTING INSPECTION FOR EACH PHASE. WRITTEN CONFIRMATION OF PRE-TEST ACCEPTANCE SHALL BE GIVEN TO SCHOOL'S REPRESENTATIVE. 48-HOUR NOTIFICATION SHALL BE GIVEN TO CAMPUS FIRE MARSHAL FOR INSPECTION. A LISTED GAUGE FOR FIRE PROTECTION SERVICE SHALL BE USED FOR HYDROSTATIC TESTING OF FIRE MAIN.
   - G. OPERATIONAL TEST OF HYDRANTS AND VALVES WILL BE REQUIRED PRIOR TO FINAL ACCEPTANCE OF UNDERGROUND PIPING.
2. TEST RECORDS

   RECORDS SHALL BE MADE OF EACH PIPING SYSTEM INSTALLATION DURING THE TEST. THESE RECORDS SHALL INCLUDE:

   - A. DATE OF TEST.
   - B. DESCRIPTION AND IDENTIFICATION OF PIPING TESTED.
   - C. TEST FLUID.
   - D. TEST PRESSURE.
   - E. REMARKS TO INCLUDE SUCH ITEMS AS:
     - a. LEAKS (TYPE, LOCATION).
     - b. REPAIRS MADE ON LEAKS.
   - F. CERTIFICATION BY CONTRACTOR AND SIGNED ACKNOWLEDGEMENT BY THE SCHOOL'S REPRESENTATIVE.

WATERLINE DISINFECTION

1. SCOPE
   - A. ALL NEW AND RE-INTRODUCED WATER LINES MUST BE CLEANED, DISINFECTED, FLUSHED AND MUST PASS TESTS FOR CHLORINE CONCENTRATION AND COLIFORM ABSENCE BEFORE BEING PUT INTO USE.
   - a. THE SCHOOL'S REPRESENTATIVE WILL REVIEW AND APPROVE THE PROCEDURES AND SCHEDULES PRIOR TO INITIATION OF WORK.
   - b. UPON COMPLETION OF SATISFACTORY CLEANING, CHLORINATION AND FLUSHING, THE SCHOOL'S REPRESENTATIVE WILL TAKE WATER SAMPLES FOR BACTERIOLOGICAL TESTS. BASED ON THE RESULTS OF THE LAB TESTS, THE WT ENG WILL GIVE A VERBAL APPROVAL FOLLOWED BY A WRITTEN APPROVAL FOR USE OR WILL GIVE A VERBAL DISAPPROVAL FOLLOWED BY A WRITTEN DISAPPROVAL WHICH REQUIRES RE-CHLORINATION OF THE WATER SYSTEM.
2. CONTRACTOR'S RESPONSIBILITY
   - A. THE CONTRACTOR SHALL FURNISH PROPERLY TRAINED PERSONNEL, APPROPRIATE EQUIPMENT AND MATERIALS, AND TRANSPORTATION, FOR THE DISINFECTION OF DOMESTIC HOT AND/OR COLD WATER SYSTEMS, FIRE LINES, AND ANY LINES CONNECTED TO THEM. HE SHALL POST WARNING SIGNS AT EACH OUTLET. HE SHALL BE PREPARED TO DISPOSE OF WASTEWATER IN A WAY THAT WILL CAUSE NO HARMFUL EFFECTS. HE SHALL BE PREPARED TO MEASURE CHLORINE RESIDUALS AT BOTH HIGH AND LOW RANGE, USING APPROPRIATE TECHNIQUES. THE WT ENG WILL OVERSEE THE WORK AND VERIFY ALL PERTINENT CHLORINE RESIDUALS.
   - B. A MINIMUM OF THREE (3) WORKING DAYS' NOTICE MUST BE GIVEN TO THE SCHOOL'S REPRESENTATIVE PRIOR TO THE CHLORINATION PROCEDURE. CHLORINATION SHALL BE SCHEDULED TO END ON A MONDAY THROUGH THURSDAY IN ORDER TO COORDINATE WITH THE TESTING LAB SCHEDULE. A VARIATION FROM THESE SCHEDULES MAY REQUIRE EVENING AND/OR WEEKEND OVERTIME AT ADDED COST TO THE CONTRACTOR, NO ADDITIONAL COST TO THE SCHOOL.
3. DISINFECTION (CHLORINATING) AGENT
   - A. EITHER SODIUM HYPOCHLORITE SOLUTION OR CHLORINE GAS IS ACCEPTABLE.
   - B. TABLETS OR GRANULAR DISINFECTANTS WILL NOT BE ALLOWED. PIPES WITH TABLETS PLACED INSIDE ARE NOT ACCEPTABLE.
   - C. ANY OTHER DISINFECTANT MUST RECEIVE PRIOR APPROVAL FROM THE WT ENG.
2. PROCEDURE
   - A. PRELIMINARY PREPARATION
     - a. DURING THE ENTIRE CONSTRUCTION PERIOD, CARE SHALL BE TAKEN TO KEEP THE INSIDE OF PIPES, ETC., AS CLEAN AS POSSIBLE.
     - b. A SUITABLE SERVICE COCK OR VALVE WITHIN THREE (3) FEET OF THE SUPPLY LINE SHALL BE INSTALLED TO INTRODUCE THE DISINFECTING AGENT INTO THE LINES. THE LINE(S) TO BE TREATED SHALL BE ISOLATED FROM THE REST OF THE DISTRIBUTION SYSTEM WITH CROSS-CONNECTION CONTROL DEVICES OR OTHER APPROPRIATE ISOLATION DEVICES.
     - c. AFTER FINAL PRESSURE TESTS AND BEFORE CHLORINATION, EACH FIXTURE OR OUTLET SHALL BE FLUSHED UNTIL THE FLOW SHOWS ONLY CLEAR WATER.
3. DISINFECTION
   - A. THE SYSTEM MUST BE FULL OF WATER AND UNDER "MAIN" PRESSURE.
   - B. USING INJECTION EQUIPMENT APPROVED BY THE SCHOOL REPRESENTATIVE, THE DISINFECTANT SHALL BE INJECTED THROUGH THE SERVICE COCK AT A SLOW, EVEN, CONTINUOUS RATE UNTIL A TEST AT THE FARTHEST OUTLET SHOWS CHLORINE RESIDUAL CONCENTRATION OF AT LEAST 50 PPM. ALL OTHER OUTLETS SHALL BE TESTED FOR COMPLIANCE WITH THE 50 PPM RESIDUAL. THE WASTE CHLORINATED WATER MUST BE DISPOSED OF PROPERLY.
   - C. ALL OUTLETS AND VALVES, INCLUDING SERVICE VALVE AT MAIN AND INJECTION COCK, MUST THEN BE CLOSED TO RETAIN THE CHLORINATED WATER. WARNING SIGNS MUST BE POSTED AT EACH OUTLET. THIS CONDITION MUST BE MAINTAINED FOR AT LEAST 24 HOURS.
   - D. A TEST AFTER THE 24 HOUR (OR LONGER) TREATMENT SHALL INDICATE A CHLORINE RESIDUAL OF 20 PPM OR GREATER. IF IT DOES NOT, STEPS 2 THROUGH 4 MUST BE REPEATED.
   - E. AFTER SUCCESSFUL COMPLETION OF THE ABOVE TEST, THE SYSTEM SHALL BE FLUSHED UNTIL THE CHLORINE RESIDUAL IS 0.5 PPM OR EQUIVALENT TO THAT OF THE CAMPUS WATER SUPPLY.
4. BACTERIOLOGICAL TESTING
   - A. FINAL FLUSHING SHALL BE COMPLETED BETWEEN 9:00 A.M. ON MONDAY AND 3:00 P.M. ON THURSDAY IN ORDER TO EXPEDITE LABORATORY ANALYSES. AFTER FINAL FLUSHING, REPRESENTATIVE WATER SAMPLES WILL BE TAKEN BY THE WATER TESTING REPRESENTATIVE FOR LAB TESTS OF COLIFORM PRESENCE OR ABSENCE. A SUCCESSFUL TEST RESULT WILL INDICATE THE ABSENCE OF TOTAL C. COLI IN 100 ML. THE TEST METHOD IS THE CHROMOGENIC SUBSTRATE TEST WHICH REQUIRES 24 HOURS TO COMPLETE, SO OCCUPANCY AND/OR CLEARANCE APPROVAL WILL TAKE AT LEAST THAT LONG. IF COLIFORM IS FOUND TO BE PRESENT, THE DISINFECTION PROCEDURE SHALL BE REPEATED UNTIL THE STANDARDS ARE MET.
   - B. SAMPLING AND ANALYZING FOR OTHER SUBSTANCES TO EVALUATE POTABILITY MAY BE REQUIRED IF CONSIDERED NECESSARY BY THE WATER TESTING REPRESENTATIVE.
5. APPROVAL
   - A. UPON SATISFACTORY RESULTS OF WATER TESTS, THE SCHOOL REPRESENTATIVE WILL GIVE VERBAL NOTIFICATION OF APPROVAL TO THE CONTRACTOR. THIS WILL BE FOLLOWED BY A WRITTEN REPORT. NOTIFICATION OF UNSATISFACTORY RESULTS WILL BE MADE VERBALLY, WITH WRITTEN FOLLOW-UP AS NECESSARY. IN THAT CASE, THE DISINFECTION SHALL BE REPEATED UNTIL THE STANDARDS ARE MET.

PUBLIC WORKS GENERAL NOTES

1. ALL WORK, INCLUDING TRAFFIC CONTROL SET UP, SHALL BE PERFORMED AND COMPLETED DURING CITY'S NORMAL BUSINESS HOURS, MONDAY THROUGH FRIDAY, 7:30AM – 4:30PM OR DURING THE CITY'S APPROVED NIGHTTIME HOURS, MONDAY THROUGH FRIDAY, 8:00PM – 6:00AM. NO WEEKEND WORK IS PERMITTED WITHOUT ADDITIONAL FEES FOR WEEKEND INSPECTION.
2. TEMPORARY NO PARKING SIGNS MUST BE PLACED AND VERIFIED BY CITY INSPECTOR 72 HOURS IN ADVANCE OF THE WORK. IF TOWING IS NEEDED, CONTACT THE CITY INSPECTOR 24 HOURS PRIOR TO POSTING TO ALLOW VERIFICATION. OTHERWISE THE WORK MAY PROCEED ONLY IF THERE IS VOLUNTARY COMPLIANCE AND NO TOWING IS PERMITTED.
3. TEMPORARY NO PARKING SIGNS MUST INCLUDE DAY(S) OF THE WEEK, DATE(S), TIME(S) FOR RESTRICTION, CONTRACTOR'S NAME AND LOCAL PHONE NUMBER AND ALSO INDICATE DATE POSTED ON THE BOTTOM.
4. TEMPORARY NO PARKING SIGNS MUST MEET THE FOLLOWING REQUIREMENTS:
   - a. BE OF MOISTURE RESISTANT HEAVY CARDSTOCK
   - b. NO LESS THAN 1.75 SQUARE FEET IN SURFACE AREA
   - c. ON A PRE-PRINTED TEMPLATE WITH RED WATER RESISTANT LETTERING ON WHITE BACKGROUND
   - d. INCLUDE THE WORDS "TOW AWAY" AND "NO PARKING" WITH A CHARACTER HEIGHT OF NO LESS THAN 2.75 INCHES AND A STROKE WIDTH OF NOT LESS THAN 0.5 INCHES
   - e. INCLUDE SPECIFIC DAY, DATE AND TIME OF RESTRICTION IN LETTERING HEIGHT OF NO LESS THAN 2.00 INCHES AND STROKE WIDTH OF NO LESS THAN 0.35 INCHES
   - f. INCLUDE CONTRACTOR'S NAME AND LOCAL TELEPHONE NUMBER IN LETTERING NO LESS THAN 0.75 INCH IN HEIGHT
   - g. THE DAY OF THE WEEK SHALL BE WRITTEN OUT OR PROPERLY ABBREVIATED WITH THREE TO FOUR LETTERS
   - h. DATE OR DATES OF RESTRICTION AND THE BEGINNING AND ENDING TIMES OF RESTRICTION SHALL BE CLEARLY LISTED
   - i. DATE AND TIME OF POSTING SIGNS IN THE PUBLIC RIGHT OF WAY SHALL BE NOTED ON EACH SIGN
   - j. CONTRACTOR'S STAFF SHALL BE AVAILABLE FOR TELEPHONE CALLS BETWEEN THE HOURS OF 7:00 A.M. AND 8:00 P.M. ON WORKING DAYS AT THE TELEPHONE NUMBER PROVIDED ON SIGNS.
6. ALL VEHICULAR, PEDESTRIAN AND BICYCLIST TRAFFIC CONTROL OR DETOUR SHALL BE PER THE CALIFORNIA MUTCD AND IN ACCORDANCE WITH THE CALIFORNIA VEHICLE CODE. BIKES SHALL BE GUIDED BY FLAGGERS THROUGH SINGLE VEHICLE LANE.
7. ANY REMOVAL OF CONCRETE OR ASPHALT THAT DISRUPTS PEDESTRIAN PATH OF TRAVEL MUST PROVIDE APPROPRIATE ADA ACCESS AROUND THE SITE, OR PEDESTRIAN DETOUR SIGNS FOR THE DURATION OF THE PROJECT. AT A MINIMUM, FOLLOW CALIFORNIA MUTCD TYPICAL APPLICATIONS TA-28 AND TA-29.
8. ONLY ONE PHASE OF TRAFFIC CONTROL MAY BE SET UP AT A TIME. TRAFFIC CONTROL FOR FINISHED SECTIONS MUST BE REMOVED BEFORE NEXT SECTION IS SET UP. NO TRAFFIC CONTROL IS TO BE SET UP AT THE SAME TIME IN OPPOSITE DIRECTIONS.
9. NO VEHICLES ARE PERMITTED ON THE SIDEWALK. ALL VEHICLES MUST PARK ON THE STREET OR OTHER APPROPRIATE AREAS.
10. DRIVEWAYS TO REMAIN OPEN AT ALL TIMES UNLESS PRIOR ARRANGEMENTS HAVE BEEN MADE WITH ADJACENT BUSINESS OWNERS/RESIDENTS/TENANTS.
11. THE CITY WILL NOT ALLOW A SIDEWALK CLOSURE WITHOUT AN ADA ACCESSIBILITY DETOUR AROUND THE SITE AND/OR ACCOMMODATIONS FOR SAFE CROSSING TO AN ADA ACCESSIBLE PATH.
12. DEDICATED FLAGGERS MUST BE IN USE ON BOTH SIDES OF WORK AREA AT ALL TIMES TO SAFELY DIRECT TRAFFIC THROUGH SINGLE LANE OR WILL BE IN USE AT ALL TIMES TO DIRECT TRAFFIC.
13. IF WORK IS BEING DONE IN THE VICINITY OF A CALTRANS FACILITY, PERMITTEE/CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND NOTIFICATIONS REQUIRED BY CALTRANS.
14. APPLICANT SHALL PROVIDE NOTIFICATION TO AFFECTED BUSINESSES AND RESIDENTS ALONG PATTERSON AVENUE A MINIMUM OF 72 HOURS PRIOR TO WORK.
15. APPLICANT SHALL PROVIDE NOTIFICATION TO AFFECTED BUSINESSES AND RESIDENTS 7 CALENDAR DAYS PRIOR TO BEGINNING WORK IF THE WORK REQUIRES A POWER OUTAGE.
16. ANY WORK ON PRIVATE PROPERTY MUST BE COORDINATED WITH PROPERTY OWNER AND/OR A RIGHT OF ENTRY OBTAINED FROM OWNER.
17. NO TRENCHING, POTHOLING, OR OTHER INTRUSIONS INTO THE PAVEMENT AREAS WILL BE ALLOWED WITHOUT ADDITIONAL FEES AND APPROVAL FROM THE CITY OF CARPINTERIA.
18. ALL PORTLAND CEMENT CONCRETE REMOVALS (SIDEWALK, CURB, GUTTER) REQUIRE SAWCUT EDGES AT SCORE MARKS OR COLD JOINTS, NO LESS THAN A FULL PANEL OF CONCRETE WILL BE REMOVED AND REPLACED. ANY DAMAGE TO CITY ROADWAY, SIDEWALK, OR PAVEMENT MUST BE REPAIRED TO CITY STANDARDS PER INSPECTOR'S DIRECTION.
19. SIDEWALK MODIFICATION/REMOVAL THAT IMPACTS PEDESTRIAN ACCESS SHALL HAVE THE APPROPRIATE DETOURS TO AN ADA ACCESSIBLE PATH, OR A TEMPORARY INFILL THAT MEETS ADA REQUIREMENTS SHALL BE PROVIDED BY THE PERMITTEE.
20. ASPHALT CONCRETE (AC) TRENCH REPAIRS SHALL BE PERFORMED PER CITY STANDARD AND AS DIRECTED BY THE PUBLIC WORKS INSPECTOR.
21. TRENCHES MUST BE COVERED WITH TRAFFIC RATED STEEL PLATES AT THE END OF EACH WORKING SHIFT. PLATES SHALL BE RECESSED TO MATCH THE PAVEMENT SURFACE, SKID RESISTANT COATING AND PINNED TO PREVENT MOVEMENT OR BOUNCING.
22. CITY STREETS SHALL BE MAINTAINED SO NO TRACKING OF MUD, DIRT, ETC. FROM THE HAUL SITE IS EVIDENT. STREET SWEEPING OR OTHER MEANS OF CLEANING TRACKING MAY BE REQUIRED AS DIRECTED BY THE PUBLIC WORKS INSPECTOR.
23. ANY VAULT DEWATERING SHALL INCLUDE APPROPRIATE BMP'S (BEST MANAGEMENT PRACTICES) TO ASSURE ONLY CLEAN WATER IS EXPELLED FROM VAULT.
24. BMP'S (BEST MANAGEMENT PRACTICES) SHALL BE IN PLACE AT ALL TIMES TO CONTROL DIRTY WATER FROM BEING RELEASED INTO STORM DRAINS, INCLUDING DURING SAW CUTTING OF PAVEMENT.
25. TRUCK DELIVERIES OR MATERIAL REMOVALS SHALL OCCUR INTO AND OUT OF THE WORK AREA IN ACCORDANCE WITH THE SIGNAL TIMING AND VEHICLE MOVEMENTS. NO SHUTDOWN OF OPPOSING TRAFFIC PATTERNS TO ALLOW FOR TRUCK INGRESS/EGRESS WILL BE ALLOWED. TRUCK INGRESS/EGRESS WILL USE FLAGPERSONS. BARRICADES REMOVED FOR ACCESS SHALL BE REINSTALLED ONCE TRUCK HAS ENTERED/EXITED THE SITE.
26. NO TRUCK STAGING SHALL BE ALLOWED IN THE PUBLIC RIGHT OF WAY OUTSIDE OF THE CERTIFIED WORK ZONE.
27. ALL TRUCK LOADS SHALL BE TARPED WHILE ON CITY STREETS.
28. WORKERS MUST WEAR REFLECTIVE SAFETY CLOTHING AND NIGHT LIGHTING MUST BE IN PLACE.
29. CONTRACTOR SHALL SUBMIT A SCHEDULE OF PERMIT ACTIVITIES TO THE CITY AND CITY'S INSPECTOR AT LEAST ONE (1) WEEK IN ADVANCE START DATE. IF WORK SCHEDULE IS CHANGED 72 HOURS NOTICE OF CHANGE IS REQUIRED. IF NOTICE OF CHANGE IS NOT RECEIVED, INSPECTION FEES WILL BE CHARGED.
30. FOR NIGHTTIME INSPECTION COORDINATION, CONTACT (805) 884-5403 OR (805) 892-5743
31. FOR ALL NIGHTTIME WORK WITH ASSIGNED INSPECTORS, A 72 HOUR ADVANCE NOTICE IS REQUIRED FOR ANY WORK CANCELLATION. IF THIS IS NOT PROVIDED A FEE EQUIVALENT TO 1 DAYS INSPECTION SHALL APPLY.
32. CONTRACTOR SHALL CONTACT CITY AND INSPECTOR A MINIMUM OF 3 WORKING DAYS IN ADVANCE OF ALL WORK. IF THIS IS NOT PROVIDED, WORK WILL NOT BE ALLOWED AND CAN BE SHUT DOWN.
33. IF TRAFFIC SIGNALS ARE IMPACTED BY PERMITTED WORK, LIGHT TOWERS SHALL BE PROVIDED.
34. THE CITY OF CARPINTERIA DOES NOT REQUIRE BONDS AS A SECURITY FOR YOUR GROUNDWATER MONITORING WELLS. HOWEVER, THE APPLICANT ASSUMES ALL LIABILITY AND WILL INDEMNIFY THE CITY AND ITS REPRESENTATIVES FOR INCIDENTS WHICH MAY OCCUR AS A RESULT OF THE INSTALLATION OF THE GROUNDWATER MONITORING WELL.
35. THE APPLICANT WILL BE RESPONSIBLE FOR RECEIVING NOTIFICATIONS FROM USA DIG ALERT AND MARKING THE LOCATION OF THE GROUNDWATER MONITORING WELLS AS NECESSARY. THE CITY WILL NOT MARK THE GROUNDWATER MONITORING WELLS.
36. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD PLANS AND STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION. THIS INCLUDES SUPPLEMENTS THERETO AND CITY OF CARPINTERIA STANDARD DRAWINGS.
37. PUBLIC WORKS DEPARTMENT/ ENCROACHMENT PERMITS SHALL BE OBTAINED PRIOR TO UNDERTAKING ANY CONSTRUCTION WORK OF ANY TYPE WITHIN THE PUBLIC RIGHT-OF-WAY.
38. DURING SITE IMPROVEMENT, TRUCKS AND EQUIPMENT SHALL NOT BE ROUTED OR PARKED ON RESIDENTIAL STREETS. ARTERIAL AND COLLECTOR STREETS SHALL BE USED FOR TRUCK AND EQUIPMENT ACCESS. THE CONTRACTOR SHALL SUBMIT TO ENGINEER A PLAN OF ALL DELIVERY AND HAUL ROUTES TO BE USED ON THIS PROJECT. MAY REQUIRE A STAGING AREA.
39. THE DEVELOPER SHALL PROVIDE AND MAINTAIN ALL NECESSARY FLAG PERSONS, BARRICADES, DELINEATORS, SIGNS, FLASHERS, AND ANY OTHER SAFETY EQUIPMENT AS SET FORTH IN THE LATEST EDITION OF THE STATE OF CALIFORNIA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, OR AS REQUIRED BY THE PUBLIC WORKS DEPARTMENT PERMIT TO ENSURE SAFE PASSAGE OF PEDESTRIAN AND VEHICULAR TRAFFIC.
40. ANY CONTROLLING SURVEY MONUMENTATION (PROPERTY LINES, TRACT LINES, STREET CENTERLINE, ETC.) WHICH ARE AT RISK OF BEING DESTROYED OR DISTURBED DURING THE COURSE OF THIS PROJECT MUST BE PRESERVED IN ACCORDANCE WITH SECTION 8700 ET SEQ. OF THE CALIFORNIA BUSINESS AND PROFESSIONS CODE (PROFESSIONAL LAND SURVEYORS ACT). PRE-CONSTRUCTION FIELD TIES, ALONG WITH THE PREPARATION AND FILING OF THE REQUIRED CORNER RECORDS OR RECORD OF SURVEY WITH THE COUNTY OF SANTA BARBARA, SHALL BE ACCOMPLISHED BY OR UNDER THE DIRECTION OF A LICENSED SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING. COPIES OF SAID RECORDS SHALL BE FURNISHED TO THE CITY ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO ISSUANCE OF ANY ONSITE OR OFFSITE CONSTRUCTION PERMITS. ANY MONUMENTS DISTURBED OR DESTROYED BY THIS PROJECT MUST BE RESET AND POST-CONSTRUCTION CORNER RECORDS OR RECORD OF SURVEY FILED WITH THE COUNTY OF SANTA BARBARA. A COPY OF RECORDED DOCUMENTS SHALL BE SUBMITTED TO THE DIRECTOR OF PUBLIC WORKS FOR REVIEW AND APPROVAL.
41. OBTAIN PERMIT FROM CAL/OSHA FOR EXCAVATIONS OVER 5'-0" DEEP.
42. DUST SHALL BE CONTROLLED BY WATERING.
43. APPROVED EROSION AND SEDIMENTATION PROTECTION DEVICES SHALL BE PROVIDED AND MAINTAINED IN PLACE AT THE END OF EACH DAYS WORK.

UDICA
DESIGN + PERMITS

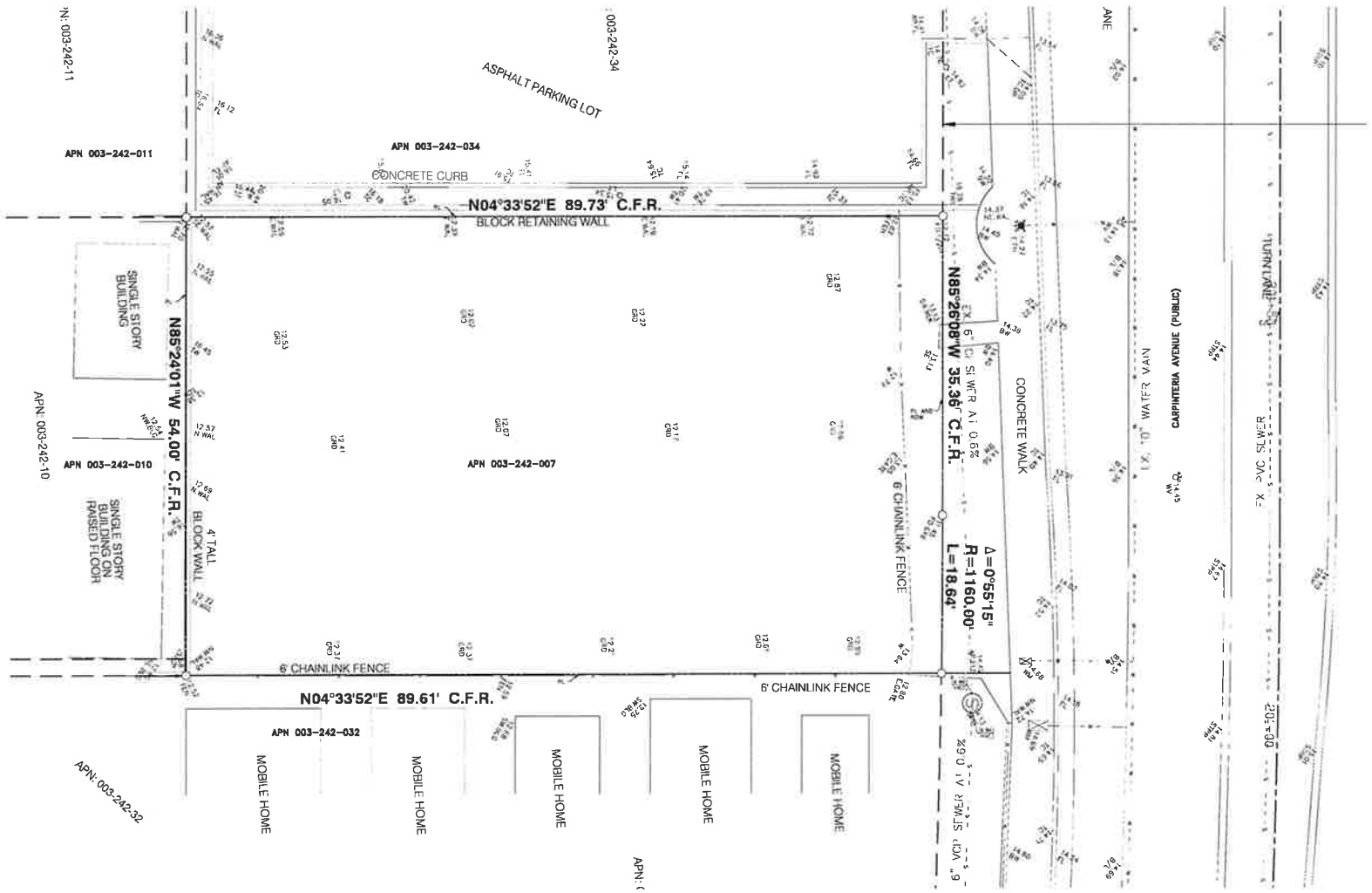
Stantec
300 East Carrillo Street, Suite 101 Santa Barbara, CA 93101
Phone: (805) 963-9532 Fax: (805) 966-9801

REVISIONS

REV.	DATE	DESCRIPTION
1	11/17/2023	SUBMITTAL TO CITY – PLAN CHECK
2	[illegible]	RESUBMITTAL TO CITY – PLAN CHECK
3	[illegible]	RESUBMITTAL TO CITY – GEOTECH REV.
4	[illegible]	SUBMITTAL TO CWD
5	[illegible]	RESUBMITTAL TO CWD

PROJECT NAME: **CRUZ BUILDING**
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4875 CARPINTERIA AVE. CARPINTERIA CALIFORNIA 93013
OWNER NAME: **BERNARDO CRUZ**
ADDRESS: 5347 OGAN RD. CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: **GENERAL NOTES**

DATE: 12/8/23
1100
SHEET: 01
SHEET NO. **C-0.2**



MAP LEGEND:

BASIS OF BEARINGS: PARCEL MAP No. 25 102 AS FILED IN BK. 59, PGS. 24 & 25 (R1) AND GRANT DEED PER INSTR. No. 2008-0073468 OF O.R.

CONTOUR INTERVAL: NO CONTOURS PLOTTED AT THIS TIME

BENCH MARK: CITY OF CARPINTERIA BENCH MARK INDEX OF 1985 NAVD88 DT AUM
LOCAL BENCH: MAG NAIL AND EBNER ON E'LY SIDE OF CARPINTERIA AVE. W'LY OF SUBJECT SITE ELEV - 13.70' PER TRACT No. 25,173 FILED IN BK. 201 PGS. 28-30.

AC	ASPHALT	FL	FLOWLINE
AP	ANGLE POINT	GRD	GROUND ELEV
BW	BACK OF SIDEWALK	PET	POST
		SMH	SEWER MANHOLE
℄	CENTERLINE	⚡	POWER POLE
CP	CONTROL POINT	BTP	BTEP
DCK	DECK	TS	TOP OF STAIRS
EP	EDGE OF PAVEMENT	TCN	TOP OF CONCRETE
FEN	FENCE	TRE	TREE
FD	FOUND	WLK	SIDEWALK
FF	FINISHED FLOOR	WV	WATER VALVE

O = INDICATES NO MONUMENT FOUND UNLESS OTHERWISE NOTED

—— = DISTINCTIVE BORDER

811 Know what's below. Call before you dig.

LOCATION & ELEVATION SURVEY

OF 4675 CARPINTERIA AVE - APN 003-242-027
CITY OF CARPINTERIA – COUNTY OF SANTA BARBARA – STATE OF CALIFORNIA
PREPARED FOR
JOSE LUIS ESPARZA ALA
222 ANACAPA ST. #2C, SANTA BARBARA, CA 93013
~ JUNE 2010 ~

WATERS LAND SURVEYING, INC.
JOSEPH E. & BARRY J. WATERS, LICENSED LAND SURVEYORS
5553 HOLLISTER AVE.-STE. 788 - GOLETA, CALIFORNIA 93117 PHONE (805) 967-4416

SCALE: 1" = 8' WLS W.O. # 2213-043 SHEET 1 OF 1

CAUTION

CONTRACTOR SHALL POTHOLE AND VERIFY ALL EXISTING UTILITIES WITHIN PROJECT SITE PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROPOSE ANY HORIZONTAL REALIGNMENT AND/OR VERTICAL ADJUSTMENT FOR UTILITY DESIGN TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER OR THE PROJECT.

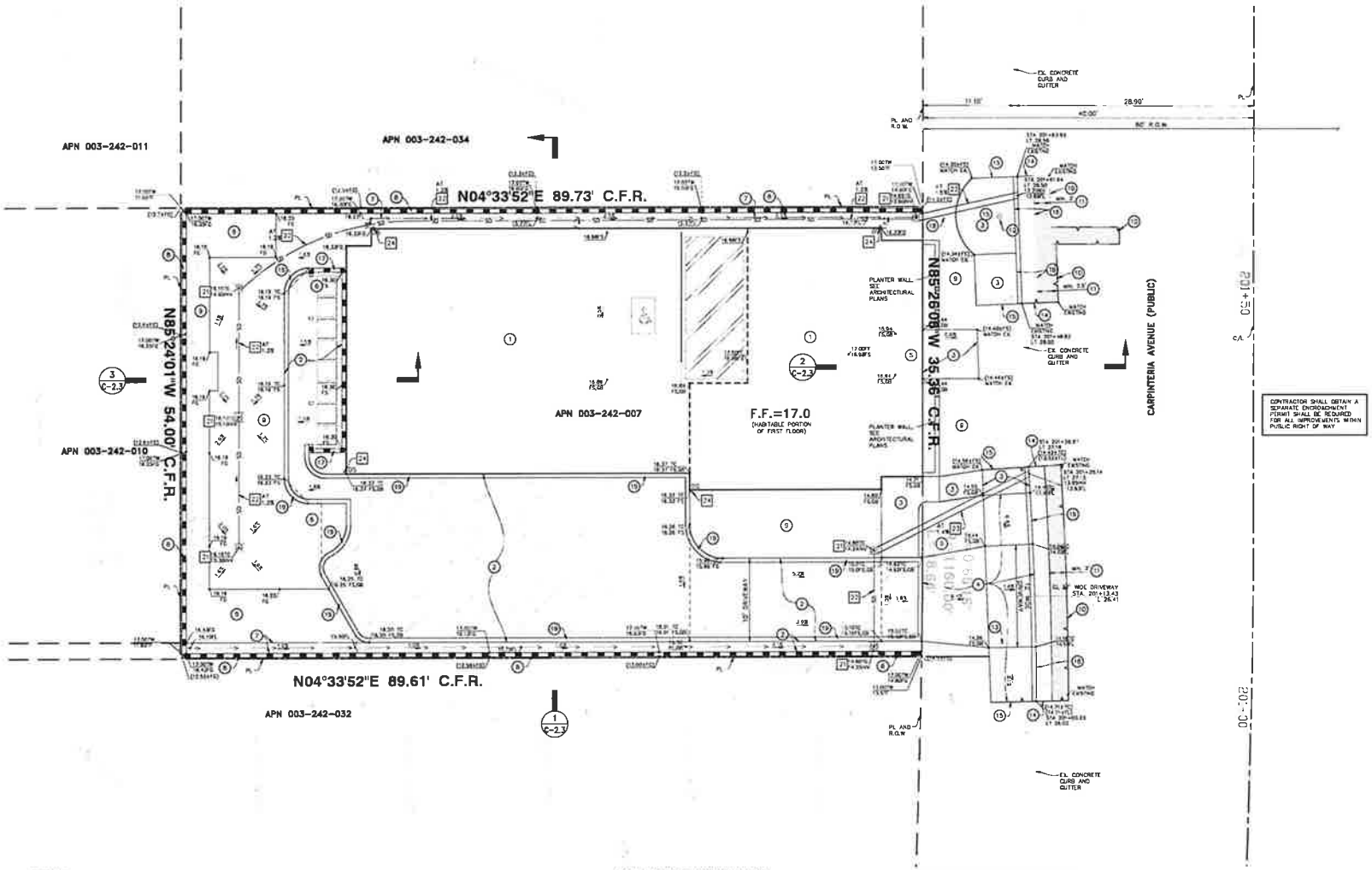
SCALE: 1"=8'

UDICA
DESIGN + PERMITS
265 PARKER LN. SANTA MARIA, CALIFORNIA 93455
PHONE: 343-8811 EMAIL: UDICA@PBNA.COM

REV	DATE	DESCRIPTION
1	12/11/2023	SUBMITTAL TO CITY - PLAN CHECK
2	1/24/2024	RESUBMITTAL TO CITY - PLAN CHECK
3	1/29/2024	RESUBMITTAL TO CITY - ADDITION INFO
4	3/25/2024	SUBMITTAL TO CITY
5	4/17/2024	RESUBMITTAL TO CITY

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE, CARPINTERIA, CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OCEAN RD, CARPINTERIA, CALIFORNIA, 93013
SHEET TITLE: SITE TOPOGRAPHIC MAP

DATE: 12/8/23
1100
SHEET OF
SHEET NO. C-0.3



LEGEND

	BUILDING	AC	ASPHALT CONCRETE
	CONCRETE PAVEMENT	℄, C/L	CENTER LINE
	PERMEABLE PAVERS	EP	EDGE OF PAVEMENT
	ASPHALT CONCRETE	FF	FINISH FLOOR
	FLOW LINE	FG	FINISH GRADE
	SAWCUT LINE	FL	FLOWLINE
	GRADING CONTOURS	FS	FINISH SURFACE
	RETAINING WALL	GB	GRADE BREAK
	DRAINAGE INLET	INV	INVERT ELEVATION
	GRADED SLOPE	LT	LEFT
	STORM DRAIN LINE	PL	PROPERTY LINE
		RIM	RIM ELEVATION
		R O W	RIGHT OF WAY
		STA	STATION (ROAD)
		TC	TOP OF CURB
		TF	TOP OF FOOTING
		TG	TOP OF GRATE
		TW	TOP OF WALL

Know what's below. Call before you dig.

GRADING CONSTRUCTION NOTES:

1. CONSTRUCT BUILDING, SEE ARCHITECTURAL PLANS FOR DETAILS. SEE DETAIL "3" ON SHEET C3.1 FOR PAD STRUCTURAL FILL.
2. CONSTRUCT PERMEABLE PAVER DRIVEWAY PER DETAIL "A" ON SHEET C-2.1.
3. CONSTRUCT MIN. 4" THICK CONCRETE SIDEWALK PER DETAIL "C" ON SHEET C-2.1.
4. CONSTRUCT COMMERCIAL DRIVEWAY PER SANTA BARBARA COUNTY DEPARTMENT OF PUBLIC WORKS (COUNTY) STANDARD DETAILS 1-010, 4-018, AND 4-042.
5. CONSTRUCT CONCRETE STEPS, SEE ARCHITECTURAL PLANS FOR DETAILS.
6. CONSTRUCT GRAVEL SURFACE, SEE LANDSCAPE PLANS FOR DETAILS.
7. CONSTRUCT VEGETATED SWALE PER DETAIL "E" ON SHEET C-2.1
8. CONSTRUCT RETAINING WALL, SEE ARCHITECTURAL PLANS FOR DETAILS
9. LANDSCAPE AREA, SEE LANDSCAPE PLANS FOR DETAILS
10. SAWCUT AND REMOVE EXISTING ASPHALT CONCRETE PAVEMENT TO ADEQUATE DEPTH FOR PROPOSED CONSTRUCTION, AND LEGALLY DISPOSE OF OFF SITE.
11. CONSTRUCT MIN. 2" WOC, MIN. 6" THICK ASPHALT CONCRETE PAVEMENT PER DETAIL "D" ON SHEET C-2.1
12. PROTECT EXISTING FIRE HYDRANT IN PLACE.
13. REMOVE EXISTING WATER METER AND METER BOX COMPLETE, CAP WATER LINE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAIL W-118
14. REMOVE EXISTING CONCRETE CURB/CURB AND GUTTER COMPLETE AT EXISTING SCORE MARK / CONSTRUCTION JOINT, AND LEGALLY DISPOSE OF OFF-SITE.
15. SAWCUT EXISTING CONCRETE PAVEMENT AT EXISTING SCORE MARK / CONSTRUCTION JOINT AND REMOVE ENTIRE CONCRETE PAVEMENT PANEL, AND LEGALLY DISPOSE OF OFF-SITE.
16. CONSTRUCT 6" HIGH CONCRETE CURB AND 24" WIDE CONCRETE GUTTER PER COUNTY STANDARD DETAILS 4-010 AND 4-030.
17. CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
18. REMOVE EXISTING TREE AND ROOTS COMPLETE, AND LEGALLY DISPOSE OF OFF-SITE
19. CONSTRUCT 24" HIGH CONCRETE HEADER PER DETAIL "B" ON SHEET C-2.1

DRAINAGE CONSTRUCTION NOTES:

21. CONSTRUCT 6"x6" CATCH BASIN, NDS DRAINAGE PRODUCT OR EQUAL, WITH 9"x9" ATRIUM GRATE AND CONNECT TO STORM DRAIN SYSTEM.
22. CONSTRUCT 4" DIA. SDR35 PVC STORM DRAIN PIPE PER CARPINTERIA VALLEY WATER DISTRICT (CVWD) STANDARD DETAIL W-111
23. CONSTRUCT 1"x4" CAST IRON RECTANGULAR PIPE, ALHAMBRA FOUNDRY PRODUCT A-470 OR EQUAL, AS CURB OUTLET DRAIN. CONNECT TO CATCH BASIN WITH A ROUND TO RECTANGULAR ADAPTOR, ALHAMBRA FOUNDRY PRODUCT A-460, FOR A 3" DIA. ROUND PIPE TO 3"x6" RECTANGULAR PIPE.
24. CONSTRUCT DOWNSPOUTS PER ARCHITECTURAL PLANS. CONSTRUCT SPLASH BLOCK AT BOTTOM OF DOWNSPOUT TO DISSIPATE RUNOFF TO LANDSCAPED AREA.

ESTIMATED EARTHWORK QUANTITIES:

ESTIMATED EARTHWORK QUANTITIES – RAW QUANTITIES

CUT= 0 C.Y. FILL= 350 C.Y. IMPORT= 350 C.Y.

THE ABOVE QUANTITIES ARE REPRESENTATIVE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISH GRADE OR SUBGRADE. EXISTING GROUND IS DEFINED BY THE TOPOGRAPHIC CONTOURS AND/OR SPOT ELEVATIONS ON THE PLAN. PROPOSED FINISH GRADE IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED. PROPOSED SUBGRADE ELEVATION IS DEFINED AS THE DESIGN SURFACE ELEVATION OF EARTH TO BE CONSTRUCTED BENEATH PAVEMENTS OR STRUCTURES.

THE ABOVE QUANTITIES ARE FOR BUILDING PERMIT PURPOSES ONLY AND HAVE NOT BEEN FACTORED TO INCLUDE ALLOWANCES FOR BULKING, CLEARING AND GRUBBING, SUBSIDENCE, SHRINKAGE, OVEREXCAVATION AND RECONSTRUCTION, UNDERGROUND UTILITY AND SUBSTRUCTURE SPACE, INCLUDING RETAINING WALL AND COLUMN FOOTINGS AND CONSTRUCTION METHODS. EARTHWORK IS NOT INTENDED TO BALANCE ON SITE.

THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSES OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS ON THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS

FLOOD HAZARD ZONE

THE PROJECT IS COMPLETELY WITHIN ZONE AE PER THE FEMA FLOOD INSURANCE RATE MAP (FIRM) NUMBER 06083C1419H DATED SEPTEMBER 28, 2018

THE FLOOD ELEVATION IS APPROXIMATELY 13.5' (NAVD88 DATUM)

CAUTION

CONTRACTOR SHALL POTHOLE AND VERIFY ALL EXISTING UTILITIES WITHIN PROJECT SITE PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROPOSE ANY HORIZONTAL REALIGNMENT AND/OR VERTICAL ADJUSTMENT FOR UTILITY DESIGN TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER OR THE PROJECT

SCALE: 1"=5'

Stantec
320 East Carrillo Street, Suite 101, Santa Barbara, CA 93101
Phone: (805) 963-9532 Fax: (805) 966-9801

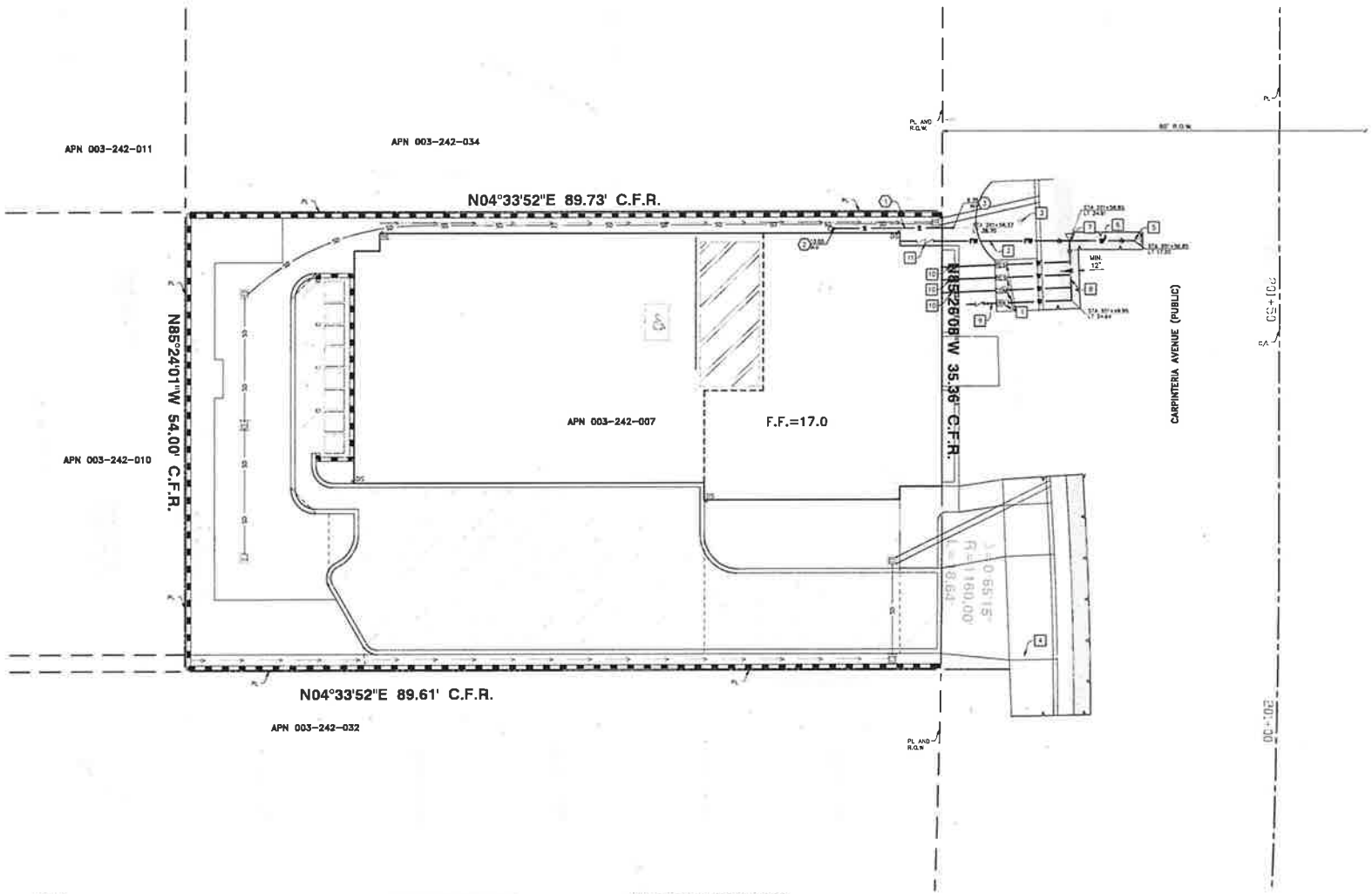
UDICA
DESIGN + PERMITS
263 PAINT LN, SANTA MARIA, CALIFORNIA 93455
PHONE: 343-8810 EMAIL: (805)343-8810@GMAIL.COM

REVISIONS

REV.	DATE	DESCRIPTION
1	10/17/2023	GRAPHIC TO CITY - PLAN CHECK
2	11/9/2023	RESUBMITTAL TO CITY - PLAN CHECK
3	12/6/2023	RESUBMITTAL TO CITY - REVISION 1
4	12/8/2023	CONSTRUCTION SET
5	12/11/2023	CONSTRUCTION SET (WWW)

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 1473 CARPINTERIA AVE, CARPINTERIA, CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5487 DIXON RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: GRADING AND DRAINAGE PLAN

DATE: 12/8/23
SCALE: 1100
SHEET: OF:
SHEET NO.: C-1.1



LEGEND

BUILDING	AC	ASPHALT CONCRETE
CONCRETE PAVEMENT	EP	EDGE OF PAVEMENT
PERMEABLE PAVERS	DDCV	DOUBLE DETECTOR CHECK VALVE
ASPHALT CONCRETE	FG	FINISH GRADE
SEWER LINE	FL	FLOWLINE
WATER LINE	FS	FINISH SURFACE
FIRE WATER LINE	GB	GRADE BREAK
	INV	INVERT ELEVATION
	PL	PROPERTY LINE
	RIM	RIM ELEVATION
	R.O.W	RIGHT OF WAY
	SCO	SEWER CLEANOUT
	TC	TOP OF CURB
	TG	TOP OF GRATE
	TW	TOP OF WALL
	WM	WATER METER

SANITARY SEWER CONSTRUCTION NOTES:

1. CONSTRUCT 4" DIA. SDR35 PVC SEWER LINE FROM BUILDING TO SEWER MAIN IN STREET PER CARPINTERIA SANITARY DISTRICT (CSD) STANDARD DETAIL PLATE 104 AND 108 AS SHOWN ON SHEET C-2.4.
2. CONSTRUCT SEWER CLEANOUT PER CSD STANDARD DETAIL PLATE 110 AS SHOWN ON SHEET C-2.4.
3. CONNECT PROPOSED SEWER LINE TO EXISTING 6" DIA. SEWER MAIN WITH WYE CONNECTION OR EQUAL PER CSD STANDARDS

WATERLINE CONSTRUCTION NOTES:

1. CONSTRUCT (X)-3/4" WATER SERVICE METERS AND SERVICE CONNECTIONS PER CARPINTERIA VALLEY WATER DISTRICT (CVWD) STANDARD DETAIL W-101 AS SHOWN ON SHEET C-2.4. [WORK TO BE PERFORMED BY CVWD BASED ON DISTRICT RULES AND REGULATIONS CONSTRUCTION DEPOSIT. NOTE: SIDEWALK PANELS REQUIRED TO BE REMOVED AND REPLACED BY CVWD COVERED WITH CONSTRUCTION DEPOSITS.]
2. CONSTRUCT 4" DIA. CL 305 PVC FIRE WATERLINE PER CVWD STANDARD DETAIL W-111 AS SHOWN SHEET C-2.4. [TO BE CONSTRUCTED BY CVWD PER CONSTRUCTION DEPOSITS]
3. PROTECT EXISTING FIRE HYDRANT IN PLACE.
4. REMOVE EXISTING WATER METER AND METER BOX COMPLETE CAP WATER LINE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAIL W-118 AS SHOWN ON SHEET C-2.4 [TO BE PERFORMED BY CVWD WITH CONSTRUCTION DEPOSIT FOR THE PROJECT]
5. CONSTRUCT 6" DIA. HOT TAP INTO EXISTING WATER MAIN PER CVWD STANDARD DETAILS W-106 AND W-107 AS SHOWN ON SHEET C-2.4. CONTRACTOR TO VERIFY EXISTING PIPE MATERIAL PRIOR TO CONSTRUCTION. CONSTRUCT 6" VALVE AND VALVE CAN PER CVWD STANDARD DETAIL W-109 AS SHOWN ON SHEET C-2.4. [TO BE CONSTRUCTED BY CVWD. OWNER TO PAY CONSTRUCTION DEPOSIT PER DISTRICT RULES AND REGULATIONS]
6. CONSTRUCT 6" DIA. CL 305 PVC WATERLINE PER CVWD STANDARD DETAIL W-111 AS SHOWN ON SHEET C-2.4 [TO BE CONSTRUCTED BY CVWD]
7. CONSTRUCT 6"X4"X4" M/J TEE, (2)-4" GATE VALVES AND VALVE CANS PER CVWD STANDARD DETAIL W-109 AS SHOWN ON SHEET C-2.4 AND CONCRETE THRUST BLOCK PER CVWD STANDARD DETAIL W-110 AS SHOWN ON SHEET C-2.4 [TO BE CONSTRUCTED BY CVWD]
8. CONSTRUCT 4" DIA. CL 305 PVC WATERLINE PER CVWD STANDARD DETAIL W-111 AS SHOWN ON SHEET C-2.4 [TO BE CONSTRUCTED BY CVWD]
9. CONNECT 3/4" DIA. SCHEDULE 80 PVC IRRIGATION WATER LINE TO IRRIGATION SYSTEM PER LANDSCAPE PLANS AND 1" REDUCED PRESSURE PRINCIPLE ASSEMBLY, WILKINS 975XL2 PRODUCT OR EQUAL, PER CVWD STANDARD DETAIL W-115 AS SHOWN ON SHEET C-2.4. [NOTE: OWNER TO HAVE REDUCED PRESSURE BACKFLOW PREVENTER TESTED AND RESULTS SUBMITTED TO CVWD AND UNIT WILL BE ENTERED INTO DISTRICT CROSS CONNECTION PROGRAM FOR ANNUAL TESTING]
10. CONSTRUCT 3/4" DIA. SCHEDULE 80 PVC WATERLINE PER CVWD STANDARD DETAIL W-111 AS SHOWN ON SHEET C-2.4 AND CONNECT TO BUILDING SERVICE PER PLUMBING PLANS.
11. CONSTRUCT 4" DOUBLE DETECTOR CHECK VALVE BACKFLOW ASSEMBLY, WILKINS 350ASTDA-LM WITH OS&Y PRODUCT OR EQUAL, WITH FIRE DEPARTMENT CONNECTION ON BUILDING SIDE OF BACKFLOW PREVENTER PER CVWD STANDARD DETAIL W-114 AS SHOWN ON SHEET C-2.4

CAUTION

CONTRACTOR SHALL POTHOLE AND VERIFY ALL EXISTING UTILITIES WITHIN PROJECT SITE PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROPOSE ANY HORIZONTAL REALIGNMENT AND/OR VERTICAL ADJUSTMENT FOR UTILITY DESIGN TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER OR THE PROJECT

SCALE: 1"=10'

0 10 20 30

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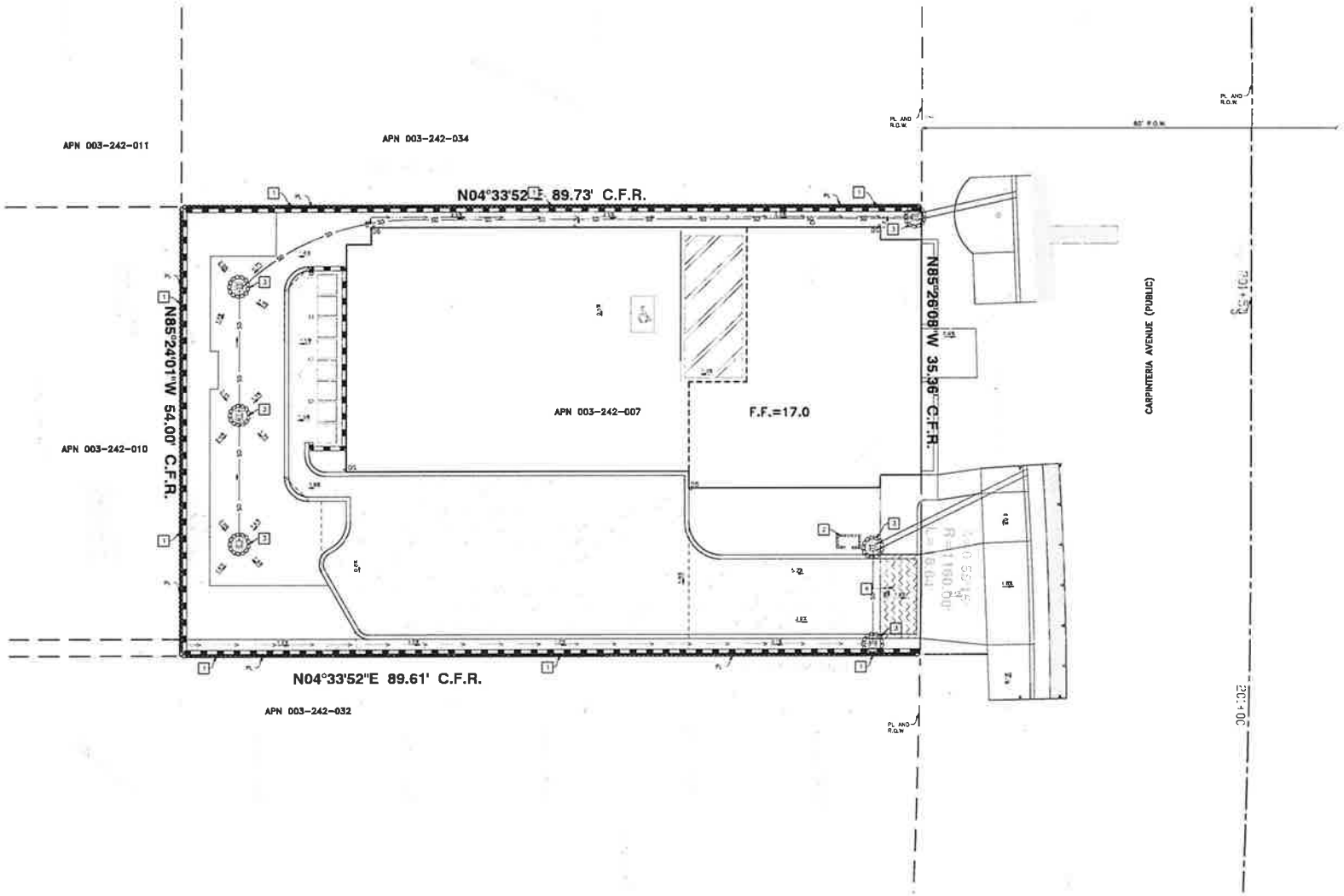
REVISIONS		
0	12/7/2023	CARPINTERIA, CA CITY - PLAN CHECK
1	12/7/2023	CARPINTERIA, CA CITY - PLAN CHECK
2	12/7/2023	CARPINTERIA, CA CITY - REVISION NO.
3	12/7/2023	CARPINTERIA, CA CITY
4	12/7/2023	CARPINTERIA, CA CITY
5	12/7/2023	CARPINTERIA, CA CITY

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE, CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OCEAN RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: SITE WATER AND SEWER PLAN

DATE: 12/8/23
SCALE: 1100
SHEET: OF:
SHEET NO.: C-1.2



LEGEND

	BUILDING	AC	ASPHALT CONCRETE
	FLOW LINE	FL	FLOWLINE
	FIBER ROLL	FS	FINISH SURFACE
		GB	GRADE BREAK
	WASH OUT AREA	INV	INVERT ELEVATION
		P.L.	PROPERTY LINE
	STABILIZED CONSTRUCTION ENTRANCE	RIM	RIM ELEVATION
		R.O.W.	RIGHT OF WAY
		TC	TOP OF CURB
		TG	TOP OF GRATE

GENERAL NOTES

1. THE CONTRACTOR SHALL UTILIZE THIS PLAN ONLY AS A GUIDE TO FULFILL ALL REGULATORY AND PRACTICAL REQUIREMENTS RELATED TO EROSION CONTROL AND STORM WATER POLLUTION PREVENTION.
2. CONTRACTOR SHALL REVIEW AND PERFORM ALL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS, WHICH MAY NOT BE LIMITED TO THE FEATURES DEPICTED ON THIS SHEET.
3. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (NOVEMBER 1 TO APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
4. EROSION CONTROL DEVICES MAY BE REMOVED WHEN APPROVED BY THE OWNER'S REPRESENTATIVE IF THE GRADING OPERATIONS HAVE PROGRESSED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
5. EARTHEN AREAS ADJACENT TO THE PUBLIC RIGHT OF WAY SHALL DRAIN AWAY FROM THE PUBLIC RIGHT OF WAY AT THE CONCLUSION OF EACH WORKING DAY.
6. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM.
7. EXCEPT AS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE, ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY ON WEEKENDS WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
8. ALL LOOSE SOIL AND DEBRIS, WHICH MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY, SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
9. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION AND/OR RUNOFF DAMAGE WITHIN THE SITE SHALL BE AT THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
10. EROSION CONTROL DEVICES SHALL NOT BE MODIFIED WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE. REVISED PLANS SHALL BE SUBMITTED FOR APPROVAL.
11. THE CONTRACTOR SHALL HIRE A CERTIFIED QUALIFIED SWPPP PRACTITIONER (QSP) TO MONITOR EROSION CONTROL WORK IN ACCORDANCE WITH THE APPROVED PLANS. THE WORK ALSO INCLUDES, BUT IS NOT LIMITED TO: INSPECTION OF EROSION CONTROL MEASURES BEFORE EACH RAINSTORM AND 3-DAY PROBABILITY RAIN FORECAST, AS WELL AS WEEKLY AND QUARTERLY MONITORING, AND FILE ANNUAL REPORTS AND NOTICE OF TERMINATION AFTER THE PROJECT COMPLETION.
12. IF RAIN IS FORECAST OR THREATENING, ALL STOCKPILED MATERIALS SHALL BE TARPED TO PREVENT EROSION. TARP SHALL BE ANCHORED WITH GRAVEL FILLED BAGS AT 8 INTERVALS.
13. WHENEVER SEDIMENT-LADEN WATER MUST BE REMOVED FROM THE CONSTRUCTION SITE, A DEWATERING PUMP, A FILTER BOX, PORTABLE SEDIMENT TANK, OR SOME FORM OF FILTERING MEDIA IS TO BE USED PRIOR TO OR DURING DISCHARGE.
14. STREET SWEEPING AND VACUUMING SHALL BE PERFORMED ON A DAILY BASIS DURING CONSTRUCTION FOR ADJACENT PUBLIC STREETS PER CASQA STANDARD SC-7 AS SHOWN ON SHEET C-2.2.
15. USE WIND EROSION CONTROL AS REQUIRED DURING PROJECT CONSTRUCTION PER CASQA STANDARD WE-1 AS SHOWN ON SHEET C-2.2.

EROSION CONTROL CONSTRUCTION NOTES:

1. CONSTRUCT FIBER ROLL PER DETAIL "G" ON SHEET C-2.1. FIBER ROLL SPACING SHALL NOT EXCEED 20' SPACING FOR SLOPES 4:1 AND FLATTER, 15' FOR SLOPES BETWEEN 2:1 AND 4:1, AND 10' FOR SLOPES 2:1 AND GREATER, UNLESS NOTED OTHERWISE.
2. CONSTRUCT CONCRETE WASH-OUT PER DETAIL "H" ON SHEET C-2.1.
3. CONSTRUCT ROCK BAG CATCH BASIN SEDIMENT BARRIER PER DETAIL "J" ON SHEET C-2.1.
4. PROVIDE STABILIZED CONSTRUCTION ENTRANCE WITH RUMBLE RACKS PER DETAIL TC-1, SHEET C-2.2 AND CASQA BEST MANAGEMENT PRACTICE TC-1.

CAUTION

CONTRACTOR SHALL POTHOLE AND VERIFY ALL EXISTING UTILITIES WITHIN PROJECT SITE PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE. CONTRACTOR SHALL PROPOSE ANY HORIZONTAL REALIGNMENT AND/OR VERTICAL ADJUSTMENT FOR UTILITY DESIGN TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER OR THE PROJECT.

SCALE: 1"=10'

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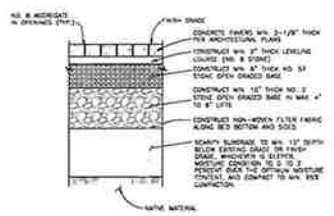
1	12/11/2023	SUBMITTAL TO CITY - PLAN CHECK
2	1/25/2024	RESUBMITTAL TO CITY - PLAN CHECK
3	1/29/2024	RESUBMITTAL TO CITY - SECTION 401
4	3/26/2024	SUBMITTAL TO CUSD
5	4/11/2024	RESUBMITTAL TO CUSD

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE. CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5447 DEAN RD. CARPINTERIA, CALIFORNIA, 93013
SHEET TITLE: EROSION CONTROL PLAN

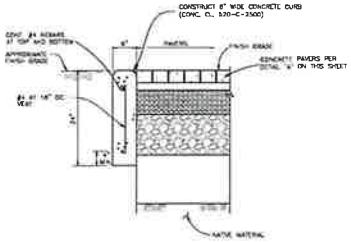
DATE: 12/8/23
SCALE: 1100
SHEET: OF:
SHEET NO.: C-1.3



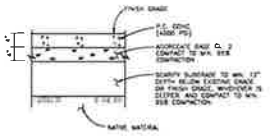
PAVER SPECIFICATIONS

1. CONTRACTOR SHALL HAVE A CURRENT CERTIFICATE FROM THE INTERLOCKING CONCRETE PAVEMENT INSTITUTE CONCRETE PAVER INSTALLER CERTIFICATION PROGRAM WITH JOB REFERENCES FOR PROJECTS OF SIMILAR SIZE AND SCOPE.
2. PAVERS SHALL CONFORM WITH ASTM C936.
3. BASE AND SUBBASE MATERIALS SHALL BE APPROVED BY PROJECT ARCHITECT.
4. BASE AND SUBBASE MATERIALS SHALL HAVE A MINIMUM 0.33 WEB RATIO.
5. ALL PRODUCT SUBSTITUTIONS SHALL BE SUBMITTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
6. AGGREGATE SHALL HAVE MORE FRACTURED FACES WITH LA ABRASION < 40 PER ASTM C131. ROUNDED RIVER GRAVEL SHALL NOT BE ALLOWED.
7. CONTRACTOR SHALL VERIFY THAT SOIL SUBGRADE IS FREE FROM STANDING WATER, AND SUBGRADE PREPARATION, COMPACTION AND ELEVATIONS CONFORM WITH PROJECT REQUIREMENTS.
8. SUBBASE SHALL BE COMPACTED WITH AT LEAST TWO PASSES WITH A VIBRATORY MODE ROLLER AND TWO PASSES IN STATIC MODE. DO NOT CRUSH AGGREGATE WITH ROLLER.
9. THE NO. 57 SUBBASE SHALL BE TESTED FOR PROPER COMPACTION.
10. NO GREATER THAN 1/8" DIFFERENCE IN HEIGHT BETWEEN ADJACENT PAVERS SHALL BE ALLOWED.
11. SURFACE ELEVATION OF PAVERS SHALL BE 1/8 TO 1/4 INCH ABOVE ADJACENT DRAINAGE INLETS, CONCRETE COLLARS, OR CHANNELS.
12. CONTRACTOR SHALL VERIFY THE SURFACE INFILTRATION AT A MINIMUM OF 100 IN/HR USING ASTM C1781.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING WORK FROM SEDIMENT DEPOSITION AND DAMAGE FROM CONSTRUCTION ACTIVITIES.
14. PAVER INSTALLER SHALL RETURN TO SITE SIX MONTHS AFTER COMPLETION OF WORK TO PROVIDE THE FOLLOWING AS REQUIRED: FILL PAVER JOINTS WITH STONES, REPLACE BROKEN OR CRACKED PAVERS, AND RE-LEVEL SETTLED PAVERS TO INITIAL ELEVATIONS.
15. CONSTRUCT CONCRETE HEADER AROUND PAVERS PER DETAIL "B" ON SHEET C-4.

PERMEABLE PAVER STRUCTURAL SECTION — NOT TO SCALE — A



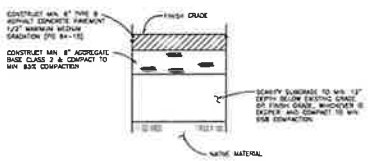
24" HIGH CONCRETE HEADER — NOT TO SCALE — B



NOTES

1. FOR EXPANSION AND CONTROL JOINT DETAILS AND LAYOUT, SEE LANDSCAPE PLANS.
2. FOR CONCRETE PAVEMENT FINISH SURFACE, COLOR AND TEXTURE DESIGN SEE LANDSCAPE PLANS.

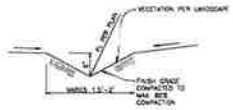
CONCRETE STRUCTURAL SECTION — NOT TO SCALE — C



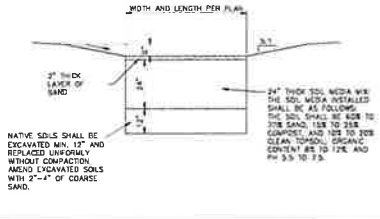
NOTES

1. EXCAVATION, SCARIFICATION, AND RECOMPACTION UNDER STRUCTURAL SECTION SHALL CONFORM TO TYPICAL GRADING SECTIONS AND SOILS REPORT REQUIREMENTS.

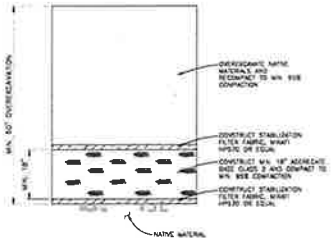
ASPHALT CONCRETE PAVEMENT STRUCTURAL SECTION — NOT TO SCALE — D



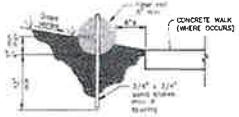
VEGETATED SWALE — NOT TO SCALE — E



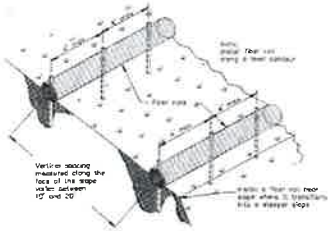
RAIN GARDEN SECTION — NOT TO SCALE — F



PAD STRUCTURAL FILL — NOT TO SCALE — X



ENTRENCHMENT DETAIL
N.T.S.



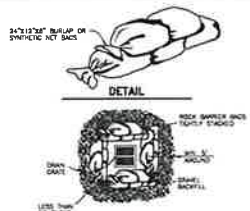
TYPICAL FIBER ROLL INSTALLATION
N.T.S.

FIBER ROLL DETAILS — NOT TO SCALE — G

NOTES

1. ALL CONCRETE TRUCKS AND FINISHING TOOLS SHALL BE WASHED AT THE WASH OFF AREA.
2. ALL CONCRETE WASTE COLLECTED IN WASH OFF AREA SHALL BE RECYCLED OR APPROPRIATELY DISPOSED OF OFF-SITE.
3. LOCATION AND SIZE OF WASH-OFF AREA MAY BE ADJUSTED TO ACCOMMODATE SITE CONDITIONS

CONCRETE WASH-OUT AREA — NOT TO SCALE — H



NOTES:

1. FILL ROCK BARRIER BAGS ⅔ FULL OF ¾" ROCK
2. PLACE BAGS SUCH THAT NO GAPS ARE EVIDENT IN A SINGLE OR DOUBLE LAYER. STAMP ENTIRE LAYER INTO PLACE PRIOR TO STARTING THE NEXT LAYER.
3. ROCK BARRIER BAGS FOR CATCH BASIN SEDIMENT BARRIERS ARE TO BE USED FOR SMALL, NEARLY LEVEL DRAINAGE AREAS (LESS THAN 5%)

ROCK BAG CATCH BASIN SEDIMENT BARRIER — NOT TO SCALE — J

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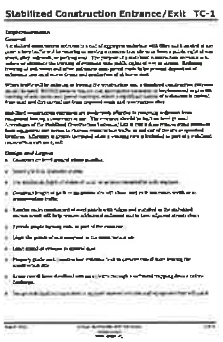
PROPERTY LINE BETWEEN UNITED REDEVELOPMENT

REVISIONS		
NO.	DATE	
1	10/11/2023	SUBMITTAL TO CITY - PLAN CHECK
2	1/12/2024	RESUBMITTAL TO CITY - PLAN CHECK
3	1/29/2024	RESUBMITTAL TO CITY - REVISED BY
4	4/24/2024	SUBMITTAL TO OWNER
5	6/11/2024	RESUBMITTAL TO OWNER

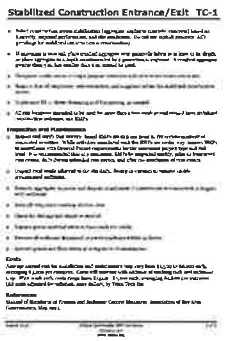
PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE, CARPINTERIA, CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OHAI RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: DETAILS

DATE: 12/8/23
1100
SHEET #:
SHEET NO.: C-2.1

Stabilized Construction Entrance/Exit TC-1

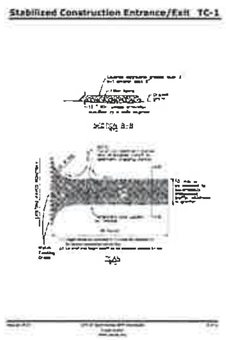


Stabilized Construction Entrance/Exit TC-1

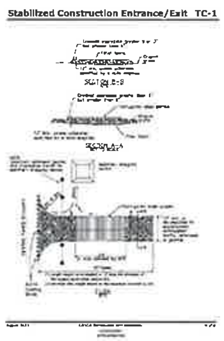


Stabilized Construction Entrance/Exit TC-1

Stabilized Construction Entrance/Exit TC-1

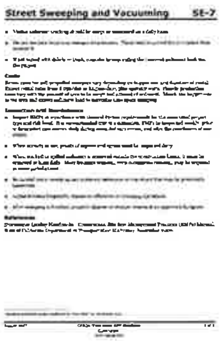


Stabilized Construction Entrance/Exit TC-1



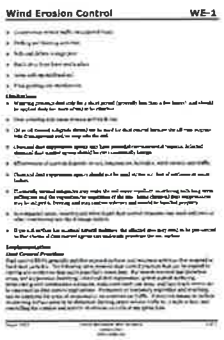
Stabilized Construction Entrance/Exit TC-1

Street Sweeping and Vacuuming SE-7

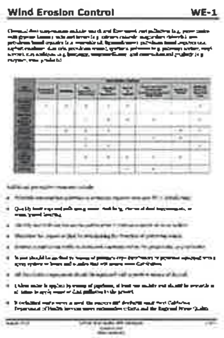


Street Sweeping and Vacuuming SE-7

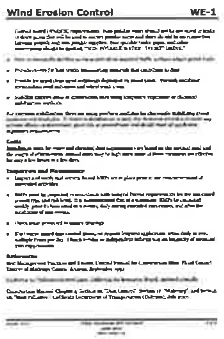
Wind Erosion Control WE-1



Wind Erosion Control WE-1



Wind Erosion Control WE-1



Wind Erosion Control WE-1

Wind Erosion Control WE-1

NO. 80884

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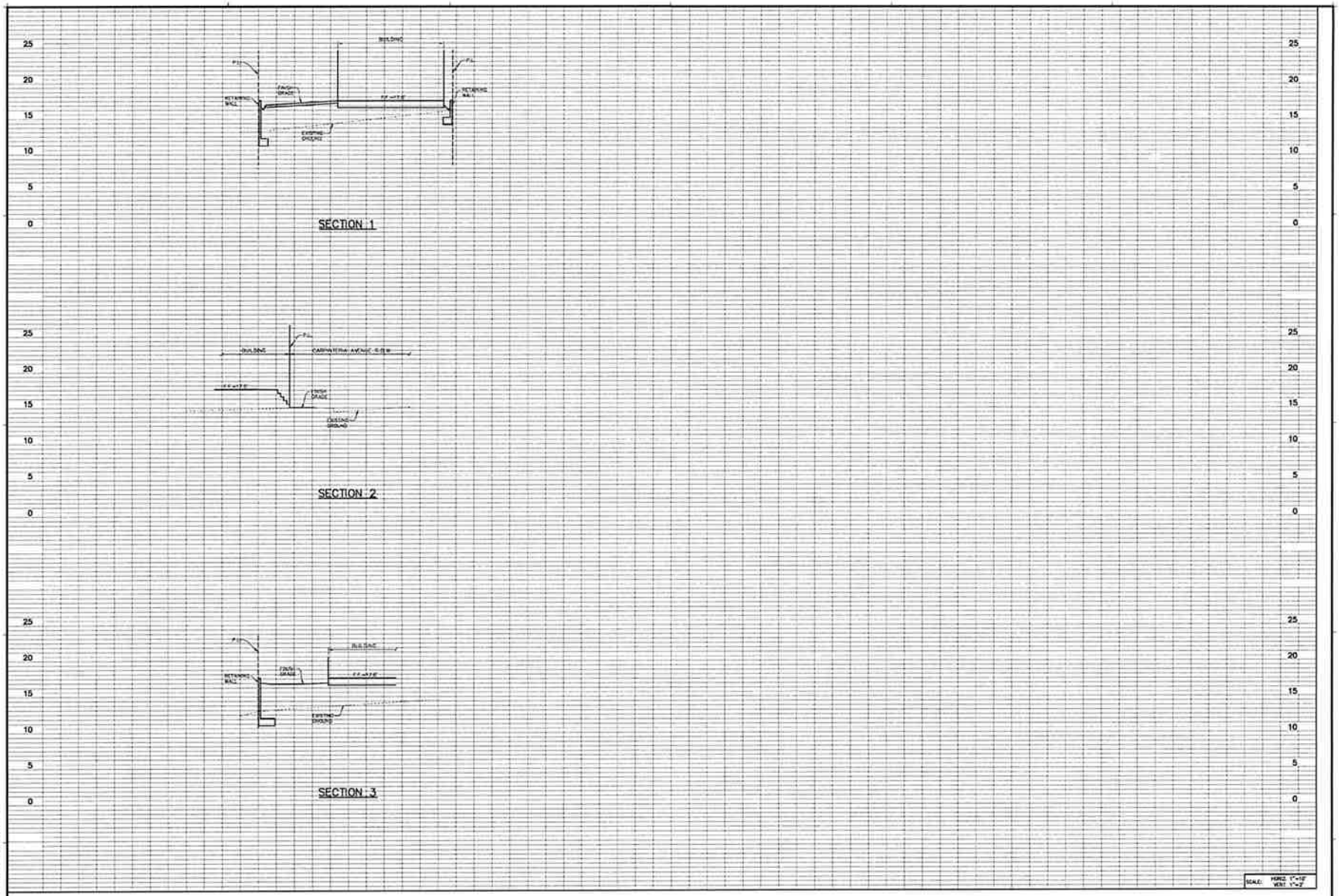
REVISIONS

REV	DATE	DESCRIPTION
1	11/17/2023	SUBMITTAL TO CITY - PLAN CHECK
2	1/5/2024	RESUBMITTAL TO CITY - PLAN CHECK
3	1/15/2024	RESUBMITTAL TO CITY - BESTECH REV
4	3/26/2024	SUBMITTAL TO CARD
5	8/11/2024	RESUBMITTAL TO CARD

PROJECT NAME: **CRUZ BUILDING**
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4875 CARPINTERIA AVE. CARPINTERIA CALIFORNIA 93013
OWNER NAME: **BERNARDO CRUZ**
ADDRESS: 5347 OCAN RD. CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: **DETAILS**

DATE: 12/8/23
1100
SHEET: OF:
SHEET NO. **C-2.2**



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Phone: (805) 845-9533

Santa Barbara, CA 93101
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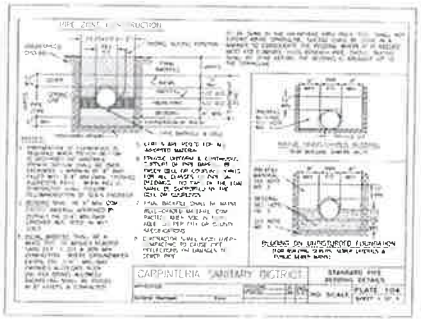
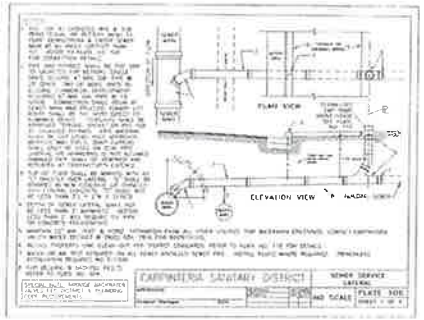
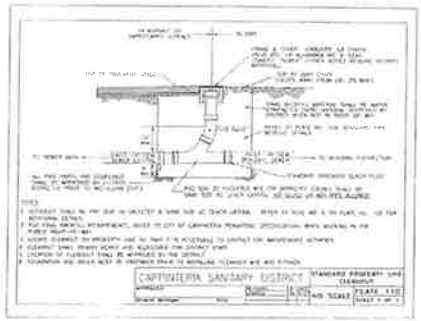
REV	DATE	DESCRIPTION
1	10/11/2021	MATERIAL TO CITY – PLAN CHECK
2	1/24/2024	MATERIAL TO CITY – PLAN CHECK
3	1/24/2024	MATERIAL TO CITY – GEOTECH REV.
4	6/10/2024	MATERIAL TO CITY
5	8/21/2024	MATERIAL TO CITY

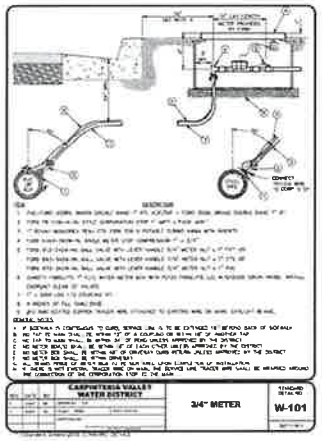
PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 1115 CARPINTERIA AVE, CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 3447 CORA RD, CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: SECTIONS

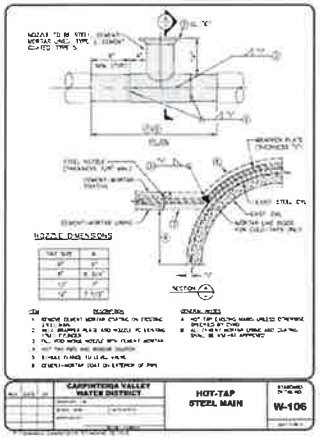
DATE: 12/8/23
SCALE: 1:100
SHEET OF:
SHEET NO.: C-2.3

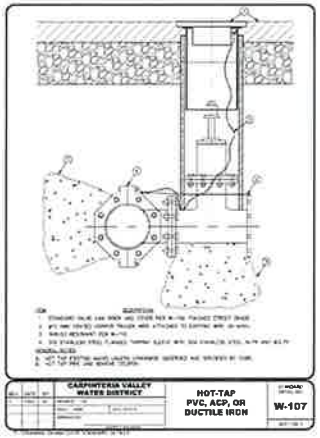


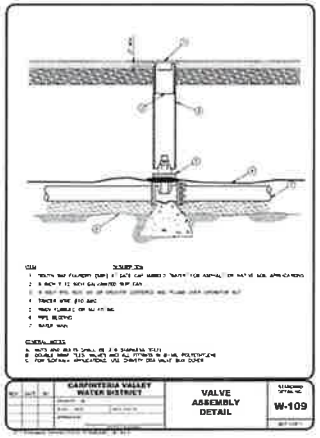


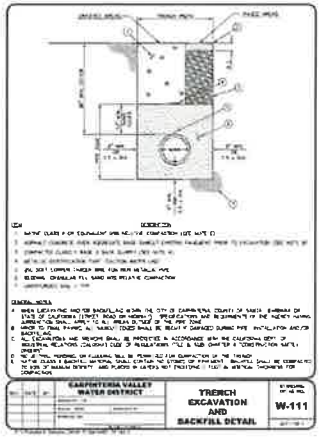


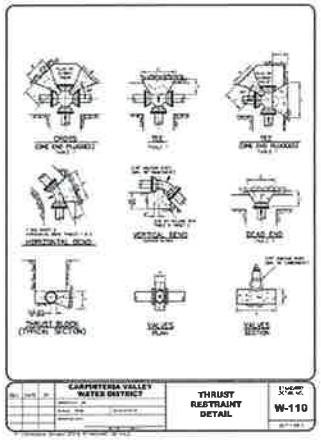


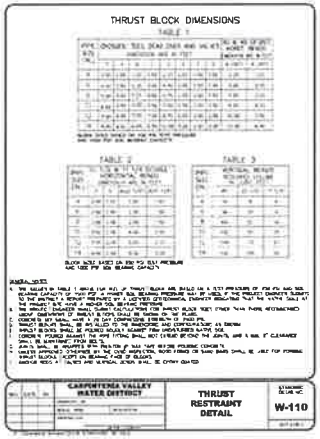


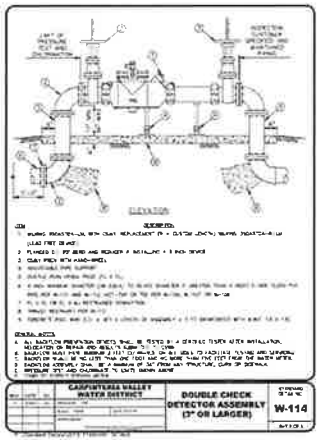


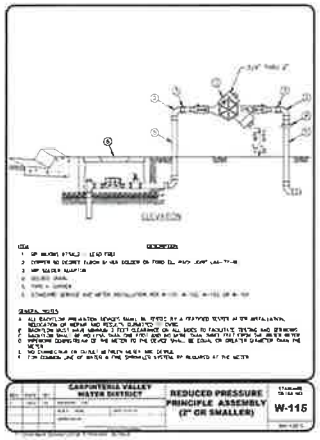


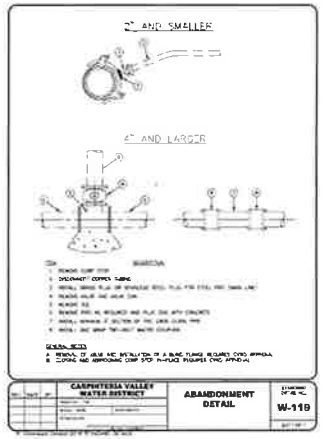












Stantec

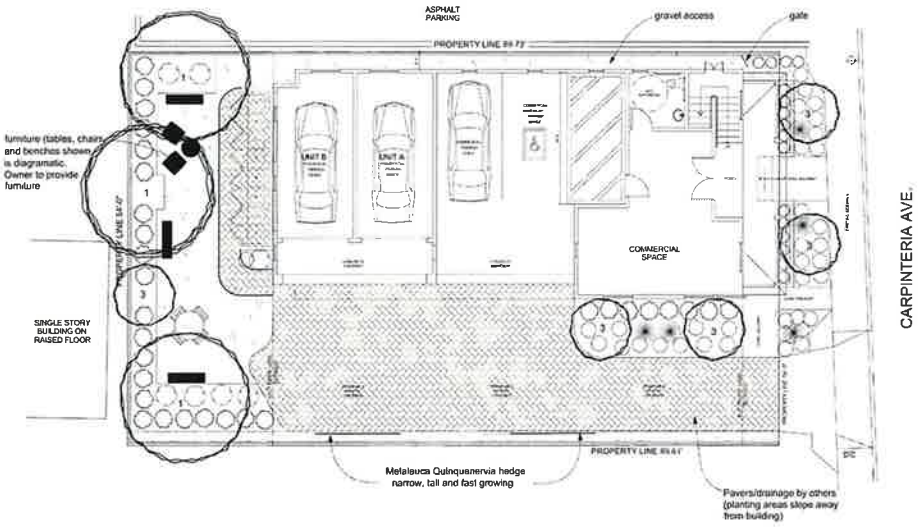
UDICA
DESIGN + PERMITS

REVISIONS

NO.	DATE	DESCRIPTION
1	10/11/2023	SUBMITTAL TO CITY – PLAN CHECK
2	11/3/2023	REVISIONS TO CITY – PLAN CHECK
3	11/9/2023	REVISIONS TO CITY – REVIEW SET
4	12/8/2023	ISSUED FOR PERMIT
5	5/17/2024	REVISIONS TO CITY

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4905 CARPINTERIA AVE, CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 OCEAN RD, CARPINTERIA, CALIFORNIA, 93013
SHEET TITLE: DETAILS

DATE: 12/8/23
SCALE: 1100
SHEET OF:
SHEET NO. C-24



Plant Legend

double stake all trees

plan symbol	quantity/size	botanical name
1	3 - 36" box	Trisania Conferta (brisbane box)
3	5 - 24" box	arbutus unedo 'compacta' (strawberry tree)
	6 - 5 gal	rapholeps 'clara'
	5 - 5 gal	phormium 'dark delight'
	36 - 5 gal	rhaphiolepis umbellata minor
	16 - 5 gal	punica granatum 'nana'
		Melaleuca Quinquenervia hedge narrow, tall and fast growing
	38 - 1 gal	agapanthus orientalis (nile lily)

Legend of Other Materials

3" deep palm springs 3/8" angular gravel on stapled fabric

24" deep root C.B. by NDS

Planting Plan

Scale: 1" = 8' 0"

Salinas Landscape

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL--COMMERCIAL BUILDING
ARCHITECTURAL DESIGN CARPINTERIA, CALIFORNIA 93013
ADDRESS: BERNARDO CRUZ
OWNER NAME: 5417 DOAN RD. CARPINTERIA, CALIFORNIA 93013
SHEET TITLE: PLANTING PLAN

DATE: 9/24/24
PDR-JOB-# 1100
SHEET OF
SHEET NO. L-1

Planting Notes

1. The site must be cleared of all construction debris as a prerequisite for landscape installation. Construction refuse, such as spilled concrete, paint, wood scraps, all trash, solvent spills, all litter, etc., shall be removed from site, and taken to the remote existing lawn to accommodate this new design. Retain existing lawn for ever possible. Call dig alert prior to any digging on site. Wait until all utilities are located prior to digging. Damage to underground structures by the contractor shall be the responsibility of the contractor not the landscape architect. Coordinate with General.

2. Grading and drainage is not a part of this scope of work. Landscape contractor must understand drainage designed and installed by others and grading and install landscape in accordance with grading and drainage plan.

3. Soil Improvement: for landscape areas, import 4 cubic yards of high quality compost and 20 lbs. of 15-15-15 fertilizer per each 1000 square feet of planting space. Spread and rototill amendments into soil.

4. Install sleeves prior to the installation of all pavings. Landscape installation must occur after the installation of hardscape elements. Note and install root control barriers as shown. Utilize root control open trench for irrigation pipes and low voltage wire.

5. All plants are identified by typical symbols. It shall be the responsibility of the contractor to confirm all plant quantities prior to bidding. Contractor to calculate some quantities. the Landscape Architect has included additional quantities within the plan legend, for the Architect to spot at time of planting.

6. Contractor shall obtain correct plant cultivars, and all new plants should be of good quality and form. The Owner and contractor need to install the plantings per the plan, or they will be responsible for the consequences for not doing so, not the Landscape Architect. The Land-cape Architect may be required to write a sign a letter of completion to the Owner at the completion of the project, so by installing other than what is described on this plan will make this task impossible. If changes are necessary bring the item to the attention of the Landscape Architect and the Owner so a solution can be made that is compatible with the approved plans.

7. Contractor to provide and install a 3" deep layer of walk on wood mulch over all shrub and ground cover areas designated for wood mulch. Other planting areas shall receive 3" gravel mulch.

8. Double stake new trees and use 2 commercial tree ties per each new tree.

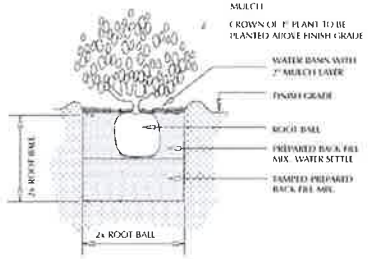
9. All landscape maintenance is the responsibility of the Owner. This includes root pruning, keeping plants away from powerlines, addressing any situation caused by the landscape prior to it becoming a hazzard to the public or inhabitants. This maintenance must be performed indefinately.

10. Notify the Landscape Architect should anything on this plan be un-installable due to conditions not known at the time of drawing. Failure to do so will result the the transference of liability from the Landscape Architect to the person making such changes.

11. The Landscape Contractor must provide initial maintenance for 60 days. Terms of maintenance and guarantees, etc., shall be 60 days for ground covers and shrubs and trees for 1 year.

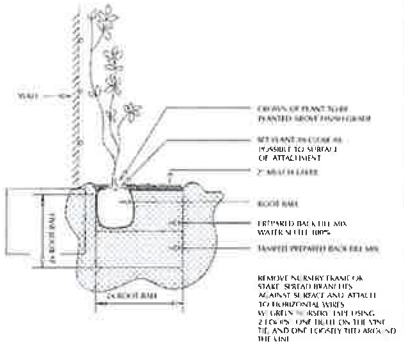
NOTES:

1. DEPRESSED BASIN W/ MULCH
2. CROWN OF 1" PLANT TO BE PLANTED ABOVE FINISH GRADE



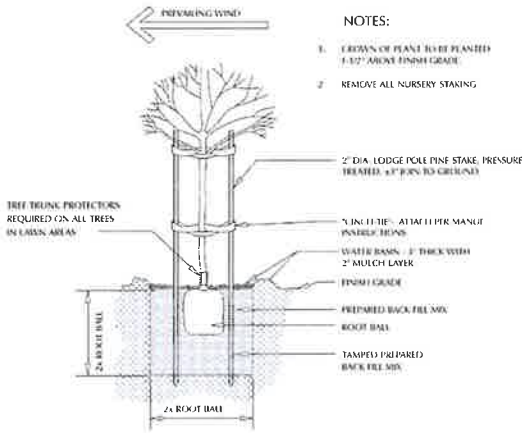
J SHRUB PLANTING DETAIL

NOT TO SCALE



K VINE PLANTING & TYING DETAIL

NOT TO SCALE



NOTES:

1. CROWN OF PLANT TO BE PLANTED 1-1/2" ABOVE FINISH GRADE.
2. REMOVE ALL NURSERY STAKING

I TREE PLANTING DETAIL

NOT TO SCALE

Water Compliance Statement

Landscape Design for Water Conservation
Compliance Statement

Mandatory Measures	Sheet#
No turf in parkways, medians or other areas with any dimension of < 8 feet	L-1
No turf on >20% slope	L-1
For residential, mixed-use and institutional projects 80% or > of landscape area water wise plants. For commercial, 100% of landscape area water wise plants	L-1
For residential, <20% of area in turf of high water using plants	L-1
Three inches of mulch specified as required	L-2
Areas of sprinkler coverage avoids overspray and runoff, including optimum distribution uniformly, head-to-head spacing and setbacks from walkways and pavement	*
Sprinklers have matched precipitation rates within each valve and circuit	*
Valves separated for individual hydrozones based on plant water needs and sun/shade requirements	*
Weather based irrigation controller with a rain shutoff sensor for the entire irrigation system if including an automatic irrigation system	*
Areas less than 8' wide irrigated only with bubblers, rotating nozzles on pop-up bodies, sub surface, or drip irrigation	*
Drip/low volume irrigation system on >25% of landscaped area	*
Check valves at low end of irrigation lines to prevent unwanted draining of irrigation lines	*
Pressure regulators, unless the Public Works Director determination one is not necessary	*
Grading encourages water retention and infiltration by preserving open space and creating depressed areas/swales	**
Grading mimics natural pre-development hydrologic flow paths and maintains and/or increases the width of flow paths in order to decrease flow rates	**

Signature

Name Leonel Cruz

License # 1007970

Exp. Date

** grading and drainage by others

Salinas Landscape
Design-Build-Maintenance Contractor
805.565.3471

REVISIONS

NO	DATE	REVISION

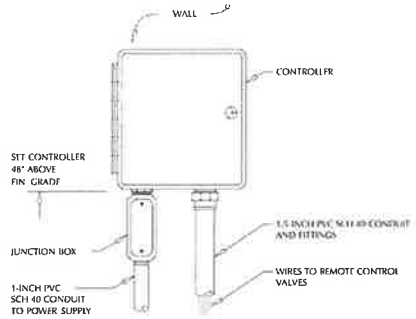
PROJECT NAME CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS 4075 CARPINTERIA AVE. CARPINTERIA CALIFORNIA 93013
OWNER NAME BERNARDO CRUZ
ADDRESS 5347 OCEAN RD. CARPINTERIA, CALIFORNIA 93013
SHEET TITLE DETAILS

DATE 9/24/24

PDR-08-8 1100

SHEET

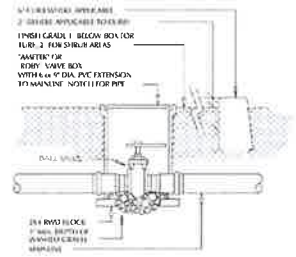
SHEET NO. L-3



A CONTROLLER

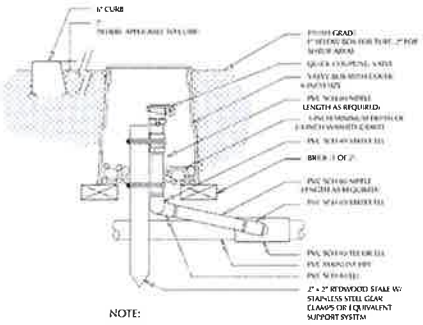
NOT TO SCALE

omit wires for self clinging vines such as boston ivy



D BALL VALVE

NOT TO SCALE

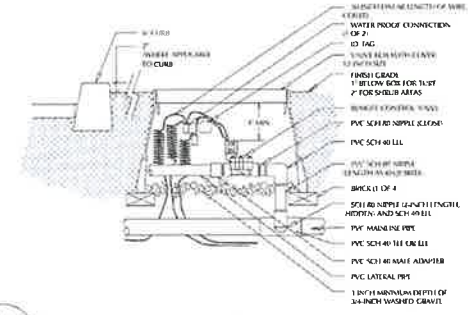


NOTE:

FURNISH FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE

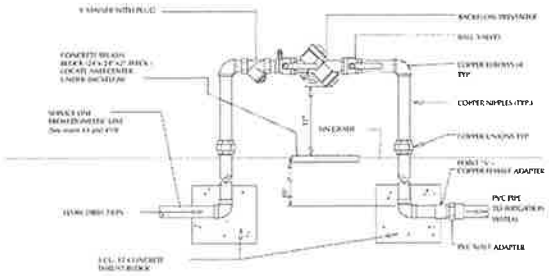
E QUICK COUPLER VALVE

NOT TO SCALE



H REMOTE CONTROL VALVE

NOT TO SCALE



BACKFLOW PREVENTER NOTES :

1. THE MECHANICAL BACKFLOW PREVENTION DEVICE WILL BE INSTALLED SUBJECT TO THE APPROVAL OF THE CITY OF SANTA BARBARA. ANY DEVIATIONS FROM THE METHODS DESCRIBED ABOVE MUST RECEIVE APPROVAL PRIOR TO INSTALLATION.
2. TYPE OF BACKFLOW PREVENTION DEVICE, i.e., REDUCED PRESSURE PRINCIPLE OR DOUBLE CHECK VALVE ASSEMBLY, WILL BE DETERMINED BY THE WATER DIVISION.
3. PIPE FROM DOMESTIC AND TO BACKFLOW PREVENTION DEVICE AND PIPE [illegible] MUST BE TYPE "K" ROLLED OR BRAZED COPPER PIPE. [illegible] EXPOSED COPPER WILL BE PAINTED [illegible]
4. SERVICE AFTER METER DRIPPILL CAN BE NEXT PIPE NOT LARGER. NOTE 10 [illegible]
5. SERVICES FROM 3/4" TO 2" WILL BE INSTALLED IN ACCORDANCE WITH DETAIL DRAWINGS [illegible]
6. NO COPPER LINES SHALL BE SOLDERED FITTINGS.
7. NO SOLDERED SPLICES ARE ALLOWED TO HAVE REDUCED PRESSURE PRINCIPLE [illegible]
8. BACKFLOW PREVENTERS SHALL BE TESTED BY CERTIFIED TESTER IMMEDIATELY AFTER THEY ARE INSTALLED.
9. NO CONNECTIONS PERMITTED BETWEEN DOMESTIC USE AND BACKFLOW DEVICE.

B REDUCED PRESSURE BACKFLOW PREVENTOR

NOT TO SCALE

Landscape Details

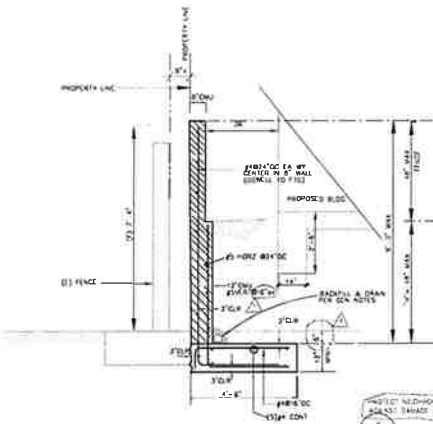
Sallnas Landscape
Professional Landscape Contractor
Licensed Contractor
805.565.3471

REVISIONS

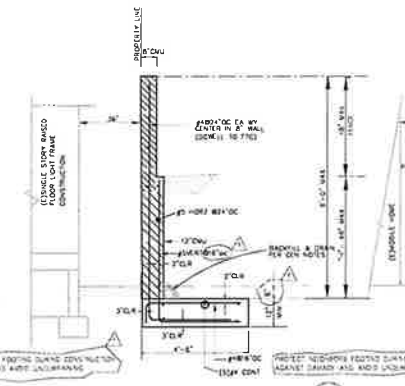
NO.	DATE	REVISION

PROJECT NAME: CRUZ BUILDING
A MIXED RESIDENTIAL-COMMERCIAL BUILDING
ADDRESS: 4675 CARPINTERIA AVE CARPINTERIA CALIFORNIA 93013
OWNER NAME: BERNARDO CRUZ
ADDRESS: 5347 CEDAR RD CARPINTERIA, California, 93013
SHEET TITLE: LANDSCAPE DETAIL

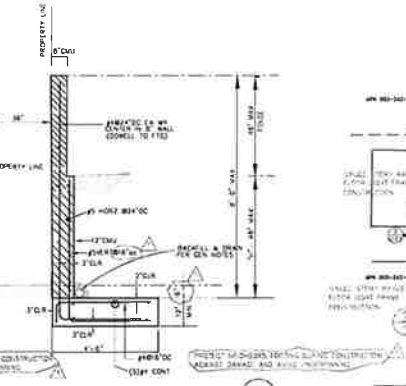
DATE: 9/24/24
PCR-JOB-# 1100
SHEET OF
SHEET NO. L-4



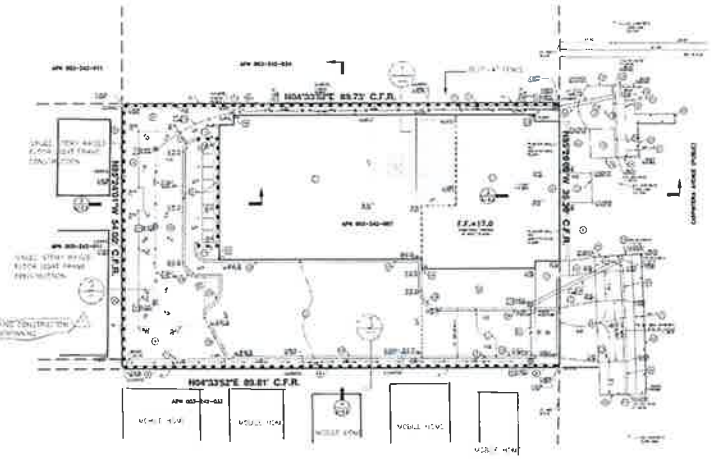
WEST PROPERTY LINE WALL 7



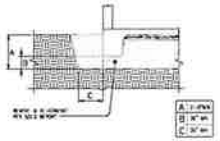
SOUTH PROPERTY LINE WALL 7



EAST PROPERTY LINE WALL 3

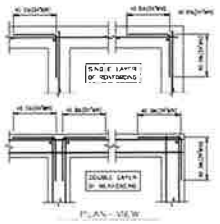


PARTIAL KEY CIVIL ENGINEER GRADING PLAN (REDUCED COPY) N'S

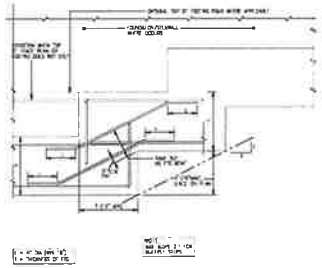


(SOILS REPORT GOVERNS)

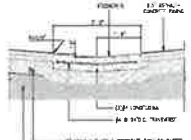
SITE PREPARATION & RE-COMPACTION U.N.O. ON SOILS REPORT T2



REINFORCING AT CORNERS & INTERSECTIONS OF CONCRETE WALLS & FOOTINGS OR MASONRY WALLS T3



STEP FOOTING (NOT USED) T4



CONCRETE VALLEY GUTTER @ EXTERIOR AC-PAVING T17

Comm PCS review 09-03-24

No further comments. Recommend for approval. Also, the "dates" may be removed when submitting signed final plans to the City.

JOHN D. DELTMAN STRUCTURAL ENGINEERS

GENERAL NOTES

GENERAL

UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY TO NEW OR ADDED CONSTRUCTION

1. APPARENT DISCREPANCIES ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO STARTING WORK. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS AND CLEARANCES
2. ANY DIFFERENCE BETWEEN THE EXISTING CONDITION AND THE ASSUMPTIONS ON THE DRAWINGS (SUCH AS V.I.F.) SHALL BE REPORTED TO THE STRUCTURAL ENGINEER IMMEDIATELY.
3. ALL WORK DONE UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH THE 2022 CALIFORNIA BUILDING CODE, AND ANY APPLICABLE LOCAL ORDINANCES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE (NOT PROVIDED BY DELTMAN)
6. SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN AND FOR THE FOLLOWING ITEMS
   C. LOCATION OF ALL CONCRETE CURBS, FLOOR DRAINS, SLOPES, AND DEPRESSED AREAS
7. WHERE EPOXY IS CALLED OUT IT SHALL BE SIMPSON SET ADHESIVE ICC -ES ESR-2508(CONCRETE) AND/OR LES ER-265(MASONRY) INSTALLED PER MANUFACTURER RECOMMENDATIONS
8. (E) DESIGNATES "EXISTING" AND (N) DESIGNATES "NEW"
9. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR
12. ALL SCAFFOLDING AND SHORING SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE INDUSTRIAL SAFETY COMMISSION OF THE STATE OF CALIFORNIA (NOT PROVIDED BY DELTMAN)
13. ALL PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE AS AMENDED BY APPLICABLE ORDINANCES (NOT PROVIDED BY DELTMAN)
14. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE AS AMENDED BY APPLICABLE ORDINANCES (NOT PROVIDED BY DELTMAN)
15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT.
19. THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE CONTRACTOR PERFORMING THE UNDERPINNING WORK FOR THE ADJOINING BUILDING ON THE ADJACENT PROPERTY. THE GENERAL CONTRACTOR SHALL PROVIDE ACCESS TO PERMIT UNDERPINNING OF THE ADJACENT BUILDINGS

FOUNDATIONS

1. THE BEARING SOIL IS ASSUMED TO BE AN ENGINEERED FILL. ANY OTHER SOIL TYPES OR CONDITIONS SHALL BE REPORTED TO THE SOILS ENGINEER
2. DESIGN PRESSURE 1500 PSF DL & LL.
3. ALL NEW FOOTINGS SHALL EXTEND A MINIMUM OF 18" INTO FINISH GRADE
4. THE BOTTOM OF ALL FOOTINGS SHALL REAR ON A MINIMUM DEPTH OF 24" OF COMPACTED STRUCTURAL FILL, WHICH IN TURN WILL BE SUPPORTED BY UNDISTURBED SOIL
5. THE BOTTOM ELEVATION OF ALL FOOTINGS SHALL BE SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER
6. PRIOR TO PLACING CONCRETE FOOTINGS, ALL LOOSE EARTH, WATER AND DEBRIS SHALL BE REMOVED FROM FOUNDATION BED.
7. EARTH AND FOUNDATION WORK SHALL BE DONE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE FOUNDATION ENGINEER. A COPY OF THE FOUNDATION INVESTIGATION IS AVAILABLE AT THE SOILS ENGINEERS OFFICE. THE NAME OF THE FOUNDATION ENGINEER IS: STRAIN & ASSOC AND THE REPORT NUMBER IS W0 8378 DATED 11-13-02.
8. THE CONTRACTOR SHALL PROVIDE FOR DE-WATERING OF ALL EXCAVATIONS FROM EITHER SURFACE WATER OR SEEPAGE.
9. THE CONTRACTOR SHALL PROTECT ALL BANKS ON THE SITE FROM CAVING.
10. TESTS AND INSPECTIONS OF FILL, BACKFILL AND EXCAVATIONS SHALL BE PERFORMED AS REQUIRED BY THE SOILS ENGINEER UPON COMPLETION OF ALL EARTHWORK. THE SOILS ENGINEER SHALL CERTIFY IN WRITING TO THE CONTRACTOR THAT ALL EARTHWORK CONFORMS TO THE RECOMMENDATIONS OF THE SOILS REPORT
11. ALL SITE PREPARATIONS FOR THE FOUNDATION AND SLABS SHALL COMPLY WITH THE RECOMMENDATIONS OF THE SOILS REPORT. AN APPROVED TESTING LABORATORY SHALL CERTIFY IN WRITING TO THE CONTRACTOR THAT ALL EARTHWORK CONFORMS TO THE RECOMMENDATIONS OF THE SOILS REPORT
12. SUBSURFACE DRAINS CONSISTING OF STANDARD DRAIN TILE, CONCRETE DRAIN TILE, PERFORATED CORRUGATED METAL PIPE, OR EQUIVALENT PLASTIC PIPE SHALL BE INSTALLED AS SHOWN ON THE PLANS AND IN ACCORDANCE WITH THESE SPECIFICATIONS, UNLESS OTHERWISE SPECIFIED BY THE ENGINEER. UNDERDRAINS SHALL BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING OR EQUIVALENT REQUIREMENTS
   A. CONCRETE DRAIN TILE SHALL CONFORM TO AASHTO M175 OR ASTM
   B. PERFORATED CORRUGATED METAL PIPE (CMP) SHALL CONFORM TO THE AASHTO M36 C118
   C. PERFORATED CLAY PIPE SHALL CONFORM TO AASHTO M65
   D. PERFORATED POLYVINYL CHLORIDE PLASTIC PIPE (PVC) SHALL CONFORM TO ASTM D1785 OR D3034 FOR SCHEDULE 40 OR SDR 35 PIPE, RESPECTIVELY
   E. PERFORATED ACRYLONITRILE BUTADIENE STYRENE PIPE (ABS) CONFORMING TO ASTM D2751 OR D1527 FOR 35 OR SCHEDULE 40 PIPE, RESPECTIVELY
13. FILTER MATERIAL FOR USE IN BACKFILLING TRENCHES AROUND AND OVER UNDERDRAINS SHALL CONSIST OF CLEAN COARSE SAND AND GRAVEL OR CRUSHED STONE CONFORMING TO SECTION 68B1, CLASS 2 PERMEABLE MATERIAL ACCORDING TO CALTRANS STANDARD SPECIFICATIONS
14. TRENCHES FOR UNDERDRAINS SHALL BE EXCAVATED TO A MINIMUM WIDTH EQUAL TO THE OUTSIDE DIAMETER OF PIPE PLUS 1 FOOT AND A DEPTH OF 3" INCHES BELOW THE TOP OF THE WALL FOOTING OR AS DIRECTED BY THE ENGINEER. THE BOTTOM OF THE TRENCH SHALL BE COVERED FULL WIDTH BY A LAYER OF PLASTIC FILM OR BUILDING PAPER, AND THE DRAIN PIPE SHALL BE LAID UNLESS OTHERWISE SPECIFIED. PERFORATED PIPE SHALL BE LAID WITH THE PERFORATIONS AT THE BOTTOM AND SECTIONS SHALL BE JOINED WITH COUPLERS. DRAIN TILE SHALL BE LAID WITH A CLEAR OPENING OF 1/2" BETWEEN SECTIONS. THE PIPE SHALL BE LAID ON A MINIMUM SLOPE OF 0.2% AFTER THE PIPE HAS BEEN PLACED, THE TRENCH SHALL BE BACKFILLED WITH A FILTER MATERIAL TO THE ELEVATION SHOWN ON THE PLANS, OR AS DIRECTED BY THE ENGINEER. THE REMAINDER OF THE TRENCH SHALL THEN BE BACKFILLED WITH AN IMPERVIOUS SOIL THAT SHALL BE COMPACTED TO THE REQUIREMENTS FOR ENGINEERED FILLS
15. RETAINING WALL BACKFILL SHALL INCLUDE A 12 INCH THICK CONTINUOUS COLUMN OF 3/8 TO 1 INCH GRAVEL PLACED FROM THE TOP OF THE WALL TO 3 INCHES BELOW THE BOTTOM OF A 4-INCH PERFORATED PVC DRAIN PIPE. THE PERFORATIONS OF THE PIPE SHALL BE PLACED DOWN AT THE POSITION OF 5 AND 7 O'CLOCK. A FILTER FABRIC SHALL SEPARATE THE GRAVEL FROM THE OTHER BACKFILL SOILS

   RETAINING WALL BACKFILL SHALL BE A CLEAN COARSE SAND OR GRAVEL AND THE RETAINING WALL SHALL BE SERVICED BY AN APPROPRIATELY PLACED PERFORATED DRAIN. LOWER QUALITY NATIVE BACKFILL MATERIAL MAY BE UTILIZED OUTSIDE THE TRIANGULAR WEDGE WHICH EXTENDS UPWARDS FROM THE INSIDE EDGE OF THE HEEL OF THE RETAINING WALL FOOTING AND IS A MINIMUM WIDTH OF 60% OF THE WALL HEIGHT AT GROUND SURFACE

   THE USE OF EQUIPMENT TO COMPACT SOIL WITHIN THE WEDGE OF BACKFILL DEFINED BY A 1:1 LINE PROJECTED UP FROM BEHIND THE RETAINING WALL TO THE SURFACE, SHALL BE LIMITED TO HAND-HELD RAMMER PLATE COMPACTORS SUCH AS A WACKER BS 45Y A STRONG LINE SHALL BE PLACED ALONG THE TOP OF THE WALL TO MONITOR POSSIBLE ROTATION OF THE WALL DUE TO THE COMPACTION SURCHARGE. IF THE WALL BEGINS TO BOW OR LEAN AWAY FROM THE BACKFILLING OPERATIONS, THE COMPACTION PROCESS SHALL STOP AND THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SUCH THAT MODIFIED COMPACTION RECOMMENDATIONS CAN BE GIVEN AT THAT TIME

CONCRETE

1. ALL CONCRETE FOR THE RETAINING WALL FOOTINGS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. SLUMP SHALL NOT EXCEED 3 1/2"
2. REINFORCING BARS SHALL BE OF INTERMEDIATE GRADE CONFORMING TO ASTM A615-87A, GRADE 40 OR GRADE 60
3. CEMENT SHALL BE TYPE II, LOW ALKALI CONFORMING TO ASTM C-150
4. ALL AGGREGATE USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE
5. COARSE AGGREGATE FOR ALL EXPOSED CONCRETE INCLUDING SLABS ON GRADE SHALL BE "HEAVIER WEIGHT" PROCESSED
6. REINFORCING SHALL BE LAP SPLICED A MINIMUM OF 40 DIAMETERS UNLESS NOTED OTHERWISE.
7. LOCATION OF SLEEVES FOR PIPES, FOR WHICH NO SPECIFIC DETAILS ARE SHOWN ARE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER
8. INTERIOR AND EXTERIOR CONCRETE SLABS ON GRADE SHALL BE 5" THICK REINFORCED WITH #4 @ 18" O.C. EACH WAY PLACED IN THE CENTER OF THE SLAB. THIS REINFORCING SHALL BE SUPPORTED BY CONCRETE BLOCKS SPACED AT INTERVALS NOT EXCEEDING 4'0"
9. MAXIMUM AGGREGATE SIZE SHALL BE 1" USE OF 3/8" PEA GRAVEL MIX DESIGN IS SUBJECT TO RE-APPROVAL BY THE STRUCTURAL ENGINEER
10. ALL SAW CUTS IN CONCRETE FLOORS SHALL BE MADE NOT LATER THAN 12 HOURS AFTER PLACING CONCRETE.
11. BACKFILL BEHIND RETAINING WALL SHALL NOT BE PLACED SOONER THAN FOURTEEN DAYS AFTER CONCRETE IS PLACED
12. ALL CONCRETE EXCEPT SLABS ON GRADE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT
13. DRILLED ANCHORS OR EMBEDDED REBAR SHALL HAVE DEPTH OF EMBEDMENT AND/OR DIAMETERS AS INDICATED ON PLANS. ROD DIAMETERS AS INDICATED ON PLANS. HOLE DIAMETER SHALL BE ONE-EIGHTH INCH GREATER THAN ANCHOR DIAMETER. USE SIMPSON SET ADHESIVE WITH ICC ESR-2508 INSTALLED PER MANUFACTURERS RECOMMENDATIONS
14. EXPANSION JOINT FILLER (EXTERIOR) TO BE ASPHALT AND VEGETABLE FIBER COMPOSITION, 1/2" THICK UNLESS OTHERWISE NOTED AND CONFORMING TO ASTM D994-71
15. CONCRETE CYLINDERS SHALL BE MADE AND TESTED. A MINIMUM OF ONE (1) SET SHALL BE TAKEN OF CONCRETE IN FOUNDATIONS AND ONE (1) SET FOR CONCRETE IN INTERIOR SLABS ON GRADE FOR EACH DAYS POUR. EACH SET SHALL CONSIST OF THREE (3) CYLINDERS. ONE SHALL BE TESTED AT SEVEN (7) DAYS, THE SECOND SHALL BE TESTED AT TWENTY EIGHT (28) DAYS, AND THE LAST CYLINDER SHALL BE A HOLD. ALL CYLINDERS SHALL BE TAKEN, PREPARED AND TESTED BY A TESTING LAB IN ACCORDANCE WITH ASTM STANDARDS C172, C31 AND C39
16. SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING

CONCRETE BLOCK

1. CONCRETE BLOCK SHALL BE MANUFACTURED FROM LIGHT WEIGHT AGGREGATE AND SHALL CONFORM TO GRADE N HOLLOW LOAD BEARING UNITS ASTM C140 & C426
2. MORTAR SHALL CONFORM TO TYPE "S" OF UNIFORM BUILDING CODE. MORTOR MIX SHALL BE: 1 PART PORTLAND CEMENT, 1/3 PART HYDRATED LIME, 3 1/2 PARTS SAND AND SHALL HAVE AN ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS OF 1,800 PSI
3. GROUT TRANSIT MIX GROUT SHALL CONTAIN 7 SACKS OF CEMENT PER CUBIC YARD OF GROUT AND MIXED IN THE FOLLOWING PROPORTIONS: 1 PART CEMENT, 3 PARTS SAND, 2 PARTS PEA GRAVEL, AND HAVE A MAXIMUM SLUMP OF 9 1/2". MINIMUM ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS SHALL BE 2,000 PSI. ALL GROUT SHALL CONTAIN "GROUT AID" IN PROPORTIONS AS RECOMMENDED BY THE MANUFACTURER. SAND AND PEA GRAVEL SHALL BE FROM SAN GABRIEL
4. OPEN END BLOCK SHALL BE USED THROUGHOUT AND SHALL BE LAID WITH OPEN END AGAINST CLOSED END. BLOCK SHALL NOT BE LAID WITH CLOSED END AGAINST CLOSED END. DO NOT USE "NONTARLESS HEAD JOINT" BLOCK
5. MASONRY WORK IS DESIGNED ON THE BASIS OF $f'm = 1500$ PSI
6. CLEANOUTS SHALL BE PROVIDED IF GROUT LIFTS EXCEED 4'0". THE MAXIMUM HEIGHT OF ANY GROUT LIFT SHALL NOT EXCEED 8'0". BLOCK SHALL NOT BE LAID HIGHER THAN GROUT LIFT
7. REINFORCING STEEL SHALL BE ACCURATELY AND SECURELY HELD IN PLACE BEFORE GROUTING
8. REINFORCING STEEL BARS IN MASONRY SHALL BE OF INTERMEDIATE GRADE CONFORMING TO ASTM A615-76A, GRADE 40
9. SPLICES IN REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 40 DIAMETERS
10. HORIZONTAL REINFORCING STEEL SHALL BE PLACED IN BOND BEAM BLOCKS EXCEPT AT LINTELS WHERE LINTEL BLOCKS SHALL BE USED
11. ALL WALLS SHALL BE SOLID GROUTED. GROUT SHALL BE WELL RODDED
13. THE BLOCK PATTERN IS RUNNING BOND
14. BACKFILL BEHIND RETAINING WALL SHALL NOT BE PLACED SOONER THAN FOURTEEN DAYS AFTER LAST GROUT IS PLACED IN WALL UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS

REQUIRED FIELD OBSERVATION VISITS BY THE STRUCTURAL ENGINEER

THE STRUCTURAL ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF THE FOLLOWING TIMES

4. PRIOR TO ALL GROUT POURS
15. JOB SITE VISITS BY THE ENGINEER DO NOT CONSTITUTE AN OFFICAL INSPECTION. DURING FIELD VISIT BY REPRESENTATIVES OF JOHN D. DELTMAN STRUCTURAL ENGINEERS, ANY INFORMATION COMMUNICATED TO THE SPECIAL INSPECTOR OR CONTRACTORS IS UNDERSTOOD TO BE ADVISORY ONLY. IT SHALL NOT BE CONSTRUED TO SUPERCEDE THE RESPONSIBILITIES OF THE SPECIAL INSPECTORS AND CONTRACTORS TO INSURE THAT THE BUILDING IS CONSTRUCTED IN FULL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS

REQUIRED FIELD OBSERVATION VISITS BY THE SOILS ENGINEER

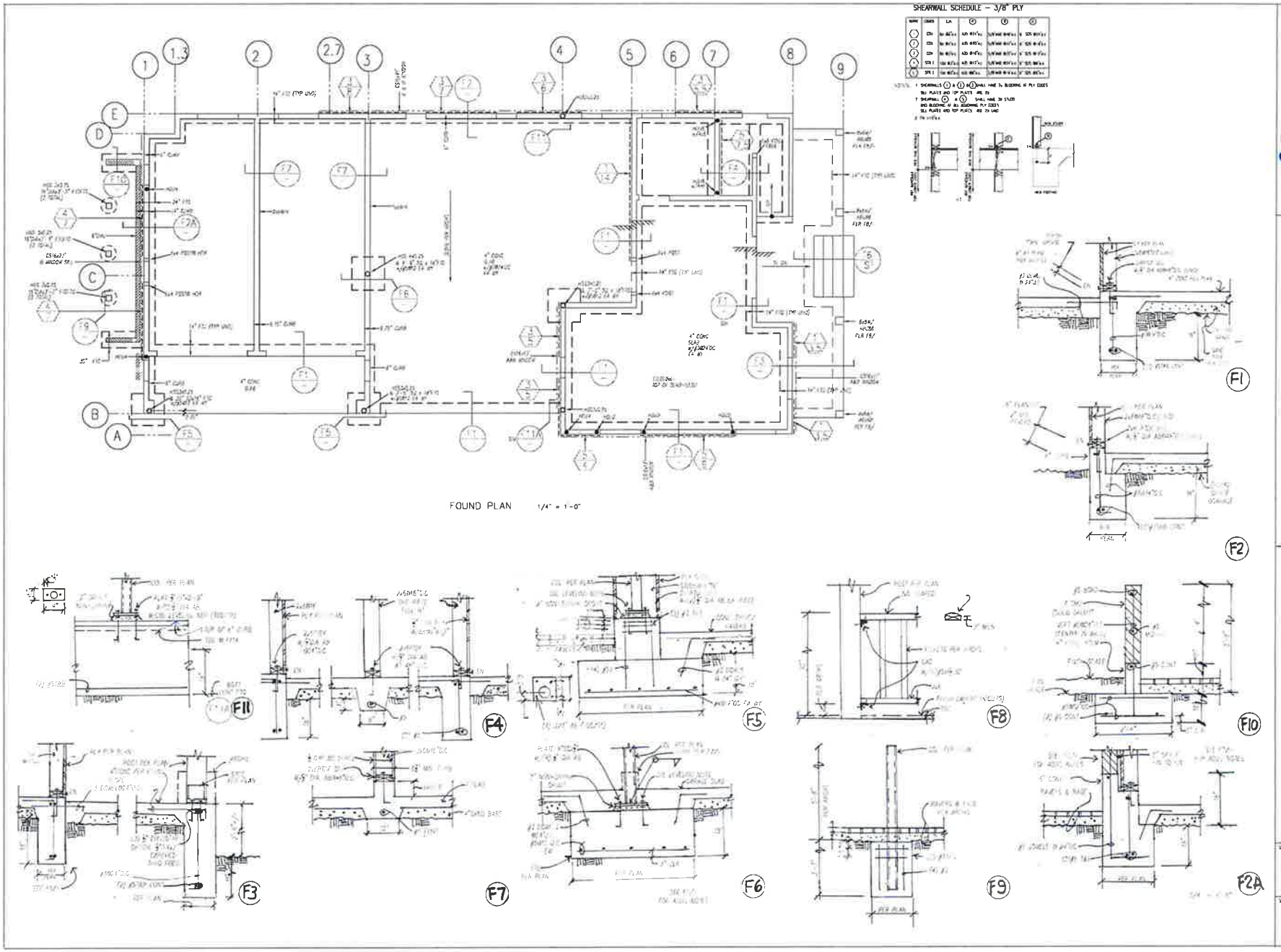
THE SOILS ENGINEER SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF THE FOLLOWING TIMES

1. AFTER PRELIMINARY GRADING HAS BEEN COMPLETED UNDER BUILDINGS AND PRIOR TO THE START OF FILL OPERATION
2. AFTER FOUNDATION EXCAVATION HAVE BEEN MADE AND PRIOR TO PLACING REINFORCING AND FORMWORK

CBSC 2022 SEC

SAN JOSE PLANNING BLDG & SAFETY DIVISION

S1



REGISTERED PROFESSIONAL ENGINEER
JOHN D. OELTMAN
No. 2243
Exp. 12-23
STRUCTURAL
STATE OF CALIFORNIA

JOHN D. OELTMAN
STRUCTURAL ENGINEERS
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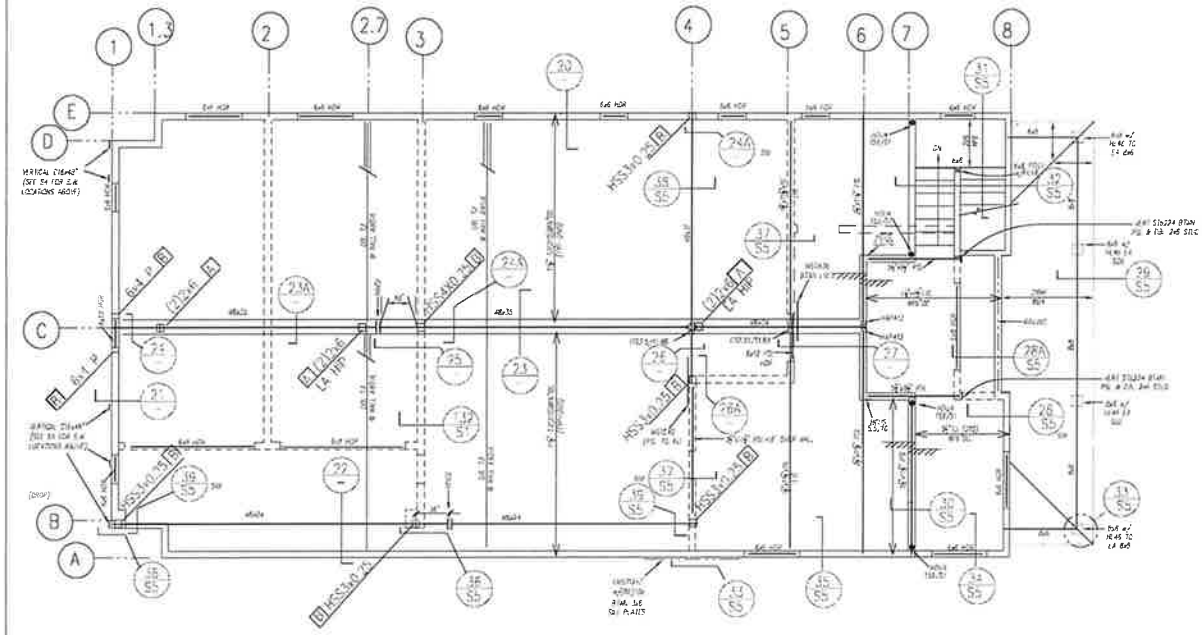
805 688 6877 / FAX 805-682-7815

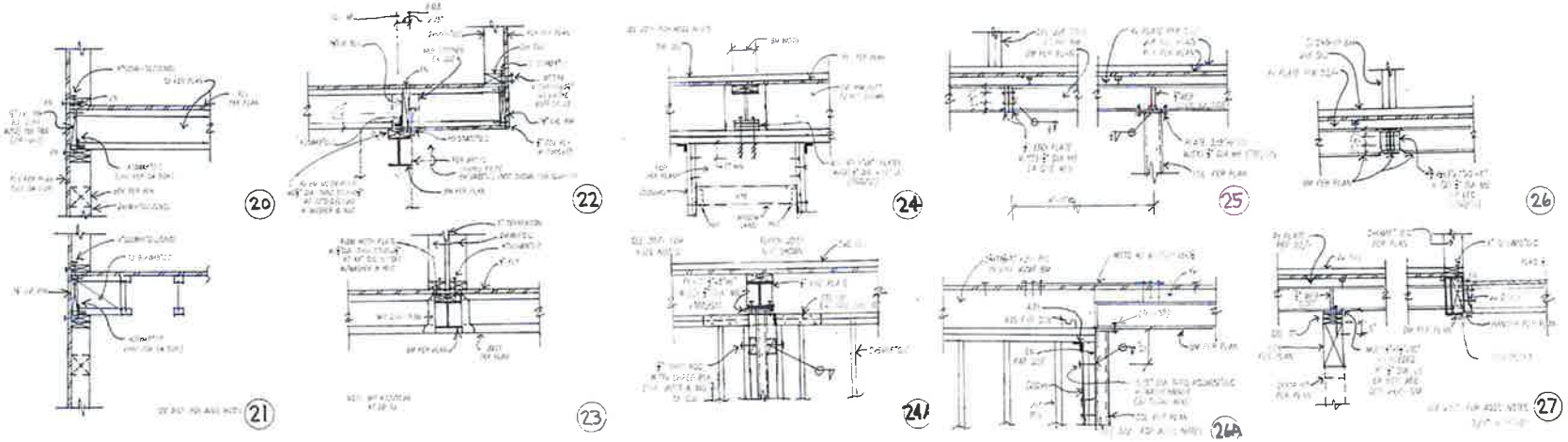
CRUZ BUILDING
A MIXED RESIDENTIAL- COMMERCIAL BUILDING
4675 CARPINTERIA AVE, CARPINTERIA, CA 93013

FOUND PLAN

S-2

6-11-22





REGISTERED PROFESSIONAL ENGINEER
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SANTA YNEZ, CA 93460
(805) 688-6677 FAX (805) 688-7815

REVISION NO.	DATE	REVISION

CRUZ BUILDING

A MIXED RESIDENTIAL- COMMERCIAL BUILDING
4675 CARPINTERIA AVE, CARPINTERIA, CA 93013

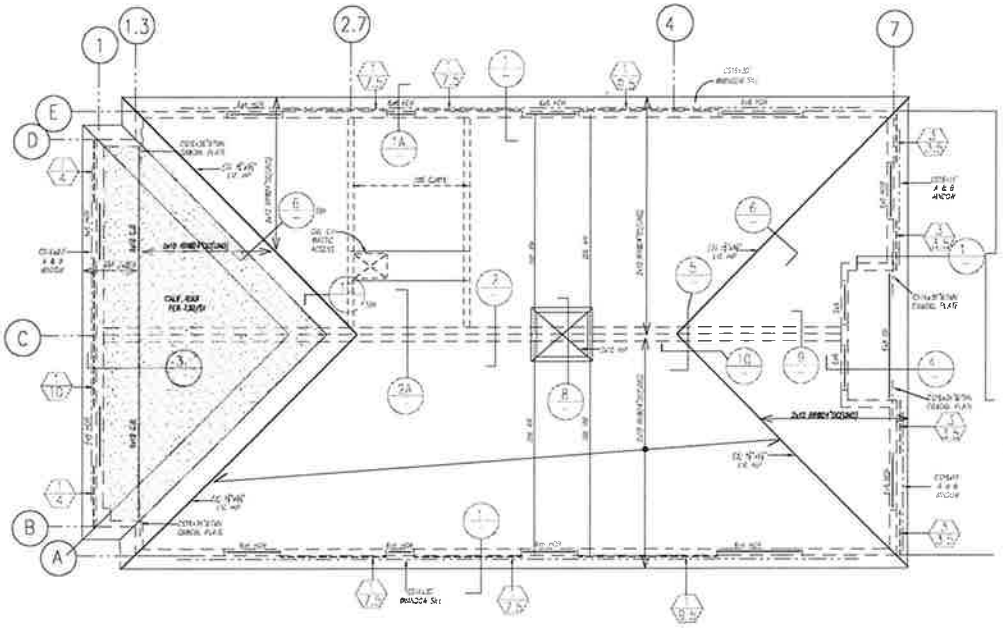
DESCRIPTION

FLOOR FRAMING

SHEET NO.

S-3

6-11-22



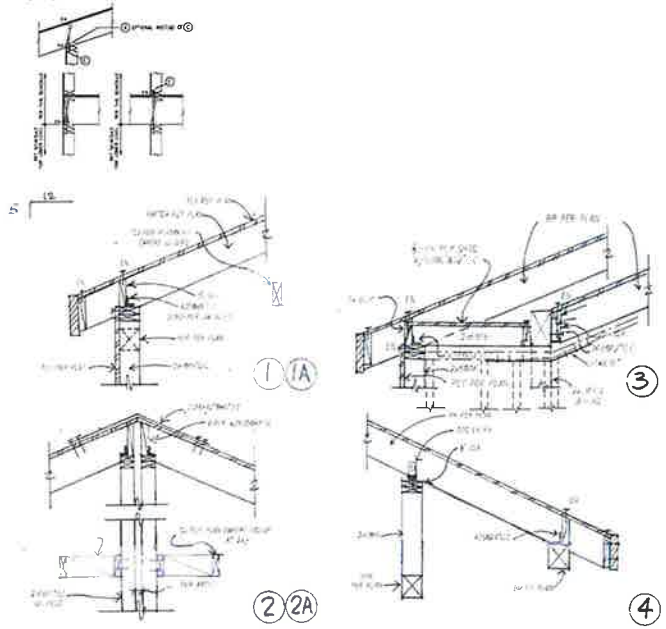
ROOF FRAMING

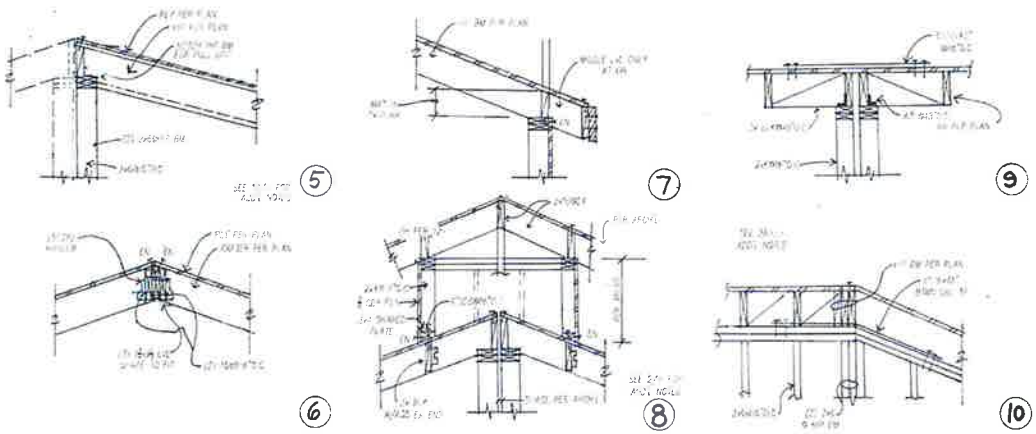
1/4" = 1'-0"

SHEARWALL SCHEDULE - 3/8" PLY

MARK	GRADE	EN			

NOTES: 1 SHEARWALLS [illegible] SHALL HAVE 3x BLOCKING AT PLY EDGES
SILL PLATES AND TOP PLATES ARE 2x
2 SHEARWALL [illegible] SHALL HAVE 3x STUDS
AND BLOCKING AT ALL BLOCKING PLY EDGES
SILL PLATES AND TOP PLATES ARE 2x UNO





REGISTERED PROFESSIONAL ENGINEER
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STRUCTURAL
STATE OF CALIFORNIA

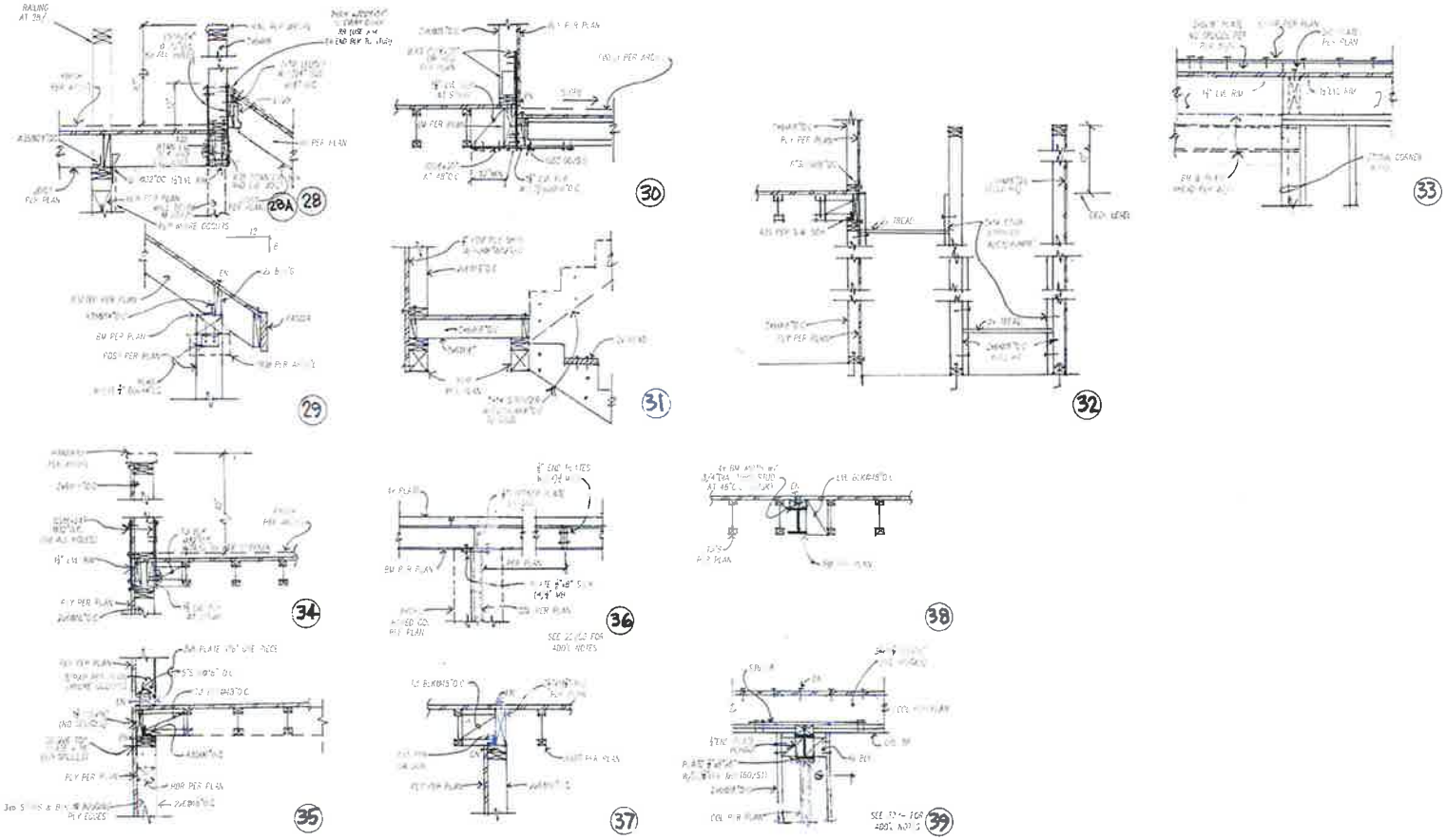
JOHN D. OELTMAN
STRUCTURAL ENGINEERS

CRUZ BUILDING
A MIXED RESIDENTIAL- COMMERCIAL BUILDING
4675 CARPINTERIA AVE, CARPINTERIA, CA 93013

ROOF FRAMING

S-4

6-11-22



REGISTERED PROFESSIONAL ENGINEER
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STATE OF CALIFORNIA

JOHN D. OELTMAN
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E-MAIL: JOHNOELTMAN@SBCGLOBAL.NET

CRUZ BUILDING

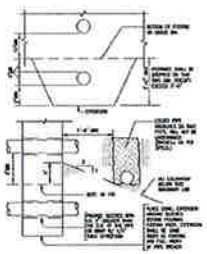
A MIXED RESIDENTIAL- COMMERCIAL BUILDING
4675 CARPINTERIA AVE, CARPPINTERIA, CA 93013

SCALE: 3/4" = 1'-0"

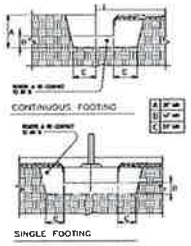
DETAILS

SHEET NO.
S-5

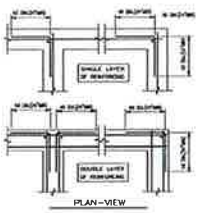
6-11-22



PIPE TRENCH/FOOTING DETAIL T1

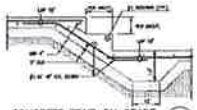


SITE PREPARATION & RE-COMPACTION U.N.O. ON SOILS REPORT T2

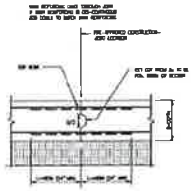


REINFORCING AT CORNERS & INTERSECTIONS OF CONCRETE WALLS & FOOTINGS OR MASONRY WALLS T3

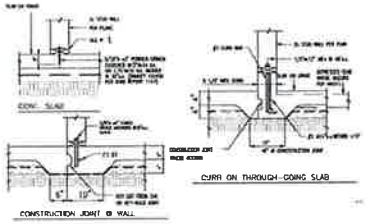
CONCRETE SLAB ON GRADE T5



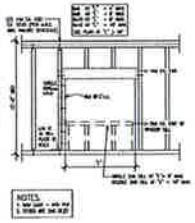
CONCRETE STAIR ON GRADE T6



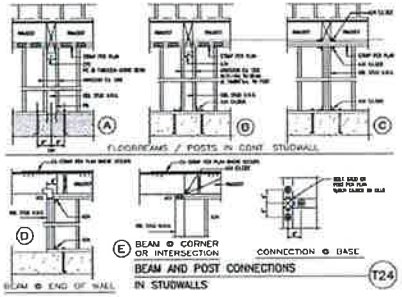
CONSTRUCTION JOINT AT CONTINUOUS FOOTING T7



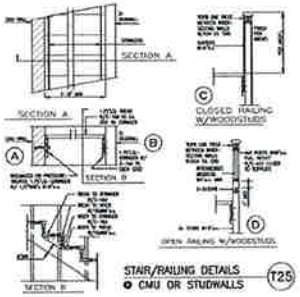
NON-BEARING WOOD STUDWALLS ON CONCRETE SLAB-ON-GRADE T12



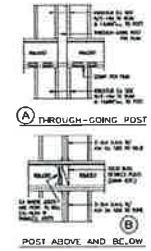
HEADER-SCHEDULE FOR IN 2x6 STUDWALLS T22



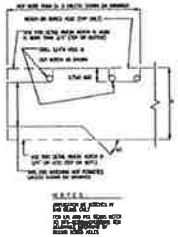
BEAM AND POST CONNECTIONS IN STUDWALLS T24



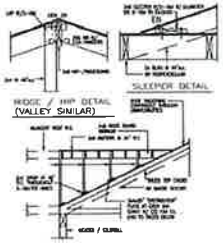
STAIR/RAILING DETAILS @ CMU OR STUDWALLS T25



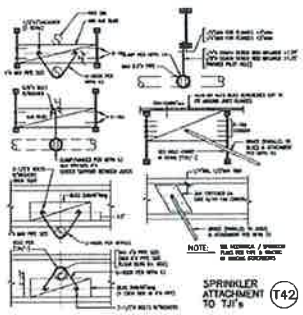
POSTS ABOVE & BELOW FLOORLEVEL T27



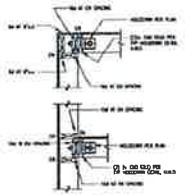
ALLOWABLE NOTCHING WOOD-BEAMS T29



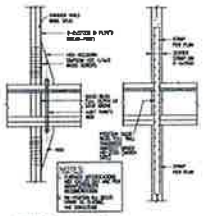
"CALIFORNIA" FRAMING T30



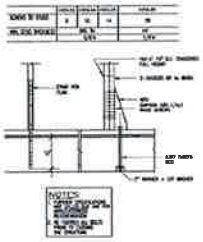
SPRINKLER ATTACHMENT TO TJI's T42



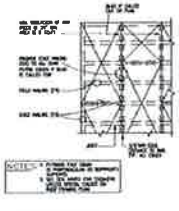
HOLDOWNS @ CORNERS & INTERSECTIONS T51



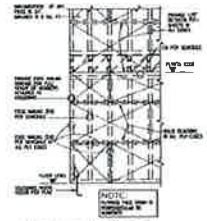
HDU'S & STRAPS BETWEEN FLOORS T58



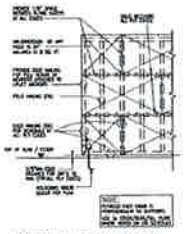
HDU HOLDOWNS TO WOOD BEAM BELOW T59



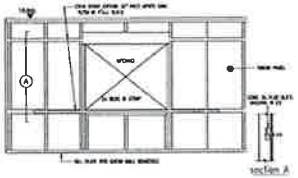
SHEATHING LAYOUT FOR FLOORS AND ROOFS T61



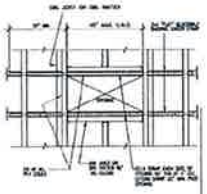
SHEATHING LAYOUT FOR MULTI-STORY SHEARWALLS T62



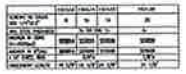
HORIZONTAL SHEATHING FOR SINGLE-STORY SHEARWALLS T63

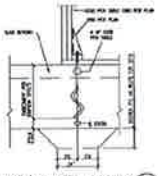


CS-STRAPS & SHEAR PANELS @ WINDOW OR DOOR OPENINGS T65

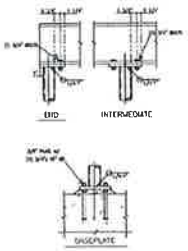


OPENINGS IN ROOF- & FLOOR SHEATHING T66





HDU IN(N)CONCRETE FOOTING T52A



T60

12-25

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CRUZ BUILDING
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TYP DETS

S-1

6-11-22

GENERAL

UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY TO NEW OR ADDED CONSTRUCTION.

1. APPARENT DISCREPANCIES ON THE STRUCTURAL DRAWINGS AND/OR SPECIFICATIONS SHALL BE REPORTED TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO STARTING WORK. THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES OR INCONSISTENCIES. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS AND ELEVATIONS.
3. ALL WORK DONE UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH THE 2022 CALIFORNIA BUILDING CODE, AND ANY APPLICABLE LOCAL ORDINANCES.
6. SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN AND FOR THE FOLLOWING ITEMS.
   A. SIZE AND LOCATION OF ALL DOOR AND WINDOW OPENINGS.
   B. LOCATION OF ALL INTERIOR NON-BEARING WALLS
   C. LOCATION OF ALL CONCRETE CURBS, FLOOR DRAINS, SLOPES, AND DEPRESSED AREAS.
7. WHERE EPOXY IS CALLED OUT IT SHALL BE SIMPSON SET ADHESIVE. ICC -ES ESR-2508(CONCRETE) APMO UCS ER-265(MASONRY) INSTALLED PER MANUFACTURER RECOMMENDATIONS.
9. ALL WORK SHALL BE PERFORMED BY A LICENSED CONTRACTOR
13. ALL PLUMBING WORK SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM PLUMBING CODE AS AMENDED BY APPLICABLE ORDINANCES. (NOT PROVIDED BY DELTMAN)
14. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE AS AMENDED BY APPLICABLE ORDINANCES. (NOT PROVIDED BY DELTMAN)
15. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT ALL APPLICABLE SAFETY LAWS ARE STRICTLY ENFORCED AND TO MAINTAIN A SAFE CONSTRUCTION PROJECT.
17. THE TOP OF ALL DECK RAILINGS SHALL BE A MINIMUM OF 42" ABOVE THE DECK AT BALCONY LEVEL.
18. HANDRAILS ARE REQUIRED FOR ALL STAIRS WHEN THERE ARE MORE THAN THREE (3) RISERS. HANDRAILS SHALL FOLLOW THE SLOPE OF STAIRS AND SHALL BE POSITIONED 32" ABOVE STAIR NOSING.

EXCAVATING, GRADING AND FILLING

1. REMOVE AND RECOMPACT EXISTING SOIL TO A MINIMUM DEPTH OF 24" BELOW BOTTOM OF THE PROPOSED FOOTINGS. THE WIDTH OF RECOMPACTION SHALL EXTEND 18" EACH SIDE OF FOOTING. RECOMPACTION SHAL BE 95% AN APPROVED TESTING LABORATORY SHALL CERTIFY IN WRITING TO THE CONTRACTOR THAT RECOMPACTION CONFORMS WITH THIS RECOMMENDATION.
2. FILL MATERIAL SHALL BE AN INORGANIC SANDY CLAY SOIL. MATERIAL SHALL NOT CONTAIN GRAVEL, ROCKS, BOULDERS, OR ANY MATERIALS OTHER THAN NATURAL SOIL.
3. SOIL WHICH IS UNSUITABLE FOR FILL MATERIAL SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
4. FILL MATERIAL SHALL BE LAYED DOWN IN A MAXIMUM OF 6" THICK LAYERS.
5. FILL AND BACKFILL SHALL NOT BE FLOODED OR JETTED
6. THE COMPACTION STANDARD SHALL BE THE ASTM D-1557-A METHOD 0" COMPACTION MODIFIED TO THREE LAYERS.
7. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL STRUCTURES.
8. ALL EXCAVATING AND GRADING SHALL BE DONE TO THE EXACT ELEVATIONS SHOWN ON THE DRAWINGS.
9. THE AREAS TO BE GRADED SHALL BE CLEARED OF SURFACE VEGETATION INCLUDING ROOTS AND FOOT STRUCTURES.
10. PRIOR TO COMMENCING FILL OPERATION, TOP 8" OF SOIL SHALL BE REMOVED FROM THE AREA TO RECEIVE FILL.
11. FILL OPERATION SHALL NOT COMMENCE UNTIL FILL MATERIALS HAVE BEEN APPROVED BY THE SOILS ENGINEER
12. FILL MATERIAL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY
13. THE OWNER WILL HAVE A SOIL TESTING LABORATORY PERFORM THE DENSITY TESTS IN LOCATIONS AS DIRECTED BY THE FOUNDATION ENGINEER. THE OWNER WILL PAY THE COST OF SUCH TESTS
14. THE AREA BENEATH PAVEMENT SHALL BE PREPARED BY REMOVING THE TOP 18" INCHES OF EXISTING SURFACE SOILS AFTER WHICH THE EXPOSED GROUND SURFACE SHALL BE SCARIFIED AN ADDITIONAL DEPTH OF 18 INCHES MOISTENED OR DRIED TO NEAR OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION.
15. THE REMOVED MATERIAL, IF FREE FROM LARGE CHUNKS OF A/C OR CONCRETE RUBBLE GREATER THAN 6 INCHES IN DIAMETER, MAY BE REUSED.

FOUNDATIONS

1. THE BEARING SOIL IS ASSUMED TO BE A RECOMPACTED FILL ANY OTHER SOIL TYPES OR CONDITIONS SHALL BE REPORTED TO THE SOILS ENGINEER
2. DESIGN PRESSURE IS 1000 PSF DL & LL.
4. THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF 2.4' BELOW THE LOWEST ADJACENT ROUGH PAD GRADE.
8. THE BOTTOM ELEVATION OF ALL FOOTINGS SHALL BE SUBJECT TO THE APPROVAL OF THE SOILS ENGINEER.
9. PRIOR TO PLACING CONCRETE FOOTINGS, ALL LOOSE EARTH, WATER AND DEBRIS SHALL BE REMOVED FROM FOUNDATION BED
10. EARTH AND FOUNDATION WORK SHALL BE DONE IN COMPLIANCE WITH THE RECOMMENDATIONS OF THE FOUNDATION ENGINEER. A COPY OF THE FOUNDATION INVESTIGATION IS AVAILABLE AT THE ARCHITECT'S OFFICE. THE NAME OF THE FOUNDATION ENGINEER IS BRAUN ASSOCIATES AND THE REPORT NUMBER IS W.O.#3176
13. TESTS AND INSPECTIONS OF FILL, BACKFILL, AND EXCAVATIONS SHALL BE PERFORMED AS REQUIRED BY THE SOILS ENGINEER. UPON COMPLETION OF ALL EARTHWORK, THE SOILS ENGINEER SHALL CERTIFY IN WRITING TO THE CONTRACTOR THAT ALL EARTHWORK CONFORMS TO THE RECOMMENDATIONS OF THE SOILS REPORT.
21. TRENCHES FOR UNDERDRAINS SHALL BE EXCAVATED TO A MINIMUM WIDTH EQUAL TO THE OUTSIDE DIAMETER OF PIPE PLUS 1 FOOT AND A DEPTH OF 3" INCHES BELOW THE TOP OF THE WALL FOOTING OR AS DIRECTED BY THE ENGINEER. THE BOTTOM OF THE TRENCH SHALL BE COVERED FULL WIDTH BY A LAYER OF PLASTIC FILM OR BUILDING PAPER, AND THE DRAIN PIPE SHALL BE LAID. UNLESS OTHERWISE SPECIFIED, PERFORATED PIPE SHALL BE LAID WITH THE PERFORATIONS AT THE BOTTOM AND SECTIONS SHALL BE JOINED WITH COUPLERS DRAIN TILE SHALL BE LAID WITH A CLEAR OPENING OF 1/2" BETWEEN SECTIONS. THE PIPE SHALL BE LAID ON A MINIMUM SLOPE OF 0.2 AFTER THE PIPE HAS BEEN PLACED, THE TRENCH SHALL BE BACKFILLED WITH A FILTER MATERIAL TO THE ELEVATION SHOWN ON THE PLANS, OR AS DIRECTED BY THE ENGINEER. THE REMAINDER OF THE TRENCH SHALL THEN BE BACKFILLED WITH AN IMPERVIOUS SOIL THAT SHALL BE COMPACTED TO THE REQUIREMENTS FOR ENGINEERED FILLS.
22. RETAINING WALL BACKFILL SHALL INCLUDE A 12 INCH THICK
23. RETAINING WALL BACKFILL SHALL INCLUDE A 12 INCH THICK CONTINUOUS COLUMN OF 3/8 TO 1 INCH GRAVEL PLACED FROM THE TOP OF THE WALL TO 3 INCHES BELOW THE BOTTOM OF A 4-INCH PERFORATED RIGID PVC DRAIN PIPE. THE PERFORATIONS OF THE PIPE SHALL BE PLACED DOWN AT THE POSITION OF 5 AND 7 O'CLOCK. A FILTER FABRIC SHALL SEPARATE THE GRAVEL FROM THE OTHER BACKFILL SOILS.

    RETAINING WALL BACKFILL SHALL BE A CLEAN COARSE SAND OR GRAVEL AND THE RETAINING WAL SHALL BE SERVICED BY AN APPROPRIATELY PLACED PERFORATED DRAIN. LOWER QUALITY NATIVE BACKFILL MATERIAL MAY BE UTILIZED OUTSIDE THE TRIANGULAR WEDGE WHICH EXTENDS UPWARDS FROM THE INSIDE EDGE OF THE HEEL OF THE RETAINING WALL FOOTING AND IS A MINIMUM WIDTH OF 60% OF THE WALL HEIGHT AT GROUND SURFACE.

CONCRETE

1. ALL CONCRETE FOR THE STRUCTURE SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. SLUMP SHALL NOT EXCEED 3 1/2".
2. REINFORCING BARS SHALL BE OF INTERMEDIATE GRADE CONFORMING TO ASTM A615-87A, GRADE 40 OR GRADE 60
3. CEMENT SHALL BE TYPE II LOW ALKALI, CONFORMING TO ASTM C-150.
4. ALL AGGREGATE USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE.
7. COARSE AGGREGATE FOR ALL EXPOSED CONCRETE INCLUDING SLABS ON GRADE SHALL BE "HEAVY MEDIA" PROCESSED
8A. CONCRETE SHALL CONTAIN 4% AIR ENTRAINMENT AND CEMENT SHALL BE TYPE "F" FLY-ASH.
8B. REINFORCING SHALL BE LAP SPLICED A MINIMUM OF 30 DIAMETERS UNLESS NOTED OTHERWISE.
9. LOCATION OF SLEEVES FOR PIPES, FOR WHICH NO SPECIFIC DETAILS ARE SHOWN ARE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER.
10. INTERIOR AND EXTERIOR CONCRETE SLABS ON GRADE SHALL BE REINFORCED WITH #3 @ 18" O.C. EACH WAY, PLACED IN THE CENTER OF THE SLAB. THIS REINFORCING SHALL BE SUPPORTED BY CONCRETE BLOCKS 1 1/2" THICK, SPACED AT INTERVALS NOT EXCEEDING 4'0."
15. MAXIMUM AGGREGATE SIZE SHALL BE 1". USE OF 3/8" PEA GRAVEL MIX DESIGN IS SUBJECT TO RE-APPROVAL BY THE STRUCTURAL ENGINEER.
16. TIE ALL SLABS ON GRADE TO INTERSECTING WALLS WITH #3 TIES @ 18" O.C. EXTEND TIES 36" INTO SLAB AND 6" INTO WALL WITH AN ADDITIONAL 12" HOOK ON THE END.
17. ALL SAW CUTS IN CONCRETE FLOORS SHALL BE MADE NOT LATER THAN 12 HOURS AFTER PLACING CONCRETE.
19. ALL ANCHOR BOLTS, REINFORCING STEEL, DOWELS, INSERTS, ETC. SHALL BE WELL SECURED IN POSITION PRIOR TO FOUNDATION REVIEW.
24. ALL CONCRETE EXCEPT SLABS ON GRADE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.
27A. 3,000 PSI CONCRETE DOES NOT REQUIRE CONTINUOUS INSPECTION DURING PLACING BY A DEPUTY INSPECTOR APPROVED BY THE BUILDING DEPARTMENT.
29. CONCRETE CYLINDERS SHALL BE MADE AND TESTED A MINIMUM OF ONE (1) SET SHALL BE TAKEN OF CONCRETE IN FOUNDATIONS AND ONE (1) SET FOR CONCRETE IN INTERIOR SLABS ON GRADE FOR EACH DAYS POUR. EACH SET SHALL CONSIST OF THREE (3) CYLINDERS. ONE SHALL BE TESTED AT SEVEN (7) DAYS, THE SECOND SHALL BE TESTED AT TWENTY EIGHT (28) DAYS, AND THE LAST CYLINDER SHALL BE A HOLD. ALL CYLINDERS SHALL BE TAKEN, PREPARED AND TESTED BY A TESTING LAB IN ACCORDANCE WITH ASTM STANDARDS C172, C31 AND C39.
30. SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING.
32B. A SURFACE HARDENER APPROVED BY THE STRUCTURAL ENGINEER SHALL BE APPLIED TO THE SURFACE OF ALL SLABS.

TIMBER

1. ALL FRAMING LUMBER FOR 4X AND 6X BEAMS SHALL BE NO. 1 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
1A. ALL FRAMING LUMBER FOR 2X RAFTERS AND JOISTS SHALL BE NO. 2 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
2. STRIPPING, BLOCKING, BRACING AND OTHER NON-STRUCTURAL LUMBER SHALL BE NO. 2 GRADE DOUGLAS FIR, S4S. 2 X 4 STUD WALLS SHALL BE D.F. CONSTRUCTION GRADE.
3. ALL PLATES ON CONCRETE OR MASONRY SHALL BE DOUG FIR PRESSURE TREATED WITH AN APPROVED BORATE BASED PRESERVATIVE.
4. ALL BEAMS, JOISTS AND RAFTERS SHALL BE INSTALLED WITH CROWN SIDE UP.
6A. ROOF PLYWOOD SHALL BE 5/8" C.D.X. STANDARD SHEATHING WITH A SPAN INDEX RATED 32/16. EDGE NAIL WITH 8d @ 6" O.C. UNLESS NOTED OTHERWISE ON PLANS. FIELD NAILS WITH 8d @ 12" O.C.
7. FLOOR PLYWOOD SHALL BE 3/4" STRUC I T & G UNDERLAYMENT (EXT) EDGE NAIL WITH 10d @ 6" O.C. UNLESS NOTED OTHERWISE ON PLANS. FIELD NAIL WITH 10d @ 10" O.C. FLOOR PLY SHALL BE GLUED AND NAILED
9. PLYWOOD SHEETS SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS AND WITH THE EDGES STAGGERED. UNLESS NOTED OTHERWISE ON THE PLANS.
10. PLYWOOD SHALL BE GRADE MARKED BY APPA, TECO, OR PTL AND SHALL CONFORM TO PS 1-07.
11. ANCHORAGE OF SILL PLATES FOR NON-BEARING STUD WALLS ON CONCRETE SHALL BE POWER DRIVEN PINS (.172 DIAMETER ICBO #1147 WHICH SHALL PENETRATE INTO CONCRETE A MINIMUM OF 1 1/3". POWER DRIVEN ANCHORS SHALL BE SPACED AT 32" O.C. NON-BEARING WALLS ON CURBS SHALL BE ANCHORED WITH ANCHOR BOLTS
12. ANCHORAGE OF NEW SILL PLATES FOR BEARING WALLS AND EXTERIOR WALLS SHALL BE WITH 5/8" DIAMETER X 12" ANCHOR BOLTS AT 48" O.C. WITH A BOLT 9" FROM THE END OF EACH PIECE. UNLESS NOTED OTHERWISE ON THE DRAWINGS. WASHERS SHALL BE 3"x3"x1/4" THICK PLATE WASHERS. MINIMUM EMBEDMENT IS 7" INTO CONCRETE/MASONRY ANCHOR BOLTS TO BE GALVANIZED
12A. EDGE ANCHORS TO EXISTING SILL PLATES SHALL BE 5/8" A307 THREADED RODS WITH 6" EMBEDMENT IN 3/4" HOLE USING SIMPSON SET ADHESIVE. WASHERS SHALL BE 3"X3"X1/4" THICK.
13. THE MAXIMUM MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 19%.
14. HOLES IN WOOD FOR BOLTS SHALL BE DRILLED 1/16" LARGER THAN THE NOMINAL SIZE OF THE BOLT
15. WINDOW NAILING SHALL COMPLY WITH TABLE 2304.10.1 OF CALIFORNIA BUILDING CODE. ALL NAILS SHALL BE COMMON WIRE NAILS.
16. ALL BOLTS SHALL HAVE STANDARD CUT WASHERS UNDER HEADS AND/OR NUTS WHERE IN CONTACT WITH "FLAT" WASHERS.
18. LAGBOLTS SHALL BE SCREWED INTO PLACE, NOT DRIVEN.
20A. ALL EXTERIOR FACE OF STUD ARE TO BE SHEATHED WITH MINIMUM 3/8" CDX OR OSB. SEE S.W. SCHEDULE FOR SPECIAL NAILING AND BOLTING REQUIREMENTS.
21. SPLICES IN UPPER AND LOWER PLATES AT THE TOP OF THE STUD WALLS SHALL BE STAGGERED AT LEAST 4'-0". CORNERS AND INTERSECTIONS SHALL BE HALVED. DOUBLE PLATE LAPS SHALL BE NAILED TOGETHER WITH (10) 10 d NAILS UNLESS OTHERWISE NOTED
22. ALL JOISTS SHALL BE SOLID BLOCKED AT POINTS OF BEARING. CROSS-BRIDGING OR SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS WHERE THE JOIST SPAN EXCEEDS EIGHT FEET. THE DISTANCE BETWEEN LINES OF BRIDGING SHALL NOT EXCEED EIGHT FEET. CROSS-BRIDGING MAY BE OMITTED FOR ROOF AND CEILING JOISTS EIGHT INCHES (8") AND LESS IN DEPTH.
23. UNLESS OTHERWISE SHOWN, ALL CEILING JOISTS SHALL BE 2 X 6 @ 16" O.C. FRAMING DIRECTION AND SUPPORTS SHALL BE AS DIRECTED BY THE ARCHITECT.
24. PROVIDE ONE PLYCLIP BETWEEN EACH JOIST AT ALL UNBLOCKED EDGES OF PLYWOOD SHEATHING UNLESS TONGUE AND GROOVE IS USED
25. USE DOUBLE FLOOR JOISTS UNDER PARALLEL WALLS ABOVE U.N.O.
28. TJI'S SHALL COMPLY WITH ICC-ESR-1153.
28A. TJI'S SHALL COMPLY WITH ICC #ESR-1153. SHOP DRAWINGS SHALL BE SUBMITTED
36. ALL SHEET METAL FRAMING CONNECTORS SHOWN ON THE PLANS SHALL BE SIMPSON STRONG TIE CONNECTORS. SUBSTITUTIONS MAY BE MADE WHEN PRE-APPROVED BY THE STRUCTURAL ENGINEER.
43. PARALLAMS SHALL COMPLY WITH COUNCIL OF AMERICAN BUILDING OFFICIALS REPORT NO. NER-292. 2800 F-2.0E.
44. RE-TIGHTEN ALL BOLTS BEFORE CLOSING IN STRUCTURE.

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REVISIONS	DATE	DESCRIPTION
1		

CRUZ BUILDING
A MIXED RESIDENTIAL- COMMERCIAL BUILDING
4675 CARPINTERIA AVE, CARPINTERIA, CA 93013

DESCRIPTION: GEN NOTES

SHEET NO: S-1A

6-11-22

Attachment B.

Architectural Review Board Minutes

June 29, 2023 Meeting

Cruz Mixed-Use Building, 4675 Carpinteria Avenue
Project 15-1781-DP/CDP
November 14, 2024 Architectural Review Board Meeting

CITY OF CARPINTERIA
5775 Carpinteria Avenue
Carpinteria California 93013

ARCHITECTURAL REVIEW BOARD
Meeting Date: June 29, 2023

ACTION MINUTES

The meeting was called to order at 5:30 p.m. by Acting Chair Johnson.

ROLL CALL

Boardmembers present: Richard Johnson (selected by present Boardmembers as "Acting Chair")
Richard Little
Patrick O'Connor

Boardmembers absent: Brad Stein, Chair
Amy Blakemore, Vice Chair

OTHERS PRESENT: Approximately 10 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

1) Project: Mickelson Residence Addition, Remodel, & Accessory Structure, Project 22-2195-ARB/CDP
Address: 5518 Calle Arena
Applicant: Johnny Hirsh, designer, for Laura Mickelson
Planner: Syndi Souter

Request of Johnny Hirsh, designer and agent for Laura Mickelson, to consider project 22-2195-ARB/CDP for final review of a request to construct a new 713 square-foot addition at the rear of the existing 1,184 square-foot single-family residence and construction of a new 300 square-foot gym/storage room accessory structure. The proposal includes demolition of an existing 369 square-foot sunroom in the area of the proposed addition. The project would include exterior alterations to the existing residence, an interior remodel, new landscaping, and new hardscape. The property is a 7,405 square-foot site, zoned Single Family Residential (6-R-1), and shown as APN 003-381-030, addressed as 5518 Calle Arena.

No ex parte communications were disclosed.

Syndi Souter described the revisions made to the project. She felt that the changes made had adequately responded to the Board's previous comments and was recommending final approval. She noted that the fence location and landscaping in the public right-of-way still needed to be revised to move the landscaping onto private property. The applicant/owner acknowledged this oversight.

Johnny Hirsh, designer/agent, and Laura Mickelson, applicant/owner, reiterated the changes made to the project (removed and scaled down the concrete stepping stone walkway; addressed neighbor privacy concerns as demonstrated with the property line fence mock-up; resolving the roofing transition between the existing and new portions of the structure; and provided architectural details).

Public Comment: None

Karen Aragaki expressed a preference for an all block wall as well. She expressed a preference for a lighter color for the roof shingles and had general concerns about drainage.

Carlena McKnerney also expressed preference for the block wall. She noted the maintenance of the property currently is poor.

Boardmember Discussion:
All of the Boardmembers present indicated they were generally in support of the project and the direction it was progressing in.

Boardmember O'Connor pointed out a discrepancy between the elevation drawings and the floor plan as it relates to the front porch and stair access to the second floor.

Boardmember Johnson pointed out errors on the sections. He also asked the applicant to come up with an attractive treatment (finish/paint) for the perimeter block walls.

ACTION: Motion by Boardmember O'Connor, seconded by Boardmember Little, to recommend the project return to the ARB at a future meeting for final review with their comments addressed.

VOTE: 3-0

OTHER BUSINESS:

- Introduction of City Intern: Staff introduced City Intern, Megan Musolf, to the Board.

CONSENT CALENDAR:

3. Action Minutes of the Architectural Review Board Meeting of April 27, 2023

ACTION: Item continued to the next meeting due to a lack of a quorum

VOTE: N/A

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

- St. Joseph's Church Fencing Project, Revised Planting Plan: Staff presented a revised planting plan for the St. Joseph's Church Fencing Project. Both staff and the landscape contractor, Jacob Nesheim, explained the various reasons for the suggested planting plan changes. The Boardmembers present indicated their support for the proposed changes but suggested the plan be reviewed and approved by Boardmember Blakemore before finalizing. Following the meeting, staff received confirming support for the changes from Boardmember Blakemore.

ADJOURNMENT

Acting Chair Johnson adjourned the meeting at 6:43 p.m. to the next scheduled meeting to be held at 5:30 pm on Thursday, July 27, 2023. All Boardmembers present indicated they expected to be present.

CITY OF CARPINTERIA
5775 Carpinteria Avenue
Carpinteria California 93013

ARCHITECTURAL REVIEW BOARD
Meeting Date October 17, 2024

ACTION MINUTES

The meeting was called to order at 5:31 p.m. by Vice Chair Blakemore

ROLL CALL

Boardmembers present: Amy Blakemore, Vice Chair
Richard Johnson
Richard Little
Patrick O'Connor

Boardmembers absent: Chair Brad Stein

OTHERS PRESENT:
Approximately 4 members of the public;
Community Development Director Nick Bobroff;
Principal Planner Brian Banks;
Principal Planner Mindy Fogg;
Senior Planner Syndi Souter; and
Assistant Planner Megan Musolf

PUBLIC COMMENT: None

PROJECT REVIEW

1) Project: Minear-Almgren Fence & Gates, Project 24-2307-FENCE/ARB
Address: 1455 Camellia Circle
Applicant: Brian Brodersen, landscape architect, for Jeffrey Becker, Becker Group, Managing Member of Seaside Apartment Investors, LLC
Planner: Syndi Souter

Request of Holly Minear and Hans Almgren, property owners, to consider Project 24-2307-FENCE/ARB for preliminary review of a proposal for approval of "as-built" redwood fencing and gates, ranging from 3.75-feet to 8-feet in height, that were constructed in the front and side yard setbacks of the property. The property is a 9,147 square-foot parcel zoned Single Family Residential (7-R-1) and shown as APN 003-590-023, addressed as 1455 Camellia Circle.

Ex Parte Communications Disclosure: None

Staff Comments:
Syndi Souter provided a presentation and described the project. Syndi detailed the "as built" fence plans, and described the previously existing fence design and heights as compared to the existing fence the Board is reviewing. Syndi concluded her presentation with an analysis of the proposed (as-built) fence relative to the zoning code requirements and Neighborhood design objectives and policies, and asked for the Board's comments on the following issue areas:

- Design and materials for the fencing and gates;
- Height of fencing and gates; and
- Location of fencing in front yard setback.

Applicant Comments:
Holly Minear and Hans Almgren, property owners, were in attendance and provided brief comments. Holly explained to the Board that it was time to replace the fencing and that the rebuilt fence was very similar to the previously existing fence's height, location and material/design. She further explained that the purpose of the 8-foot portion is to screen the RV stored on the adjacent property from view. Hans related that their 8-foot portion of fence is lower in height that the adjacent neighbor's fences.

Public Comments:
Miles Calkins, a neighbor at 1450 Camellia Circle, spoke in support of approving the existing fence as designed/constructed, and that it is appropriate for the neighborhood.

Boardmember Discussion:
Boardmember O'Connor commented that the fence looks nice and he supports approval of it.

Boardmember Little commented that the fencing material and design is appropriate but is concerned with the height of the portion of fence within the front setback and recommends that the first and second "tiers" be brought down to the 3-foot ordinance standard.

Boardmember Johnson commented that there was precedent set by the previous fence's construction although the previous fence was not permitted. He has no objections to the fence as designed, including the fence material and design.

Vice Chair Blakemore commented that she sees the value in the way the fence is located and designed, but is concerned with the height of the first tier of fence height nearest the street being a safety concern with respect to line-of-site and pedestrian safety. Vice Chair Blakemore suggested that the Board consider a conceptual motion to reduce the first tier of fence (currently 3.70-feet) to 3-feet.

ACTION: Motion by Vice Chair Blakemore, seconded by Boardmember O'Connor, to recommend approval to the Director with the condition that the first tier of fencing in the front setback currently a 3.70-feet in height be reduced to 3-feet in height.

VOTE: 4-0

2) Project: Objective Design Standards for Multifamily Residential and Mixed-Use Developments
Address: Citywide
Applicant: City of Carpinteria
Planners: Mindy Fogg and Megan Musolf

Request of by the City of Carpinteria to consider Project 24-2279-ORD/LCPA for review of proposed Objective Design Standards (ODS) that would apply to specified multifamily residential and mixed-use developments in the City. The ODS are proposed as a new chapter in Title 14, Zoning, of the Carpinteria Municipal Code and are part of a larger project to rezone sites in the City to satisfy the City's 2023-2031 Housing Element Program 1, Adequate Sites to Accommodate Regional Housing Needs Allocation.

Ex Parte Communications Disclosure: Boardmember O'Connor commented that he reached out to Long Rang Planning staff with questions about which properties are proposed for the new Mixed Use Zone.

Staff Comments:
Community Development Director Nick Bobroff introduced the City's long-range planning team, comprised of Mindy Fogg, Principal Planner, and Megan Musolf, Assistant Planner. Megan provided a presentation and described the purpose of the Objective Design Standards (ODS) as a component of the larger effort to implement Program One of the City's 2023-2031 Housing Element, and how they would apply to future residential and mixed-use projects within certain zone districts. Megan provided an overview of the topics of the proposed ODS for the ARB's consideration and the related proposed standards of a new Chapter in the Zoning Ordinance (14.51). Megan concluded her presentation with a list of particular Ordinance sections requiring additional input from the Board, and asked for the Board's overall comments on the following elements of the Objective Design Standards:

- Massing and placement of multi-story buildings, particularly regarding required stepbacks and height limits for upper stories;
- Design elements specific to the Downtown T area (Linden and Carpinteria Avenues);
- Architectural styles permitted (or not permitted) by the design standards;
- Privacy considerations for residences within a mixed-use development, particularly regarding window placement on adjacent building facades; and
- Colors and materials, including exterior lighting.

Vice Chair Blakemore opened the discussion to boardmembers for questions. Boardmember O'Connor relayed his understanding of how the ODS would be implemented in the context of the Housing Element and proposed mixed-use zone (MU 20/25), and wondered if the ODS could be an opportunity to readdress how density is calculated for larger housing projects, particularly regarding the exclusion of non-buildable area from the calculation. He also asked if staff had considered consulting the Design Review Committee to review the ODS. Principal Planner Brian Banks noted that this could be discussed following public comment.

Boardmember Little asked if Housing Element candidate site property owners had a say in whether their property is rezoned by the City to MU 20/25. Mindy responded that a rezone could be done without property owner support, but that staff invite all property owners to attend Planning Commission and City Council meetings or submit comments so that their comments are considered in the decision-making process. Boardmember Little also asked if a citywide parking needs study had been completed to inform the required parking ratios in the ODS. Nick responded that no study has been done, but the ODS parking ratios for affordable units matched the parking ratios provided in State density bonus law. Boardmember Johnson commented that many residents do not use their garages for parking vehicles, adding to parking problems.

Applicant Comments: N/A

Public Comments:
Annie Sly addressed the Board with questions regarding if the purpose of the ODS is to protect the City from "Builder's Remedy" projects; if after the City approves the ODS can the State still overrule them; questioned how long the rezone process will take; and if there are any other remaining requirements still left to be completed for the City's Housing Element to be compliant with State housing requirements. Nick Bobroff then began responding to the questions at the request of Vice

Chair Blakemore, explaining that implementing ODS does give the city some "protection" since projects required by State law to be reviewed ministerially would still have to comply with them. The ODS could function as a "backstop" when projects cannot be reviewed by the ARB or Planning Commission. Brian added that well-crafted ODS are key for City staff to complete ministerial review of projects. Nick continued that Housing Element implementation programs do get reviewed by the State's Department of Housing and Community Development (HCD), and HCD could reject the implementation if it is deemed to not sufficiently support housing production, but that many of the types of standards in the ODS have been implemented successfully by other jurisdictions. Mindy noted that staff is currently aiming to have the rezones adopted by City Council by January 2025, and then staff would immediately submit the project to the California Coastal Commission and HCD for review.

Boardmember Discussion:

Chair Stein provided an email to the Board expressing that the proposed Objective Design Standards are very thorough and clear, but he has concerns that raising the height to 35-feet from the current 30-foot height limit, when combined with allowed height exceptions for certain elements such as mechanical enclosures and elevators can result in buildings with a height in excess of 40-feet. Vice Chair Blakemore acknowledged Chair Stein's comments. Mindy clarified that the proposed increase in height limit would be contained in the new MU zone district, not the ODS, although the ODS do propose height limits for each story. Nick added that HCD has informed the City that the current 30-foot height limit is an impediment for three-story buildings, which are necessary to achieve the required housing element densities.

Boardmember Little inquired if the proposed ODS contained any standards that conflicted with the recently approved mixed-use project at 4745 Carpinteria Ave. Megan replied that staff had considered this project in writing the ODS, but the ODS were not modeled after it. Brian elaborated that staff had used the project as an example of appropriate story height in the context of a larger discussion about setting story heights for small residential units. Boardmember Little suggested not listing BBQ grills as an amenity in open space areas. He agreed with the proposed story heights. He said he felt that stepbacks larger than two feet would be better for the proposed "contextual upper story stepbacks," and that screening for upper-story private open spaces should be no higher than four feet. He commented that every 50 feet felt too far for a roofline variation requirement, and recommended it be changed to 30 feet. Boardmember Little asked, in relation to the proposed 15-foot rooftop open space setback, if the current proposal to renovate the Palms building on Linden would satisfy this standard. Staff said it may on some sides, and Nick clarified that the 15-foor setback was intended to prevent rooftop open spaces from looking down into peoples' private yards. Nick suggested language could be added to clarify the setback would be needed when the abutting property is residential, and the Board agreed. Finally, Boardmember Little brought up the idea of allowing tandem parking, and staff responded that they would look into how it could be incorporated in the ODS.

Boardmember O'Connor felt the City should implement neighborhood-specific design standards in the future. He related back to his prior comments regarding density and said he wanted to prevent high-rise buildings on small lots with environmental or other constraints. Nick responded that the State requires a minimum density of 20 units per acre for Housing Element rezone sites, and that density is calculated with gross lot size. Boardmember O'Connor expressed that only the buildable area on a site should be considered in density calculations, and Nick replied that staff, for the ODS and MU 20/25 zone, is working with existing Zone Code rules which utilize gross lot size. Lastly, Boardmember

O'Connor questioned how projects would be handled in the proposed MU 20/25 zone that reuse existing structures. Brian responded that staff expect most projects that would utilize the ODS would likely be full demo/rebuild type projects due to the high cost of retrofitting old buildings for new residential, and Mindy noted that it could be feasible for a few candidate sites to repurpose existing buildings while meeting the ODS.

Boardmember Johnson expressed that he felt the ODS were a sound starting point, although many hours could be spent discussing them. Nick replied that the proposed ODS, if implemented, can be reviewed and changed in the future once projects have begun to actually use them. Boardmember Johnson concurred with Boardmember O'Connor's comments regarding calculation of density, and then expressed concern about the ODS pushing buildings right up to the front property line. Nick responded that no MU 20/25 rezone sites are proposed on Linden Ave where a zero-foot setback exists, and that the MU 20/25 zone proposes 5-to-15-foot front setbacks.

Vice Chair Blakemore commented that the proposed 35-foot height limit in the MU 20/25 zone should be inclusive of elevators and other equipment on top of buildings. She felt there should not be any exceptions to the proposed story height limits for certain roof styles, and that the two-foot upper story stepback was adequate— a larger stepback would not accommodate higher densities. She did not support allowing BBQ grills in common/public open spaces. For landscaping requirements, Vice Chair Blakemore recommended increasing the required number of 5-gallon plants per 1,000 square feet from 10 to 20, and to find a way to prohibit trees with invasive root systems that would damage sidewalks and other infrastructure (she suggested compiling a list of trees to avoid).

ACTION: Motion by Vice Chair Blakemore, seconded by Boardmember Johnson, to recommend approval to the Planning Commission with their comments attached.

VOTE: 4-0

OTHER BUSINESS: None

CONSENT CALENDAR:

3) Action Minutes of the Architectural Review Board Meeting of September 26, 2024.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Little, to approve the minutes as drafted.

VOTE: 3-0 (O'Connor abstained)

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF: None

ADJOURNMENT

Vice Chair Blakemore adjourned the meeting at 7:00 p.m. to the next scheduled meeting to be held at 5:30 pm on Thursday, November 14, 2024. All Boardmembers present expect to attend.

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Chair, Architectural Review Board

ATTEST:

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Secretary, Architectural Review Board