Architectural Review Board
Meeting Agenda

Thursday, August 15, 2024 at 5:30 p.m.
City of Carpinteria, Council Chamber
5775 Carpinteria Avenue, Carpinteria, CA 93013

In-Person Meeting and Virtual Participation Options

Attendance:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave.)
- View the meeting live through the City's website (https://carpinteriaca.gov/city-hall/agendas-meetings) on your computer, tablet or smartphone.
- View the meeting on Government Access Television Channel 21 (broadcast live)
- Call 669-900-9128 (and enter Webinar ID 847 8623 3577) to listen to the meeting on your phone.
- Join the City's Zoom webinar from your computer, tablet, or smartphone by CLICKING HERE. Alternatively, you can join the Zoom webinar by logging on to zoom.us, downloading the application, selecting "Join Meeting", and entering Webinar ID 847 8623 3577.

Public Comments:

- Provide a live public comment during the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item.
- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to the Architectural Review Board by **12:00 P.M. on the day of the meeting** by either submitting your comment via (1) email to PublicComment@carpinteriaca.gov, or (2) the **eComment** link on the City's agenda website (https://carpinteriaca.gov/city-hall/agendas-meetings). Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

- Provide a live comment through the City's Zoom webinar platform (through the link provided above). To make public comments through this platform please use the "raise your hand" feature to notify staff that you would like to make a public comment during designated public comment times. Once it is your turn to provide a public comment, staff will unmute your microphone and you will be given a designated amount of time to provide your comment (typically, the practice has been up to 3 minutes per speaker on each item). At the end of your comment, staff will once again mute your microphone.

Architectural Review Boardmembers:

Brad Stein, Chair
Amy Blakemore, Vice Chair
Richard E. Johnson
Richard Little
Patrick O'Connor

CALL TO ORDER

ROLL CALL

PUBLIC COMMENT

This is a time for public comments on matters not otherwise on the agenda but within the subject matter jurisdiction of the Architectural Review Board. Comments shall be limited to 15 minutes, divided among those persons desiring to speak, but no person shall speak longer than five minutes. Persons wishing to speak on a specific item will be recognized at the time the agenda item is considered.

The City is not responsible for the content of statements made during the public comment period, or the factual accuracy of any such statements.

PROJECT REVIEW

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of ex parte communications
- Staff presentation
- Applicant presentation
- Public comment
- Review by ARB
- Recommendation by ARB

1. Project: Eugenia Sign Program, Project 24-2301-ARB/SIGN
Address: 1145 Eugenia Place
Applicant: Eric Newman, Dave's Signs, for Eugenia Spaces LLC, Owner
Planner: Marysol Smith

Request of Eric Newman, Dave's Signs, agent for Eugenia Spaces, LLC, owner, to consider Project 24-2301-ARB/SIGN for preliminary/final review of a sign program for an existing multi-tenant building. The property is a 1.59-acre parcel zoned Commercial Planned Development and shown as APN 003-162-011 addressed as 1145 Eugenia Place.

2. Project: Dish Wireless Telecommunications Facility,
Project 24-2292-CUP/CDP/ARB
Address: 6267 Carpinteria Avenue
Applicant: Harold Thomas Jr, MD7 Architecture, for Dish Wireless, LLC
Planner: Brian Banks

Request of Harold Thomas Jr, MD7 Architecture, for Dish Wireless, LLC to consider Project 24-2292-CUP/CDP/ARB for preliminary review of a proposal for collocation of a new wireless telecommunications facility on an existing multi-story office building which currently hosts an existing Verizon Wireless facility. The request includes the installation of six (6) 8-foot wireless telecommunication antennas, twelve radios and associated rooftop equipment, and outdoor screening materials to visually shield the antennas. The equipment cabinets and ancillary equipment would be located behind an existing secondary rooftop mechanical screen. The proposed antenna screening enclosure would reach a height of 39 feet 4-inches. The property is a 3.73-acre parcel zoned Industrial Research Park (M-RP) and shown as APN 001-190-056, addressed as 6267 Carpinteria Avenue.

3. Project: 4745 Carpinteria Avenue Mixed Use Project,
Project 23-2221-DP/CDP/ARB
Address: 4745 Carpinteria Avenue
Applicant: Edward DeVicente, DMHA Architecture
Planner: Brian Banks

Request of Edward DeVicente, DMHA Architecture, to consider Project 23-2221-DP/CDP/ARB for final review of redevelopment of the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development comprised of a 24-unit, 31,026 square foot apartment complex built around and atop a ground-level 22,198 square foot concrete parking podium, and a 4,044 square foot two-story commercial building. The property is identified as APN 003-251-021, and addressed as 4745 Carpinteria Avenue.

OTHER BUSINESS

CONSENT CALENDAR

4. Action Minutes of the Architectural Review Board Meeting of July 11, 2024

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL

MATTERS PRESENTED BY STAFF

MATTERS PRESENTED BY BOARDMEMBERS

ATTENDANCE OF BOARDMEMBERS FOR THE NEXT MEETING

ADJOURNMENT

The next regular Architectural Review Board meeting will be held on Thursday, August 29, 2024.

NOTES

For those projects that do not require Planning Commission approval, recommendations for preliminary approval by the Architectural Review Board will be forwarded to the Community Development Director for a decision. Those Community Development Director decisions that are appealable pursuant to CMC §14.12.020(2) may be appealed to the Planning Commission. Appeals must be filed with the City Clerk within 10 calendar days of the Director's action.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community Development Department at (805) 755-4410 (LorenaE@carpinteriaca.gov) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Wednesday, August 8, 2024 in the Community Development Department, on the City Hall Public Notices Board, and on the City Website.

CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of August 15, 2024

Agenda Item #1

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT REVIEW

Project: 24-2301-ARB/SIGN **Planner:** Marysol Smith
Address: 1145 Eugenia Place
APN: 003-162-011
Zoning: Commercial Planned Development ("CPD") district
General Commercial ("GC") district
Applicant: Eric Newman, Dave's Signs, for Eugenia Spaces LLC, Owners

Project Review: ☐ Conceptual
☑ Preliminary/Final

PROJECT DESCRIPTION

This is the preliminary/final review of a proposed comprehensive sign program for an existing multi-tenant commercial building located at 1145 Eugenia Place. The proposed sign program provides specifications on the allowable sign type, location, size and design for all current and future tenant signage.

The proposed Planned Sign Program is included as Attachment A.

PROJECT BACKGROUND

Project Setting

The 1.59-acre site is located in the City's downtown district at the end of the Eugenia Place cul-de-sac in what is known as the Eugenia Professional office area. The property is developed with a two-story 13,200 square foot multi-tenant building and a parking lot (1988). Despite being a multi-tenant building, the site currently operates without an approved overall Sign Program. Based on Staff's research, the property has only had one monument/ground sign and this sign has typically only featured either just one tenant and/or the property address. Aside from the requested Sign Program, no other exterior changes to the building are proposed as part of this request.

The subject property is bounded by Linden Avenue on the west and residential and commercial development to the south and east. U.S. Highway 101 is located immediately to the north of the property. Overall, the neighborhood is comprised of a mix of building types and land uses. Most of the buildings are single story in height and of a similar scale to one another, although some two-story or larger volume buildings are scattered throughout the downtown, including most of the buildings in the Eugenia Professional office area.

The project site is designated General Commercial ("GC") on the City's General Plan/Coastal Plan Land Use Map and is located within Community Design Subarea 2: the Downtown/Old Town District of the City's General Plan/Coastal Plan. The property is zoned Commercial Planned Development ("CPD") district.

PROJECT ANALYSIS

Carpinteria Municipal Code

Sign Program

New tenant signs and planned sign programs are regulated by the provisions of Carpinteria Municipal Code ("CMC") Chapter 14.58- Sign Regulations. The applicable standards for planned sign programs are provided below:

> **14.58.100 - Planned sign program regulations.** *The purpose of the planned sign program is to ensure comprehensively designed signage for certain commercial and industrial uses, and to provide for additional review by the architectural review board.*
>
> 1. *The following must be reviewed under a planned sign program:*
> a. *Three or more (multitenant) uses which share either the same lot or the same building and which use common access and parking facilities.*
> 2. *The following signs are allowed in a planned sign program:*
> a. *Ground (monument) signs, not to exceed eighty square feet or eight feet in height, located in a landscaped area twice or more than the square footage of the sign. Ground signs for multitenant uses may not list individual tenants, only the name of the center or complex;*
> b. *Directory signs not exceeding an area of two square feet for each business;*
> c. *Projecting signs;*
> d. *Wall signs not exceeding eighty square feet;*
> e. *Freeway signs as specified in Section 14.58.070(4);*
> f. *Any other sign types approved by the architectural review board.*
> 3. *Standards. All planned sign program applications shall be subject to the architectural review board standards.*

The following table summarizes the sign types, locations and sizes allowed for in the proposed comprehensive sign program relative to the above-listed standards:

Sign Program Sign Types	Requirement/Allowance	Proposal
Ground (monument) signs	- Maximum of 80 sq. ft. and 8' in height - Must be located in a landscaped area twice or more than the square footage of the sign - Must only list the name of the center or complex	Ground/monument sign 4' by 8' existing to remain (32 square feet). The sign's secondary side is 4' x 5'(20 square feet). Located in an adequate landscaped area. The existing sign only has the address.
Directory signs	Maximum of 2 sq. ft. for each business	The principal side of the monument sign is proposed to now function as a directory sign. No signage would be allowed on the smaller secondary side. Each tenant would be allowed 2 square feet and the existing monument sign could accommodate up to a total of 6 spaces.
Projecting signs	None specified	All exterior wall mounted signs are prohibited under the proposed sign program.
Wall signs	One sq. ft. for each linear foot of street frontage. 80 sq. ft. max.	All exterior wall mounted signs are prohibited under the proposed sign program.
Freeway signs	As specified in CMC 14.58.070(4)	No freeway signage is proposed to be allowed as part of the sign program.
Other sign types to be approved by the architectural review board		No other sign types are proposed as part of the sign program.

The intent of a sign program is to establish cohesive and comprehensive sign standards for a multi-tenant commercial development to ensure high quality design and consistent sign design throughout the development. Sign programs are also relied upon by staff as a means to potentially streamline the review and permitting of individual sign applications for tenant spaces covered under the planned sign program.

All future tenant signs still require submittal of and approval by the City of a sign permit application that specifies the detailed design, colors, size, location, materials, and

construction/installation of their respective proposed signage. However, review of sign applications pursuant to an approved sign program can help speed up this process if staff can find the proposed sign(s) to be consistent with what is allowed under the approved sign program. Typically, signs that are clearly consistent with the approved program can avoid needing to be referred to the ARB for further consideration. Signs that seek deviations or exceptions from the standards included in the approved sign program, or signs that pose a unique circumstance due to their particular design, size, location, visibility or other characteristic(s) may still be referred to the ARB on a case-by-case basis at staff's discretion. Accordingly, the more detailed and specific a sign program is, the less discretion staff and/or the ARB need to exercise in the review of subsequent tenant sign permit applications. The proposed sign program would apply to the entire multi-tenant commercial building, and all future tenants.

The proposed sign program identifies the allowed sign type, which for this property would only be a directory sign. The document clearly identifies sign types that are not allowed, including wall signs, window signs, and portable signs. The directory sign would accommodate a maximum of 6 tenant signs, each two square feet in size. It would be at the property owner's discretion which tenant is allowed a space on the directory sign. The sign program also provides defined design criteria for the tenant signs. Overall, the proposed sign program provides an adequate level of detail and specificity on the allowed sign type.

The proposed Overall Sign Program would satisfy the intent of the CMC to create a consistent plan for the multi-tenant property. The allowed directory sign type and criteria appear to be consistent with the types and sign area maximums allowed by the municipal code.

Design Review

In addition to the zoning criteria discussed above for a planned sign program, the Board should also consider the following architectural review standards (CMC §2.36.080) in their evaluation of the proposed signage:

a. *Overall building shapes, as well as parts of any structure (buildings, walls, screens, towers or signs), in proportion to and in scale with the site and with other existing or permitted structures in the area;*

b. *Harmonious relationship with existing and proposed adjoining developments avoiding excessive variety or monotonous repetition but allowing similarity of style and random location;*

c. *Harmony of materials, colors and composition of all sides of a structure or building;*

d. *Consistency and unity of composition and treatment of exterior elevations;*

e. *A limited number of materials on the exterior face of the building or structure (wood, concrete, brick, stone). The use of natural materials is encouraged;*

g. *Site layout, orientation and location of structures, buildings and signs in an appropriate and well designed relationship to one another with consideration given to open spaces, topography, definition of pedestrian and vehicular areas, and exterior building lighting;*

h. *Good design and appropriateness of structure to site; and*

k. *Design of signs and lighting and other advertising media should harmonize with and be subordinate to the building it serves.*

Overall, staff believes the proposed sign program represents a well thought-out, detailed plan for future tenant signage. The proposed style, colors, and materials are aimed to be consistent with the existing building's color scheme and the existing monument sign. No changes to the existing landscaped area are proposed.

The Board's comments on the proposed sign program, and appropriateness of the sign program for the buildings' aesthetics and character would be appreciated.

General Plan/Coastal Plan Neighborhood Policies

The City's Community Design Element of the General Plan contains both general over-arching policies and specific subarea policies. The project site is in the Downtown/Old Town District (Design Subarea 2). The following objectives and policies are relevant to the review of the proposed sign program.

CITYWIDE COMMUNITY DESIGN OBJECTIVES

Objective CD-7: *Enhance and maintain the Linden Avenue downtown core, the Carpinteria Avenue commercial core, the Eugenia Professional office area, the Casitas Village, Shepard's place Shopping Center, and the Cindy Lane-Mark Avenue industrial park districts.*

Policy CD-7b: *Buildings should be designed to incorporate signs that conform to the city's sign ordinance. Signs should be integrated with building architecture and adequately identify businesses. Freestanding monument signs are discouraged.*

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas which maintain and enhance the quality of Carpinteria's streetscape.*

Although new freestanding monument signs are discouraged by Policy CD-7b above, in this particular case, it is an existing permitted monument sign that is proposed to remain. The monument sign would not be altered. Many of properties in the Eugenia Professional Office area have existing monument signs, such that the subject sign is not out of place.

Overall, the sign program can be found to be consistent with the above objectives and policies. The existing monument sign would be reused. The proposed colors and materials are intended to be consistent with the existing color scheme of the building. Signs would only be allowed on one face of the L-shaped sign, and would conform to the maximum allowed size for a directory sign. No changes to the landscaped area are proposed. The Board should comment on the

appropriateness of the proposed use of the existing monument sign as a directory sign, and the proposed design of tenant sign locations.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

The existing monument sign is not presently internally or externally illuminated. The sign program does not propose new illumination (internal or external). In the future, if illumination is proposed it would require review by the Community Development Department to ensure compliance with the City's night-sky friendly policies.

Subarea 2. The Downtown and Old Town

Objective CDS2-1: *Preserve and strengthen the visual and physical connections between the downtown, beach, the salt marsh, mountains, and the other neighborhoods and districts in the city.*

Objective CDS2-2: *Preserve and enhance the downtown's historic status as the center of commercial activity by encouraging a range of uses that serve both residents and visitors.*

Policy CDS2-a: *Ensure that new intensified land uses within the Downtown remain consistent with the city's "small beach town" image.*

Policy CDS2-b: *To enhance the pedestrian character of the downtown's streets, plazas, paseos, parks and lanes.*

The sign program proposes to reuse the existing monument sign. They are not proposing to make any changes other than to use the existing face to identify individual tenants of the building. The existing monument sign is low in height and is surrounded by existing landscaping. The Board should carefully consider whether overall signage allowances and signage characteristics are appropriate for the site and setting.

SUMMARY OF ISSUES

- Sign type, size, quantity, and location;
- Colors and materials;
- Relationship to the existing building;
- Appropriateness of a directory sign; and
- Overall clarity, usability and specificity of proposed sign program.

RECOMMENDATION

The Board should provide input on the proposed sign program; if the Board finds the sign program meets the applicable design criteria, then the Board should recommend preliminary and or preliminary/final approval to the Community Development Director with their comments attached.

ATTACHMENTS

Attachment A – Proposed Sign Program

Attachment A
Preliminary Sign Program

1145 Eugenia Place
Preliminary/Final ARB Review
August 15, 2024

Sign Criteria: 1145 Eugenia Pl. Carpinteria, CA 93013

A. Introduction

All signs shall be constructed and installed by licensed contractors using the highest quality materials, and construction techniques. No signs shall be erected without without obtaining a permit from the City of Carpinteria. Before obtaining a permit, all signs must be reviewed by landlord or their agent for approval. Any non-compliant signs erected without the owner's consent or a valid permit shall be removed at the tenant's expense including any necessary repair of wall or surrounding surfaces.

B. Tenant Requirements

1. Each eligible tenant shall submit (1) copy of the detailed sign proposal to the property owner for approval. Plans must include a site plan showing a mock-up of proposed sign to the property owner/agent for approval. Proposals may be submitted via email to:

Ben Williams
bwilliams@sbpropertygroup.com

2. The tenant shall be responsible for the fulfillment of all the requirements of this sign criteria.

C. Allowable Singage

1. Monument Sign Tenant Panels:
Primary Tenants (as determined by property owner) are allowed (x1) tenant insert panel on monument sign located at entrance of property. Sign graphics must comply with style and material guidelines for tenant panels (See detail page) and get signed approval by Property Owner / Agent. All signs must also comply with City's Sign Regulations.

D. Prohibited Signs

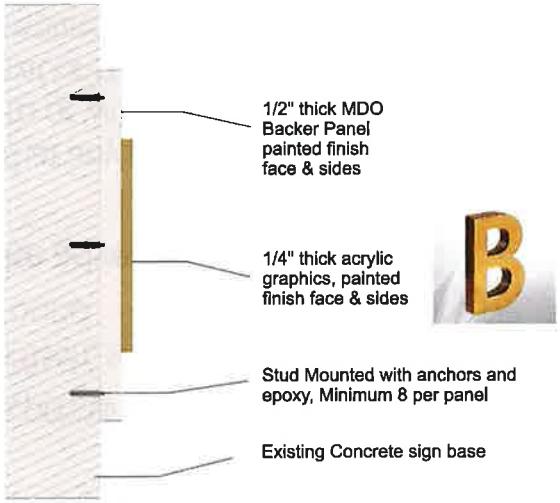
1. Exterior wall mounted signs. No signs shall be installed on the exterior of building.
2. Vinyl graphics applied to outward facing doors or windows.
3. Sandwich board/A-frame signs, banners, pennants or flags
4. No illuminated signs or signs which flash, scintillate, move or are animated or emit any sound
5. Portable or trailer-mounted, off-site advertising or tract signs.
9. Any sign erected in such a manner that any portion of the sign or its support is attached to or will interfere with the free use of any fire escape, exit or stand pipe, or will obstruct any stairway, door, ventilator or window
10. Any sign attached to tree or utility pole, within public right of way, or any sign erected in such a manner that it will or may reasonably be expected to interfere with, obstruct, confuse or mislead traffic

1145 Eugenia Pl. Carpinteria, CA 93013

Color Palette:

Home Plate DE 6183

Veranda Gold DE6187



(Qty 6) Dimensional Tenant Panels installed on existing concrete sign base. Single Sided, non illuminated.

- Panels: 6" x 47" 1/2" thick wood with painted finish to match existing monument base color (DE 6183)
- Tenant Names: 1/4" thick acrylic graphics with painted finish to match existing monument lettering color (DE 6187)
- Mounted to concrete sign base with studs, anchors and epoxy, Min. 8 per panel

9832 125

Project:
Santa Barbara Property Group
1933 Cliff Drive Suite 2
Santa Barbara, CA 93013

Job Location:
1145 Eugenia Place
Carpinteria, CA 93013

Contact:
Rachel Raynor - Hollander
Office:805-963-8283
Cell: 916-296-0245

Design Timeline:
Original Draft: 00/00/00
Revisions: 00/00/00
Approved Draft: 00/00/00

Sales: DT
Survey: DT
Permit: Y or N
Designer: AF
Projected Install: 00/00/00
Firm Due Date: Y or N

Dave's SIGNS
4773 Ortega St. Unit C / Ventura, CA 93003
Ph. 805.841.1387 dave@davesigns.com
Lic# C46 / 917812

9832 125

206 linear feet

10' set back

(A) Existing Sign Base

(A) PROPOSED TENANT PANELS LOCATION

(B) NO SIGNS ON THIS SIDE

EXISTING SIGN BASE

1145 Eugenia Pl. Carpinteria, CA 93013

Building South East Elevation: 206 linear feet

Existing Concrete Sign Base (SIDE A / SIDE B)

SIDE A : 48" x 96" - Proposed Tenant Panels
Total Sign Area: 32 Sq. Ft.

SIDE B: 48" x 60" - NO SIGNS PERMITTED

10' set back from road

Project:
Santa Barbara Property Group
1933 Cliff Drive Suite 2
Santa Barbara, CA 93109

Job Location:
1145 Eugenia Place
Carpinteria, CA 93013

Contact:
Rachel Raynor - Hollander
Office:805-963-8283
Cell: 916-296-0245

Design Timeline:
Original Draft: 00/00/00
Revisions: 00/00/00
Approved Draft: 00/00/00

Sales: DT
Survey: DT
Permit: Y or N
Designer: AF
Projected Install: 00/00/00
Firm Due Date: Y or N

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CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of August 15, 2024

Agenda Item #2

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT REVIEW

Project: 24-2292-CUP/CDP **Planner:** Brian Banks
Address: 6267 Carpinteria Avenue
APN: 001-190-056
Zoning: Industrial Research Park (M-RP)
Applicant: Harold Thomas Jr, MD7 Architecture, for Dish Wireless, LLC

Project Review:
☐ Conceptual
☑ Preliminary
☐ Final

PROJECT DESCRIPTION

This is the preliminary review of a request for a Conditional Use Permit and Coastal Development Permit to install a new wireless telecommunications facility on an existing multi-story office building. The request includes the installation of three (3) 8-foot wireless telecommunication antennas, six radios and associated rooftop equipment, and outdoor screening materials to visually shield the antennas. The equipment cabinets and ancillary equipment would be located behind an existing secondary rooftop mechanical screen. The existing building is 33 feet in height, with an additional two-foot six-inch rooftop mechanical screen within the central roof area, and a stair house reaching 39 feet 4 inches in height. The proposed antenna screening enclosures would reach a height of 39 feet 4-inches. The building currently hosts an existing Verizon Wireless facility. No grading or landscape changes are required.

Plans are attached as Attachment A. Site photos are attached as Attachment B. Photosimulations representing the appearance of the installed facility on the building are provided as Attachment C.

PROJECT SETTING

The project site is located on Carpinteria Avenue, between U.S. 101 and the coastal bluffs. The site is bounded by office buildings to the east and west, U.S. 101 and Carpinteria Avenue to the north and the Union Pacific Railroad corridor, bluffs, and ocean to the south. A public coastal trail transverses the southern portion of the site adjacent to the railroad corridor.

The 3.73-acre site is currently improved with a multi-story office building used by Procore. The existing mechanical screen measures 35 feet six inches from finished grade, and the building features a stair house reaching 39 feet 4-inches. As discussed below, the building hosts an

existing Verizon Wireless telecommunications facility with antennas screened by the existing parapet wall and rooftop equipment extending 12 inches above the existing mechanical screen.

The site is zoned Industrial Research Park (M-RP), has a Research Development Industrial (RDI) land use designation, and is located within Community Design Subarea 6: The Bluffs (Bluffs Area II) of the Community Design Element of the City's General Plan/Coastal Land Use Plan. The site subject to the Coastal Appeals (CA) Overlay due to the site's location within the Coastal Commission Appeals jurisdiction.

Project History

The site currently hosts an existing wireless telecommunications facility mounted atop the existing building, permitted by the Planning Commission on December 7, 2015 under Project 15-1786-CUP/CDP. The original approval allowed for six (6) four-foot-tall flat wall-mounted panel antennas behind an existing rooftop parapet at the building's perimeter and installation of two GPS antennas, four rooftop equipment cabinets and ancillary equipment within a secondary rooftop mechanical screen. The existing antennas at the building's perimeter are fully screened by the existing parapet wall, the rooftop equipment cabinets stand 12 inches above the rooftop mechanical screen, and the GPS antennas extend 21 inches above the rooftop mechanical screen. Since its original approval, two modifications to the Verizon Wireless facility have been approved: a Substantial Conformity Determination in 2018 to replace the existing remote radio units (Building Permit #12359); and a Substantial Conformity Determination in 2023 to remove and replace the existing antennas and associated equipment, and install new antennas (Building Permit #14141). Neither of these previous modifications altered the height or width of the facility, altered the locations of equipment, or resulted in a change in visibility of the facility. As such, the existing facility remains in compliance with all conditions of the original CUP/CDP approval.

PROJECT ANALYSIS

Background

The proposed project is intended to address a gap in the coverage of service provided by Dish Networks, the parent company of Boost Mobile. Dish Networks Radio Frequency (RF) engineers identified a significant gap in wireless communications coverage (both for voice and data transmission) in the eastern portion of the City of Carpinteria and along the Highway 101 corridor. The project application included documentation demonstrating this lack of coverage, which means reception is poor and/or spotty in the eastern portion of the City or while driving along the freeway. The applicant proposed this new wireless telecommunications facility as the least intrusive means of addressing the service gap and improving overall service in the area for both voice and wireless data service.

Carpinteria Municipal Code

The parcel is zoned Industrial/Research Park (M-RP), which provides areas primarily for light industry, technical research, and large business headquarters office use in well-designed buildings and attractively landscaped areas. Additionally, the zone is intended to provide opportunities for mixed residential/industrial uses. The intent is to establish development standards and landscaping requirements to ensure a park-like environment for the permitted industrial uses and compatibility with adjoining nonindustrial areas. Although wireless communication facilities are not a principally permitted use in this zone district, wireless communications facilities are allowed in the M-RP zone subject to a Conditional Use Permit (CMC § 14.56.030).

CMC § 14.62.010 - Conditional Use Permit Purpose and intent.

The purpose of a Conditional Use Permit (CUP) is to provide for uses that are essential or desirable but cannot be readily classified as principal permitted uses in individual districts by reason of their special character, uniqueness of size or scope, or possible effect on surrounding uses or the general community. The intent is to provide a mechanism for requiring specific consideration of these uses.

Wireless communications facilities are also subject to their own unique development standards and required findings for approval as provided for in CMC §14.56 - Wireless Communications.

CMC § 14.56.010 - Wireless Communications Purpose and intent.

The purposes of this chapter are: (a) to provide regulations, standards, and design criteria for wireless communication facilities to facilitate a comprehensive system of wireless communications within the city; (b) to promote the general welfare and public interests of the community; (c) to promote public safety; (d) to ensure consistency with the local coastal plan and general plan policies; and, (e) to further the goals of land use and aesthetic compatibility between these uses and other uses in the city. Specifically, these standards are adopted to promote the following objectives:

A. *Ensure that the city is appropriately developed with land use intensities and compatible urban and rural land use patterns that promote the general welfare and public interest of the community.*
B. *Preserve the "small town" character in all physical features of the city.*
C. *Protect against visual impacts in order to preserve the area's unique coastal resources:*
D. *Implement general plan policies that encourage the preservation and enhancement of the unique character and assets of the city.*
E. *Allow for development of wireless communications facilities located and designed to provide adequate reception in the city considering its unique size and*

environmental constraints, and to avoid the creation or maintenance of areas of the city in which acceptable wireless communications services cannot be provided.

F. *To treat wireless communications service providers equally and without regard to the technology upon which they rely.*

Relevant provisions of the City's Wireless Communications regulations related to location and development criteria are discussed below:

CMC § 14.56.050 - Location criteria for all wireless communication facilities.

All new wireless communication facilities shall comply with the following location and separation requirements:

A. *Wireless communication facilities may be located on otherwise vacant, undeveloped or unused parcels only upon the following showings: (a) that there is no other location at which the project can provide the service for which the application is submitted; (b) that the proposed development is sited and developed to facilitate other productive use of the site; and, (c) that the wireless communications facilities are appropriately screened from view from off-site and aesthetically integrated with neighboring uses.*
B. *Wireless communications providers are encouraged to construct and site their wireless communication facilities in anticipation of colocation of similar facilities on the same site. Except where such co-location is approved, a new wireless communication facility shall be located a minimum distance of one thousand three hundred twenty feet (one-quarter mile) from the closest parcel developed with a wireless communication facility. This separation standard applies to those facilities located within as well as outside the city's boundaries. This separation standard may be relaxed pursuant to conditional use permit approval if necessary to accomplish the fifth purpose identified in Section 14.56.010.E.*
C. *The location of wireless communication facilities within residential, community facility and recreation zone districts is discouraged due to the city's small size, its level topography and the many opportunities to locate such facilities within the commercial, industrial and utility zone districts with lesser aesthetic and land use compatibility impacts. An applicant may locate a wireless communication facility in a residential, community facility and recreation zone district upon a showing that the area to be served would otherwise not be served and that all of the findings for approval required by Section 14.56.090 of this chapter can be made.*

In compliance with the above criteria, the proposed Dish Network facility would be collocated on the Procore building, which already hosts a Verizon Wireless facility, on an Industrial/Research Park (M-RP) zoned site. Due to the proposed facility's location atop the existing building, and with the antennas concealed behind a proposed wireless-compatible architectural projections, the proposed design is intended to limit aesthetic

and land use compatibility impacts while filling a gap in Dish Network's service area in the east portion of the City and along Highway 101.

CMC § 14.56.070 Development criteria.

All wireless communication facilities shall be designed to relate harmoniously in terms of size, scale and form to existing developments on site and with existing and proposed surrounding developments. The following development criteria shall apply to all wireless communications facility projects:

A. *All wireless communication facilities shall satisfy the required building setbacks, lot coverage, located on existing structures, unless otherwise permitted pursuant to Section 14.56.050(A) of this chapter. The addition of new architectural features to an existing building to conceal antennae shall not negatively affect the architectural design of the building or how the building blends with surrounding development.*
B. *Building mounted facilities shall architecturally blend with the structure to which they are attached to avoid the appearance of a wireless facility. Colors, textures and materials shall be consistent with those utilized on existing structures.*
D. *All mechanical equipment associated with the operation of wireless communication facilities shall be located within or concealed by the structure to which the facility is attached. No exposed conduit, wire, cables or similar appurtenances shall be permitted. Other than new monopole facilities in conformance with Section 14.56.050(A), all mechanical equipment for the wireless facilities shall be located within or concealed by the structure on which the facility is located.*
E. *The development of wireless communications facilities shall minimize the removal of landscaping and shall not result in the removal of mature trees, shrubs or other landscaping determined to be a significant environmental or aesthetic resource, including, but not limited to natural habitat. A landscape plan shall also be required to further enhance landscaping on the parcel if necessary for screening or aesthetic purposes.*

The proposed rooftop mounted facility would not alter the existing building setbacks or lot coverage, and would not alter any existing parking or landscape areas. The proposed design of the facility utilizes wireless-compatible architectural elements in the same style and color of the existing building in an attempt to conceal the wireless antennas without negatively affecting the architectural design of the building or how the building blends with the surrounding development. While the architectural projection would effectively screen the antennas, the architectural projections as viewed in elevation are somewhat abrupt in comparison to the existing building's architectural design. Staff therefore questions if the proposed facility design complies with the development criteria which requires the facility to architecturally blend with the structure to which it is attached. The equipment cabinets and ancillary equipment would be located behind an existing

secondary rooftop mechanical screen, and all conduits, wires and cables would be discretely routed from the interior of the building or within concealed cable trays on the rooftop.

The Board's comments on the proposed facility's design in compliance with Development criteria (B) would be appreciated. The ARB may consider offering the applicant guidance on alternative designs which may help the antennas blend with the existing building's architecture while still allowing the facility to meet the required wireless coverage objectives.

CMC § 14.56.090 – Findings

In addition to the findings identified within Chapter 14.62 of the Carpinteria Municipal Code (Conditional Use Permits), in order to approve an application to develop a wireless communications facility, the planning commission shall also find that: The proposed wireless communications facility will be compatible with existing and surrounding developments in terms of land use and aesthetics;

A. *The proposed wireless communications facility complies with the intent of the wireless communications chapter;*
B. *The proposed wireless communications facility is designed to minimize its visibility from points off-site, to be obscured from view within protected view corridors, and complies with the development criteria identified within §14.56.070 of the CMC; and*
C. *The applicant has demonstrated that the wireless communications facility will be operated within the allowed frequency by the FCC and complies with all applicable health and safety standards.*

As previously discussed, and in compliance with the relevant location and development criteria, the proposed design of the facility utilizes wireless-compatible antenna concealing architectural elements in the same style and color of the existing building to conceal the wireless antennas in an attempt to ensure compatibility with existing and surrounding developments and to minimize visibility from points off-site. While the new architectural elements reach 39 feet 4-inches in height, and could therefore impact views to the ocean and Channel Islands from public viewing areas along Carpinteria Avenue and Highway 101, as depicted in the provided photosimulations included as Attachment C, the existing public views over the building are heavily obscured by existing mature landscaping and trees that surround the building on the north, east and west sides. In addition, the proposed architectural elements that would screen the antennas are limited to three locations on the building on the north, northwest, and extreme southeast portions of the rooftop. As such, the relatively small percentage of building elevations being raised to conceal the antennas would not result in a substantial view impact. Similarly, while the site contains a public trail at the southern portion of the site, the predominant public views are from the trail looking south at the ocean and islands, with limited mountain views available because of the exiting tall trees and landscaping, and because

of the existing building's proximity to the trail which restricts existing public views from the trail towards the mountains.

To confirm that the communications facility will be operated within the allowed FCC limits and complies with all applicable health and safety standards, the applicant has provided a Radio Frequency - Electromagnetic Energy (RF-EME) Report dated February 5, 2024, prepared by EBI Consulting. The report models the RF-EME emissions of the proposed facility to determine RF-EME exposure levels from proposed wireless communications equipment and to confirm that all relevant FCC RF-EME compliance standards for limiting human exposure to RF-EME fields would be met. The report concludes that based on worst-case predictive modeling (including the existing Verizon Wireless facility), the composite exposure level from all carriers on this site would be approximately 8.16 percent of the FCC's general public limit at ground level. The worst-case exposure level may exceed the FCC's general public limit within approximately 54 feet of DISH's proposed antennas at the main roof level, however the rooftop area is not accessible by the general public. As required by the FCC's rules and regulations, implementation of a Site Safety Plan requires signage and barriers to protect workers and individuals within areas exceeding the general public emissions limit (including arborists and landscapers accessing the rooftop or nearby elevated structures or trees) to inform them of the presence and locations of antennas and their associated fields, where applicable.

CMC § 14.20.100 - Height Requirement

No building or structure shall exceed a height of thirty (30) feet.

14.50.090 - Height (definition)

Chimneys, elevator and stair housings, television receiving antennas for individual receiving set or sets, antennas for amateur radio shortwave sending and receiving sets used by commercial enterprises in connection with a business other than broadcasting radio programs for the general public, flagpoles, monuments, oil derricks, church spires, and similar architectural features and similar structures may exceed the building height limit in all districts where such excess heights are not in conflict with other provisions of this title.

14.56.080 Exceptions - *Wireless communication facilities may deviate from the standards herein when:*

A. *A development standard herein allows for an exception and the planning commission and city council approves such an exception; or*
B. *A variance has been approved pursuant to Chapter 14.70 of the Carpinteria Municipal Code.*

The architectural elements which would conceal the proposed antennas reach a height of 39 feet 4-inches feet, exceeding the City's maximum allowable 30-foot height. However, exceptions to the height limit are allowed for certain structures or architectural features, and therefore, approval of a variance would not be required to approve this project if all other development regulations and findings can be met. The proposed antenna concealing elements would not exceed the height of the existing rooftop stair housing.

Design Review

The subject property contains an office building on a bluff top parcel south of Carpinteria Avenue in the northeast portion of the City. The building has an L-shaped footprint with entrances and parking on the north side, and extensive mature site landscaping and trees. The exterior is painted gray stucco with glass windows and entries. As previously described, the proposed wireless communications facility would be located on the building's rooftop with an antenna screening architectural feature painted to match the building.

The Board's comments on the proposed facility's design and detailing, and the project's compliance with the applicable wireless communications facility location and design criteria would be appreciated.

General Plan/Coastal Plan Policies

The City's Land Use, Community Design, and Open Space, Recreation and Conservation Elements of the General Plan/Coastal Plan contain both general over-arching policies and specific subarea policies. The project site is in Design Subarea 6 (Bluffs II).

LAND USE ELEMENT

Objective LU-3: *Preserve the small beach town character of the built environment of Carpinteria, encouraging compatible revitalization and avoiding sprawl development at the City's edge.*

Policy LU-3d: *Establish a commercial sector that balances the retail and service needs of citizens and tourists.*

Policy LU-3f: *Encourage the remodeling and revitalization of neighborhoods and commercial areas in accordance with principles established in the Community Design Element.*

Policy LU-3g: *Provide for a range of business activities that bring vitality, revenue, and employment to Carpinteria and are compatible with its small town character.*

Policy LU-3i: *Ensure the provision of adequate services and resources, including parking, public transit and recreational facilities, to serve proposed development.*

The proposed use is compatible with the Research & Development Industrial (RDI) land use designation with approval of a Conditional Use Permit. CMC 14.56.050 encourages the location of wireless facilities within the commercial, industrial and utility designated properties, since the facilities will have lesser aesthetic and land use compatibility impacts in these areas of the City. The primary use of the property as an office building will not be affected by the proposed wireless facility, and the building already hosts an existing wireless facility by another carrier. The proposed collocated wireless facility has been designed to minimize visual alterations to the character of the building, except for an increase in height in the locations of the antenna screening architectural elements. Approval of the facility would address a service gap in Dish Wireless coverage and improve overall voice and wireless data service for residents and visitors to the City.

COMMUNITY DESIGN ELEMENT / OPEN SPACE, RECREATION AND CONSERVATION ELEMENT / SUB AREA 6 OBJECTIVES AND POLICIES

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

Objective OSC-13: *Preserve Carpinteria's visual resources.*

OSC-13a: *Preserve broad, unobstructed views from the nearest public street to the ocean, including but not limited to Linden Avenue, Bailard Avenue, Carpinteria Avenue, and U.S. Highway 101. In addition, design and site new development on or adjacent to bluffs, beaches, streams, or the Salt Marsh to prevent adverse impacts on the visual resources. New development shall be subject to all of the following measures:*

a. *Height and siting restrictions to avoid obstruction of existing views of visual resources from the nearest public areas.*

Objective CDS6-1: *Maintain the Carpinteria Bluffs Access, Recreation & Open Space Master Program as the coordinated plan for the Carpinteria Bluffs area that will allow development of uses identified in the Land Use Plan herein, so as to complement one another and preserve and enhance the site's coastal environment. The plan should be maintained so as to include information adequate to define the environmental resources and hazards within the Carpinteria Bluffs, and to delineate precise and appropriate policies for their management.*

Objective CDS6-2: *Ensure that development is controlled to avoid impacts to significant viewsheds, vistas, and view corridors.*

Policy CDS6-b: *Development on the Bluffs shall not obstruct existing view corridors of the ocean and bluff top edge. In addition, views of the ocean and mountains for users of the Carpinteria Bluffs Nature Park and coastal trail(s), for bluffs area property owners and visitors, and for passing motorists, shall be maintained.*

While the new architectural elements proposed to conceal the antennas reach 39 feet 4-inches in height, and could therefore impact views to the ocean and Channel Islands from public viewing areas along Carpinteria Avenue and Highway 101, as depicted in the provided photosimulations included as Attachment C, the existing public views over the building are heavily obscured by existing mature landscaping and trees that surround the building on the north, east and west sides. In addition, the proposed architectural elements that would screen the antennas are limited to three locations on the building on the north, northwest, and extreme southeast portions of the rooftop. As such, the relatively small percentage of building elevations being raised to conceal the antennas would not result in a substantial view impact. Similarly, as depicted in the site photographs included as Attachment B, while the site contains a public trail at the southern portion of the parcel, the predominant public views are from the trail looking south at the ocean and islands, with limited mountain views available at the subject site because of the exiting tall trees and landscaping, and because of the existing building's proximity to the trail which restricts existing public views of the mountains over the building.

The Board's comments on the proposed project's consistency with the above community design objectives and policies, and "Small Beach Town" character would be appreciated.

SUMMARY OF ISSUES

- Resultant increased height and mass of the proposed antenna screening architectural elements;
- Design and finish of the proposed screening element; and
- Overall project compliance with the wireless communications development standards and applicable public view preservation policies.

RECOMMENDATION

The Board should provide comments on the issues raised. If the Board feels the project meets the applicable design criteria, the Board may recommend preliminary approval to the Planning Commission.

ATTACHMENTS

Attachment A – Preliminary Plans
Attachment B – Site Photos
Attachment C – Photosimulations

Attachment A
Preliminary Project Plans

Dish Wireless Communications Facility
(6267 Carpinteria Avenue)
Preliminary ARB Review
August 15, 2024

DISH Wireless L.L.C. SITE ID:

LALAX01023C

DISH Wireless L.L.C. SITE NAME:

PROCORE HQ

DISH Wireless L.L.C. SITE ADDRESS:

6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SITE INFORMATION

PROPERTY OWNER:	ROBIN STOREY
ADDRESS:	6155 CARPINTERIA AVE CARPINTERIA, CA 93013 (805) 698-2614
TOWER TYPE:	ROOFTOP
TOWER CO SITE ID:	N/A
TOWER APP NUMBER:	N/A
COUNTY:	SANTA BARBARA COUNTY
LATITUDE (NAD 83):	34° 23' 6.0504" N 34.385014
LONGITUDE (NAD 83):	119° 29' 32.874" W -119.492465
ZONING JURISDICTION:	SANTA BARBARA COUNTY
ZONING DISTRICT:	CITY OF CARPINTERIA
PARCEL NUMBER:	001-190-070
OCCUPANCY GROUP:	U
CONSTRUCTION TYPE:	V-B
POWER COMPANY:	N/A
TELEPHONE COMPANY:	N/A

PROJECT DIRECTORY

APPLICANT:	DISH Wireless L.L.C. 7545 IRVINE CENTER DRIVE, SUITE 250 IRVINE, CA 92618
ASSET OWNER:	ROBIN STOREY 6155 CARPINTERIA AVE CARPINTERIA, CA 93013 (805) 698-2614
SITE DESIGNER:	MD7, LLC 10590 WEST OCEAN AIR DR, SUITE 250 SAN DIEGO, CA 92130 (858) 964-7439
ARCHITECT:	MD7 ARCHITECTURE SERVICES, INC 10590 WEST OCEAN AIR DRIVE SUITE 250 SAN DIEGO, CA 92130 NICK BRITT (619) 322-8425
SITE ACQUISITION:	BECKY RHODES (951) 801-1923
CONSTRUCTION MANAGER:	JAVIER PULIDO (626) 801-1923
RF ENGINEER:	CRAIG STANZIANO N/A

SCOPE OF WORK

THIS IS NOT AN ALL-INCLUSIVE LIST. CONTRACTOR SHALL UTILIZE SPECIFIED EQUIPMENT PART OR ENGINEER APPROVED EQUIVALENT. CONTRACTOR SHALL VERIFY ALL NEEDED EQUIPMENT TO PROVIDE A FUNCTIONAL SITE. THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:

SECTOR SCOPE OF WORK:
- INSTALL (3) PROPOSED PANEL ANTENNAS (1 PER SECTOR)
- INSTALL PROPOSED JUMPERS
- INSTALL (6) PROPOSED RRUS (2 PER SECTOR)
- INSTALL (3) PROPOSED OVER VOLTAGE PROTECTION DEVICE (OVP) (1 PER SECTOR)
- INSTALL (3) PROPOSED DISCRETE POWER CABLES
- INSTALL (3) PROPOSED DISCRETE FIBER CABLES
- INSTALL PROPOSED CABLE TRAYS

ROOFTOP SCOPE OF WORK:
- INSTALL (1) PROPOSED 75KVA STEP-DOWN TRANSFORMER
- INSTALL (1) PROPOSED DISCONNECT SWITCH
- INSTALL (1) PROPOSED METAL PLATFORM WITH U-FRAME
- INSTALL (1) PROPOSED CABLE TRAY
- INSTALL (1) PROPOSED DBU IN CABINET
- INSTALL (1) PROPOSED EQUIPMENT CABINET
- INSTALL (1) PROPOSED POWER CONDUIT
- INSTALL (1) PROPOSED TELCO CONDUIT
- INSTALL (1) PROPOSED NEMA 3 TELCO-FIBER BOX
- INSTALL (1) PROPOSED GPS UNIT
- INSTALL (1) PROPOSED GENERATOR CAMLOCK

CALIFORNIA CODE OF COMPLIANCE

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

CODE TYPE:	CODE
BUILDING:	2023 CALIFORNIA BUILDING CODE
MECHANICAL:	2023 CALIFORNIA MECHANICAL CODE
ELECTRICAL:	2023 CALIFORNIA ELECTRICAL CODE

SHEET INDEX

SITE PHOTO

UNDERGROUND SERVICE ALERT
UTILITY NOTIFICATION CENTER OF CALIFORNIA
(800) 422-4133
WWW.CALIFORNIA811.ORG
CALL 2-14 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK.

DIRECTIONS

DIRECTIONS FROM DISH Wireless L.L.C. OFFICE/AIRPORT/DOWNTOWN:
GET ON I-405 N. FOLLOW I-405 AND US-101 N TO CA-150 W/RINCON RD IN CARPINTERIA. TAKE EXIT 84 FROM US-101 N. FOLLOW RINCON RD AND CARPINTERIA AVE TO YOUR DESTINATION

6267 CARPINTERIA AVE
CARPINTERIA, CA 93013

VICINITY MAP

NO SCALE

dish wireless.
5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

MD7
MD7, LLC
10590 West Ocean Air Dr.
Suite 250
San Diego, CA 92130
858 964-7439

DRAWN BY:	CHECKED BY:	APPROVED BY:
JJ	FR	NB

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS

REV	DATE	DESCRIPTION
0	08/08/2024	90% ISSUED FOR REVIEW

A&E PROJECT NUMBER
LALAX01023C

DISH Wireless L.L.C. PROJECT INFORMATION
LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

dish wireless

MD7

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 5

LOCATION

EXISTING LOOKING WEST

PROPOSED LOOKING WEST

dish wireless

MD7

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 6

LOCATION

EXISTING LOOKING NORTHEAST

PROPOSED LOOKING NORTHEAST

dish wireless

MD7

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 7

LOCATION

EXISTING LOOKING NORTHEAST

PROPOSED LOOKING NORTHEAST

dish wireless

MD7

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 8

LOCATION

EXISTING LOOKING WEST

PROPOSED LOOKING WEST

dish wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

MD7

MD7, LLC
10590 West Ocean Air Dr.
Suite 250
San Diego, CA 92130
858 984 7439

DRAWN BY:	CHECKED BY:	APPROVED BY:
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SUBMITTALS

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0	06/06/2024	90% ISSUED FOR REVIEW

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LALAX01023C

DISH Wireless L.L.C. PROJECT INFORMATION

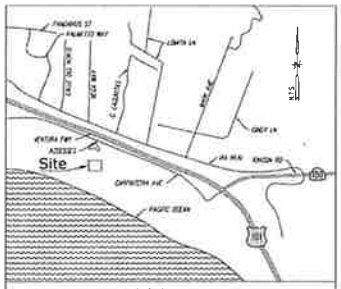
LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SHEET TITLE

PHOTO SIMULATIONS

SHEET NUMBER

T-3



Vicinity Map

Title Report

THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE REPORT.
PREPARED BY
ORDER NO.
DATED

Legal Description (PER DEED)

THAT PORTION OF TRACT "B" AS SHOWN ON THE MAP OF THE ESTATE OF MARTHA C. BALLARD, DECEASED, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, FILED IN BOOK 7, PAGE 90 OF MAPS & SURVEYS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING SOUTHERLY OF THE SOUTHERLY LINE OF TRACT OF LAND DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED AUGUST 11, 1948 AS INSTRUMENT NO. 9891 IN BOOK 868, PAGE 193 OF OFFICIAL RECORDS, IN THE OFFICE OF THE COUNTY RECORDER OF SANTA BARBARA COUNTY, EXCEPTING THEREFROM THAT PORTION THEREOF LYING SOUTHERLY OF THE NORTHERLY RIGHT OF WAY OF SOUTHERN PACIFIC RAILWAY COMPANY, AS CONVEYED IN DEEDS RECORDED MARCH 29, 1967 IN BLOCK 12, PAGE 543 & IN BOOK 75, PAGE 348 BOTH OF DEEDS, RESPECTIVELY.

ALSO EXCEPTING THEREFROM 50% OF ALL OIL, GAS HYDROCARBON SUBSTANCES MINERALS AND OIL & MINERAL RIGHTS IN & UNDER SAID LAND LYING BELOW A DEPTH OF 500 FEET BELOW THE SURFACE OF SAID LAND, BUT WITHOUT THE RIGHT OF ENTRY UPON THE SURFACE OF LAND, AS RESERVED BY CHARLES EDWARD BALLARD IN DEED RECORDED SEPTEMBER 21, 1960 AS INSTRUMENT NO 29332 IN BOOK 1781, PAGE 328 OF OFFICIAL RECORDS.

FURTHER EXCEPTING THEREFROM THE EAST 250 FEET LYING BETWEEN PARALLEL LINES AS CONVEYED TO INFRARED INDUSTRIES, INC., A DELAWARE CORPORATION BY DEED RECORDED DECEMBER 6, 1961 AS INSTRUMENT NO. 43659 IN BOOK 1905, PAGE 51 OF OFFICIAL RECORDS.

ALSO FURTHER EXCEPTING THEREFROM THAT PORTION THEREOF CONVEYED TO THE STATE OF CALIFORNIA BY FINAL ORDER OF CONDEMNATION RECORDED FEBRUARY 17, 1964 AS INSTRUMENT NO 7121 IN BOOK 2046, PAGE 161 OF OFFICIAL RECORDS.

Assessor's Parcel No.

001-180-070

Easements

NOT AVAILABLE

Utility Route/Lease Area

AS SHOWN

Geographic Coordinates at Proposed Sectors

1983 DATUM

SECTOR ALPHA	LATITUDE 34° 23' 06.90"N	LONGITUDE 119° 29' 33.06"W
SECTOR BETA	LATITUDE 34° 23' 05.17"N	LONGITUDE 119° 29' 31.18"W
SECTOR GAMMA	LATITUDE 34° 23' 06.56"N	LONGITUDE 119° 29' 33.48"W

ELEVATION = 1463.3 FEET ABOVE MEAN SEA LEVEL

CERTIFICATION
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°) MINUTES (') AND SECONDS ("), TO THE NEAREST HUNDRETH OF A SECOND. THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 5, (2013.25) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819. SAID BEARINGS ARE DERIVED LOCALLY UPON FIELD-OBSERVED HES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA (SNNA) CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS):

SNNA CA21
NORTHING = 1893893.37' EASTING = 6297728.57'

SNNA CA29
NORTHING = 1978767.15 EASTING = 6305918.37'

Benchmark

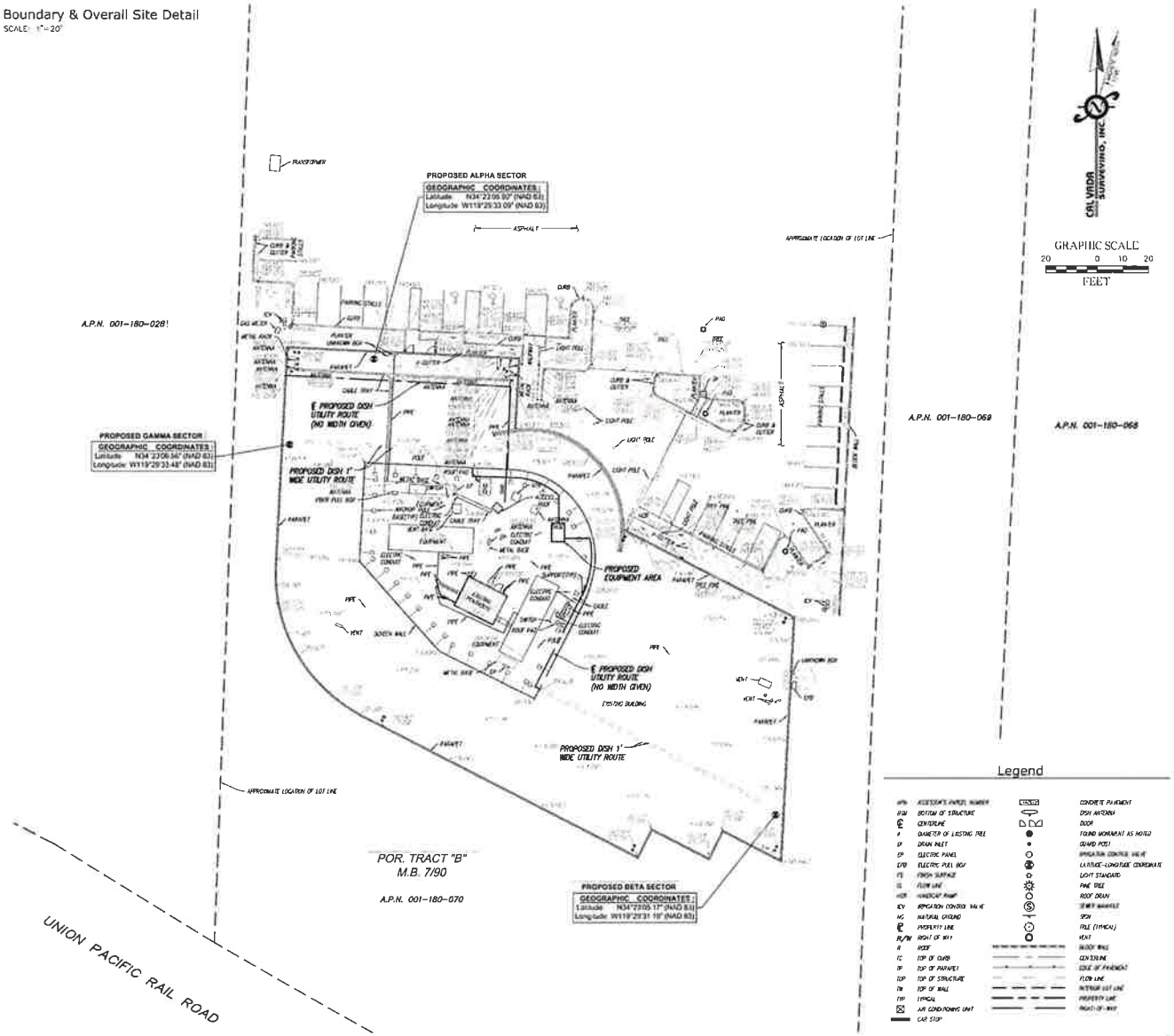
THE SMARTNET NORTH AMERICA (CORS) CA29, ELEVATION 1014.34 FEET (NAVD 88).

Date of Survey

APRIL 23, 2024

Boundary & Overall Site Detail

SCALE: 1"=20'



Legend

APN	ASSESSOR'S PARCEL NUMBER		CONCRETE PAVEMENT
BOS	BOTTOM OF STRUCTURE		DISH ANTENNA
℄	CENTERLINE		DOOR
Ø	DIAMETER OF EXISTING TREE		FOUND MONUMENT AS NOTED
DI	DRAIN INLET		GUARD POST
EP	ELECTRIC PANEL		IRRIGATION CONTROL VALVE
EPB	ELECTRIC PULL BOX		LATITUDE-LONGITUDE COORDINATE
FS	FINISH SURFACE		LIGHT STANDARD
FL	FLOW LINE		PINE TREE
HCR	HANDICAP RAMP		ROOF DRAIN
ICV	IRRIGATION CONTROL VALVE		SEWER MANHOLE
NG	NATURAL GROUND		SIGN
℄	PROPERTY LINE		TREE (TYPICAL)
R/W	RIGHT OF WAY		VENT
R	ROOF		BLOCK WALL
TC	TOP OF CURB		CENTERLINE
TP	TOP OF PARAPET		EDGE OF PAVEMENT
TOS	TOP OF STRUCTURE		FLOW LINE
TW	TOP OF WALL		INTERIOR LOT LINE
TYP	TYPICAL		PROPERTY LINE
	AIR CONDITIONING UNIT		RIGHT-OF-WAY
	CAR STOP		

SITE SURVEY

dish wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

MD7

MD7, LLC
10590 West Ocean Air Dr.
Suite 250
San Diego, CA 92130
858 964 7439

DRAWN BY:	CHECKED BY:	APPROVED BY:
JJ	FR	NB

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

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A&E PROJECT NUMBER

LALAX01023C

DISH Wireless L.L.C.
PROJECT INFORMATION

LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SHEET TITLE

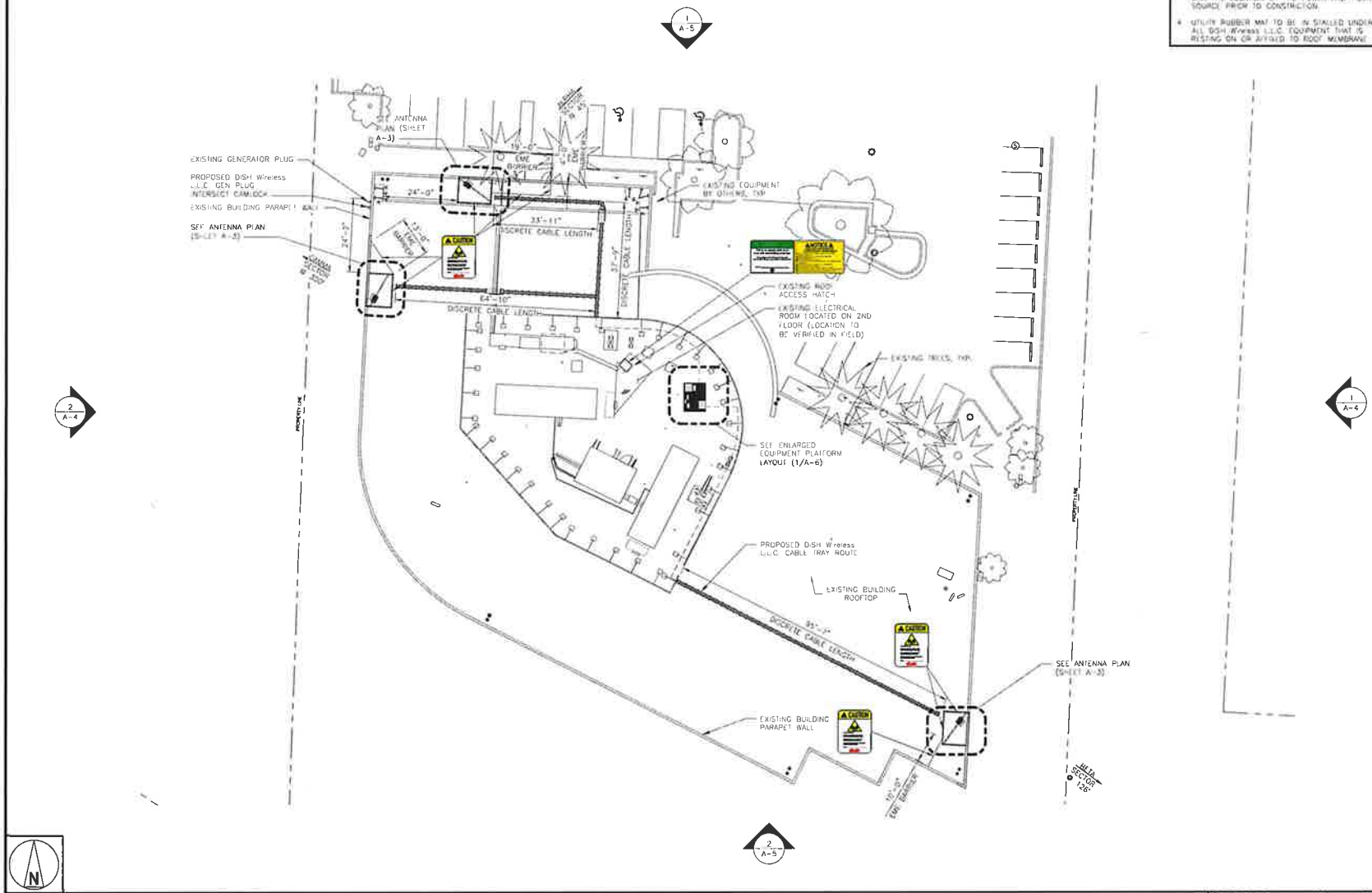
SITE SURVEY

SHEET NUMBER

LS-1

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED CPS UNIT, TRANSMITTING ANTENNAS AND EXISTING CPS UNITS
3. CONTRACTOR TO VERIFY WITH DISH Wireless L.L.C. C.M. THE LOCATION OF THE POWER AND FIBER SOURCE PRIOR TO CONSTRUCTION.
4. UTILITY RUBBER MAY TO BE INSTALLED UNDER ALL DISH Wireless L.L.C. EQUIPMENT THAT IS RESTING ON OR AFFIXED TO ROOF MEMBRANE



ENLARGED SITE PLAN

16' 12' 8' 4' 0 16' 32'
1/16"=1'-0"

1

DISH Wireless L.L.C. TEMPLATE VERSION 56 - 09/01/2023

dish wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

MD7

MD7, LLC
10590 West Ocean Air Dr.
Suite 250
San Diego, CA 92130
858 964 7439

DRAWN BY:	CHECKED BY:	APPROVED BY:
JJ	FR	NB

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS

REV	DATE	DESCRIPTION
0	06/06/2024	90% ISSUED FOR REVIEW

A&E PROJECT NUMBER

LALAX01023C

DISH Wireless L.L.C. PROJECT INFORMATION

LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SHEET TITLE

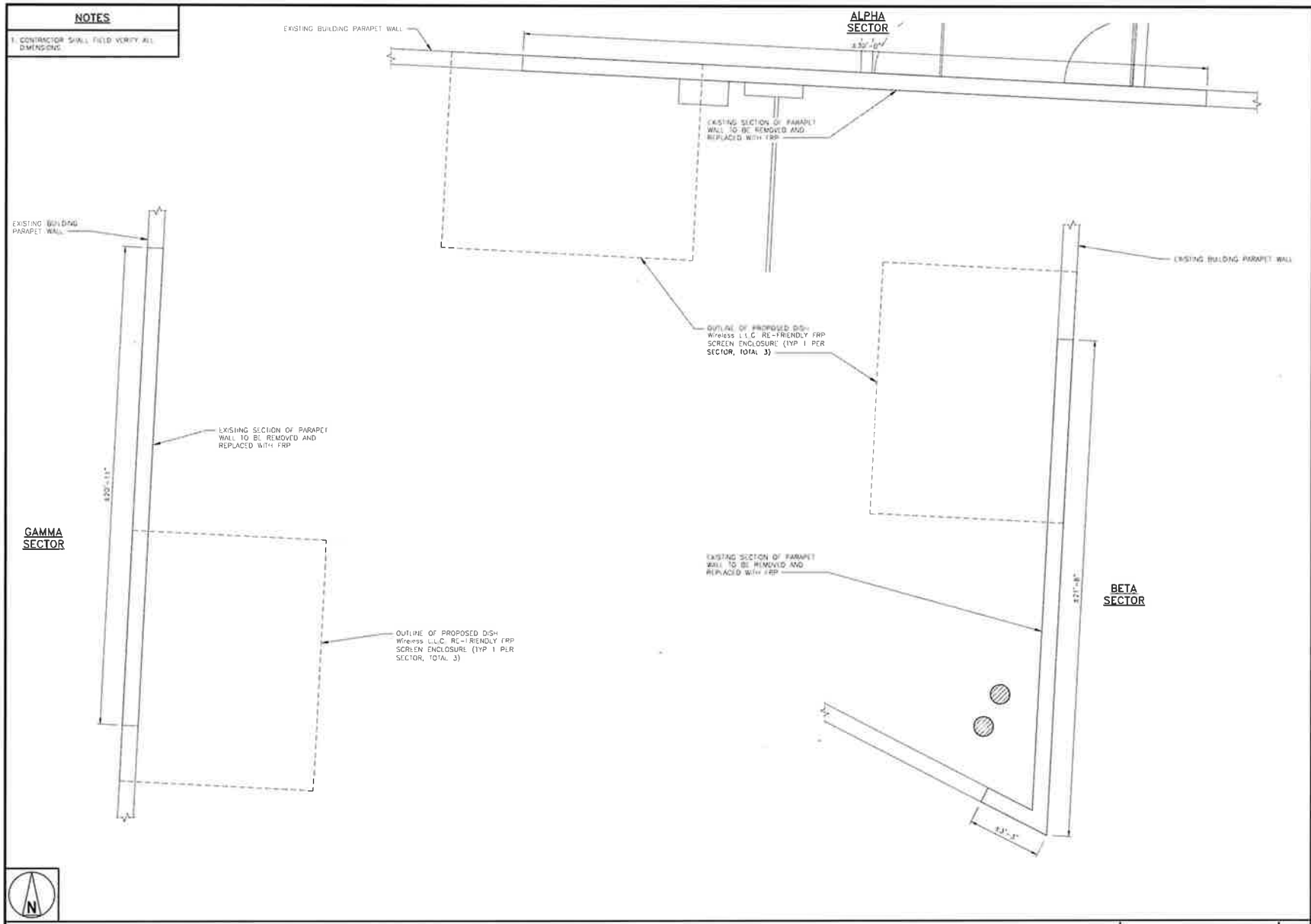
ENLARGED SITE PLAN

SHEET NUMBER

A-2

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS



PARAPET WALL REMOVE & REPLACE DETAILS

12" 6" 0 1' 2' 3' 4' 5'
1/2"=1'-0"

1

DISH Wireless L.L.C. TEMPLATE VERSION 56 - 09/01/2023

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5701 SOUTH SANTA FE DRIVE
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CONSTRUCTION DOCUMENTS

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LALAX01023C

DISH Wireless L.L.C. PROJECT INFORMATION

LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SHEET TITLE

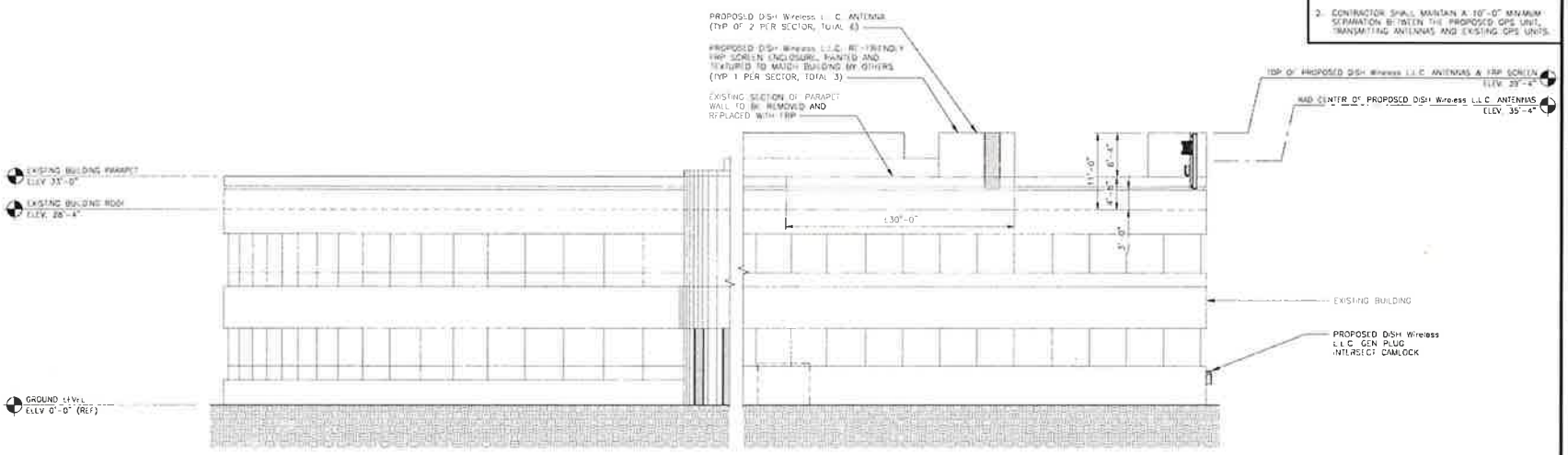
PARAPET WALL REMOVE & REPLACE DETAILS

SHEET NUMBER

A-3.1

NOTES

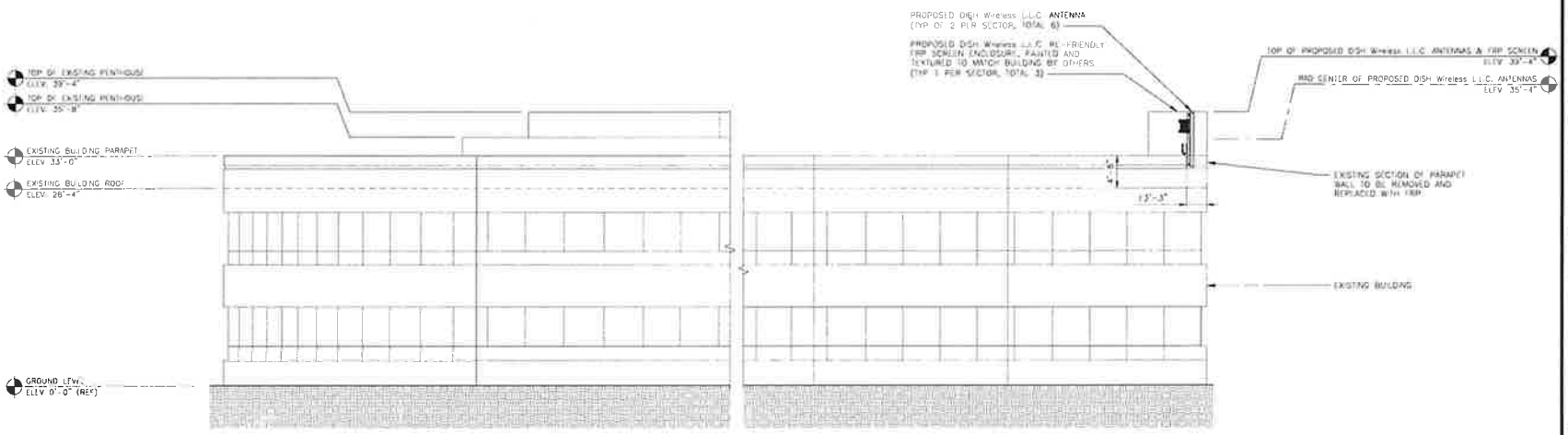
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.



BUILDING NORTH ELEVATION

4' 2' 0 4' 8'
1/4"=1'-0"

1



BUILDING SOUTH ELEVATION

4' 2' 0 4' 8'
1/4"=1'-0"

2

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LITTLETON, CO 80120

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JJ	FR	NB

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS

REV	DATE	DESCRIPTION
0	06/06/2024	90% ISSUED FOR REVIEW

A&E PROJECT NUMBER

LALAX01023C

DISH Wireless L.L.C. PROJECT INFORMATION

LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

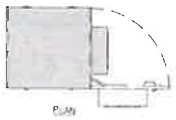
SHEET TITLE

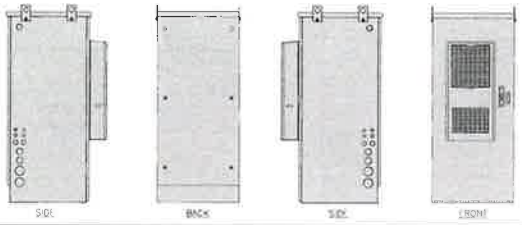
NORTH & SOUTH ELEVATIONS

SHEET NUMBER

A-5

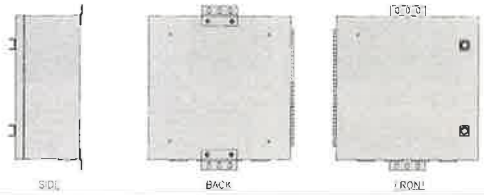
CHARLES INDUSTRY HVAC CUBE-PM63915IN4	
DIMENSIONS (HxWxD)	74"x32"x32"
POWER PLANT	-48VDC ABB/SOCIE
TOTAL WEIGHT (EMPTY)	383 LBS





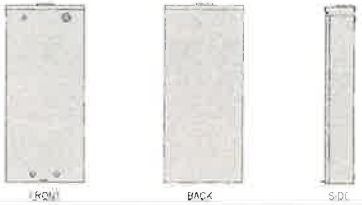
CABINET DETAIL | NO SCALE | 1

CHARLES CFIT-PF2020DSH1 FIBER TELCO ENCLOSURE	
ENCLOSURE DIMS (HxWxD)	20"x20"x9"
ENCLOSURE WEIGHT	20 lbs
MOUNTING	WALL
COMPLIANCE	TYPE 4

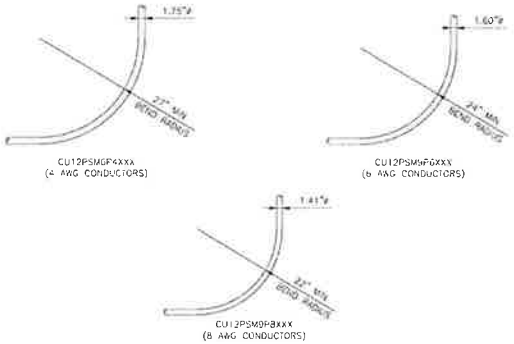


FIBER TELCO ENCLOSURE DETAIL | NO SCALE | 2

GE BREAKER PANEL TLM1220RCUP	
ENCLOSURE DIM (HxWxD)	29"x13"x5"
TOTAL WEIGHT (EMPTY)	26 LBS
MAX VOLTAGE/MAX AMPS	240v/200A
ENCLOSURE RATING	OUTDOOR NEMA 3R

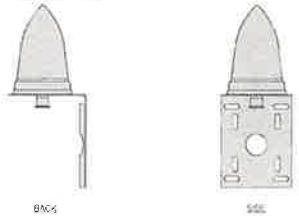


BREAKER PANEL DETAIL | NO SCALE | 3

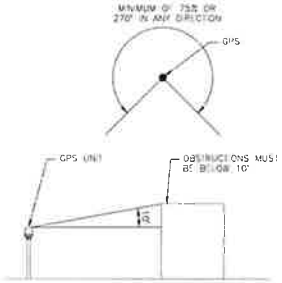


CABLES UNLIMITED HYBRID CABLE MINIMUM BEND RADIUSES | NO SCALE | 4

PCTEL GPSGL-TMG-SPI-40NCB	
DIMENSIONS (DIAxH) MM/INCH	81x184mm 3.2"x7.25"
WEIGHT W/ACCESSORIES	0.75 lbs
CONNECTION	N-FEMALE
FREQUENCY RANGE	1590 - 30MHz

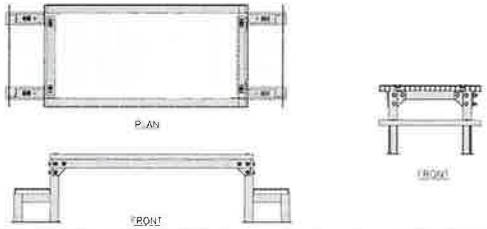


GPS DETAIL | NO SCALE | 5



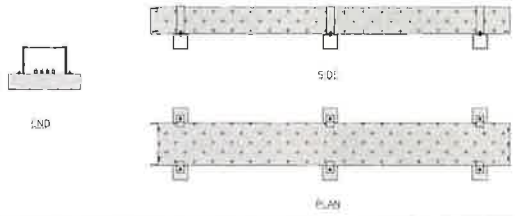
GPS MINIMUM SKY VIEW REQUIREMENTS | NO SCALE | 6

SITEPRO1 STEP 48 ROOFTOP STEEL STEP OVER	
DIMENSIONS (HxWxL)	13.2"x41.5"x70.5"
WEIGHT/ VOLUME	140.367 LBS
NOTE: NON-PENETRATING	



ROOFTOP STEEL STEP OVER DETAIL | NO SCALE | 7

COMMSCOPE RT-CB4D ROOFTOP COVER KIT			
DIMENSIONS (HxWxL)	7"x 11.25"x 96"	MOUNTING	NON-PENETRATING
WEIGHT/ VOLUME	83.98 LBS	INCLUDED PRODUCTS	RTCBHD01 CHANNEL (1)
CABLE RUN (QTY)	4		MT-11598 SLEEPERS (3)
			RTCUH HARDWARE
			RTHD01 HOLD-DOWN CLAMPS (6)



ROOFTOP CABLE TRAY DETAIL | NO SCALE | 8

SQUARE D SAFETY SWITCH D324NRB	
ENCLOSURE DIM (HxWxD)	29.25"x17.25"x8.25"
TOTAL WEIGHT (EMPTY)	45.33 LBS
MAX VOLTAGE/AMPS/WATT	240V/200A/48000W
ENCLOSURE RATING	OUTDOOR NEMA 3R

SAFETY SWITCH | NO SCALE | 9

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DRAWN BY:	CHECKED BY:	APPROVED BY:
JJ	FR	NB

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS

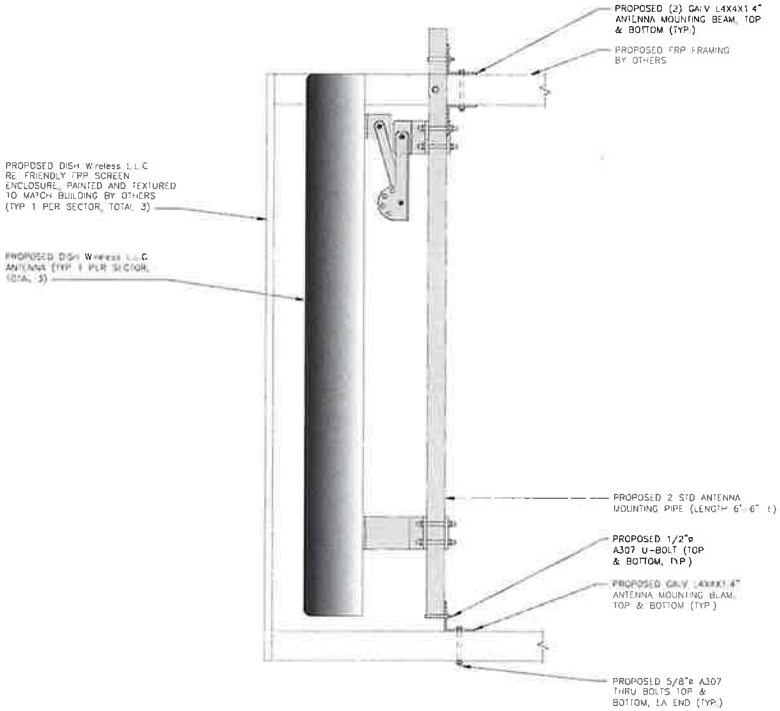
REV	DATE	DESCRIPTION
0	06/06/2024	90% ISSUE FOR REVIEW

A&E PROJECT NUMBER
LALAX01023C

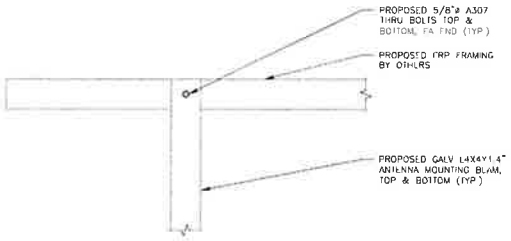
DISH Wireless LLC. PROJECT INFORMATION
LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
A-7



SECTION



PLAN

ANTENNA MOUNTING

12" 9" 6" 3" 0 1'
1 1/2"=1'-0"

1

DISH Wireless LLC TEMPLATE VERSION 56 – 03/01/2023

dish wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120

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IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ARCHITECT, TO ALTER THIS DOCUMENT.

DRAWN BY:	CHECKED BY:	APPROVED BY:
JJ	FR	NB

RFDS REV #: 0

CONSTRUCTION DOCUMENTS

SUBMITTALS

REV	DATE	DESCRIPTION
0	06/06/2024	90% ISSUED FOR REVIEW

A&E PROJECT NUMBER

LALAX01023C

DISH Wireless LLC
PROJECT INFORMATION

LALAX01023C
6267 CARPENTERIA AVE
CARPENTERIA, CA 93013

SHEET TITLE

EQUIPMENT DETAILS

SHEET NUMBER

A-9

Attachment B
Site Photos

Dish Wireless Communications Facility
(6267 Carpinteria Avenue)
Preliminary ARB Review
August 15, 2024

Attachment C
Photosimulations

Dish Wireless Communications Facility
(6267 Carpinteria Avenue)
Preliminary ARB Review
August 15, 2024

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 1

LOCATION

EXISTING LOOKING SOUTH

PROPOSED LOOKING SOUTH

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 2

LOCATION

EXISTING LOOKING SOUTH

PROPOSED LOOKING SOUTH

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 3

LOCATION

EXISTING LOOKING SOUTHEAST

PROPOSED LOOKING SOUTHEAST

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 4

LOCATION

EXISTING LOOKING EAST

PROPOSED LOOKING EAST

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 5

LOCATION

EXISTING LOOKING WEST

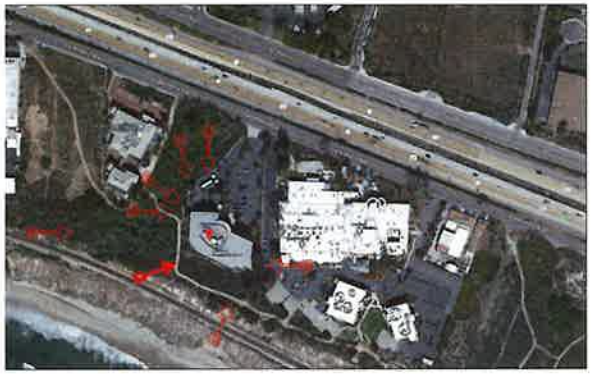
PROPOSED LOOKING WEST

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 6



LOCATION

EXISTING LOOKING NORTHEAST

PROPOSED LOOKING NORTHEAST

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 7

LOCATION

EXISTING LOOKING NORTHEAST

PROPOSED LOOKING NORTHEAST

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

LALAX01023C - PROCORE HQ

6267 CARPINTERIA AVE., CARPINTERIA, CA 93013

VIEW 8

LOCATION

EXISTING LOOKING WEST

PROPOSED LOOKING WEST

ACCURACY OF PHOTO SIMULATION BASED UPON INFORMATION PROVIDED BY PROJECT APPLICANT

CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of August 15, 2024

Agenda Item #3

COMMUNITY DEVELOPMENT DEPARTMENT PROJECT REVIEW

Project: 23-2221-DP/CDP **Planner:** Brian Banks
Address: 4745 Carpinteria Avenue
APN: 003-251-021
Zoning: Commercial Planned Development ("CPD") / Planned Residential Development ("PRD-13")
Applicant: Michael Stroh, DMHA Architects for Justin Klentner

Project Review: ☐ Preliminary
☑ Final

PROJECT DESCRIPTION

This is the final review of a proposal to redevelop the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development. The proposed mixed-use development would be comprised of a 24-unit 30,333 square foot apartment complex built around and atop a ground-level 22,519 square foot concrete parking podium, and a 4,513 square foot two-story commercial building fronting Carpinteria Avenue. All existing site improvements would be removed to facilitate the proposed development. Cumulative square footage for the proposed project would total 61,609 square feet. Maximum building height to the top of the proposed three-story element would be approximately 34 feet, 1 inch from finished grade.

The 24-unit apartment complex would be comprised of 4 one-bedroom units, 16 two-bedroom units, and 4 two-bedroom "townhouse" units facing Ninth Street. The 4 one-bedroom units would range in size from 941 – 1,174 square feet; the 16 two-bedroom units would range in size from 1,205 – 1,287 square feet; and the 4 two-bedroom "townhome" units would range in size from 1,495 – 1,523 square feet. The four "townhouse" units and one of the one-bedroom units (Unit 5) would be two-story units fronting on Ninth Street. Of the remaining units, Units 6 through 15 would be second floor flats and Units 16 through 24 would be third floor flats. The "townhouse" units would be provided with either a ground floor covered porch (Unit 1 and Unit 4) or both a ground floor covered porch and a second floor private deck (Units 2, 3 and 5). All other units would be provided with second- or third-level private decks oriented toward the perimeter of the property.

The proposed two-story commercial building would be located along the property's Carpinteria Avenue frontage and would contain a ground level commercial space of 1,706 square feet and an upper-level commercial space of 2,807 square feet. The commercial square footage is proposed to be divided into (up to) seven tenant suites, with a single ground floor space and the remaining five spaces on the second floor. The ground floor commercial space would feature a covered patio area along the Carpinteria Avenue frontage.

The ground-level covered parking podium would provide a total of 53 parking spaces onsite to serve both the proposed commercial and residential elements of the project, and would rely upon a mix of "standard" and "compact" spaces. The applicant received approval of a Development Plan Modification to allow eight of the total parking spaces provided onsite to be designated "compact" spaces (15% of the total number of spaces). Bicycle storage, trash enclosures, and utility/mechanical closets would be provided within the covered parking podium area. Vehicular access to the parking would be provided from a "primary" driveway on Carpinteria Avenue and a "secondary" driveway entrance from Ninth Street, at the rear of the project site. Room for six parallel spaces would be provided in the Ninth Street right-of-way for public on-street parking as part of the required project frontage improvements.

Open space and landscaping for the project would be provided along the west side of the property within the required 50-foot setback buffer from the adjacent Franklin Creek channel. The buffer area would feature bioretention swales that can doubly serve as part of the restored protective creek buffer and stormwater measures for the proposed development. A meandering walking path would lead through the buffer, connecting Ninth Street and Carpinteria Avenue. Spaces for ornamental landscaping would also be provided along the project's two street frontages and along the interior side property line. Additional open space and landscape areas for the use of apartment residents would be provided in centralized courtyard spaces on the second and third levels, in a "rooftop" deck space in the rear corner of the third level, and on a patio space above the ground floor commercial space's covered patio.

The project utilizes the state's Density Bonus Law (Gov. Code §§ 65915-65918) ("Density Bonus Law") to allow for the inclusion of additional dwelling units beyond what the City's maximum density would allow for under the current zoning designation in exchange for designating a certain number of the apartment units as income-restricted rentals. Specifically, the project calls for setting aside one unit for households that fall within the very low-income level (30% to 50% of the area median income ("AMI")), and two units for households that fall within the low-income level (50% to 80% of the area median income ("AMI")) in exchange for a density bonus of six additional units. The three income restricted units are proposed as one-bedroom units (Units 5, 6 and 11).

Pursuant to Density Bonus Law, the proposal was granted the use of incentives or concessions from the local jurisdiction's development standards to facilitate the

construction of the project and/or to accommodate the increased density. Specifically, the project utilizes the reduced required parking rates for residential developments subject to density bonus provisions, and received the two following concessions/incentives and/or waivers or reductions in development standards to: 1.) Allow for increased building height beyond the 30-foot maximum allowed by the City; and 2.) Allow for building lot coverage in excess of the 50% maximum limit for the Planned Residential Development ("PRD-13") zoned portion of the property.

A copy of the proposed final plans is provided as Attachment A.

PROJECT HISTORY

Joint City Council, Planning Commission and Architectural Review Board Meeting

In December 2022, the project applicant presented an initial concept for a commercial / residential mixed-use development for consideration by the City Council, Planning Commission and Architectural Review Board ("ARB"). The conceptual proposal elicited mixed reactions from City decision-makers, with most acknowledging that the site was an appropriate location for a mixed-use infill project, but many sharing concerns about the overall intensity of the contemplated development and neighborhood compatibility.

Architectural Review Board Reviews

In April 2023, a formal Development Plan and Coastal Development Permit application was submitted for the subject mixed-use development proposal. While similar in concept to the December 2022 joint conceptual review proposal, a handful of key revisions were made to the project design including changes to the mix of one- and two-bedroom units, a reduction of commercial square footage, and a reorganization of the project massing.

Over the course of an additional conceptual review and two preliminary review meetings with the ARB, the project was further revised and refined in an effort to respond to ARB and public comments, primarily related to building massing and articulation, street facades, and neighborhood compatibility. Some of the more significant changes included efforts to break up the project's massing, multiple height reductions to the Ninth Street façade (reducing overall height by ~1-foot), and enhancing the entry elements of the Carpinteria Avenue frontage.

Ultimately, the ARB recommended preliminary approval at their October 26, 2023 meeting on a 3-1 vote (Boardmember O'Connor opposed; Boardmember Johnson absent). As part of the ARB's adopted motion, the Board included comments recommending the applicant continue to try to scale down the mass of the Ninth Street façade. The Board also wished to express their concern to the Planning Commission about the size, scale, and bulk of future projects seeking to leverage similar state housing laws.

The ARB Meeting Minutes from the October 26, 2023 Continued Preliminary Review meeting are included as Attachment B.

Planning Commission Review

The Carpinteria Planning Commission considered the project at their February 5, 2024 meeting. Generally, the Commission was supportive of the proposed project, noting they agreed this was an appropriate site for a mixed-use infill project within the City's downtown area. Commissioners did, however, share some concerns over particular aspects of the project, including privacy and solar shading considerations related to the interior courtyards and walkways; building height and prominence of the third level; and the potential future installation of over-the-air reception devices such as satellite dishes, television or radio antennas exceeding the City's 30-foot height limit. Commissioners also expressed a desire to see the three dedicated affordable units be subject to a longer affordability covenant, if possible, and raised the need for an onsite manager's unit.

After receiving public comments, the Planning Commission ultimately approved the project (vote: 4-0-1, Commissioner Salant abstained) subject to several project revisions and additional conditions, which the project developer voluntarily accepted to gain the Commission's support for the project. The agreed upon project revisions and additional conditions included: 1.) stepping in the west-facing third floor units an additional three feet; 2.) working with the Architectural Review Board (ARB) to address privacy and solar shading of interior courtyard areas and adjacent living areas; 3.) provision of an on-site manager's unit; 4.) extension of the affordability covenant on the three affordable units from the standard 55 years to a 99-year term; 5.) provision of free wi-fi internet service for all residents of the development; and 6.) a prohibition on any roof-mounted satellite dishes or similar appurtenances on portions of the building above 30 feet in height.

A copy of the Action Letter from the February 5th Planning Commission hearing is included as Attachment C.

City Council Appeal of Planning Commission Action

At the February 12, 2024 City Council meeting, staff reported the Planning Commission's approval of the project as part of the City Manager's Report section of the agenda. After receiving public comments which raised concerns regarding potential traffic impacts and potential General Plan/Coastal Plan inconsistencies, the Council voted 4-0-1 (Councilmember Solarzano recused) to appeal the project to themselves.

In explaining the reasons for voting to appeal the Planning Commission's action, Mayor Clark commented that he shared some of the public commenters' concerns about General Plan/Coastal Plan consistency, and thought it appropriate to have one of the City's first projects to utilize some of the state's incentivized housing laws, be reviewed by the Council in the interest of better understanding how local zoning regulations, state housing laws, and the California Coastal Act all relate and intersect in the context of housing

projects. Mayor Clark further commented that while he believes that the City needs more housing and the site is a good location for a housing project, the project may require further refinement and offered that an appeal of the project would provide the Council an opportunity to be further educated on how to "harmonize" the City's General Plan/Coastal Plan with State Housing Laws for this and future housing projects. Councilmember Lee agreed with Mayor Clark and made the motion to appeal the project.

City Council Appeal Hearing

On March 26, 2024, the City Council convened a special meeting and held a public hearing to consider their appeal of the Planning Commission's decision to approve the project. At the hearing, the City Council reviewed the merits of the project and its consistency with the relevant General Plan/Coastal Plan policies, Community Design policies, and State Housing laws. As part of their deliberations, the Council also considered the ARB's previous comments and the Planning Commission's comments and conditions of approval when approving the project, including the design-related conditions imposed by the Commission regarding: stepping in the west-facing third floor units an additional three feet; studying ways to address privacy and solar shading of interior courtyard areas and adjacent living areas; and a prohibition on any roof-mounted satellite dishes or similar appurtenances on portions of the building above 30 feet in height.

After receiving public comments which raised nearly identical concerns as expressed at the February 5, 2024 Planning Commission hearing and the February 12, 2024 City Council meeting regarding potential traffic impacts and potential General Plan/Coastal Plan inconsistencies, the Council voted 4-0-1 (Councilmember Solarzano recused) to approve the project subject to several additional project revisions and conditions (in addition to the conditions previously imposed by the Planning Commission), which the project developer voluntarily accepted to gain the Council's support for the project. The agreed upon project revisions and additional conditions included: reducing the height of the three-story element of the project by 17 inches, resulting in a maximum building height of 34 feet, 2 inches from finished grade; and setting aside one of the three previously approved low-income restricted units as a very low-income unit. As a result, the approved project now includes one unit for households that fall within the very-low income level (30% to 50% of the area median income ("AMI")), and two units for households that fall within the low-income level (50% to 80% of the AMI).

A Copy of the City Council Action Letter dated March 27, 2024 is included as Attachment D. Project plans considered at the March 26, 2024 City Council appeal hearing are included as Attachment E.

PROJECT ANALYSIS

The final plans have been updated to address the previous ARB comments, the Planning Commission conditions of approval, and the City Council conditions of approval. As a

result, the project revisions from the last time the ARB reviewed the project at the October 26, 2023 continued preliminary review meeting are as follows:

- The height of the three-story element of the project lowered by 18 inches, resulting in a maximum building height of 34 feet, 1 inch from finished grade;
- The overall height of the townhomes fronting Ninth Street lowered approximately two feet, resulting in an overall height on the Ninth Street portion of the project of 24 feet, 11 inches from finished grade;
- Stepped in the west-facing third floor units three feet;
- The small "green roof" above the ground floor commercial space's covered patio has been replaced with a patio area with potted plants.
- Revisions to the interior courtyard areas with respect to privacy and solar shading; and
- Final architectural, landscape, and lighting details have been developed.

The window and door, exterior siding and related architectural details for the project can be found on Sheets A601 - A725, and the color and material details can be found on Sheet A801. The proposed exterior light fixtures and specifications are shown on Sheet A801 and fixture locations are shown on the elevation sheets. Landscape plans, landscape lighting and associated plant and material details can be found on Sheets L0 - L7.0. Overall, staff believes the applicant has satisfactorily responded to the ARB's comments, and the Planning Commission and City Council's conditions of approval.

The City Council has approved the project and therefore the ARB's review should be limited to review of the adequacy of the final architectural, landscape, lighting, and color/material details and ensuring the project is consistent with the City Council's conditions of approval.

SUMMARY OF ISSUES

- Revisions in response to the City Council's comments and conditions of approval;
- Architectural detailing and materials;
- Proposed exterior light fixtures, including night-sky compliance; and
- Landscape and hardscape details.

RECOMMENDATION

The Board should receive public comment and provide feedback on the issues raised. If the Board finds the project to have adequately responded to the City Council's conditions of approval, and the plans to be appropriately developed for final review, then the Board should recommend final approval to the Community Development Director.

ATTACHMENTS

Attachment A- Final Plans
Attachment B- ARB Minutes from the October 26, 2023 Continued Preliminary Review meeting
Attachment C- Planning Commission Action Letter dated February 6, 2024
Attachment D- City Council Action Letter dated March 27, 2024
Attachment E- Plans considered at the March 26, 2024 City Council appeal hearing

Attachment A

Final Plans

4745 Carpinteria Avenue Mixed Use Development
Project 23-2221-DP/CDP/ARB
Final ARB Review
August 15, 2024

4745 Carpinteria Avenue

Proposed Mixed Use Development

GENERAL NOTES

A. GENERAL NOTES

1. Architect makes no warranty, either express or implied, as to his findings, recommendations, specifications or professional advice or services except that they were promulgated or rendered in accordance with generally accepted architectural practices & under the direction of professional registered architects. As instruments of service, the Architect's drawings and specifications are not 100% complete of themselves & Architect's continued services and construction administration/observation are required for complete interpretation & application to a specific project. Owner & Contractor hereby acknowledge use of the drawings and/or specifications without Architect's involvement in construction administration/observation & prior approval of all changes and/or modifications shall thereby relieve Architect of all liability associated with changes or modifications to the project made during the construction process. Owner & Contractor hereby further warrant that Architect shall not be held responsible for the subsequent use of the drawings, and/or specifications or advice of others during construction work which was not performed under Architect's scope of administrative services.
2. Contractor shall check and verify all dimensions & conditions at the project site before executing any work & shall notify the Owner & the Architect of any discrepancies before proceeding. The Architect shall be notified of any unusual or unfamiliar conditions of situations which may affect the structural integrity or safety of the project.
3. Adherence to plans and adherence to the construction documents must be maintained. No changes shall be made in the project which deviate from the plans and specifications without the written consent of the Owner. No structural changes shall be made without the written consent of the Architect.
4. Annotations, drawings, typical dimensions and detailed drawings shall be followed in preference to scale measurements. In case of any doubts on the part of the contractor as to the exact meaning of the drawings & these specifications, he shall apply to the architect for an interpretation before proceeding with his work.
5. Shop drawings, Contractor shall submit copies of all shop drawings for review by Architect prior to Contractor's approval for construction.
6. The Contractor shall provide all shoring and bracing required to protect concerned & adjacent property and to insure safety of the project work.
7. Wherever in these drawings any material or process is indicated, it is for the purpose of facilitating description of the material or process desired. The contractor may offer any material or process which shall be deemed equivalent by the Engineer and the Architect to that material or process indicated or specified.
8. Unless otherwise specified, all materials shall be new & both workmanship & materials shall be the best of their respective kinds. The Contractor shall, if required, furnish satisfactory evidence as the kind and quality of materials.
9. It shall be the duty of the General Contractor to see that all sub contractors are fully informed in regard to the general conditions and provisions specifications.

B. PERMITS & REGULATIONS

1. Each Contractor shall pay for and obtain all permits required by local authorities before proceeding with his respective installation & shall arrange & pay for any inspections and examinations required by those authorities.
2. All workmanship and materials shall conform to the current edition of the codes, and laws, ordinances and regulations of all governmental bodies with jurisdiction over the project.
3. If the drawings & specifications are at variance with any federal, state & local or municipal law, ordinance, rules or departmental regulations, the Contractor shall notify the Architect in writing before proceeding with that work. If any of the contractor's work shall be done contrary thereto without such notice he shall bear all cost arising therefrom.

C. PROTECTION OF WORK & PROPERTY

1. The Contractor shall be responsible for all violations of city ordinances and state laws involved in the performance of his work. He shall provide, during the progress of his work, every & all safeguards & precaution against accidents, injury and damage to persons and property including adjoining property. The Contractor shall be responsible for his work & every part thereof, & for all materials, tools, appliances & property of every description used in connection therewith.
2. The Contractor assumes all risk, hazards and conditions in connection with the performance of the contract, & even if the performance of the contract involves a greater expenditure of money than the Contractor expected at the time of bidding, no allowance will be made on account thereof, and the Contractor shall continue with and complete the work.

D. SUPERVISION

1. The Contractor shall give personal supervision to the work, using his best skill and attention, & shall keep a competent foreman & necessary assistants constantly on the site. The foreman shall be the personal representative of the contractor & all directions given by him shall be as binding as if given by the Contractor. Communication delivered to the foreman by the Architect shall be as binding as if delivered to the contractor.

E. DAMAGES IN THE WORK

1. The Owner, without invalidating the contract, may alter its utilizing in or deducting from the work covered in the contract. All such work shall be executed under the conditions of the original contract except that no extra work or changes shall be done without written order from the Architect. Such orders shall cover the agreed price and terms of extra work or changes, if work is to be omitted, then proper credit for such omitted work shall be given the Owner.

F. CLEANING BUILDING & PREMISES

1. Prior to the completion of the work, the Contractor shall thoroughly clean the exterior and interior of the building, including fixtures, equipment, floors and hardware, removing all plaster spots, stains, paint spots and accumulated dust and dirt. This shall include thorough cleaning of all roofs, window sills and ledges, horizontal projections, steps, rooms, corridors or other surfaces where debris may have collected such a polish all glass.

G. GUARANTEE

1. Except as otherwise specified, all work shall be guaranteed in writing by the Contractor against defects resulting from defective materials, poor workmanship or faulty equipment, for a period of one year from the date of filing the notice of completion and the acceptance of the building by the Owner. If within the guarantee period correction of faulty materials or workmanship is necessary in the opinion of the owner, the Contractor shall promptly, upon receipt of notice from the owner & without expense to the Owner, correct faulty materials or workmanship.

H. VERIFICATION OF UNDERGROUND UTILITY IMPROVEMENTS

1. The General Contractor shall provide the Owner with an as-built drawing locating & describing all underground utilities located on the site, including but not limited to the following: gas lines, water lines, sanitary sewers, telephone lines, and electric lines.

I. TRANSPORTATION OF EXCAVATED MATERIAL

1. The Contractor shall transport all excavated material not required for re-compaction to an approved landfill site outside the coastal zone. Provide trip tickets for all excavated material removed from the project.

J. SETBACK CERTIFICATION REQUIREMENT

1. If California State licensed surveyor is required to certify the location and setbacks of all new construction prior to the first foundation inspection, a copy of the certification shall be available to the Building Division inspector for the pre-pour to the first inspection.

CODE COMPLIANCE

GOVERNING AGENCY:
5775 Carpinteria Avenue
Carpinteria, CA 93013

APPLICABLE CODES:
All work & material shall be performed & installed in compliance with the current editions of the following codes as adopted by the local governing authorities. Nothing in these plans is to be construed to permit work not conforming to these codes.

- California Building Code 2022 Edition (CBC)
- California Residential Code 2022 Edition (CRC)
- California Electrical Code 2022 Edition (CEC)
- California Mechanical Code 2022 Edition (CMC)
- California Plumbing Code 2022 Edition (CPC)
- California Energy Code 2022 Edition
- California Fire Code 2022 Edition
- California Green Building Standards Code, 2022 Edition
- ADA Standards for Accessible Design, 2010 Edition
- Best Management Practices listed on sheet G002

VICINITY MAP

PROJECT SCOPE

Project Scope Details:

- Proposed to redevelop 4745 Carpinteria Ave into a new mixed use development. Per design, bonus use, the project will suite 27% of the 66 base units for low income households, which would require 10 three income restricted units, and would grant the project up to a 35.75% density bonus (see additional units), which would equal 24 units.
- The project consists of 38,223 Residential Gross SF consisting of:
  - 16 Two Bedroom units 20,181 SF
  - 3 Two Bedroom Townhouses (Ht 4) 6,648 SF
  - 2 One Bedroom Townhouse (Ht 4) 3,883 SF
  - 3 One Bedroom units 3,513 SF
- 2 Commercial Retail units 4,513 SF
- and 28,833 SF of new medium-covered parking with 58 enclosed parking spaces
  - 17 parking spaces for commercial
  - 41 spaces for residential units

PROJECT INFORMATION

Owner: Justin Kleinberg 1523 N. Alfonzo Dr., West Hollywood, CA 90048	310 927 4201 justin@kleinbergmedia-construction.com
A.P.N.#	[illegible]
Zoning designation	MU - C - [illegible] - [illegible] MU - C - CPD
Land use designation	MU-SC
Existing use	Commercial Retail
Proposed use	Residential Retail/Commercial
High fire	No
Fire sprinklers required	Yes
Flood hazard	Yes/AE
Construction type	[illegible]
Occupancy group	R-2, A-2, B, S-2
Lot size	38,753 S.F. (0.87 ACRES)
Required setbacks	Front = 5' Sides = 5' Rear = 50'
Maximum height limit	50'
Required open yard area	[illegible] of Unit = 6,582 S.F. x Proposed 6,923 S.F. = 1,771 x 1.1 = [illegible]
Required number of Low income units	[illegible]% of base units = 3 units Proposed = (3 units) Unit 5 and Unit 11
Grading	Earthwork Cut = 200 CY Earth Work Import = 350 CY Earthwork Fill = 150 CY
SWMP compliance	New Impervious surface = 1,400 SF Replaced Impervious surface = [illegible] SF
Number of parking spaces	Existing = 0 Proposed = 53 Required = Commercial 1 Per 250 SF = 221 gross SF/250=1.17 Residential 1 Covered space Per 1 Bedroom Unit = 4 (Under Density Bonus Law Density) 1.5 Covered Space Per 2 Bedroom Unit = 33 Total Required = 51
Landscape	Existing = 970 SF Proposed Common Open yard = 6,923 SF Proposed Decorative Landscape = 2,345 SF Total = 10,238 SF

PROJECT DIRECTORY

ARCHITECT:
DMHA Architecture & Interiors
505 Cole Grove Chavez #102
Santa Barbara, CA 93103
Edward DeAvente CFNC AIA
805 966 7777
ed@dmhaa.com

GEOTECHNICAL ENGINEER:
Pacific Materials Lab
Pacific Materials Lab
P.O. Box 1 La Patera Lane
P.O. Box 1 La Patera Lane
Goleta, CA 93116
Phone: 805 964 6901
Email: [illegible]

CIVIL ENGINEER:
Ashley & Vance Engineering
3625 Auto Mall Parkway, Suite 101
Santa Barbara, CA 93105
Bruce Vance
805 967 9000 x101
bruce@ashleyvance.com

LANDSCAPE ARCHITECT:
RBA Design Group
10 E. Figueroa St. Suite 206
Santa Barbara, CA 93101
Katie Rice
805 242 4202
arborcrew@gmail.com

STRUCTURAL ENGINEER:
Ashley & Vance Engineering
3625 E. Cole Street, #5
Santa Barbara, CA 93105
E. Paul Bertrand, PE
805 967 9000 x102
paul@ashleyvance.com

MECHANICAL/ELECTRICAL/PLUMBING ENGINEER:
Creative Engineering Group
7123 Fairmount Ave.
Goleta Area, CA 93117
Richard Quarton P.E.
310 995 0415
richard@ceg.care

UNIT AREA (GROSS)

1	1 BR 1A	1,320 SF
2	1 BR 1A	1,320 SF
3	1 BR 1A	1,320 SF
4	1 BR 1A (Townhouse)	1,940 SF
5	1 BR 1A (Townhouse)	1,940 SF
6	1 BR	1,320 SF
7	1 BR	1,320 SF
8	1 BR	1,320 SF
9	1 BR	1,320 SF
10	1 BR (Townhouse)	1,940 SF
11	1 BR	1,320 SF
12	1 BR	1,320 SF
13	1 BR	1,320 SF
14	1 BR	1,320 SF
15	1 BR	1,320 SF
16	1 BR	1,320 SF
17	1 BR (Townhouse)	1,940 SF
18	1 BR	1,320 SF
19	1 BR	1,320 SF
20	1 BR	1,320 SF
21	1 BR	1,320 SF
22	1 BR	1,320 SF
23	1 BR	1,320 SF
24	1 BR (Townhouse)	1,940 SF
25	1 BR	1,320 SF
26	1 BR	1,320 SF
27	1 BR	1,320 SF
28	1 BR	1,320 SF
29	1 BR	1,320 SF
30	1 BR	1,320 SF
31	1 BR (Townhouse)	1,940 SF
32	1 BR	1,320 SF
33	1 BR	1,320 SF
34	1 BR	1,320 SF
35	1 BR	1,320 SF
36	1 BR	1,320 SF
37	1 BR (Townhouse)	1,940 SF
38	1 BR	1,320 SF
39	1 BR	1,320 SF
40	1 BR	1,320 SF
41	1 BR	1,320 SF
42	1 BR	1,320 SF
43	1 BR	1,320 SF
44	1 BR (Townhouse)	1,940 SF
45	1 BR	1,320 SF
46	1 BR	1,320 SF
47	1 BR	1,320 SF
48	1 BR	1,320 SF
49	1 BR	1,320 SF
50	1 BR	1,320 SF
51	1 BR (Townhouse)	1,940 SF
52	1 BR	1,320 SF
53	1 BR	1,320 SF
54	1 BR	1,320 SF
55	1 BR	1,320 SF
56	1 BR	1,320 SF
57	1 BR (Townhouse)	1,940 SF
58	1 BR	1,320 SF
59	1 BR	1,320 SF
60	1 BR	1,320 SF
61	1 BR	1,320 SF
62	1 BR	1,320 SF
63	1 BR	1,320 SF
64	1 BR (Townhouse)	1,940 SF
65	1 BR	1,320 SF
66	1 BR	1,320 SF
	TOTAL UNIT AREA (GROSS)	86,944 SF

BUILDING AREA (GROSS)

1st Floor (L1)	
1 - Apartments (Common Areas not Shown)	1,700 SF
2 - Apartments	1,700 SF
3 - Commercial Interior Building Area	4,513 SF
4 - Accessory Storage	1,700 SF
5 - Parking Garage	28,833 SF
6 - Utility Room	1,700 SF
TOTAL FIRST FLOOR AREA	38,146 SF
2nd Floor (L2)	
7 - Apartments	17,000 SF
8 - Residential Interior Building Area	19,848 SF
9 - Residential Interior Hallways	1,700 SF
Roof Overhang	2,000 SF
3rd Floor (L3)	
10 - Apartments	17,000 SF
TOTAL BUILDING AREA (GROSS)	95,694 SF

FLOOR AREA (NET)

1st Floor Area	4,513 SF
1st Floor Area Excluded	28,833 SF
2nd Floor Area	19,848 SF
3rd Floor Area	17,000 SF
TOTAL FLOOR AREA (NET)	59,361 SF

FIRE CODE GENERAL NOTES

- Hard Line Fire Alarm System Will Be Provided Under a Separate Permit. See Deferred Submittals
- Hard Line Addressing Will Be Provided

DEFERRED SUBMITTALS

The Following Items Shall Be Submitted To The Local Jurisdiction of Authority Under a Separate Building Permit Submittal:

1. Solar PV
2. Fire sprinklers - NFPA 13 Automatic Fire Sprinkler System MCBC 04 Section 903.2.8.20
3. Alarm system - Fire/Voice alarm System MCBC 04 Section 907.2.8.1 Hard line Fire Alarm System

PROJECT MANUAL

At The Time of Final Inspection, A Manual, Compact Disc or Web Based Reference Shall Be Placed In The Building. The Manual Shall Include All The Items Listed In The California Green Building Standards Code Section 4.410.1. Please See Sheet G002 For More Information

SPECIAL TESTS & INSPECTIONS

Please See Structural Sheets For Information On Structural Observation And Special Inspections.

Soil Testing And Inspection: Testing And Inspection Of Soils Shall Be Carried Out As Indicated In The Soils Report For This Project. Please Refer To The Soils Engineer's Report For This Information.

CONSTRUCTION WASTE MANAGEMENT

An approved sorting / recycling facility must be utilized for construction waste management to comply with construction waste reduction, disposal, and recycling ordinance of the California Green Building Standards Code Section 4.408.1. Minimum 65% non-hazardous materials removed and/or salvaged for re-use (CGBSC 4.408)

Facility: E.J. Harrison & Sons
3375 Cole Street
Ventura, CA 93003
805 647 1414

Legend

SHEET INDEX

LOCAL JURISDICTION STAMPS & NOTES

Ashley & Vance Engineering, Inc.
3625 Auto Mall Parkway, Ste. 101
Santa Barbara, CA 93105
www.ashleyvance.com

March 31, 2023

Job No. 2301.01

Re: CUP, Carpinteria Avenue
Carpinteria, CA
Flood Prelim Opinion Letter

The FEMA designated Zone AE boundary across the entire project site at 4745 Carpinteria Avenue. The proposed structural improvement will be placed across the entire site with grade level breakaway structures on the north and south areas of the site. These areas are completely within the limits of the regulatory floodway.

The Base Flood Elevation (BFE), established with the Flood Insurance Rate Map panel 14 FM of 1635 for Santa Barbara County, California Revised September 28, 2018 is approximately 19.0 feet for the site. See attached FIRMETTE exhibit.

To provide a more accurate BFE the nearbleed Franklin Creek profile prepared in panel 20 P in Volume 4 of the Flood Insurance Study for Santa Barbara County, California Revised September 28, 2018 was analyzed. Based on the location of the proposed condition structures along the centerline of Franklin Creek the BFE is 18.0 feet. See attached flood profile exhibit.

As an advisory we recommend that any structures be unengineered as necessary and set at an elevation of 1 foot above the BFE. We recommend that the finished floor elevation of the habitable structures be set at a minimum of 18.0 feet. Please contact me with any concerns.

Sincerely,

James J. Ostrea, P.E.
Principal Engineer

NOT FOR CONSTRUCTION

DMHA
ARCHITECTURE + INTERIOR DESIGN
505 Cole Grove
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

4745 Carpinteria Ave. Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	04.06.2023
	Revision & Existing Items Included	05.31.2024
	Final MM Submittal	07.09.2024
	1st Revision Submittal	09.05.2024

G001

COVER SHEET

GENERAL SPECIFICATIONS

1. Concrete:
   a. 5ksi shall be 3ksi or as otherwise indicated. pressure treated to meet termite infestation, set in 1/2" of sand insulation. As shall per structural drawings.
   b. All posts shall be Douglas Fir or equal.
   c. All beams shall be Douglas Fir with notching or face hangers in each case 6" 12" high.
   d. All structural members of all timbers with national lumber manufacturers association and western wood products association standards and drawings.
   e. Double wood sheet panel surface is nailing pattern in direction of grain.
   f. Face strip all exterior framing and overhangs all responsibility code.
   g. Where bolts and beam frame bolts, provide same or equal sheet hangers and connectors for support.
   h. Provide min. 2 2x plate each side of all openings. Provide 1 2x posts each side of header or beams over 3'-0" span.
2. Brewing:
   a. All masonry and frame walls shall be adequately braced and shored during construction until fully and properly tied back and secured. Follow code requirement and good construction practices for same.
3. Doors:
   a. All doors shall be designed, constructed, and installed to sustain a live load of 100 lbs. per sq.ft.
4. Roofing:
   a. Handrails and guardrails shall be designed and constructed for a concentrated load of 200 lbs. applied at any point and in any direction. The 4-ft. per of a guard shall be designed and constructed for a horizontal concentrated load of 200 lbs. applied over 1 sq.ft. of any point in the guard system. Design this simultaneously with the loading of the rails.
5. Flashing and Caulking:
   a. Flash around chimney, vent stacks, all roof penetrations and wherever else required with galvanized flashing. Locking all flashing at eave 6". All valleys and roof intersections with walls shall also have galvanized flashing. Provide flashing above front, windows and sliders and all other openings. Caulk all exterior joints. Building shall be guaranteed fully watertight.
6. Roof Drain Leaders:
   a. All drain systems and gutters shall be pre-finished galvanized sheet metal.
7. Insulation:
   a. Provide thermal insulation as shown on the drawings.
   b. Provide all pipe chases for sound.
   c. Provide roof wood insulation or equivalent between all outside and interior door frame will illuminate heating.
8. Finishes:
   a. Material and interior paints: to be shop or site use, or of required colors - verify samples with architect / owner.
   b. Windows finishes: water based polyurethane or lacquer finish only - verify samples with architect / owner.
   c. Adhesives - low toxicity, solvent free only.
9. Systems, Equipment, Appliances & building Components:
   a. All equipment, appliances, building components to be approved by Owner/Architect prior to installation.
   b. The CEC 110.0, systems, equipment, appliances and building components shall be installed in a building if:
      1. The manufacturer has certified that the system, equipment, appliance or building component complies with the applicable manufacturing provisions of section 1101 and;
      2. The system, equipment, appliance or building component complies with all applicable installation of 1101 through 1113.
      3. Continuation. Appliances that are within the scope of Section 2525 of the Appliance Efficiency requirements shall only be installed if they have been certified to the Energy Commission in accordance with 1103.1(b).

EROSION CONTROL NOTES

The owner/contractor shall remain responsible for the cleanup of any mud or dirt that is tracked onto streets or paved areas, even with the installation of gravel construction entrances.

1. Gravel Construction Entrances:
   A. A gravel construction entrance is generally required where vehicle traffic is anticipated off of a public paved or gravelled roads. If there is more than one vehicle access point, a gravel construction entrance should be installed at each entrance. The recommendations for field design is based on construction, and maintenance of the construction entrance remains with the property owner or construction contractor. Vehicles exposed shall not enter a property adjacent to a street, waterbody, or storm water facility unless adequate measures are installed to prevent physical erosion into the water.
2. Catch Basin Protection:
   a. Filter fabric shall be used in catch basins (drop inlets) in public and private streets, and parking areas on a course of sediment control. Alternate methods will require the approval of the inspector.
3. Sediment Filter/Barrier:
   A. For all projects, a silt fence or straw wattle shall be installed along the down slope edge of the disturbed area prior to the commencement of grading. The sediment filter structures will be located so that all runoff from the construction site is filtered, or passes through a sediment detention basin prior to discharge. Provide a berm of entering the site drains down slope. Sediment filter structures are to be inspected regularly by the responsible staff during inspections scheduled by the contractor to ensure of repair, and sediment removed when the depth of sediment is no more than half the height of the structure. Silt fences and straw wattles shall be installed according to the reference chart.
4. Straw Wattles:
   A. Straw wattles can be used as short-term sediment temporary channel flow lines or as a perimeter filter barrier. Straw wattles must be installed in a trench, staked and backfilled if they are to be effective in reducing flow velocity and filtering sediment from runoff.
   B. Straw wattles should not remain in place more than 12 months after installation unless it can be determined significant deterioration has not occurred. When used as a perimeter filter sediment could be removed when material is within 3 inches of the top of any wattle.
5. Silt Fences:
   A. Silt fences should be installed where sediment from sheet flow or rill and gully erosion will enter streets and adjacent property, when installing, it is important the fabric material be anchored into a trench and backfilled.
   B. Maintenance of fabric fences is similar to that of straw wattles in that the fabric must be inspected and needed repairs implemented after every storm event. Sediment deposits should be removed when material reaches no more than a depth of one-half the fence height.
6. Plastic Sheeting:
   A. Plastic sheeting shall generally not be used as an erosion control measure over large areas. Plastic sheeting may be used to protect small, highly erodible areas, or to protect temporary stockpiles of material. If plastic sheeting is used, the part of concentrated flow from the plastic must be protected.
7. Seeding Vegetation and Re-Vegetation:
   A. As far as is practicable, existing vegetation shall be protected and left in place, in accordance with the clearing limit shown on approved building, grading, or public works and erosion control plans. The protection of where quality plant material are to be removed, or the form removed in accordance with an approved plan. Plant areas shall be carefully located and marked to reduce potential damage. Where existing vegetation has been removed, or the original soil contours disturbed, the site shall be re-vegetated, and vegetation established, as soon as practicable, but no later than October 15.
8. Slope Protection:
   A. Hydro-seeding alone will normally not be considered satisfactory erosion protection for disturbed slopes greater than 4:1. Straw wattles shall also be protected using stake and backfill. The installation of erosion control blankets should be considered for all disturbed slopes steeper than 3:1 (3 ft. v. and greater than 20 feet in slope length. Installation of these wattles should be considered for all slopes flatter than 4:1 (4 ft. v.) with slope lengths greater than 20 feet. Straw wattles or silt fencing must be installed at the toe of all slopes steeper than 4:1 (4 ft. vertical) and flatter slopes of lesser lengths.
9. Wet Weather Measures:
   A. On sites where vegetation and ground cover have been removed from more than 5 acres of land, vegetative ground cover shall be planted on or before September 15 with the ground cover established by October 15, as an alternative of a protective ground cover is not established by October 15, the open areas shall be protected through the winter with straw mulch, erosion blankets, the installation of additional straw wattles, or other methods approved by the city.
10. Seeding:
    a. Seeding shall be as follows, or as recommended by a California licensed landscape architect or a certified professional soil erosion and sediment control specialist.

08 - QUALITY CONTROL

1. The contractor shall supervise and direct the work, using their best skills and attention. The contractor shall be solely responsible for all labor, equipment, delivery and installation means, methods techniques, and procedures and for coordinating all portions of the work under the contract.
2. When the owner's material is received at the job site, the superintendent is to inventory against the owner's account list and shall notify the owner immediately. If damaged or not fulfillment, replacement of shortages or damaged materials shall be back charged to the general contractor.
3. The contractor shall employ a competent superintendent. The superintendent shall represent the contractor and all communications to the superintendent shall be as binding as if given to the contractor.
4. The contractor shall, at all times, enforce strict discipline and good order among the employees and shall not employ on the work any unfit person or any person not skilled in the task assigned.
5. All noise shall confine construction work within the premises as much as possible and shall work in an orderly manner. Refrain from dust and debris from the project on a daily basis. All noise shall cease, works boards, or other construction materials once public areas where farm could be caused to the public.
6. All materials used in construction shall be new and of first class quality, unless otherwise indicated. All materials and workmanship shall be guaranteed for a period of one (1) year after date of the opening of the store.
7. Product samples, manufacturer's data and shop drawings shall be submitted by owner for review prior to fabrication or delivery of work. The items equal or approved equal shall require requests for substitution for products or manufacturers not specified.

09 - TEMPORARY SERVICES

1. If applicable, the general contractor shall provide such extensions, devices, hookups, and metering as required for temporary water, power, lighting, heat as as required to carry out the work.
   a. Temporary telephone - the owner's general contractor shall install a pay use telephone and the number and notify owner by fax of the telephone number and the name of the superintendent.
   b. Temporary water - water required in the performance of the contract shall be provided and paid for by the contractor. Water used for human consumption shall conform to the requirements of state and local authorities for potable water.
   c. Temporary sanitary - temporary portable toilets shall be the responsibility of the general contractor. Sufficient in number.
   d. Temporary heat - when required for proper installation or protection of any portion of the work. The contractor shall furnish and install temporary heating units as approved by the owner or local authority.
2. Cost of temporary utility services provided by owner. The contractor shall make provisions in coordinate with the owner on the utility services.

10 - CONTRACT CLOSE-OUT

1. Completion is the date on which the work or designated portion thereof is sufficiently complete, so the owner may occupy the same for the intended purpose.
2. Provide the following for close out
   a. G.C.'s final waivers (hard line signed originals)
   b. G.C.'s one-year warranty
   c. G.C.'s affidavits (706 & 0706)
   d. Sub-contractor's waivers
   e. Certificate of occupancy (if applicable)
   f. As built drawings
   g. Accounts of consumed spare
   h. Signed off punchlist

The following documentation.

1. 5- year manufacturer's warranties

Note: all payments to be submitted 24 days after completion date.

11 - FINAL CLEANING

1. General
   a. The work included in this subcontract shall be performed according to the general conditions and requirements which are stated on this set of drawings.
   b. Each subcontractor shall clean his/her work and remove all trash, debris, patching, etc. Removing from that work.
   c. The final cleaning shall be the "whole process" and performed by a professional cleaning company.
   d. All surfaces and finished shall be left free of marks, blemishes, dust, dirt, over spray, paint splats, etc.
   e. All sub-contractors shall remove excess materials after work is completed and floor to be broom cleaned.
   f. General contractor shall provide a professional cleaning service for all areas of the work to the completion of the project and shall include such work as is to the owner. Work include but not limited to removal of all traces of red stains materials, smudges, and foreign matter. Remove all traces of splashed material from adjacent surfaces. Clean glass both sides. The floor shall be cleaned and using manufacturer's recommended cleaning materials only.
2. Products and materials
   a. All products used for cleaning shall be appropriate for and compatible with the materials being cleaned.
3. Execution
   a. Clean all plastic laminates, counter tops, and hardware with non-abrasive products.
   b. Clean all glass and mirrors with ammonia type, non-streaking glass cleaner.
   c. Clean sinks all fixtures, including light fixtures.
   d. Remove labels, except for those required to demonstrate compliance with building codes, fire ratings, and testing and remove all residue and glue remaining on the surface.
   e. Toilet rooms - all fixtures and accessories surfaces in the toilet rooms shall be cleaned, sanitized, and polished.
   f. Electrical panels shall be dusted and wiped clean.
   g. Hard hardware - hinges, wall, and sills.
   h. Remove protective coverings and bags.
   i. Remove all traces of all trash, scraps, packing, etc.
   j. Trim - wipe clean.
   k. Gutter - hose down.

BEST MANAGEMENT PRACTICES

1. Stockpiles of earth, sand & other construction material materials must be protected from being transported from the site by the forces of wind or water. This includes sand for mortar, drywall demolition debris, drywall "mud" packaging, etc.
2. Fuels, oils, solvents & other toxic materials must be stored in accordance with their listing & are not to contaminate the soil & surface water. All approved storage containers are to be protected from the weather. Spills may not be washed into the drainage systems.
3. Non-toxic water runoff from equipment & vehicle washing & any other activity shall be contained in the site.
4. Erosion or waste concrete may not be washed into the public way or any other drainage system. Provision must be made to retain concrete wastes on site until they can be disposed of as a solid waste.
5. Trash & construction related solid wastes must be deposited into a covered receptacle to prevent contamination of rainwater and disposed by wind.
6. Sediments & other material may not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the public way accidental depositions must be swept up immediately & may not be washed down by rain or other means.

WATERPROFING GENERAL NOTES

Note: The following notes are general in nature and do not describe all conditions. Where a field condition exists that is not covered by these notes, the General Contractor is responsible to notify the architect immediately to resolve the condition.

1. Window and door installation shall follow manufacturer standards (AAMA 2400) for mounting flanges and AS/NZS 2047.
2. All flashing shall be applied over solid backing per manufacturer's recommendations.
3. Self-adhered flashing should be installed with a hard roller in order to assure proper adhesion to the mating flanges, substrate, roof flashings and water resistive barriers.
4. All flashing and sealants shall be chemically compatible and installed within the temperature range and conditions recommended by the manufacturer. Reason refer to the manufacturer's requirements. When appropriate, all flashing and all sealants should be from a single manufacturer.
5. All penetrations of attachment flanges (i.e. fasteners of cladding terminations, accessories, and trim shall be pre-drill and holes filled with sealant prior to driving fasteners.
6. Provide a 1/4" minimum joint for cladding accessories and construction per AAMA 2400-02. Fill joint with backer rod and compatible sealant as follows:
   a. Joints and anchorages between the building envelope (WRB assembly) and termination product shall be designed to accommodate differential thermal expansion and contraction, as well as the structural requirements within the combined assembly.
   b. Provide a 3mm (1/8") joint between the window frame and final exterior wall surface (siding, stucco, etc.)
   c. Install appropriate joint sealant to cover joint in the joint between the window frame and the final exterior wall surface (siding, stucco, etc.) then apply sealant per manufacturer's recommendations.
   d. All flashings shall be terminated per manufacturer's recommendations.
7. Trims shall be flat vertical base or water resistive barrier behind stucco or brick veneer, and within 1/4" of jambs (behind for stucco).
8. Provide thermal/acoustic insulation around window and door frame voids (at rough openings between studs). Spot insulation and/or low expansion urethane foam such as DUPR Great Stuff Gold & Window is acceptable.
9. External wall mounted vents, electrical panels, utility outlets, fire extinguisher cabinets, mailboxes and other flanged surface mounted attachments shall be flashed similar to a window fastener.
10. Window sill weep holes shall not be blocked.
11. Water resistive barrier at walls shall lap a minimum of 2" horizontals and 6" verticals. Follow with manufacturer's recommendations (some manufacturer's require additional lapping).
12. Cover all rough openings and other exposed structural framework with a self adhered flashing prior to application of water resistive barrier to prevent water intrusion.
13. Provide a continuous sealant and, if required, self-adhered flashing at structural exterior wall mounted items and penetrations such as hose bibbs, electrical receptacles and panels, light fixtures, wall vents, downspouts, etc. Fastener penetration on the exterior surface shall be predrilled and holes filled with sealant prior to driving fasteners.

00 - CONTRACT REQUIREMENTS

GENERAL CONDITIONS

The specifications are compiled not only to establish a standard but to insure the contractor maintains a quality in the performance and finish of the work recommended and accepted by the OWNER. The general contractor shall be responsible for fully acquainting themselves with the content and scope of these specifications. Special attention should be given to the specifications throughout the span of this contract by the standards established herein and shall be applied each employee to all work. Work contained unacceptable by the OWNER shall be corrected in a manner and degree of quality as accepted by the OWNER.

Note: F.O.C. is not complete, all work will be charged back to the general contractor.

1. The "General Conditions" of the contract for construction are to be determined between the OWNER and general contractor and shall govern the construction sequencing, respect of responsibilities and payment schedules. On site field coordination shall be performed by an appointed representative of the OWNER.
2. No contractual adjustment shall be due or same is demand as a result of claims on the part of the contractor to fully acquaint themselves and all other partners to the contract with the agreed upon general conditions.
3. The OWNER, without invalidating the contract, may order extra work, alter, add to or deduct from the contract. The contract sum and completion date shall be adjusted accordingly.
4. The general contractor shall include the cost of all permits and licenses in the contract. The subcontractors shall include all permit and license costs as required by their proposals to the general contractor. Permits and fees to include connecting all equipment, fixtures, services and utilities as required.
5. The costs submitted by the contractor are understood in every case to include all government and municipal taxes and fees of every kind, and the OWNER shall not be called upon to make any payments on such taxes in addition to the contract amount.

01 - GENERAL REQUIREMENTS

EXISTING CONDITIONS

1. Prior to submitting bid proposals, the OWNER's contractor and each subcontractor shall visit the proposed space and make themselves familiar with all existing conditions. Take field measurements and record all information needed to provide a complete scope of work.
2. Notify the OWNER immediately of conditions which may contribute to unnecessary excessive costs.
3. No additional compensation will be paid by the OWNER for deficiencies which result from a lack of familiarity with the existing conditions.
4. Existing conditions take precedence over drawings and specifications for dimensions.
5. Special attention should be given to dimensions indicated as "field and "verify in field (v.i.f.)" dimensions. The general contractor and sub-trades shall verify all existing dimensions and locations of stub-ups. The general contractor shall be liable for all costs incurred by themselves or others by failing to coordinate the dimensions on the drawings or completing the WORKSHOP in the case of discrepancies between actual site conditions and dimensions on the drawings.

02 - SELECTIVE DEMOLITION

1. The work included in this subcontract shall be performed according to the general conditions and requirements which are stated on this set of drawings.
2. The contractor performing demolition shall be responsible for verifying all existing field conditions so as to familiarize themselves with the demolition and/or removal work which may be required to produce the end results intended in the contract documents.
3. Each portion of the demolition work is to be done by the specific trade that is currently work by the company trade. Mechanical work by the mechanical trades, electrical work by the electrical trades, and so on. Therefore, each contractor and subcontractor shall thoroughly examine the proposed work and make allowances in his proposal for the cost of all demolition, unless otherwise notified by general contractor.
4. Remove all debris daily to area designated.
5. Provide temporary bracing, shoring and supports as required for existing structural systems to prevent damage during construction.
6. Disposal shall be done legally in compliance with local ordinances and state environmental regulations.
7. General contractor shall remove all existing floor coverings from space: repair, patch, level, smooth and prepare existing slab as required for new floor coverings.
8. All ceiling mounted art (sculpture, but not limited to, drops, backwash, lighting, diffusers, etc.) shall be removed unless specifically called out to remain on demolition plan.
9. The electrical contractor shall remove and/or relocate all existing electrical devices, conduit and wiring work as called out on the drawings and as necessary whether such items are indicated on drawings or not, in order to accomplish the installation of the proposed new work equipment. Materials removed and become the property of contractor (if approved by OWNER). Such items may be reused if specifically designated on the drawings, conduit, wire and outlet boxes removed shall be capped off with electrical connectors where walls and ceilings are to be removed as shown on the drawings. The conduit is to be cut off by the electrical contractor so that the abandoned conduit in these walls and ceilings can be removed from the walls and ceilings by the demolition contractor. All dead end conduit runs shall be plugged in the remaining line outlet boxes or at the panels.
10. G.C. to verify all existing grades corresponding to OWNER design package in field prior to construction.

03 - MODIFICATION PROCEDURES

SUBSTITUTIONS & CHANGES

1. Do not substitute materials, equipment or methods unless such substitution has been approved specifically in writing by the OWNER.
2. Notify the OWNER immediately by telephone of any hidden, unforeseen conditions which MAY impact work. Confirm all notifications and action required in writing within 24 hours of the event.
3. Structure date changes must be made in writing by THE OWNER.
4. The OWNER has chosen materials for use on the project as specified. Upon award of the contract, the specified materials shall be ordered immediately and all deliveries confirmed to meet the completion date. Delay in ordering resulting in materials not being available to the contractor for completion of all work on schedule and resulting in overtime, will be the responsibility of the party responsible for such delays. Materials that are unavailable for inclusion in the project that, as a result cause delays, require the OWNER to choose and approve new replacement materials satisfactory to the project, may result in back charges to the said trade, unless the CLIENT has been advised with sufficient time to make such material decisions.
5. Delivery of OWNER-furnished items: the contractor will advise the OWNER in writing, within seven (7) days after awarding, the exact delivery dates and locations they wish to receive all furnished items. Items not scheduled within seven (7) days will be scheduled and delivered at the OWNER's option.

04 - COORDINATION OR SCHEDULE

1. The owner's contractor and each subcontractor shall be thoroughly familiar with the work shown on the drawings and all other contract documents.
2. All trade partners are to notify owner immediately of any discrepancies contained within the contract documents prior to proceeding with action which may result in "extra" or additional cost to the owner.
3. Each subcontractor shall coordinate their work with that of others and be aware of all related work to be performed by others, via the owner's contractor.
4. The contractor shall, at all times, afford access to the owner and/or agents and employees to the work wherever it is in preparation and progress. The contractor shall provide facilities necessary for such access for the owner to perform their functions within the contract documents.
5. G.C. to ensure for and inspect all kitchen fixtures and stainless accessories within 24 hours of delivery to ensure the condition and quantity of these items are in accordance with the schedules and specifications contained in the contract documents.
6. The general contractor shall be responsible for coordinating with the owner at time most available date when construction is complete, for making the job site and doing the punch list.
7. All sub-contractors shall coordinate their work with the work of others or with existing conditions requiring above or below the overheads and shall make changes from time to time as required to accommodate such work or conditions. All changes that shall affect the final appearance of the project shall be approved in advance by owner.
8. Contractor will contact fixture and material suppliers to schedule all deliveries

05 - REGULATORY REQUIREMENTS

1. Comply with the state and local codes - refer to sheet g001 for building code requirements.
2. All trades and sub shall be registered with the city, county, state, and authorities as required.
3. If required, the general contractor shall be responsible for obtaining a certificate of occupancy from the governing authorities.
4. All trades shall conform with all applicable federal, state, municipal, and O.S.H.A. codes, rules and regulations.

06 - SPECIALTY REQUIREMENTS

1. Work shall be completed in a timely manner, consistent with the owner approved construction schedule.
2. The superintendent will be required to maintain a daily journal of events which shall include work performed, number of workers, of each trade on job, construction changes, telephone calls, etc.
3. The contractor shall be responsible to the owner for acts and omissions of his employees, sub-contractors and their agents and employees, and other persons performing any of the work under a contract with the contractor.
4. The contractor superintendent is responsible for the performance of the work called for by the contract and contract drawings, and any errors, such which or not to delay or interfere with the speedy and careful progress of this project and as will be acceptable to and work in harmony with all other workers employed on the construction site.
5. Materials and equipment shall be stored and installed in accordance with manufacturer's instructions, with seals and labels intact and legible. Should a conflict or discrepancy exist between manufacturer's instructions and recommendations, and those on the drawings, the general contractor shall contact owner prior to further work in the area of question.
6. The contractor agrees to accept all owner furnished items at the job site or designated storage space and unload these items from the delivery transport to place provided. Items delivered to a designated storage space shall be delivered by general contractor.
7. The general contractor shall be responsible for security of the project and materials, whether stored within the premises or elsewhere until the point of completion. This shall include all owner furnished items, accepted by the contractor

07 - SUBMITTALS

1. The general contractor shall provide a physical or digital submittal (shop drawings, product data, or physical samples) for the following: line operations, fire alarm, concrete mixes, plumbing fixtures & accessories, doors & door hardware, windows & window hardware, exterior and interior finish materials, glass & hardware, electrical fixtures, signage & paint chart/samples.
2. No portion of the work requiring submission of a shop drawing, product data or samples shall be commenced until the submittal has been approved by the architect. All such portions of the work shall be in accordance with approved submittals.
3. The contractor shall not be relieved from responsibility for errors or omissions in the shop drawings, product data or samples.

ARCHITECTURAL SYMBOLS

Sheet Reference	View Name SCALE ##
Section	1 A1.001
Level	Name Elevation
Detail Section	1 A101
Detail Callout	1 A101
Elevation	1 A1.001
Area Tag	AREA NAME 150 SF CODE-OCC CODE-OCC
Door Tag	D.114
Window Tag	W1122
Wall Type	A1111.14
Material Tag	1
Revision Tag	1
Roof Pitch	12 / 4
Signage Reference	50
Tempered Safety Glazing	T
Dimension to Core Structure	
Dimension to Finish Face	
Fire Extinguisher	
Indication of accessible clearances per details provided on sheet G701	

ABBREVIATIONS

ACT	Ceiling	HDO	Hollow
Alu	Alu	Inc	Manufacturer
ALT	Alternate	MTL	Material
ALUM	Aluminum	MTL	Metal
ABOV	Above	N.T.S	Not To Scale
BD	Board	O.C	On Center
BLDG	Building	OD	Overflow Drain
BLKG	Blocking	OPNG	Opening
B.U.R.	Built Up Roofing	OPN	Opening
CAB	Cabinet	PT	Paint
CLG	Ceiling	PT.BRD	Painted Drywall
CT	Ceramic Tile	PLAM	Plastic Laminate
CTR	Center	PL	Plate
CL	Centerline	PLY	Plywood
CMU	Concrete Masonry Unit	RB	Rubber
C.O.	Clean Out	RM	Room
C.I.	Cast Iron Ductile (Ductile)	RO	Rough (or Square Hole)
COL	Column	REF	Reference
COMP	Communication	SQ FT	Square Feet
CONC	Concrete	REQD	Required
CJ	Construction	SCT	Ceiling
CLR T.O	Clear Top To Under	SLD	Slough Opening
CR	Corner	SQ DIM	Equal Of Dim
CRBGL	Counterbore	SCD	Screws Detail
C.F.	Cubic Feet	SF	Square Feet
C.Y.	Cubic Yards	SQ LB	Square Inch
DET	Detail	STD	Standard
DIM	Dimension	SYM	Symbol/Symbol
D.F.T.S	Dimension Finished Finish Tandem	SQ	Square
FLUO	Fluorescent	TFOR	Tempered Formaldehyd (Glass Insulation)
FDN	Foundation	TFRB	Tempered Formaldehyd (Gypsum Insulation)
EQ	Equal	T.O	Top
EXT	Exterior	T.O.P	Top of Plate
FIN	Finish	T.O.C	Top of Curb
FIX	Fixture	T.O.W	Top of Wall
FLR	Floor	T.O.S	Top of Slab
F.O.F	Face of Finish	T.P	Typical
F.O.W	Face of Wall	U.N.O	Unless Noted Otherwise
FT	Foot / Feet	V.I.F	Verify In Field
GA	Gauge	W	Width
GR	Grade		
GYP	Gypsum		
HDR	Hardwater		
MAX	Maximum		

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave. Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023
	Final MB Submittal	8/29/2024

G002

SYMBOLS, ABBREVIATIONS & NOTES

LOOKING FROM CARPINTERIA AVE

LOOKING FROM WEST SIDE OF 9TH ST

LOOKING TO WEST SIDE OF CARPINTERIA AVE

LOOKING NORTH TOWARD THE SITE FROM 8TH ST

LOOKING SOUTH TOWARDS THE FRANKLIN CREEK

EXISTING STRUCTURE AT SITE

LOOKING SOUTH TOWARDS THE SITE FROM CARPINTERIA AVE

LOOKING SOUTH TOWARDS THE SITE FROM ACROSS THE CARPINTERIA AVE

LOOKING EAST FROM CARPINTERIA AVE

LOOKING AT FRANKLIN CREEK

LOOKING TO 8TH ST FROM HALLY AVE

LOOKING SOUTH FROM 8TH ST

LOOKING NORTH EAST TO NORTH WEST FROM CARPINTERIA AVE

LOOKING WEST FROM 8TH ST

LOOKING SOUTH WEST FROM 8TH ST

DMHA
ARCHITECTURE • INTERIOR DESIGN

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	[illegible]
	Final Hrb Submittal	[illegible]

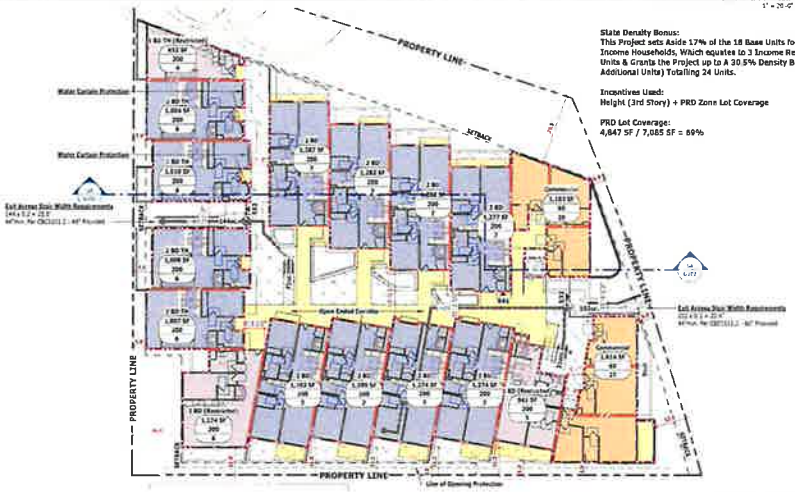
G011

SITE PHOTOS

EAST ELEVATION ALLOWABLE OPENINGS 05
1" = 20'-0"

NORTH/SOUTH SECTION 04
1" = 20'-0"

3RD FLOOR PLAN 03
1" = 20'-0"



State Density Bonus:
This Project sets Aside 17% of the 18 Base Units for Low-Income Households, Which equates to 3 Income Restricted Units & Grants the Project up to A 30.5% Density Bonus (6 Additional Units) Totalling 24 Units.

Incentives Used:
Height (3rd Story) + PRD Zone Lot Coverage

PRD Lot Coverage:
4,847 SF / 7,085 SF = 69%

2ND FLOOR PLAN 02
1" = 20'-0"

LEGEND

- (A-2) Assembly - Concentrated (Chairs not Fixed)
- (B) BUSINESS AREAS
- (R-2) RESIDENTIAL
- (R-2) Residential Income Restricted
- (S-2) ACCESSORY STORAGE
- (S-2) PARKING GARAGES
- (U) UTILITY (ACCESSORY)
- Common Open Area
- NON-OCCUPIED

See G002 for Symbols & Abbreviations
See G701 for Typical Sign Types

Parking Requirements:
Commercial: 1 per 250 SF = 3,903 SF Gross / 250 = 16
Residential: 1 per 1 BD Unit = 4
1.5 per 2 BD Unit = 30 (Bonus Density)
Total Required = 50
Provided = 53

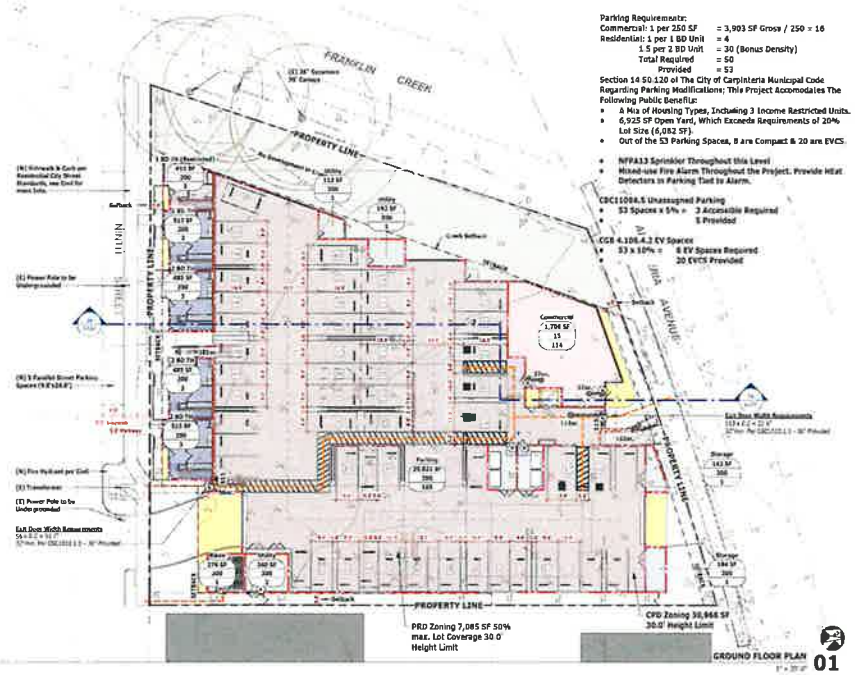
Section 14 50.120 of The City of Carpinteria Municipal Code Regarding Parking Modifications; This Project Accomodates The Following Public Benefit:

- A Mix of Housing Types, Including 3 Income Restricted Units.
- 6,925 SF Open Yard, Which Exceeds Requirements of 20% Lot Size (6,082 SF).
- Out of the 53 Parking Spaces, 8 are Compact & 20 are EVCS.

- NFPA13 Sprinkler Throughout this Level
- Mixed-use Fire Alarm Throughout the Project. Provide Heat Detectors in Parking Tied to Alarm.

CBC 11B-6.5 Unassigned Parking
- 53 Spaces x 5% = 3 Accessible Required
  5 Provided

CGB 4.106.4.2 EV Spaces
- 53 x 10% = 6 EV Spaces Required
- 20 EVCS Provided



GROUND FLOOR PLAN 01
1" = 20'-0"

DMHA
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114 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave. Mixed Use Dev.

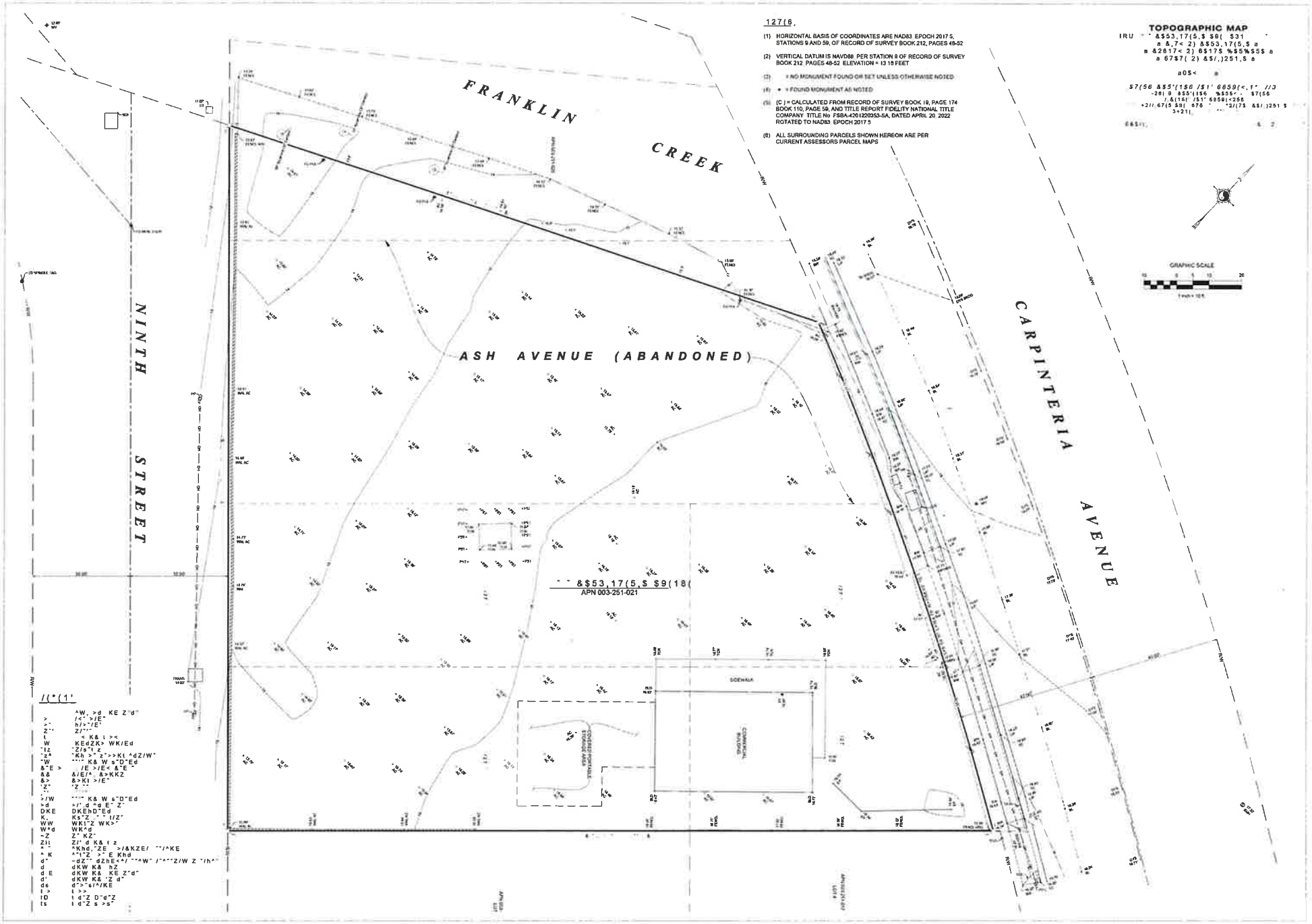
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	06/24/2021
	Final MND Submittal	07/26/2022
	Lot Merger Submittal	09/12/2023

G102

CODE ANALYSIS



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(1) HORIZONTAL BASIS OF COORDINATES ARE NAD83 EPOCH 2017.5, STATIONS 9 AND 59, OF RECORD OF SURVEY BOOK 212, PAGES 49-52

(2) VERTICAL DATUM IS NAVD88 PER STATION 9 OF RECORD OF SURVEY BOOK 212 PAGES 49-52 ELEVATION = 13.18 FEET

(3) ○ = NO MONUMENT FOUND OR SET UNLESS OTHERWISE NOTED

(4) ● = FOUND MONUMENT AS NOTED

(5) (C) = CALCULATED FROM RECORD OF SURVEY BOOK 19, PAGE 174 BOOK 110, PAGE 59, AND TITLE REPORT FIDELITY NATIONAL TITLE COMPANY TITLE No FSBA-4201220353-SA, DATED APRIL 20 2022 ROTATED TO NAD83 EPOCH 2017.5

(6) ALL SURROUNDING PARCELS SHOWN HEREON ARE PER CURRENT ASSESSORS PARCEL MAPS

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4745 CARPINTERIA

4745 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

LEGEND

- SD — STORM DRAINAGE
- W — WATER SERVICE
- G — GAS
- S — SANITARY SEWER
- E — POWER ELECTRICAL
- DITCH / FLOWLINE
- GRADING LIMIT
- GRADE SLOPE
- PROPERTY LINE
- CENTERLINE
- SAWCUT

VICINITY MAP

SURVEY NOTES

EXISTING TOPOGRAPHIC AND BOUNDARY INFORMATION SHOWN HERE ON PER SURVEY BY WATERS CARDENAS LAND SURVEYING, LLP DATED SEPTEMBER 2022

BOUNDARY DATA, HORIZONTAL BASIS OF COORDINATES ARE NAD83 EPOCH 2017.5 STATIONS 6 AND 56 OF RECORD OF SURVEY BOOK 212, PAGES 48-52

BASIS OF BEARINGS, VERTICAL DATUM IS NAVD88, PER STATION 6 OF RECORD OF SURVEY BOOK 212, PAGES 48-52. ELEVATION=13.16 FEET

BENCHMARK: POINT 206, FD MON. 3 SUB. 12.57

SURVEY MONUMENT PROTECTION

PROTECT AND PRESERVE, IN PLACE, ALL SURVEY MONUMENTS AND BENCHMARKS. DO NOT DISTURB, MOVE, OR RELOCATE MONUMENTS OR BENCHMARKS WITHOUT THE PRIOR REVIEW AND APPROVAL BY THE AGENCY HAVING JURISDICTION OVER THE MONUMENT OR BENCHMARK. THE CONTRACTOR SHALL CONTRACT WITH A LICENSED SURVEYOR FOR MONUMENTS REQUIRING DISTURBANCE OR REMOVAL, AND THE SURVEYOR SHALL RESET THE MONUMENTS OR PROVIDE PERMANENT WITNESS MONUMENTS AND FILE THE REQUIRED DOCUMENTATION WITH THE AUTHORITY HAVING JURISDICTION, PURSUANT TO ALL APPLICABLE BUSINESS AND PROFESSIONAL CODES

UTILITY PURVEYORS

ELECTRICITY	SOUTHERN CALIFORNIA EDISON http://www.sce.com/ (800) 655-4555
WATER	CARPINTERIA VALLEY WATER DISTRICT 1301 SANTA YNEZ AVE CARPINTERIA, CA 93013 (805) 684-2818
SEWER	CARPINTERIA SANITARY DISTRICT 5300 6th STREET CARPINTERIA, CA 93013 (805) 684-7214
NATURAL GAS	SOUTHERN CALIFORNIA GAS COMPANY P.O. BOX C MONTEREY PARK, CA 91756 (800) 427-2200
CABLE TV	CITH COMMUNICATIONS 3303 STATE STREET SANTA BARBARA, CA (805) 681-5800
TELEPHONE	FRONTIER COMMUNICATIONS (800) 964-8303

PROJECT CLEAN WATER CONSTRUCTION NOTES

1. SUBMIT INSTALLATION ELEVATIONS OF EMBEDMENT STONE (BASE & TOP ELEVATIONS) PERFORMED BY A LICENSED SURVEYOR TO PROJECT CLEAN WATER WITHIN 7 DAYS OF INSTALLATION
2. SUBMIT INVOICES AND MATERIAL CERTIFICATION FORMS FOR EMBEDMENT STONE TO PROJECT CLEAN WATER WITHIN 7 DAYS OF INSTALLATION
3. SUBMIT OUTLET STRUCTURE INVERT ELEVATIONS SIGNED & STAMPED BY PROJECT ENGINEER TO PROJECT CLEAN WATER WITHIN 7 DAYS OF INSTALLATION
4. PROVIDE INVOICE & PHOTO-DOCUMENTATION OF INSTALLED STORMTECH CHAMBERS TO PROJECT CLEAN WATER WITHIN 2 WEEKS OF INSTALLATION

FLOOD ZONE NOTES

1. FLOOD ZONE A
2. FEMA MAP PANEL NUMBER 06083C1418H WITH DATE 8/28/2018

STANDARD ABBREVIATIONS

AC	ASPHALTIC CONCRETE	IE	INVERT ELEVATION
BLDG	BUILDING	INV	INVERT
BCR	BEGIN CURB RETURN	LA	LANDSCAPE AREA
BVC	BEGIN VERTICAL CURVE	NG	NATURAL GRADE
BW	BOTTOM OF WALL	PA	PLANTER AREA
CB	CATCH BASIN	PCC	PORTLAND CEMENT CONCRETE
CL	CENTERLINE	PL	PROPERTY LINE
CMU	CONCRETE MASONRY UNIT	POC	POINT OF CONNECTION
CONC	CONCRETE	PS	PARKING STRIPE
DW	DRIVEWAY	PVC	POLYVINYL CHLORIDE
ECR	END CURB RETURN	RW	RIGHT OF WAY
EG	EXISTING GRADE	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SG	SUB-GRADE ELEVATION
EVC	END VERTICAL CURVE	SS	SANITARY SEWER
FF	FINISHED FLOOR	TC	TOP OF CURB, CONCRETE
FG	FINISHED GRADE	TF	TOP OF FOOTING
FH	FIRE HYDRANT	TG	TOP OF GRATE
FL	FLOW LINE	TW	TOP OF WALL
FS	FINISHED SURFACE	VC	VERTICAL CURVE
GB	GRADE BREAK		

PROJECT INFORMATION

CLIENT	WESTERN BUILT CONSTRUCTION 152 NORTH ALMONT WEST HOLLYWOOD, CA 90048
ARCHITECT	DAIHA ARCHITECTURE & INTERIORS 1 N. CALLE CESAR CHAVEZ #102 SANTA BARBARA, CA 93103 (805) 960-7777
LANDSCAPE ARCHITECT	PARRYL LANDSCAPE 820 E MASON ST, SUITE B SANTA BARBARA, CA 93103 (805) 242-9317
GEOTECHNICAL	PACIFIC MATERIALS LAB 35-A SOUTH LA PATERA LANE GOLETA, CA 93116 (805) 964-8901
SURVEYOR	WATERS CARDENAS LAND SURVEYING, LLP 5353 HOLLISTER AVE - SUITES 7 & 8 GOLETA, CA 93117 (805) 687-4416
APN:	003-251-021
SITE AREA	0.87 AC
AREA DISTURBED:	0.87 AC
(E) PERVIOUS AREA:	0.07 AC
(E) IMPERVIOUS AREA	0.80 AC
(P) PERVIOUS AREA:	0.15 AC
(P) IMPERVIOUS AREA:	0.72 AC

GRADING INFORMATION*

CUT QUANTITY	240 CUBIC YARDS
FILL QUANTITY	660 CUBIC YARDS
NET QUANTITY	420 CUBIC YARDS IMPORT

*NOTE: THE ABOVE QUANTITIES ARE FOR PLANNING AND PERMITTING PURPOSES ONLY. SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS, LOSSES DUE TO CLEARING AND DEMOLITION OPERATIONS, AND TRENCHING FOR UTILITIES AND FOUNDATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISHED GRADES OR PAVEMENT SUBGRADES, AS INDICATED ON THE PLANS, AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES. THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS

DIG ALERT

DIGALERT
UNDERGROUND SERVICE ALERT

PRIOR TO COMMENCING OF ANY EXCAVATION, DIGGING, POT HOLING, ETC. CALL DIG ALERT FOR ASSIGNMENT OF AN INQUIRY ID NUMBER. BECAUSE NO EARTH WORK SHALL COMMENCE UNLESS THE CONTRACTOR HAS OBTAINED THIS AND EACH UTILITY OR OWNER OF SUBSURFACE FACILITIES HAS LOCATED AND MARKED THEIR SUBSURFACE FACILITIES IN THE AREA OF WORK.

SHEET INDEX

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www.ashleyvance.com

Plan Prepared By:

Engineer of Record:

4745 CARPINTERIA
4745 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

Revisions:

Project Engineer: BRJ	Ext. 521
Project Manager: JKS	
Date: 07.17.2024	Scale: PER PLAN
AV Job No: 230119	Sheet Size: 22" x 42"

TITLE SHEET

C-0.1

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE COUNTY OF SANTA BARBARA AND THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.
2. IN THE EVENT OF A CONFLICT BETWEEN ANY REFERENCED STANDARD, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.

[illegible]

GENERAL GRADING NOTES:

[illegible]

DEMOLITION NOTES:

[illegible]

NOISE REDUCTION MEASURES:

[illegible]

DIESEL EXHAUST CONTROL MEASURES:

[illegible]

AIR QUALITY MEASURES:

[illegible]

CULTURAL RESOURCES:

[illegible]

SANTA BARBARA COUNTY BUILDING & SAFETY DIVISION GRADING NOTES:

[illegible]

APPLICABLE DESIGN STANDARDS:

[illegible]

TRENCHING AND BACKFILL NOTES:

[illegible]

CONCRETE PAVEMENT AND APPURTENANT CONCRETE NOTES:

[illegible]

CONCRETE SITE WALL NOTES:

[illegible]

PAVER NOTES:

[illegible]

USE OF PLANS:

[illegible]

USE OF ELECTRONIC INFORMATION:

[illegible]

SANTA BARBARA COUNTY FLOOD CONTROL NOTES:

[illegible]

Plan Prepared By

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Revisions

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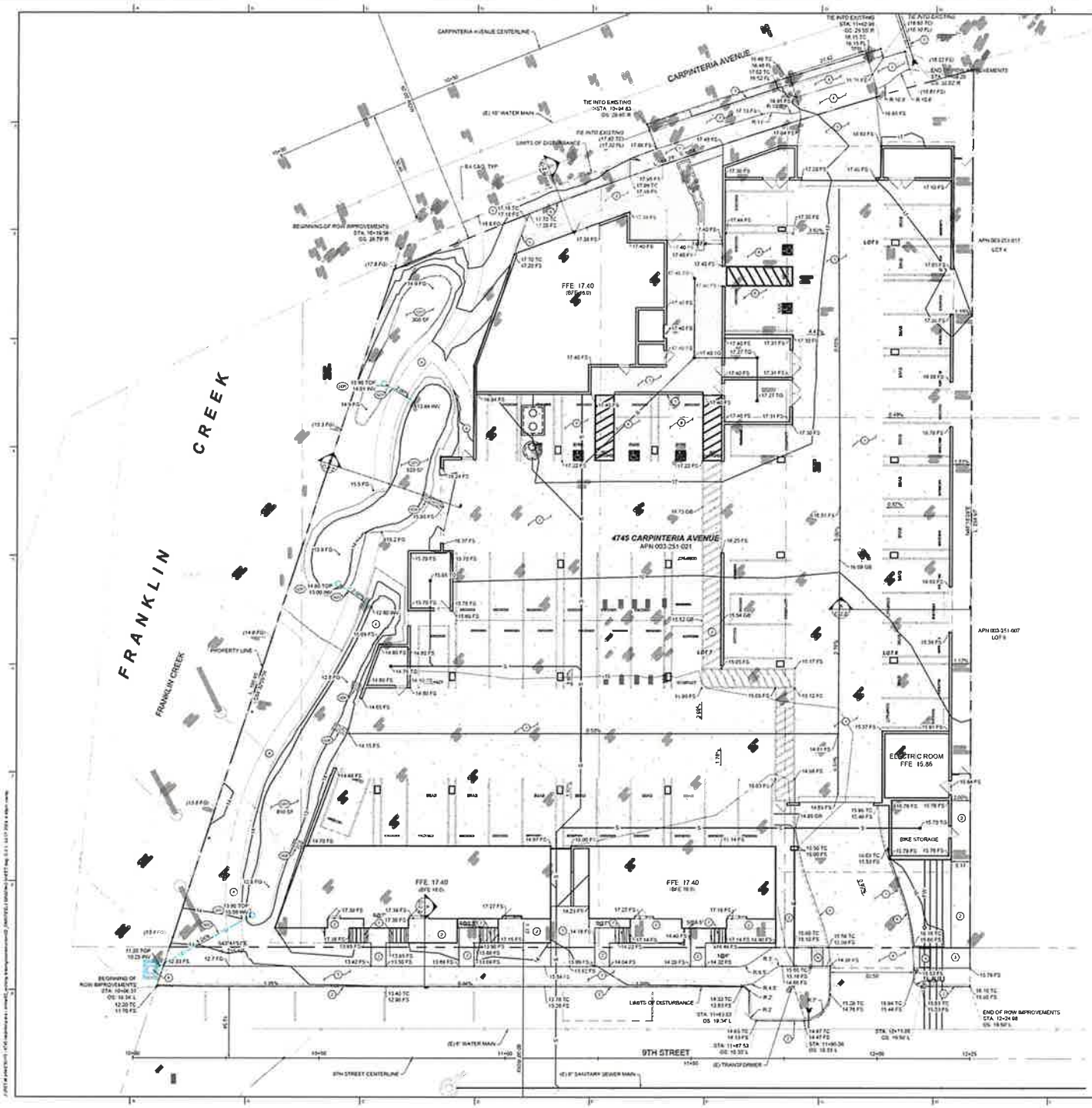
5	

Project Engineer: BRJ Ext. 121
Project Manager: JJG
Date: [illegible] | Scale: PER PLAN
A+V Job No.: [illegible] | Sheet Size: 30" x 42"

NOTES SHEET

C-0.2



GENERAL NOTES:

1. ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR TO POTHOLE ALL POINTS OF CONNECTION AND VERIFY ALL CLEARANCES, MATERIAL DEPTH AND LOCATION SHALL BE IDENTIFIED BY CONTRACTOR. IF THERE ARE ANY DIFFERENCES FROM PLAN WITH ANY OF THESE ITEMS ENGINEER OF WORK SHALL BE NOTIFIED IMMEDIATELY
2. SEPARATE STREET WORK PERMIT REQUIRED FOR ALL OFF-SITE IMPROVEMENTS
3. TIER 4 STORMWATER CONTROL PLAN SUPERSEDES GRADING AND DRAINAGE PLAN IN CASE OF DISCREPANCIES BETWEEN THE TWO

RIGHT OF WAY CONSTRUCTION NOTES:

1. CONSTRUCT CONCRETE CURB AND GUTTER PER SBPWC STANDARD PLAN 120-3 TYPE A2-6
2. CONSTRUCT CONCRETE CURB PER SBPWC STANDARD PLAN 120-3 TYPE A1-6
3. CONSTRUCT CONCRETE SIDEWALK PER SBPWC STANDARD PLAN 113-2
4. CONSTRUCT CONCRETE DRIVEWAY APRON PER SBPWC STANDARD PLAN 119-2
5. ASPHALT PAVEMENT TO BE REPLACED PER SBPWC STANDARD PLAN 133-1
6. INSTALL TYPE C CROSS INLET PER COUNTY OF SANTA BARBARA STANDARD DETAIL 3-052

SITE CONSTRUCTION NOTES:

1. CONSTRUCT CONCRETE DRIVEWAY SECTION PER DETAIL 1, SHEET C-4.1
2. CONSTRUCT CONCRETE WALKWAY SECTION PER DETAIL 2, SHEET C-4.1
3. CONSTRUCT PAVER WALKWAY SECTION PER DETAIL 3, SHEET C-4.1
4. CONSTRUCT GRAVEL WALKWAY SECTION PER DETAIL 4, SHEET C-4.1
5. CONSTRUCT 6-INCH CONCRETE CURB PER DETAIL 5, SHEET C-4.1
6. CONSTRUCT 6-INCH CONCRETE CURB PER DETAIL 6, SHEET C-4.1
7. CONSTRUCT CONCRETE STAIRS PER DETAIL 7, SHEET C-4.1
8. CONSTRUCT ACCESSIBLE PARKING STALL PER DETAIL 8, SHEET C-4.1
9. INSTALL TRUNCATED DOME WARNING STRIP
10. CONSTRUCT SITE WALL PER DETAIL 9, SHEET C-4.1

STORM DRAIN CONSTRUCTION NOTES:

- NOT CONSTRUCT BIO-RETENTION BASIN PER DETAIL 10, SHEET C-4.1
- CONSTRUCT 18" RCP CULVERT PER DETAIL 11, SHEET C-4.1
- NOT CONSTRUCT 12" CLASS 100 PVC CULVERT PER DETAIL 12, SHEET C-4.1
- NOT INSTALL PEDESTRIAN INLET PER DETAIL 13, SHEET C-4.1
- INSTALL LANDSCAPE FLAT INLET PER DETAIL 14, SHEET C-4.1
- NOT DOWNSPOUT LOCATION PER PLUMBING PLANS. INSTALL ROCK LINED OUTLET CHANNEL PER DETAIL 16, SHEET C-4.1

FLOOD HAZARD NOTES:

TO PROVIDE A MORE ACCURATE (BASE FLOOD ELEVATION) BFE THE PUBLISHED FRANKLIN CREEK PROFILE PROVIDED IN PANEL 75 P IN VOLUME 4 OF THE FLOOD INSURANCE STUDY FOR SANTA BARBARA COUNTY, CALIFORNIA REVISED SEPTEMBER 28, 2018 WAS ANALYZED. BASED ON THE LOCATION OF THE PROPOSED HABITABLE STRUCTURES ALONG THE CENTERLINE OF FRANKLIN CREEK THE BFE IS 16.2 FEET

DIGALERT
UNDERGROUND SERVICE ALERT

HORIZONTAL SCALE: 1" = 10'
10 0 10 20

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Revisions:
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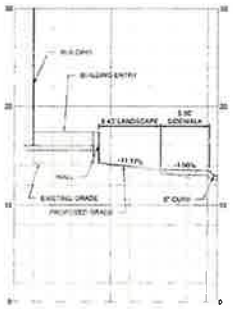
5.

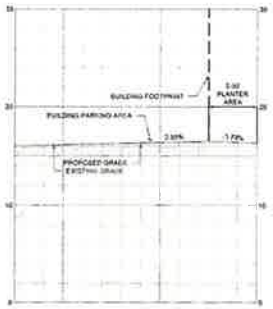
Project Engineer: BRJ
Project Manager: AVC
Date: 07.17.2024
Scale: PER PLAN
A+V Job No: 230115
Sheet Size: 30" x 42"

GRADING AND DRAINAGE PLAN

C-2.1



A SITE SECTION



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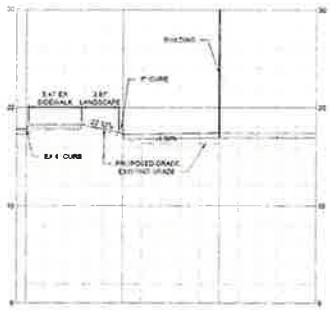

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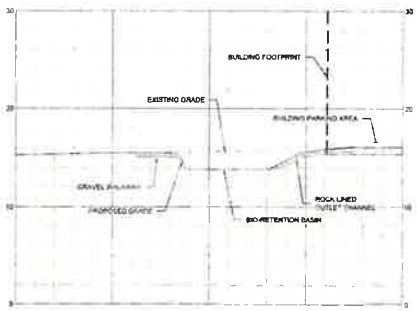

D SITE SECTION

DIGALERT
UNDERGROUND SERVICE ALERT

HORIZONTAL SCALE: 1" = 10'

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Plans Prepared By:

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Revisions
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Project Engineer: SRL | Ext. 121
Project Manager: JJG
Date: 07.17.2024 | Scale: PER PLAN
A+V Job No: 220115 | Sheet Size: 30" x 42"

SITE SECTIONS

C-2.2

ELECTRICAL NOTES:

E1 ELECTRICAL SERVICE CONDUIT PER ELECTRICAL PLANS

E2 CONNECT TO EXISTING TRANSFORMER

SANITARY SEWER CONSTRUCTION NOTES:

S01 INSTALL SEWER WYE AND CONNECT 6" LATERAL TO EXISTING MAIN PER CARPINTERIA SEWER DISTRICT PLATE 108

S02 INSTALL 6" SDR35 SANITARY SEWER LATERAL PER CARPINTERIA SEWER DISTRICT PLATES 104 AND 106

S03 INSTALL SEWER CLEANOUT PER CARPINTERIA SEWER DISTRICT PLATE 110

S04 SEWER POINT OF CONNECTION AT BUILDING. SEE MECHANICAL PLANS

S05 INSTALL GREASE INTERCEPTOR AND OBSERVATION MANHOLE

S06 INSTALL FLOOR DRAIN PER DETAIL 13, SHEET C-4.1

WATER CONSTRUCTION NOTES:

W1 INSTALL 2-INCH METER AND SERVICE LINE AND REDUCED PRESSURE BACKFLOW PREVENTER FOR RESIDENTIAL SERVICE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-104, W-111 AND W-115

W2 INSTALL 3/4-INCH METER AND SERVICE LINE AND REDUCED PRESSURE BACKFLOW PREVENTER FOR COMMERCIAL SERVICE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-101, W-111 AND W-115

W3 INSTALL 3/4-INCH METER AND SERVICE LINE AND REDUCED PRESSURE BACKFLOW PREVENTER FOR IRRIGATION SERVICE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-101, W-111 AND W-115

W4 INSTALL 4-INCH FIRE LINE SERVICE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-111, AND W-114

W5 INSTALL FIRE HYDRANT AND CONNECTION PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-111 AND W-113

W6 TRENCH EXCAVATION AND BACKFILL TO BE DONE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAIL W-111

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HORIZONTAL SCALE 1" = 10'

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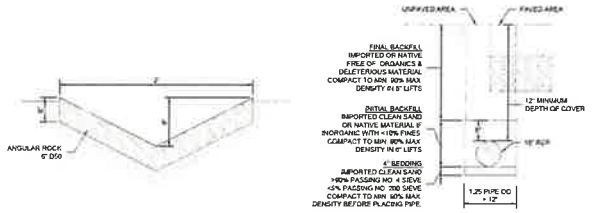
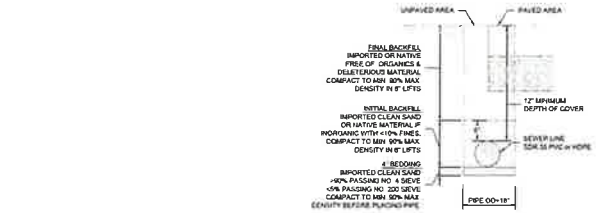
UTILITY PLAN

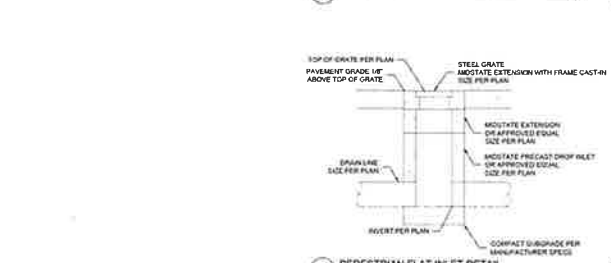
C-3.1



11 STORM DRAIN TRENCH DETAIL NTS

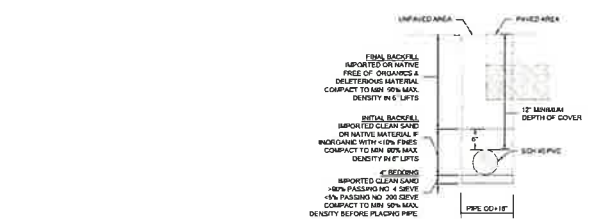


12 SEWER LATERAL TRENCH SECTION NTS



13 PEDESTRIAN FLAT INLET DETAIL NTS

14 LANDSCAPE FLAT INLET DETAIL NTS



15 WATER LATERAL TRENCH SECTION NTS

16 CONCRETE SWALE DETAIL NTS

6 CONCRETE CURB DETAIL NTS

7 CONCRETE STAIRWAY DETAIL NTS

8 ACCESSIBLE PARKING STALL DETAIL NTS

9 SITE WALL - LIGHT TRAFFIC NTS

10 BIO-RETENTION BASIN DETAIL NTS

1 TYPICAL CONCRETE DRIVEWAY SECTION NTS

2 TYPICAL CONCRETE WALKWAY SECTION NTS

3 TYPICAL PAVER WALKWAY SECTION NTS

4 REINFORCED GRAVEL WALKWAY NTS

5 CONCRETE FLUSH CURB DETAIL NTS

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Seal/Signature Block

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Revisions

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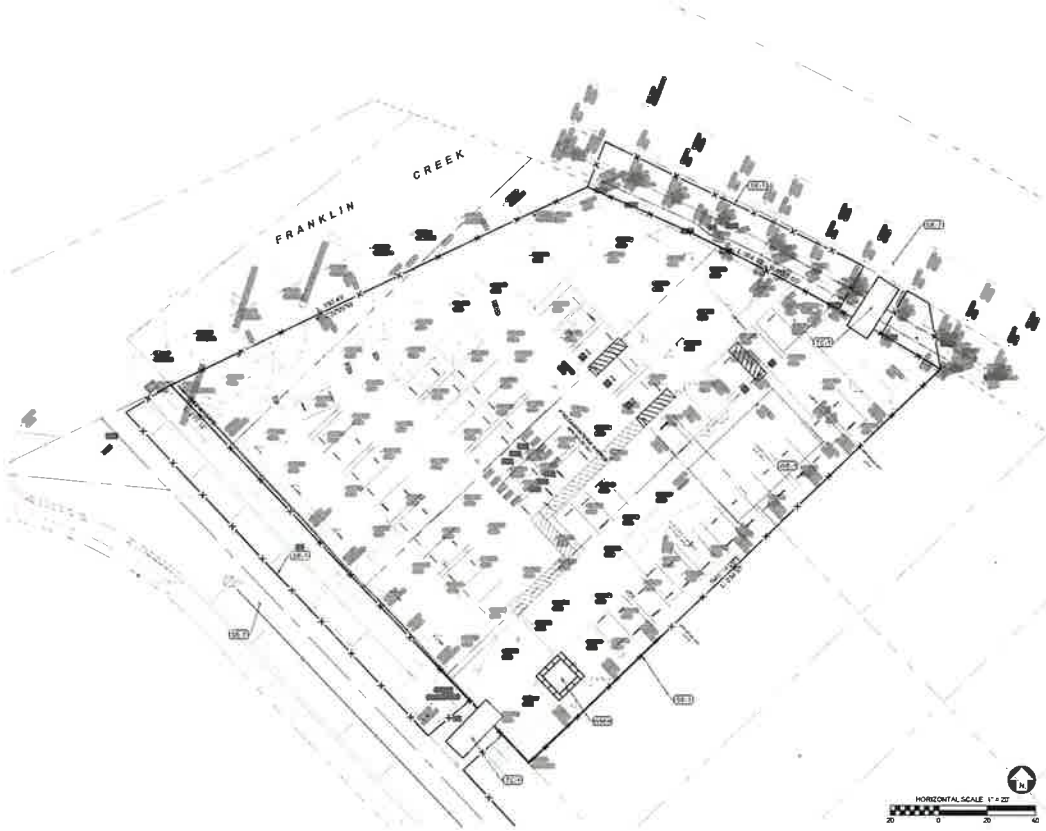
Project Engineer: BRJ Ext: 101
Project Manager: JJC
Date: 07.17.2024 Scale: NUR Plotted
Ashley & Vance Job No.: 220115 Sheet Size: 30" x 42"

DETAIL SHEET

C-4.1



EROSION CONTROL NOTES:

1. EROSION CONTROL MEASURES FOR WIND, WATER, MATERIAL STOCKPILES, AND TRACKING SHALL BE IMPLEMENTED ON ALL PROJECTS AT ALL TIMES AND SHALL INCLUDE SOURCE CONTROL, INCLUDING PROTECTION OF STOCKPILES PROTECTION OF SLOPES, PROTECTION OF ALL DISTURBED AREAS, PROTECTION OF ACCESSES AND PERIMETER CONTAINMENT MEASURES. EROSION CONTROL SHALL BE PLACED PRIOR TO THE COMMENCEMENT OF GRADING AND SITE DISTURBANCE ACTIVITIES UNLESS THE PUBLIC WORKS DEPARTMENT DETERMINES TEMPORARY MEASURES TO BE UNNECESSARY BASED UPON LOCATION, SITE CHARACTERISTICS OR TIME OF YEAR. THE INTENT OF EROSION CONTROL MEASURES SHALL BE TO KEEP ALL GENERATED SEDIMENTS FROM ENTERING A SWALE, DRAINAGE WAY, WATERCOURSE, ATMOSPHERE, OR MIGRATE ONTO ADJACENT PROPERTIES OR ONTO THE PUBLIC RIGHT-OF-WAY
2. SITE INSPECTIONS AND APPROPRIATE MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES SHALL BE CONDUCTED AND DOCUMENTED AT ALL TIMES DURING CONSTRUCTION AND ESPECIALLY PRIOR TO, DURING, AND AFTER RAIN EVENTS
3. THE OWNER, OR OWNER'S REPRESENTATIVE, SHALL BE RESPONSIBLE FOR THE PLACEMENT AND MAINTENANCE OF ALL EROSION CONTROL MEASURES/DEVICES AS SPECIFIED BY THE APPROVED PLAN UNTIL SUCH TIME THAT THE PROJECT IS ACCEPTED AS COMPLETE BY THE AUTHORITY HAVING JURISDICTION OR UNTIL RELEASED FROM THE CONDITIONS OF APPROVAL OF THEIR GENERAL PERMIT. EROSION CONTROL MEASURES/DEVICES MAY BE RELOCATED, DELETED OR ADDITIONAL MEASURES/DEVICES MAY BE REQUIRED DEPENDING ON THE ACTUAL CONDITIONS ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR TO IMPLEMENT ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THEIR DISCRETION OVER THE LIFE OF THE PROJECT TO PREVENT THE RUNOFF OF SEDIMENT AND POLLUTANTS FROM THE PROJECT SITE. ADDITIONAL EROSION CONTROL MEASURES/DEVICES SHALL BE PLACED AT THE DISCRETION OF THE ENGINEER OF WORK. GUIDELINES FOR DETERMINING APPROPRIATE EROSION CONTROL DEVICES SHALL BE INCLUDED IN THE PLANS WITH ADDITIONAL MEASURES/DEVICES NOTED FROM THE APPENDIX OF THE PUBLIC IMPROVEMENT STANDARDS
4. WET WEATHER EROSION CONTROL MEASURES/DEVICES SHALL BE AVAILABLE, INSTALLED, AND/OR APPLIED BETWEEN OCTOBER 15 AND APRIL 15 OR ANYTIME WHEN THE RAIN PROBABILITY EXCEEDS 30%
5. THE CONTRACTOR, DEVELOPER, AND ENGINEER OF WORK SHALL BE RESPONSIBLE TO REVIEW THE PROJECT SITE PRIOR TO OCTOBER 15 (RAINY SEASON) AND TO COORDINATE AN IMPLEMENTATION PLAN FOR WET WEATHER EROSION CONTROL DEVICES. A LOCALLY BASED STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 15 THROUGH APRIL 15). NECESSARY MATERIALS SHALL BE AVAILABLE AND STOCK PILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OR MAINTENANCE OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT
6. IN THE EVENT OF A FAILURE, THE DEVELOPER AND/OR HIS REPRESENTATIVE SHALL BE RESPONSIBLE FOR CLEANUP AND ALL ASSOCIATED COSTS OR DAMAGE IN THE EVENT THAT DAMAGE OCCURS WITHIN THE RIGHT-OF-WAY AND THE COUNTY IS REQUIRED TO PERFORM CLEANUP. THE OWNER SHALL BE RESPONSIBLE FOR REIMBURSEMENT OF ALL ASSOCIATED COSTS OR DAMAGE
7. IN THE EVENT OF FAILURE AND/OR LACK OF PERFORMANCE BY THE OWNER AND/OR CONTRACTOR TO CORRECT EROSION CONTROL RELATED PROBLEMS THE PUBLIC WORKS DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH THE LAND USE ORDINANCE
8. PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES OTHER THAN PAVED OR GRAVEL SURFACES. PRIOR TO FINAL INSPECTION, PERMANENT EROSION CONTROL SHALL BE FULLY ESTABLISHED PRIOR TO FINAL ACCEPTANCE. TEMPORARY EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL PERMANENT MEASURES ARE ESTABLISHED
9. THE AIR POLLUTION CONTROL DISTRICT (APCD) MAY HAVE ADDITIONAL PROJECT SPECIFIC EROSION CONTROL REQUIREMENTS. THE CONTRACTOR, DEVELOPER AND ENGINEER OF WORK SHALL BE RESPONSIBLE FOR MAINTAINING SELF REGULATION OF THESE REQUIREMENTS

BMP SELECTION & LEGEND:

BMP'S SPECIFIED ON THIS PLAN REFERENCE THE JANUARY 2015 EDITION OF THE CASQA "CALIFORNIA STORMWATER HANDBOOK". IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CASQA.ORG

THE FOLLOWING BMPS ARE NOT SHOWN IN SPECIFIC LOCATIONS ON THIS PLAN AND ARE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMPS INTO THE PROJECT CODE.

- EC-1 PROJECT SCHEDULING
- EC-2 PRESERVATION OF EXISTING VEGETATION
- NS-1 WATER CONSERVATION
- ~~NS-3 PAVING AND GRINDING~~
- NS-6 DISCHARGE REPORTING
- NS-7 POTABLE WATER / IRRIGATION
- NS-8 VEHICLE CLEANING
- NS-9 VEHICLE FUELING
- NS-10 VEHICLE MAINTENANCE
- WE-1 WIND EROSION CONTROL

THE FOLLOWING BMPS SHALL BE USED IN THE CONTRACTOR STAGING AREA.

- WM-1 MATERIAL STORAGE
- WM-2 MATERIAL USAGE
- WM-3 STOCK PILE MANAGEMENT
- WM-4 SPILL PREVENTION KIT
- ~~WM-5 SOLID WASTE (TRASH)~~
- WM-8 CONCRETE WASTE (WASH OUT) SEE DETAIL WM-8, THIS SHEET
- ~~WM-9 SEPTIC / SANITARY FACILITIES~~

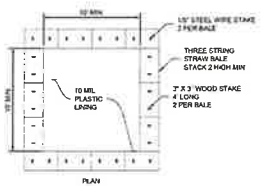
THE FOLLOWING BMPS ARE SPECIFIED ON THIS PLAN AND ARE TO BE INSTALLED OR CONSTRUCTED PER DETAIL REFERENCES.

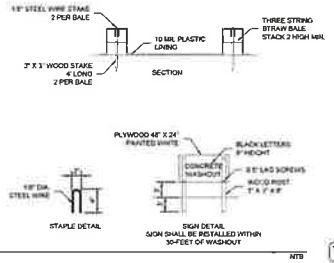
- SE-1 SILT FENCING, SEE DETAIL SE 1, THIS SHEET
- ~~TC-7 STREET SWEEPING AND VACUUMING~~
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT, SEE DETAIL TC 1, THIS SHEET

24 HOUR EMERGENCY CONTACT:

PATRICK IRETZ
310-416-6131
Patrick@westernbuildersconstruction.com

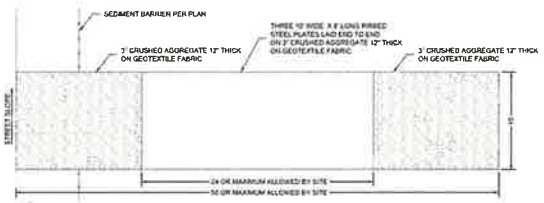
CEARNE YOUNG
805-315-0208
Cearne@westernbuildersconstruction.com





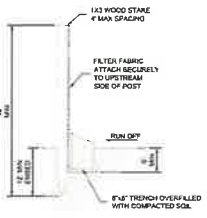
WM-8 CONCRETE WASHOUT DETAIL

NTS



TC-1 STABILIZED CONSTRUCTION ACCESS DETAIL

NTS



SE-1 SILT FENCE DETAIL

NTS

Ashley & Vance ENGINEERING, INC.
210 East Cole Street
Santa Barbara, CA 93101
(805) 962-2346
www.ashleyvance.com
CIVIL • STRUCTURAL

Plan Prepared By:

Engineer of Record

4745 CARPINTERIA
4745 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

Revisions	
1	
2	
3	
4	
5	

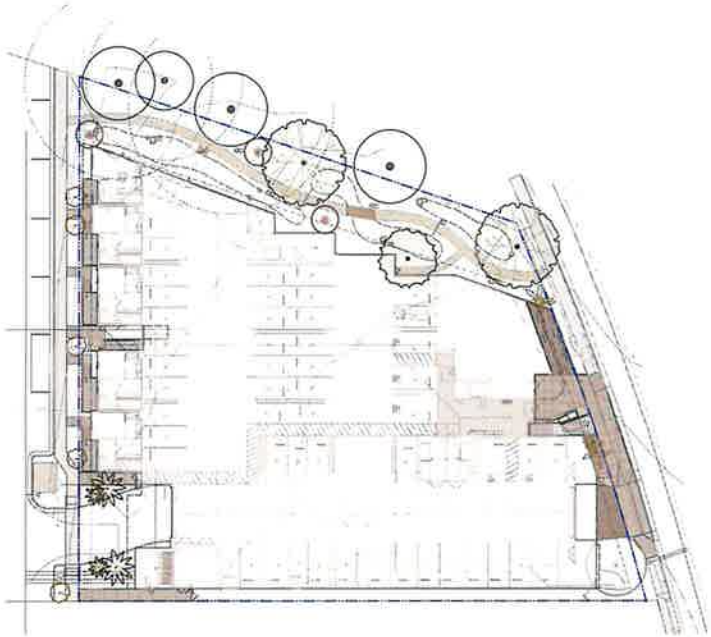
Project Engineer: BRJ		Ext: 121	
Project Manager: JJG			
Date: 07.17.2024	Scale: PER PLAN		
A-V Job No: 230115	Sheet Size: 30" x 42"		

EROSION CONTROL PLAN

C-5.1

4745 Carpinteria Ave.

Carpinteria, CA 93013



PROJECT DESCRIPTION:

The proposed project is located on a .61 acre parcel south of the 101 freeway and adjacent to Franklin Creek. The project proposes a new mixed use development

The landscape portion includes a new hardscape planting irrigation and lighting

PROJECT DETAILS:

Project Address:	4745 Carpinteria Ave Carpinteria CA 93013
Owner:	Winrem Built Construction c/o Justin Wilkinson 152 N Almont Dr West Hollywood CA 90048
A.P.N:	035-261-021

CONSULTANTS:

Architect	DMHA Architecture Michael Shuh # 805 965 7777 x115
Civil	Ashley Vance Engineering Bruce Jones # 303 755 5162 x121
Structural	Ashley Vance Engineering Paul Berrisch # 805 962 9866 x158
Landscape Architect	RRM Design Group Katie Klein # 805 242 6317

SHEET INDEX:

VICINITY MAP:

I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN.*

Katie Klein, LA #6253 — Date: July 03 2024

CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492.9 WILL BE SUBMITTED FOR REVIEW APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO OCCUPANCY OF THE PROJECT

THE CERTIFICATE OF COMPLETION SHALL CONTAIN AT THE MINIMUM: THE FOLLOWING

- Project information
- Certificate by either signer of the landscape design plan, the signer of the irrigation design plan, or the licensed landscape contractor that the landscape project has been installed per the approved Landscape Documentation Package

Note: Where significant changes have been made in the field during installation, an "as-built" plan shall be included with the certification. A diagram of the irrigation plan showing hydrozone shall be kept with the irrigation controller for subsequent management purposes.

- Irrigation scheduling parameters used to set the controller (see MWELO Section 492.10)
- Landscape and irrigation maintenance schedule (see MWELO Section 492.11)
- Irrigation audit report (see MWELO Section 492.12)
- Soil analysis report (if not previously submitted with Landscape Documentation Package)

rrm design group

August 2024

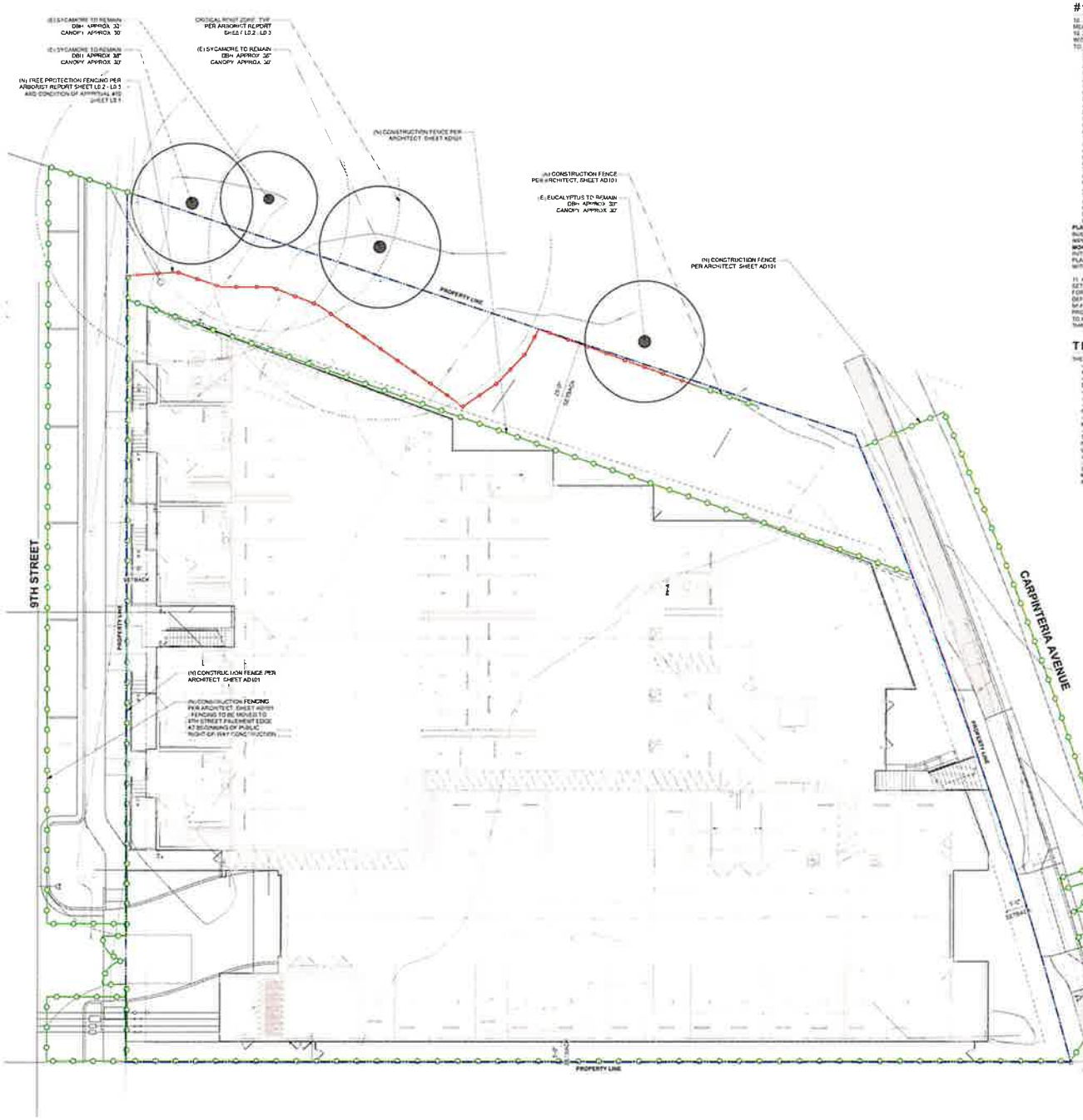
4745 Carpinteria Ave.
Carpinteria, CA

NOT FOR CONSTRUCTION

PROJECT

SHEET DESCRIPTION
Cover Sheet

L0



CONDITIONS OF APPROVAL #10 + #11 (BIOLOGY):

10. THE APPLICANT SHALL IMPLEMENT THE RECOMMENDED TREE PROTECTION MEASURES OUTLINED IN THE ARBORIST REPORT BY BILL SPIEKMAN DATED AUGUST 10, 2021 IMPLEMENTED BELOW DURING DEMOLITION / CONSTRUCTION ACTIVITIES WITHIN THE PROJECT SITE. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

A. FENCE OFF ALL TREES FROM CONSTRUCTION AT THE CRITICAL ROOT ZONE OR WHERE PRACTICAL WITH SIX FOOT HIGH CHAIN LINK ON ORANGE CONSTRUCTION FENCE WITH METAL STAKES.
B. NO ACTIVITIES OF STORAGE OF CONSTRUCTION MATERIALS SHALL BE ALLOWED WITHIN THE FENCED AREAS UNLESS APPROVED BY CCD.
C. ANY ROOT DISTURBANCE TO ANY OF THE PROTECTED TREES SHALL BE DONE BY HAND AND THE PROJECT ARBORIST ALERTED.
D. ALL ROOTS EXPOSED INTERIOR SHALL BE CUT CLEANLY WITH A SHARP SAW TO ALLOW FOR NEW ROOT REGENERATION, BACKFILLED IMMEDIATELY OR KEPT MOIST TO PREVENT DRYING OUT AND DYING.
E. ANY TREE AFFECTED BY THE CONSTRUCTION PROCESS SHALL BE DEEP ROOT FERTILIZED (10 # PONDITE BETTER HEALTH AND VIGOR.
F. COMPACTION OF THE ROOT ZONE SHALL BE AVOIDED BY SPREADING THREE TO FOUR INCHES OF MULCH. IF NECESSARY, PLYWOOD OR EQUIVALENT SHALL BE PLACED ON TOP.
G. DURING HOT DRY PERIODS, THE FOLIAGE MAY NEED TO BE WASHED WITH HIGH PRESSURE WATER TO REMOVE CONSTRUCTION DUST.
H. PROJECT ARBORIST SHALL BE NOTIFIED PRIOR TO ANY ACTIVITIES WITHIN THE CRITICAL ROOT ZONE.
I. LEAVE EXISTING HARDSCAPE (I.E. ASPHALT) IN PLACE AS LONG AS PRACTICABLE TO AID WITH THE PROTECTION OF THE ROOT SYSTEM.
J. UTILITY CROSSING AND GRADE REMOVAL FOR ANY FOUNDATION WORK CLOSE TO THE TREES (STAY AT LEAST 15 FEET FROM THE TRUNKS OF THE TREES). AND
K. FINAL LANDSCAPING AROUND TREES SHALL BE COMPATIBLE IN WATER DEMAND TO THESE MATURE TREES NEEDS WITH MINIMAL TRENCHING FOR LIGHTING AND IRRIGATION.

PLAN REQUIREMENTS / TIMING: THE CONDITION SHALL BE PRINTED ON ALL FINAL BUILDING AND GRADING PLANS. TREE PROTECTION MEASURES SHALL BE IMPLEMENTED PRIOR TO, AND DURING CONSTRUCTION AS APPLICABLE.
MONITORING: CCD SHALL COORDINATE WITH THE PROJECT ARBORIST PRIOR TO INITIATION OF CONSTRUCTION TO ENSURE TREE PROTECTION MEASURES ARE IN PLACE. CCD SHALL VISIT CHECK IN THE FIELD TO ENSURE ONGOING COMPLIANCE WITH THIS MEASURE.

11. ALL GROUND DISTURBANCE AND VEGETATION REMOVAL WITHIN THE 50 FOOT SETBACK OF FRANKLIN CREEK SHALL BE LIMITED TO THE DEMOLITION, GRADING FOR SITE PREPARATION, LANDSCAPING AND STORM WATER IMPROVEMENTS DEPICTED ON THE APPROVED PROJECT PLANS. **PLAN REQUIREMENTS:** THE 50 FOOT SETBACK AREA SHALL BE SHOWN ON ALL GRADING PLANS. **TIMING:** PROTECTIVE FENCING SHALL BE INSTALLED ALONG THE 50 FOOT SETBACK PRIOR TO ANY EARTH MOVEMENT. **MONITORING:** CCD SHALL PERFORM SITE INSPECTIONS THROUGHOUT ALL GRADING AND CONSTRUCTION ACTIVITIES.

TREE PROTECTION NOTES:

THE OBJECTIVES OF TREE PROTECTION MEASURES INCLUDE:
- AVOIDING OR MINIMIZING PHYSICAL LOSS OF SOIL AND ROOTS THAT CAN AFFECT THE HEALTH AND STABILITY OF TREES
- AVOIDING COMPACTION OF SOIL IN ROOT ZONES THAT DAMAGES SOIL STRUCTURE AND CAN IMPACT THE GROWTH OF ROOTS
- AVOIDING PHYSICAL DAMAGE TO THE TRUNK AND CROWN OF TREES
- MINIMIZING CHANGES IN WATER FLOW TO ROOT ZONES
- DIRECTING ROOTS AND LINES AWAY FROM INFRASTRUCTURE AND POTENTIAL CONFLICTS.
- LEFER TO THE PROJECT ARBORIST FOR MORE SPECIFIC TREE PROTECTION MEASURES (**SEE SHEET L0.2 & L0.3**)
- TREE PROTECTION MEASURES WILL USUALLY REQUIRE THE FORMATION OF A TREE PROTECTION ZONE FOR THE TREES TO BE PROTECTED. THIS IS NORMALLY DONE WITH FENCING THAT RESTRICTS UNNECESSARY ROOT VISITING, STOCKPILING OF SOIL OR DEBRIS, AND STORAGE OF EQUIPMENT OR VEHICLES.
- IT IS NOT UNCOMMON FOR TREE CONFLICTS TO ENSUE ON A CONSTRUCTION SITE, BEYOND WHAT WAS ANTICIPATED. THE PROJECT ARBORIST SHOULD MANAGE THESE ISSUES TO THE BEST EXTENT FEASIBLE FOR THE SITUATION. ADDITIONAL MITIGATION MAY BE NECESSARY.

CONDITIONS OF APPROVAL #12 + #13 (BIOLOGY):

12. THE APPLICANT SHALL IMPLEMENT A GREEN BUFFER RESTORATION PLAN. THE PLAN SHALL INCLUDE, BUT NOT TO LIMITED TO, THE FOLLOWING MEASURES:
A. LANDSCAPING SHALL BE WITH NATIVE AND NON-INVASIVE PLANTING ONLY.
B. ONLY LOW VOLTAGE LIGHTING SHALL BE INSTALLED. LIGHTING SHALL BE DIRECTED AWAY FROM THE CREEK CORRIDOR.
C. ONE WHOLE FOOT PERMEABLE FENCING SHALL BE INSTALLED WITHIN THE CREEK BUFFER AREA.
D. NON-NATIVE SPECIES SHALL BE REMOVED FROM THE CREEK BUFFER AREA.
E. THE PLANTING SHALL BE IN PLACE AND ANY NON-NATIVES REMOVED PRIOR TO ISSUANCE OF OCCUPANCY CLEARANCE.

PLAN REQUIREMENTS: PRIOR TO ISSUANCE OF A GRADING OR BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A CREEK BUFFER RESTORATION PLAN, PREPARED BY A CCD APPROVED BIOLOGIST, TO CCD FOR REVIEW AND APPROVAL. **TIMING:** RESTORATION WORK SHALL COMMENCE PRIOR TO ISSUANCE OF OCCUPANCY CLEARANCE. **MONITORING:** CCD STAFF SHALL SITE INSPECT THE RESTORATION AREA. MAINTENANCE SHALL BE CONFIRMED THROUGH SITE INSPECTIONS.

13. TO MINIMIZE CONSTRUCTION IMPACTS, THE APPLICANT SHALL PREPARE AND SUBMIT A CONSTRUCTION MITIGATION PLAN TO COMMUNITY DEVELOPMENT FOR REVIEW AND APPROVAL. SUCH PLANS, WHICH MUST BE PREPARED BY A CITY APPROVED PROFESSIONAL BIOLOGIST AND/OR LANDSCAPE ARCHITECT, SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING REQUIRED MEASURES:

PRE-CONSTRUCTION
A. THE LIMITS OF THE CONSTRUCTION AREA SHALL BE CLEARLY SHOWN ON THE PLANS AND FENCED OR FLAGGED ON THE CONSTRUCTION SITE. ALL CONSTRUCTION ACTIVITIES SHALL STAY WITHIN THESE LIMITS.
B. PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, PROTECTIVE FENCING SHALL BE ERECTED AROUND THE OUTERMOST LIMITS OF THE PROTECTED ZONES OF NATIVE TREES AND ADJACENT TO THE CONSTRUCTION AREA. SUCH FENCING SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETE. FOR THE PURPOSES OF THIS PROJECT, THE PROTECTED ZONE OF A NATIVE TREE SHALL EXTEND FIVE FEET FROM THE TREE DRIPLINE OR 15 FEET FROM THE TRUNK OF THE TREE, WHICHEVER IS GREATER.
C. NO CONSTRUCTION, GRADING, STAGING, OR MATERIALS STORAGE SHALL BE ALLOWED WITHIN FENCED EXCLUSION AREAS OR WITHIN THE PROTECTED ZONES OF ANY ONSITE OR ADJACENT NATIVE TREES.
D. CONSTRUCTION ACTIVITIES SHALL BE SCHEDULED TO AVOID THE BREEDING SEASONS OF SENSITIVE WILDLIFE SPECIES LOCATED WITHIN 500 FEET OF THE PROPOSED IMPROVEMENTS.
E. CONSTRUCTION PHASE POLLUTANTS FROM THE CITY'S WATER QUALITY PROTECTION REGULATIONS SHALL BE IMPLEMENTED TO MINIMIZE IMPACTS RELATED TO RUNOFF, EROSION, AND WATER QUALITY.
F. THE USE OF HERBICIDES SHALL BE MINIMIZED BY USING MANUAL REMOVAL METHODS TO ELIMINATE UNDESIRED VEGETATION WHENEVER POSSIBLE.

POST-CONSTRUCTION
G. PERMANENT NATIVE LANDSCAPING SHALL BE PROVIDED TO DEVELOPED AREAS. **PER BUILDING PERMIT SET AND PLANTING EXHIBIT, SHEET L0.4**
H. THE PLANTING OF ANY LANDSCAPE PLANTS LISTED ON THE CALIFORNIA EXOTIC PEST PLANT COUNCIL'S LIST OF EXOTIC PEST PLANTS OF ECOLOGICAL CONCERN IN CALIFORNIA IS PROHIBITED IN ANY ENVIRONMENTALLY SENSITIVE HABITAT AREAS (ESHA) AND CREEK SETBACK AREA. **PER BUILDING PERMIT SET AND PLANTING EXHIBIT, SHEET L0.4**
I. PROJECT APPLICANT AND ANY AND ALL SUCCESSORS SHALL PROVIDE INFORMATIONAL MATERIALS TO FUTURE OCCUPANTS THAT ENSURE PROTECTIVE STANDARDS/CONDITIONS OF APPROVAL ARE RECOGNIZED AND COMPLIED WITH THROUGHOUT THE LIFE OF THE PROJECT.
J. POST CONSTRUCTION REQUIREMENTS FROM THE CITY'S WATER QUALITY PROTECTION REGULATIONS WILL BE IMPLEMENTED TO MINIMIZE IMPACTS TO RUNOFF, EROSION, AND WATER QUALITY.
K. ALL NEW FENCING SHALL BE WILDLIFE PERMEABLE AS DEFINED BY THE FOLLOWING CRITERIA:
- FENCES SHALL HAVE A WOODEN OR SMOOTH WIRE RAIL AT THE TOP.
- FENCES SHALL BE LESS THAN 40 INCHES HIGH.
- FENCES SHALL HAVE A SPACE GREATER THAN 16 INCHES BETWEEN THE GROUND AND THE BOTTOM RAIL.
L. ALL EXTERIOR LIGHTING SHALL BE MINIMIZED, RESTRICTED TO LOW INTENSITY FEATURES, SHIELDED AND DIRECTED AWAY FROM CREEK CORRIDOR TO MINIMIZE IMPACTS TO WILDLIFE. PERMITTED LIGHTING SHALL CONFORM TO THE FOLLOWING STANDARDS:
- THE MINIMUM NECESSARY TO LIGHT WALKWAYS USED FOR ENTRY AND EXIT TO THE STRUCTURE, INCLUDING PARKING AREAS ON THE SITE. THIS LIGHTING SHALL BE LIMITED TO FIXTURES THAT DO NOT EXCEED 60 WATTS OR THE EQUIVALENT. UNLESS A HIGHER WATTAGE IS AUTHORIZED BY THE COMMUNITY DEVELOPMENT DIRECTOR.
- SECURITY LIGHTING ATTACHED TO THE RESIDENCE THAT IS CONTROLLED BY MOTION DETECTORS AND IS LIMITED TO 60 WATTS, OR THE EQUIVALENT.
- THE MINIMUM LIGHTING NECESSARY FOR SAFE VEHICULAR USE OF THE DRIVEWAY. THE LIGHTING SHALL BE LIMITED TO 60 WATTS, OR THE EQUIVALENT.
- A LIGHT NOT TO EXCEED 40 WATTS OR THE EQUIVALENT, AT THE ENTRANCE TO ANY NON-RESIDENTIAL ACCESSORY STRUCTURES.
- MOUNTING AROUND THE PERIMETER OF THE SITE. NO LIGHTING FOR SPORTS COURTS OR OTHER PRIVATE RECREATIONAL FACILITIES AND NO LIGHTING FOR AESTHETIC PURPOSES IS ALLOWED.

PLAN REQUIREMENTS AND TIMING: PRIOR TO ISSUANCE OF A GRADING OR BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A CONSTRUCTION MITIGATION PLAN, PREPARED BY A CCD APPROVED BIOLOGIST, ARBORIST OR LANDSCAPE ARCHITECT TO CCD FOR REVIEW AND APPROVAL. ALL REQUIREMENTS SHALL BE SPECIFIED ON GRADING AND BUILDING PLANS AND GRAPHICALLY DEPICTED IF FEASIBLE. PROTECTIVE FENCING SHALL BE INSTALLED PRIOR TO START OF GRADING OR CONSTRUCTION. **MONITORING:** CCD SHALL SITE INSPECT THROUGHOUT GRADING AND CONSTRUCTION ACTIVITIES.

ABBREVIATIONS:

abbreviation	description
(E)	EXISTING
(N)	NEW
PA	PLANTING AREA
DG	DECOMPOSED GRANITE
TYP	TYPICAL
LA	LANDSCAPE ARCHITECT
LF	LINEAL FEET
SF	SQUARE FEET

FENCING SCHEDULE:

(N) TREE PROTECTION FENCE - PER ARBORIST REPORT SHEET L0.2 / L0.3

(N) CONSTRUCTION FENCING

NOTE: ONCE ROUGH GRADING IS COMPLETED WITHIN THE 50 FOOT CREEK BUFFER, THIS AREA WILL BE FENCED THROUGHOUT THE REMAINDER OF CONSTRUCTION.

rrm design group

4745 Carpinteria Ave
Carpinteria, CA

PROJECT

SHEET CONTENTS

Tree Disposition + Construction Mitigation Plan

L0.1

CONCLUSIONS

- Installation of the riparian plantge buffer and detention basins should not impact the existing sycamores or eucalyptus trees provided tree protection measures are followed
- This riparian buffer appears to provide a better long-term environment for tree roots than the existing asphalt covered parking lot
- Tree Protection Measures must be followed when building the riparian buffer planter
- The area around the trees in the vacant strip should be cleaned up. Compostable plants and soil and debris around the base of trees should be removed. Apply 2' to 4" of fresh wood chips over the vacant strip to improve soil conditions

TREE PROTECTION MEASURES

1. Prior to any work on this subject property be sure that limbs of trees will not conflict with workers or equipment. Prune as needed
2. Demolition of the asphalt parking lot must be done with care so as not to damage underlying roots or adjacent trees when working within the critical root zones of the sycamores.
3. Avoid using rippers that damage the fine mat of underlying absorption roots.
4. After removing asphalt within the critical root zone of the sycamore trees, install fencing at the edge of the work area as shown in the site plan. Only workers installing the riparian buffer can enter this protection zone
5. Understory vegetation in the vacant area adjacent the creek and within TPZs should be removed with manual tools.
6. Stumps in close proximity to the protected trees should be cut close to ground or turned to sawdust with a stump grinder. Do not pull out the stumps.
7. When excavating for the detention basins, arborist should monitor the work. If the western side of the basin requires a vertical cut, shore the side of the trench rather than cutting closer to the tree
8. If roots are encountered, cut roots, 1/2" and greater with a sharp tool, perpendicular to the root growth. Use a hand pruner, hand saw, keeping pruner or reciprocating saw to cut roots cleanly
9. Root sealers have been determined to not be effective in preventing decay and should not be used
10. When roots are cut, the newly exposed soil profile must be kept moist to encourage an area conducive to new root growth and also to prevent the loss of water from the soil.
11. Use smaller plants in sensitive root areas to avoid damage to roots of the sycamores

REFERENCES

- ANSI (American National Standards Institute) A300 Part 5 - Management of Tree and Shrubs During Site Planning, Site development, and Construction, 2012
- Best Management Practices: Managing Trees During Construction, Second Edition, International Society of Arboriculture, Champaign, Illinois, 2016.
- Harris, R. W. and Matheny, N. P. and Clark, J. R., 2004 Arboriculture: Integrated Management of Landscape Trees, Shrubs, and Vines, Fourth Edition, Prentice Hall.
- Matheny and Clark, Trees and Development: A Technical guide To Preservation of Trees During Land Development, ISA, 1998

SITE PLAN

OBSERVATIONS

1. There is a vacant strip of land along that runs between the northwest property line of the subject property (to the southeast) and Franklin Creek (to the northwest). The strip varies from 15 to 25' wide and is fenced with chain-link fence on both sides.
2. Franklin Creek, is a concrete lined, open drainage, that moves water from the Carpinteria foothills, through multiple agricultural properties and residential neighborhoods. Even out to the salt marsh and finally the Pacific Ocean.
3. The parcel to be developed southeast of the vacant strip, is an equipment rental yard that is completely asphalt covered, including a couple of structures. To my knowledge, this has been the condition of the property for more than forty-five years.
4. The vacant strip appears unmanaged except for maybe seasonal weeding. Currently, debris litters the ground including rocks, plastic bags, and plastic pipes. An old 4' high dead lump stump also remains.
5. There are four mature trees are growing within the vacant strip of land including three native California Sycamores (Platanus racemosa) and one non-native Silver Dollar Eucalyptus (Eucalyptus polyanthemos). See table on next page for details on each trees.
6. The sycamores are all infected with a seasonal leaf pathogen commonly called anthracnose. This infection generally defoliates sycamores in the spring. Trees usually recover in the warmer dry weather with a new flush of healthy leaves.
7. I also observed deadwood in some of the trees and competitive understory plants including small myoporum trees and a small ash sapling.
8. The project calls for creation of a narrow, riparian buffer gardens within the northwestern property line, inside of the subject property.
9. The riparian corridor includes native riparian plants, a pathway, and bio-retention basins. To construct the basins, excavation will be required to 8' deep. As a result, their locations were moved further to the east to minimize impacts to the trees.
10. In addition, pervious gravel paths will be laid out alongside the trees.
11. It is likely that excavation for the basins will encounter roots, although the distance from the trunks and the existing condition of the asphalt covered area, suggests that encroachment will be insignificant.

TREE INVENTORY

#	Type	DBH	CRZ	Cond Rtng	Comments	% of Encroachment into CRZ	Project Status	Recommendation
1	sycamore	32"	20' x	Guided	Seasonal anthracnose infection, dominated by turn, rock piled at base, rootstock sucker at base, underlying sycamore surrounding with sycamore	approx 20% for detention basins	Non-significant	clean up around base of tree, remove myoporum and ash saplin.
2	sycamore	31"	20' x	Guided	Seasonal anthracnose infection, rock sprouting at base of trunk, rock adjacent to of trunk	< 20% for detention basin	Non-significant	remove ash sapling and grind to all trunk, remove myoporum, leave some of tree
3	sycamore	40"	40' x	Guided	Seasonal anthracnose infection, trunk split into three leaders at 7'	approx 20% for detention basin	Non-significant	clean up around base of tree
4	eucalyptus	33"	na	Guided	Dry limbs, over-extend, trunk split into two leaders at 4.5'	none	Non-significant	clean up around base of tree

Bill Spiewak
Consulting Arborist

August 10, 2023

TREE ASSESSMENT AND PROTECTION PLAN for 4745 Carpinteria Ave Carpinteria, CA 93013

Prepared for:
Western Bluff Construction
c/o Justin Kleinfeld
1521 N Almont Dr
West Hollywood, CA 90046
310 927 4011 / justin@westernbluffconstruction.com

BACKGROUND

The subject property owner is proposing to develop this parcel into residential units. Adjacent to the north property line is a strip of vacant land that runs between Franklin Creek and the property to be developed. There are four trees in this area. I was retained to inspect the trees and provide a report with my assessment of potential impacts to them from the proposed landscape creation. I was on the site during May 25, 2023 and prepared a report soon afterward. Since my initial report in May 2023, the location of the detention basins adjacent to the trees were relocated further from the trees. This report reflects those changes. See my conclusions on page 4

TABLE OF CONTENTS

Sycamore #2 - note underlying debris, and oak sapling

Sycamore #1 - note underlying debris, sycamore suckers and myoporum trees

PHOTOS

Google image of the site. Trees #1 to #4 are identified.

ARBORIST'S DISCLOSURE AND CERTIFICATION OF PERFORMANCE

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Treatment, pruning and removal of trees may involve considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

I, Bill Spiewak, certify
That I have personally inspected the trees on the property referred to in this report and have stated my findings accurately.
The analyses, opinions and conclusions stated herein are my own and are based on current scientific procedures and commonly accepted arboricultural practices.

Signed: Bill Spiewak
Bill Spiewak
Registered Consulting Arborist #381
American Society of Consulting Arborists

Board Certified Master Arborist #1108
International Society of Arboriculture
Qualified Tree Risk Assessor

rrm design group

4745 Carpintera Ave
Carpinteria, CA
NOT FOR CONSTRUCTION

PROJECT

SHEET CONTENTS
Arborist Report

L0.2

Silver Dollar Eucalyptus #4 - looking south, note path along wall.

Sycamore #1 - note how trunk splits into three leaders. Monitor weight of leader that will overhang the subject property. May need pruning in future.

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4745 Carpintera Ave
Carpinteria, CA

PROJECT

SHEET CONTENTS
Arborist Report

L0.3

LIGHTING & ELECTRICAL NOTES:

1 Wiring and transformer locations to be provided by Electrician
2 Outdoor GFCI electrical outlet(s) to be provided by Electrician if needed
3 Location of lights are diagrammatic. Final location and specification to be approved by Landscape Architect prior to order/installation
4 All lights to be compatible with transformer and controller
5 All fixtures to be night sky friendly and hooded to avoid view of the source and glare

ALTERNATIVE NOTE:

As a cost alternative, quote out DX 300
Transformer and fixtured without ZD

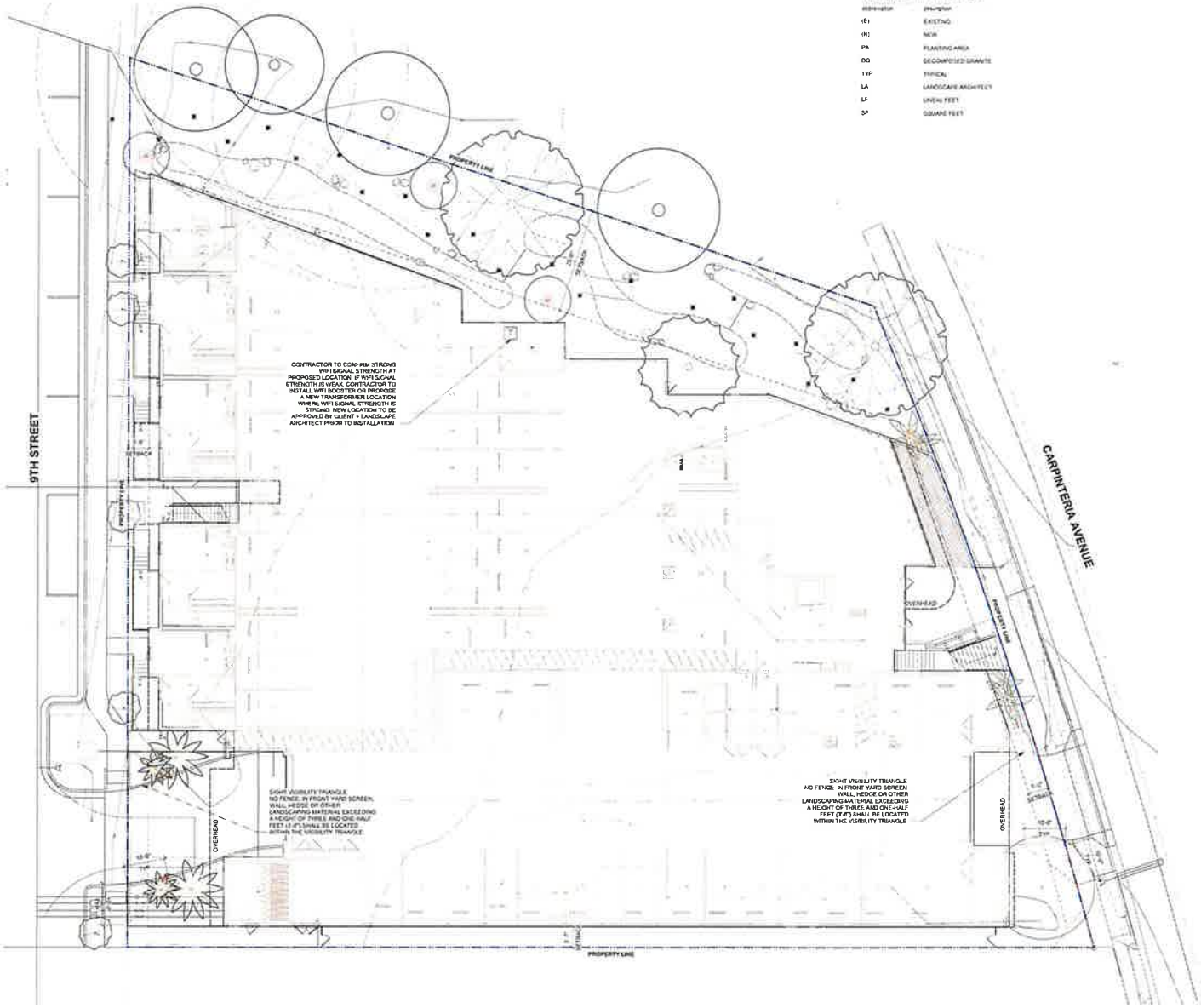
ABBREVIATIONS:

abbreviation	description
(E)	EXISTING
(N)	NEW
PA	PLANTING AREA
DG	DECOMPOSED GRANITE
TYP	TYPICAL
LA	LANDSCAPE ARCHITECT
LF	LINEAL FEET
SF	SQUARE FEET

LIGHTING SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY	MANUFACTURER	MODEL
T	Transformer	1	FX Luminaire	LUX - 300 - SS with LAM, WIFI MODE and WIFI BOOSTPAT
◉	Path Light (Creek Buffer)	22	FX Luminaire	HOLESTA - A3 - P - 1LED - HRA - 30

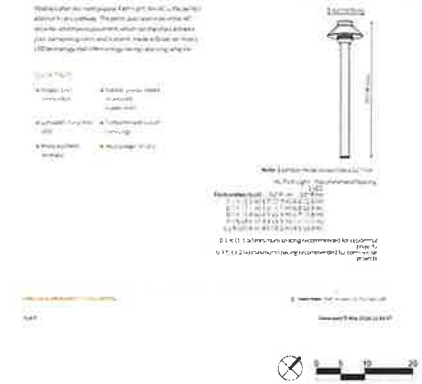
Note: the above legend is for reference only, refer to plan for final counts



PATH LIGHT: CREEK BUFFER

FXLuminaire

HC LED Path Light



rrm design group

4745 Carpinteria Ave.
Carpinteria, CA

PROJECT

SHEET CONTENTS
Lighting Plan - Ground Floor

L1

ABBREVIATIONS:

abbreviation	description
(E)	EXISTING
(N)	NEW
PA	PLANTING AREA
DG	DECOMPOSED GRANITE
TYP	TYPICAL
LA	LANDSCAPE ARCHITECT
LF	LINEAL FEET
SF	SQUARE FEET

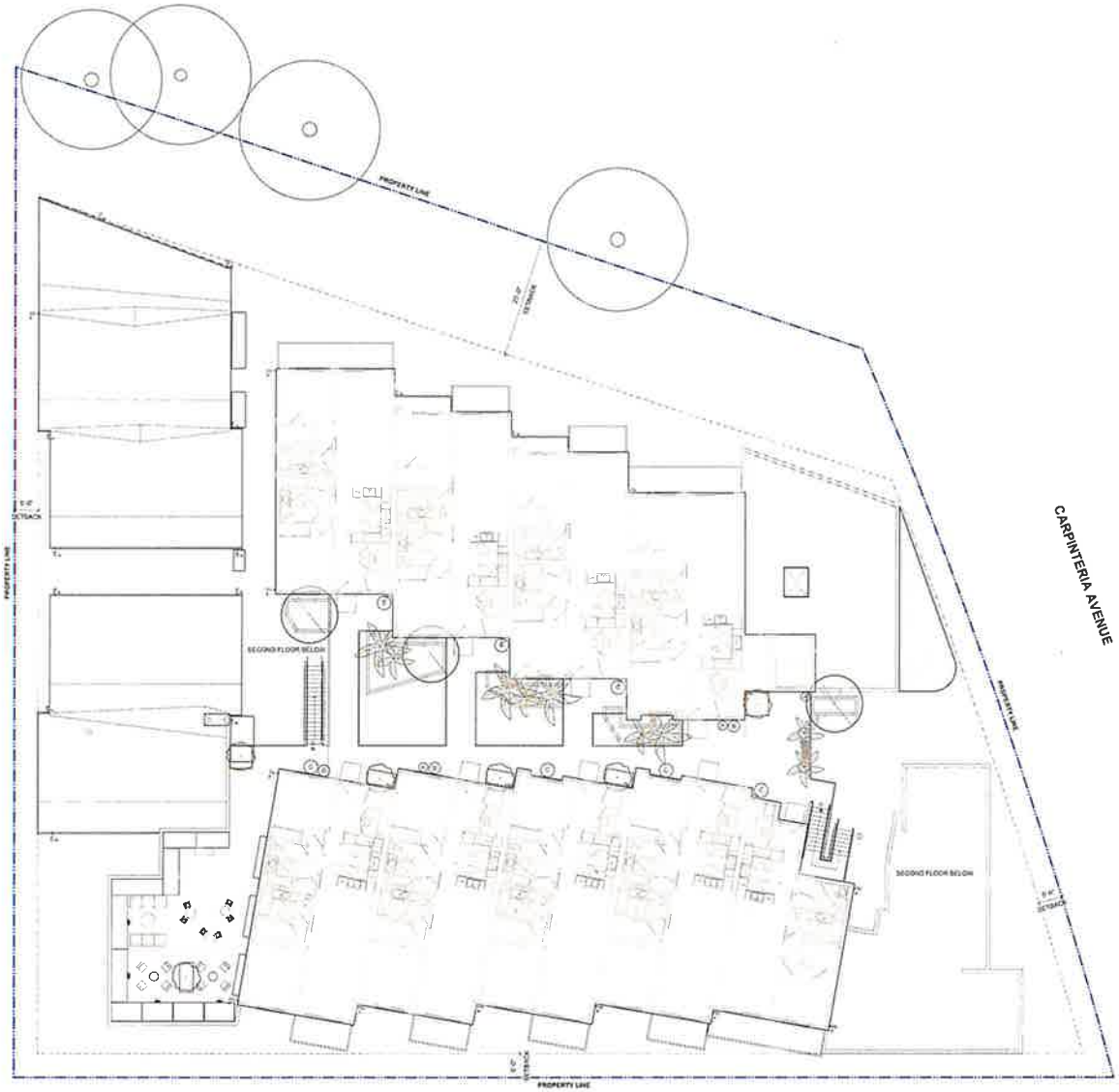
LIGHTING SCHEDULE

SYMBOL	DESCRIPTION	QUANTITY	MANUFACTURER	MODEL
	Wall / Step Light	4	FX Luminaire	CO - NL - / Finish

Note: the above legend is for reference only, refer to plan for final counts

LIGHTING & ELECTRICAL NOTES:

1 Wiring and transformer locations to be provided by Electrician
2 Outdoor GFCI electrical outlet(s) to be provided by Electrician, if needed
3 Location of lights are diagrammatic. Final location and specification to be approved by Landscape Architect prior to order/installation
4 All lights to be compatible with transformer and controller
5 All fixtures to be night sky friendly and recessed to avoid view of the source and glare



PLANTER LIGHT

FXLuminaire.

RH Recessed Wall/Step Light

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Carpinteria, CA

PROJECT

SHEET CONTENTS

Lighting Plan - 3rd Floor

L1.2

HYDROZONE LEGEND - GROUND FLOOR

VALVE / ZONE	DESCRIPTION	AREA	WUCOLS	IRRIGATION TYPE
1	Mixed Succulents + LW Ornamentals	1448 SF	L	Drip
2	Citrus + Palm Trees	38 SF	M	Drip
3	Mixed California Natives	4617 SF	L	Drip
4	Morning Glory Vines	16 SF	M	Drip
5	Redbud + Oak Trees	21 SF	L	Drip
6	California Sycamore Trees	18 SF	M	Drip
7	Palms + Jacaranda Trees	13 SF	M	Drip
8	Mixed Succulents + LW Ornamentals	430 SF	L	Drip
9	Trumpet Vines	11 SF	L	Drip

NOTE:

SEE SHEET L3.1 FOR COMPLETE HYDROZONE SCHEDULE

IRRIGATION LEGEND - GROUND FLOOR

SYMBOL	DESCRIPTION	MANUFACTURER/MODEL
	IRRIGATION MAINLINE	SEE MAINLINE SIZING CHART, MIN. 1 1/4"
	IRRIGATION LATERAL	SEE LATERAL SIZING CHART
	IRRIGATION SLEEVE	SEE IRRIGATION NOTES
WM	WATER METER EXISITNG	
	BALL VALVE	SPEARS TRUE UNION, WITH VITON O-RINGS SHUTOFF VALVE LINE SIZE
	IRRIGATION CONTROLLER	HUNTER PHC-1202 12 STATION BASE UNIT CONTROLLER, EXPANDS TO 24 STATIONS PLASTIC OUTDOOR WALL MOUNT CONFIRM LOCATION WITH OWNER PRIOR TO INSTALLATION INSTALL PER MANUFACTURERS SPECIFICATIONS. RAIN SENSOR TO BE INSTALLED TO AUTOMATICALLY SHUT OFF WHEN ONSITE RAINFALL EXCEEDS 1/4"
	BACKFLOW PREVENTER + PRESSURE REDUCER PER COUNTY HEALTH CODE	1 1/2" FEBCO 825Y-A OR AP PROVED EQUAL 1 1/2" WILKINS SAL VE STRAINER 1 1/2" WILKINS 500XL PRESSURE REDUCER 1 1/2" BRASS UNIONS INSTALL PER JURISDICTION HEALTH CODE
M	SUBMETER - FLOW SENSOR	HUNTER HC-100-FLOW, 1-1/2"
M	MASTER VALVE	HUNTER RBV 151G-FS 1 1/2" NORMALLY CLOSED BRASS GLOBE VALVE INSTALL IN VALVE BOX
QC	QUICK COUPLER	HUNTER HQN-LRC-RR
	REMOTE CONTROL VALVE	HUNTER ICV-101-FS W/ AS-ADJ
	DRIP REMOTE CONTROL VALVE	HUNTER ICZ-101-LF
#	DRIP IRRIGATION ZONE	SEE EQUIPMENT LEGEND
	AIR/VACUUM RELIEF VALVE	HUNTER AVR-075 TO BE LOCATED AT HIGHEST POINT OF DRIP IRRIGATION ZONE INSTALL ONE (1) PER DRIP VALVE
	AUTOMATIC FLUSH VALVE	HUNTER AFV-9 TO BE LOCATED AT LOWEST POINT OF DRIP IRRIGATION AREA INSTALL ONE (1) PER DRIP AREA
	DRIP OPERATION INDICATOR	HUNTER ECO-ID-12 TO BE LOCATED AT FARTHEST EASILY VISIBLE POINT FROM CONTROL VALVE OF DRIP IRRIGATION ZONE
	TREE IRRIGATION	HUNTER RZWS AND MSBN SEE EQUIPMENT LEGEND FOR SIZE, QUANTITY AND MODEL

EQUIPMENT LEGEND:

PLANT MATERIAL	EQUIPMENT
FLATTED GROUNDCOVER	HDL-06-12-CV
4" POT	2 - HE-26-9 EMITTERS
1 GALLON	2 - HE-26-9 EMITTERS
5 GALLON SHRUB	3 - HE-26-9 EMITTERS
15 GALLON SHRUB	4 - HE-26-9 EMITTERS
1" GALLON TREE (IN-GRADE)	1 - RZWS-18-50-CV AND 1 - MSBN 500 WITH PRGS-04-PRS30
1" GALLON TREE (ON-PODIUM)	1 - AFB WITH PRGS-04-PRS30 W/ MCN-25
24" BOX TREE (IN-GRADE)	1 - RZWS-18-50-CV AND 1 - MSBN 500 WITH PRGS-04-PRS30
24" BOX TREE (ON-PODIUM)	1 - AFB WITH PRGS-04-PRS30 W/MCN 25
36" BOX TREE (IN GRADE)	1 - RZWS-18-50-CV AND 1 - MSBN 500 WITH PRGS-04-PRS30
48" BOX TREE (IN-GRADE)	2 - RZWS-18-50-CV AND 2 - MSBN 500 WITH PRGS-04-PRS30
96" BOX TREE (IN-GRADE)	4 - RZWS-18-50-CV AND 4 - MSBN 500 WITH PRGS-04-PRS30

MAINLINE/LATERAL SIZING:

0-4 GPM	1/2" SCHEDULE 40	
4-8 GPM	3/4" SCHEDULE 40	
8-12 GPM	1" SCHEDULE 40	
12-22 GPM	1 1/4" SCHEDULE 40	
22-30 GPM	1 1/2" SCHEDULE 40	
30-50 GPM	2" CLASS 315	
50-70 GPM	2 1/2" CLASS 315	
70-105 GPM	3" CLASS 315	

VALVE IDENTIFICATION:

"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

Katie Kuner LA #6253 — July 03, 2024
Date

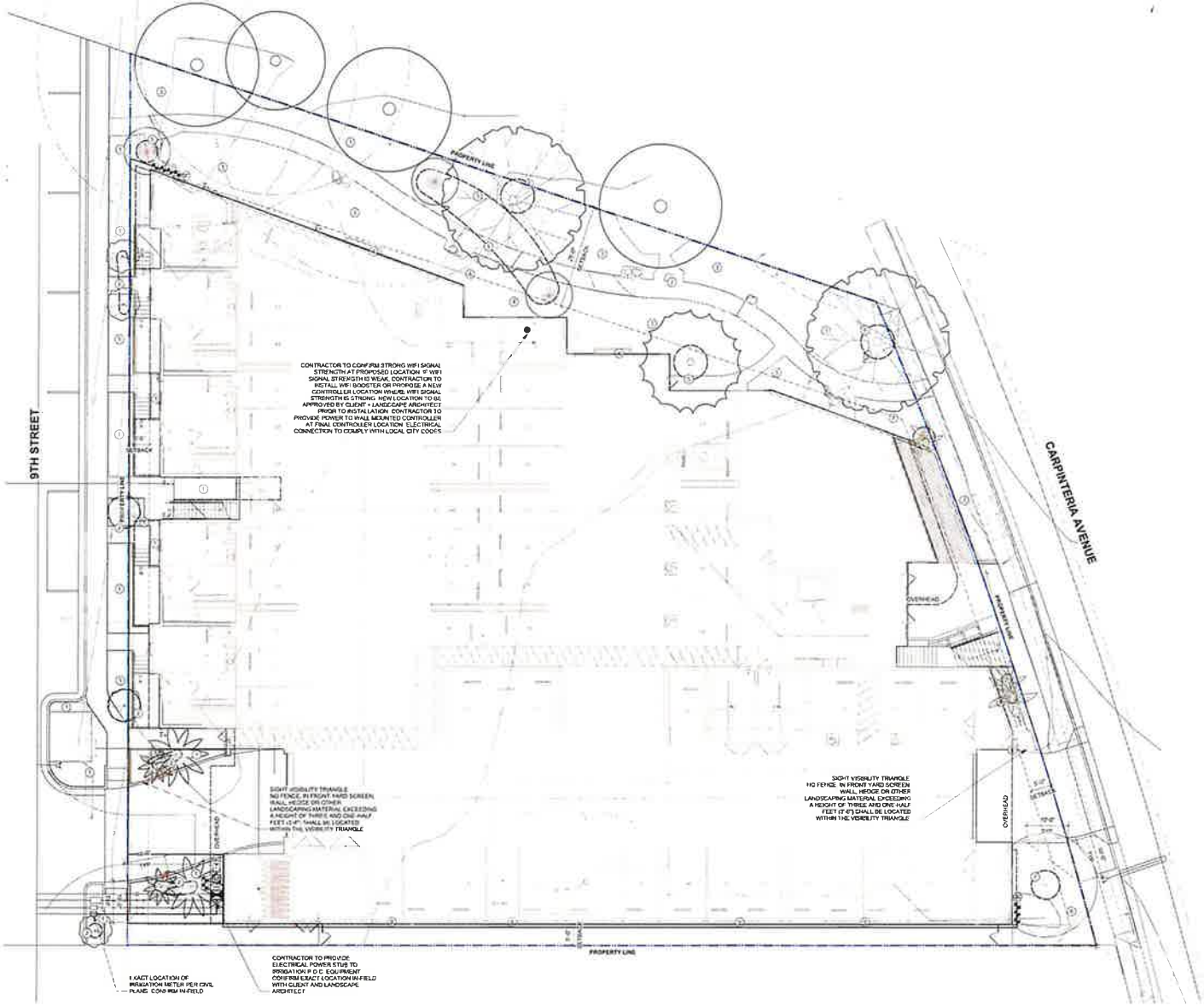
CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492.8 WILL BE SUBMITTED FOR REVIEW APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO OCCUPANCY OF THE PROJECT

THE CERTIFICATE OF COMPLETION SHALL CONTAIN AT THE MINIMUM THE FOLLOWING:

- Project information
- Certificate by either signer of the landscape design plan, the signer of the irrigation design plan, or the licensed landscape contractor that the landscape project has been installed per the approved Landscape Documentation Package

Note: Where significant changes have been made in the field during installation, an "as built" plan shall be included with the certification. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.

- Irrigation scheduling parameters used to set the controller (see MWELO Section 492.10)
- Landscape and irrigation maintenance schedule (see MWELO Section 492.11)
- Irrigation audit report (see MWELO SEtaion 492.12)
- Soil analysis report (if not previously submitted with Landscape Documentation Package)



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4745 Carpinteria Ave.
Carpinteria, CA

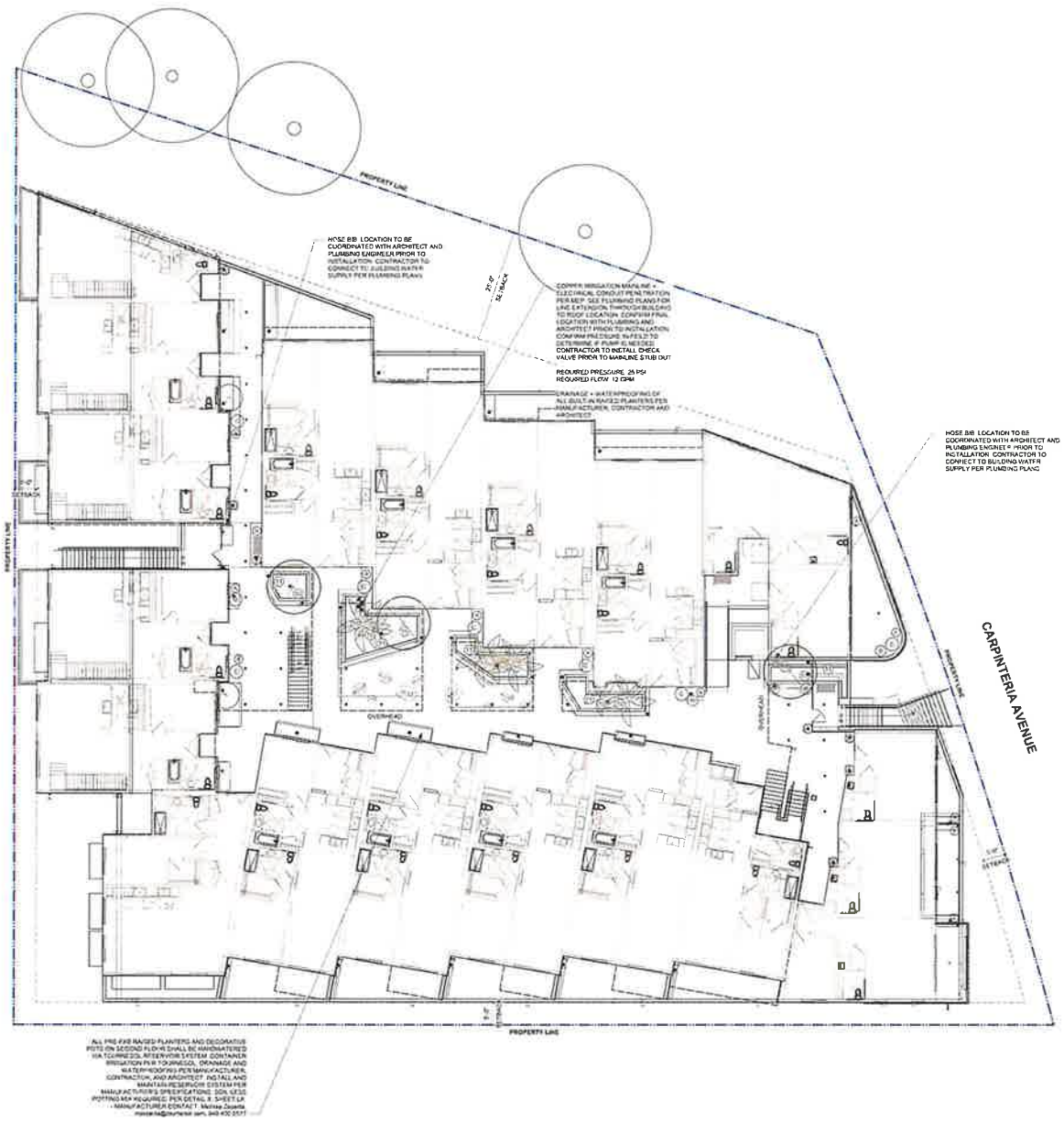
NOT FOR CONSTRUCTION

PROJECT

SHEET CONTENTS

Irrigation Plan - Ground Floor

L2



IRRIGATION LEGEND - SECOND FLOOR

SYMBOL	DESCRIPTION	MANUFACTURER/MODEL
	IRRIGATION MAINLINE	SEE MAINLINE SIZING CHART. MIN. 1-1/4"
	IRRIGATION LATERAL	SEE LATERAL SIZING CHART
	IRRIGATION SLEEVE	SEE IRRIGATION NOTES
	BALL VALVE	SPEARS, TRUE UNION, WITH VITON O-RINGS. SHUTOFF VALVE. LINE SIZE
HB	HOSE BIB	STYLE: #HB SINGLE TEMPERATURE RECESSED HOSE BOX SIZE: 10.5" X 10.5" FEATURES: FLANGE AND DOOR MATERIAL: STAINLESS STEEL MANUFACTURER: ACORN AVAILABLE FROM PACE SUPPLY CORP. www.pacesupply.com
	REMOTE CONTROL VALVE	HUNTER ICV-101-FS W/ 42-ADU
	DRIP REMOTE CONTROL VALVE	HUNTER ICZ-101-LF
#	DRIP IRRIGATION ZONES	SEE EQUIPMENT LEGEND
	AIR/VACUUM RELIEF VALVE	HUNTER AVR-075 TO BE LOCATED AT HIGHEST POINT OF DRIP IRRIGATION ZONE. INSTALL ONE (1) PER DRIP VALVE
	AUTOMATIC FLUSH VALVE	HUNTER AFV-9 TO BE LOCATED AT LOWEST POINT OF DRIP IRRIGATION AREA. INSTALL ONE (1) PER DRIP AREA
	DRIP OPERATION INDICATOR	HUNTER ECO-IO-12
	TREE IRRIGATION	TO BE LOCATED AT FURTHEST, EASILY VISIBLE, POINT FROM CONTROL VALVE OF DRIP IRRIGATION ZONE HUNTER #18 WITH 4" POP UP. SEE EQUIPMENT LEGEND FOR SIZE, QUANTITY, AND MODEL

HYDROZONE LEGEND - SECOND FLOOR

VALVE / ZONE	DESCRIPTION	AREA	WUCOLS	IRRIGATION TYPE
10	Succulents + Palm Trees	48 SF	10	Drip
11	Mixed Succulents + LVI Groundcover	242 SF	[illegible]	Drip

NOTE:

SEE SHEET L3.1 FOR COMPLETE HYDROZONE SCHEDULE

EQUIPMENT LEGEND:

PLANT MATERIAL	EQUIPMENT
FLATTED GROUNDCOVER	HDL-06-12 CV
4" POT	2 - HE .25 E EMITTERS
1 GALLON	2 - HE .25 E EMITTERS
5 GALLON SHRUB	3 - HE .25 E EMITTERS
15 GALLON SHRUB	4 - HE .25 E EMITTERS
15 GALLON TREE (IN GRADE)	1 - RZWS-18-50-CV AND 1 - MSBN-50Q WITH PRGS-04-PRS30
15 GALLON TREE (ON PODIUM)	1 - AFB WITH PRGD-04-PRS30 W/ PCN 25
24" BOX TREE (IN GRADE)	1 - RZWS-18-50-CV AND 1 - MSBN-50Q WITH PRGS-04-PRS30
24" BOX TREE (ON PODIUM)	1 - AFB WITH PRGD-04-PRS30 W/ PCN 25
36" BOX TREE (IN GRADE)	1 - RZWS-18-50-CV AND 1 - MSBN-50Q WITH PRGS-04-PRS30
48" BOX TREE (IN GRADE)	2 - RZWS-18-50-CV AND 2 - MSBN-50Q WITH PRGS-04-PRS30
96" BOX TREE (IN GRADE)	4 - RZWS-18-50-CV AND 4 - MSBN-50Q WITH PRGS-04-PRS30

MAINLINE/LATERAL SIZING:

0-4 GPM	1/2" SCHEDULE 40	
4-9 GPM	3/4" SCHEDULE 40	
9-12 GPM	1" SCHEDULE 40	
12-22 GPM	1 1/4" SCHEDULE 40	
22-35 GPM	1 1/2" SCHEDULE 40	
35-50 GPM	2" CLASS 315	
50-75 GPM	2 1/2" CLASS 315	
75-100 GPM	3" CLASS 315	

VALVE IDENTIFICATION:

valve type — DRCV — valve flow rate
valve number — # 1" — valve size

"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

Katie Kerr LA #6253 — July 30, 2024
Date

CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492.9 WILL BE SUBMITTED FOR REVIEW APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO OCCUPANCY OF THE PROJECT.

THE CERTIFICATE OF COMPLETION SHALL CONTAIN, AT THE MINIMUM, THE FOLLOWING:

- Project information
- Certificate by either signer of the landscape design plan, the signer of the irrigation design plan, or the licensed landscape contractor that the landscape project has been installed per the approved Landscape Documentation Package

Note: Where significant changes have been made in the field during installation, an "as-built" plan shall be included with the certification. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.

- Irrigation scheduling parameters used to set the controller (see MWELO Section 492.10)
- Landscape and irrigation maintenance schedule (see MWELO Section 492.11)
- Irrigation audit report (see MWELO Section 492.12)
- Soil analysis report (if not previously submitted with Landscape Documentation Package)

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4745 Carpinteria Ave.
Carpinteria, CA
NOT FOR CONSTRUCTION

PROJECT

SHEET CONTENTS
Irrigation Plan - 2nd Floor

L2.1

IRRIGATION LEGEND - THIRD FLOOR

SYMBOL	DESCRIPTION	MANUFACTURER/MODEL
HB	HOSE BIB	STYLE: 8160 SINGLE TEMPERATURE RECESSED HOSE BOX SIZE: 10.0" X 10.0" FEATURES: FLANGE AND DOOR MATERIAL: STAINLESS STEEL MANUFACTURER: ACORN AVAILABLE FROM: FACE SUPPLY CORP. www.facesupply.com

"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

Kase Klein LA #6253 — Date: July 30, 2024

CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492.9 WILL BE SUBMITTED FOR REVIEW/APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO OCCUPANCY OF THE PROJECT

THE CERTIFICATE OF COMPLETION SHALL CONTAIN, AT THE MINIMUM, THE FOLLOWING:

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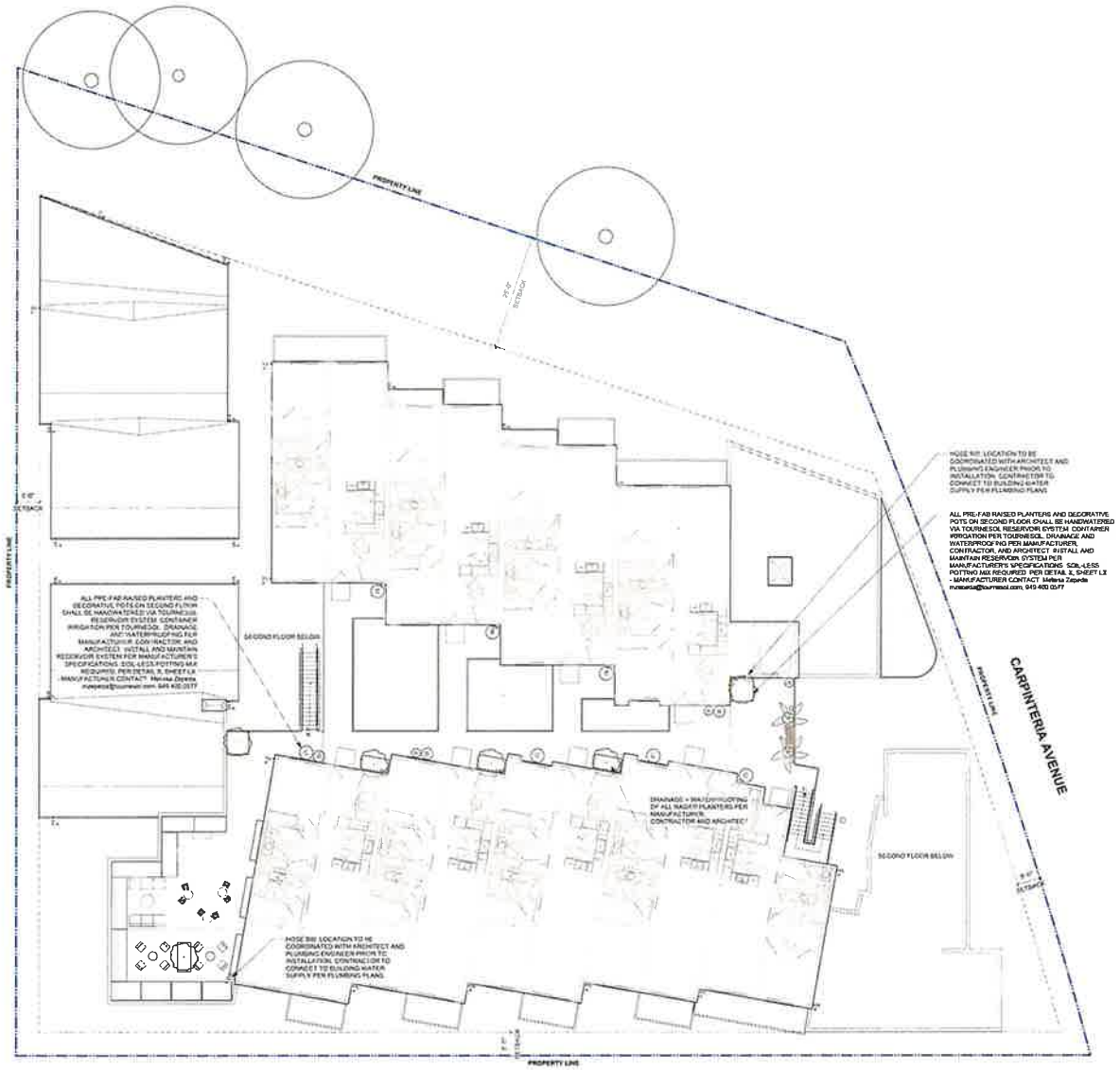
Note: Where significant changes have been made in the field during installation an "as-built" plan shall be included with the certification. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.)

- Irrigation scheduling parameters used to set the controller (see MWELO Section 492.10)
- Landscape and irrigation maintenance schedule (see MWELO Section 492.11)
- Irrigation audit report (see MWELO Section 492.12)
- Soil analysis report (if not previously submitted with Landscape Documentation Package)



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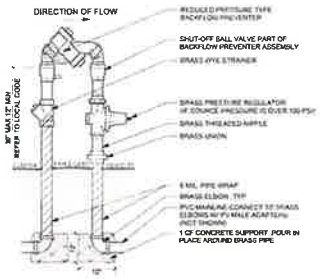
4745 Carpinteria Ave.
Carpinteria, CA

PROJECT

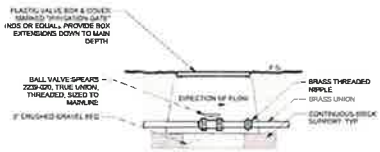
Irrigation Plan - 3rd Floor

L2.2



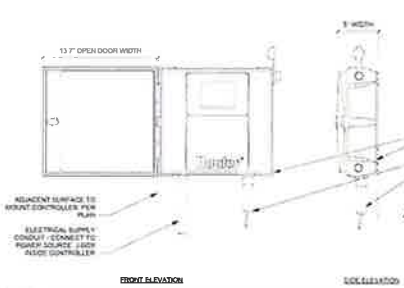
3 **BACKFLOW PREVENTER**

scale N.T.S



2 **BALL VALVE**

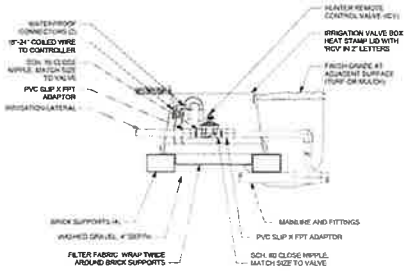
scale N.T.S



NOTES
1 CONTROLLER ACCEPTS 120 VOLTS
2. MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD WIRED TO GROUNDED 110 VAC POWER SOURCE
3. REFER TO THE HUNTER INSTALLATION GUIDE FOR FURTHER INSTRUCTIONS

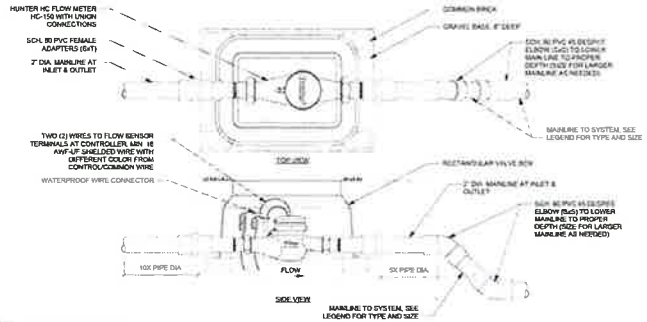
1 **CONTROLLER IN PLASTIC WALL MOUNT CABINET**

scale N.T.S



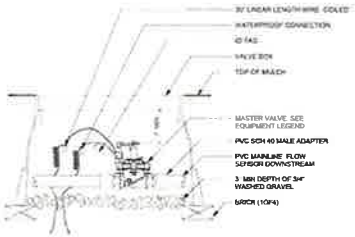
6 **REMOTE CONTROL VALVE**

scale N.T.S



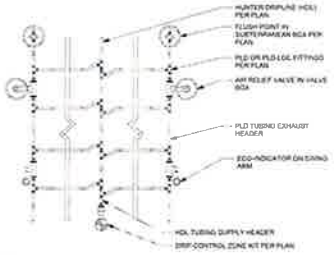
5 **FLOW SENSOR**

scale N.T.S



4 **MASTER VALVE ASSEMBLY**

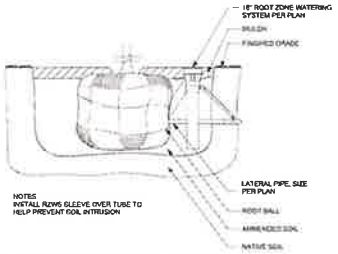
scale N.T.S



NOTES
1 AIR RELIEF VALVE INSTALLED IN VALVE BOX AT OPTIMAL HIGHEST POINT FROM CONTROL ZONE KIT. MULTIPLE AIR RELIEF VALVES MAY BE NEEDED TO ACCOMMODATE DIFFERENCES IN GRADE
2 ECO-INDICATOR TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT IN CLEAR VIEW WHEN POPPED UP
3. FLUSH POINT TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT TO ALLOW FOR MAXIMUM DESIRE FLUSH IN SYSTEM

9 **HDL PLANTING BED CENTER FEED**

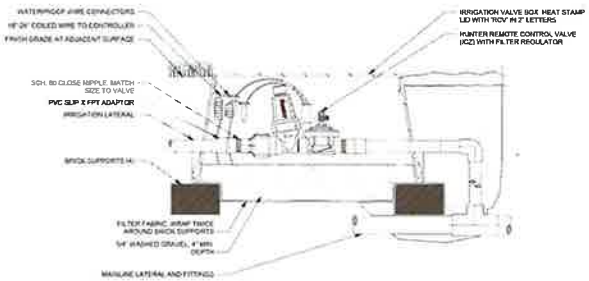
scale N.T.S



NOTES
INSTALL RUWS SLEEVE OVER TUBE TO HELP PREVENT SOIL INTRUSION

8 **ROOT ZONE WATERING SYSTEM**

scale N.T.S



7 **DRIP REMOTE CONTROL VALVE**

scale N.T.S

rrm design group

SUBMITTAL No. 3

August 27, 2024

4745 Carpinteria Ave.
Carpinteria, CA
NOT FOR CONSTRUCTION

PROJECT

SHEET CONTENTS
Irrigation Details

SCALE AS SHOWN
DATE 8-27-24
DRAWN BY
CHECKED BY

L3

IRRIGATION NOTES:

1 THIS SYSTEM IS DIAGRAMMATIC ALL PIPES VALVES ETC SHOWN WITHIN PAVED AREAS ARE FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHEREVER POSSIBLE

2 DO NOT WILFULLY INSTALL THE SPRINKLER SYSTEM AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS OR GRADE DIFFERENCES EXIST AND SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED THE CONTRACTOR MUST ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS NECESSARY

3 CONTRACTOR SHALL POTHOLE AND VERIFY ALL EXISTING UTILITIES WITHIN PROJECT SITE PRIOR TO CONSTRUCTION AND REPORT ANY CONFLICTS TO THE LANDSCAPE ARCHITECT CONTRACTOR SHALL PROPOSE ANY HORIZONTAL REALIGNMENT AND/OR VERTICAL ADJUSTMENT FOR UTILITY DESIGN TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER

4 IRRIGATION SYSTEM IS DESIGNED ASSUMING A STATIC WATER PRESSURE OF APPROXIMATELY 70 PSI AT POINT-OF-CONNECTION PRIOR TO INSTALLATION OF IRRIGATION SYSTEM CONTRACTOR SHALL VERIFY PRESSURE AT POINT-OF-CONNECTION

5 IT IS THE INTENT OF THIS PLAN TO PROVIDE ADEQUATE IRRIGATION TO ALL PLANTING AREAS PREVENT RUN-OFF LOW HEAD DRAINAGE, OVERSPRAY OR OTHER SIMILAR CONDITIONS WHERE IRRIGATION WATER FLOWS ONTO NON-TARGETED AREAS IN ACCORDANCE WITH MWELO SECTIONS 492 7(A)(1)(B) AND 492 7(A)(1)(J) CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ANY AND ALL ADJUSTMENTS TO THE IRRIGATION SYSTEM NECESSARY TO ENSURE 100% IRRIGATION COVERAGE OF ALL PLANTING AREAS AND MWELO COMPLIANCE

6 EMITTER SHALL BE LOCATED ON GRADE AND STAKED A MAXIMUM OF SIX INCHES FROM THE CENTER OF PLANT OR EDGE OF ROOTBALL WHICHEVER IS GREATER

7 ALL PIPING INSTALLED UNDER PATHWAYS OR PAVED AREAS THROUGH WALLS OR FOOTINGS SHALL BE PLACED INSIDE CLASS 80 SDR SLEEVES OF ADEQUATE SIZE TO ALLOW FREE MOVEMENT OF THE PIPE AND ANY COUPLINGS IN THE SLEEVE EXTEND SLEEVES 18 INCHES BEYOND EDGES OF PAVING OR CONSTRUCTION

8 IRRIGATION LINES SHALL BE BURIED AT THE FOLLOWING MINIMUM DEPTHS PVC PRESSURE MAINLINE 18" PVC LATERAL LINE 12" TRENCH BACKFILL SHALL BE FREE OF ANY MATERIAL THAT MAY DAMAGE IRRIGATION EQUIPMENT IN THE EVENT OF BACKFILL SETTLEMENT CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT THEIR OWN COST IN PLANTER AREAS

9 IRRIGATION CONTRACTOR SHALL ADJUST FLOW CONTROL FOR PROPER PERFORMANCE AND VALVE LONGEVITY

10 PRESSURE REGULATING DEVICES SHALL BE INSTALLED WHERE NECESSARY TO ENSURE THE DYNAMIC PRESSURE AT EACH EMISSION DEVICE IS WITHIN MANUFACTURER'S RECOMMENDED PRESSURE RANGE FOR OPTIMAL PERFORMANCE

11 FLUSH VALVES SHALL BE INSTALLED AT THE ENDS OF ALL POLYETHYLENE DRIP TUBING IN ROUND VALVE BOXES WITH GRAVEL FILL

12 CHECK VALVES SHALL BE INSTALLED AT LOW POINTS ON IRRIGATION LINE TO PREVENT LEAKAGE

13 VALVES TO BE INDIVIDUALLY NUMBERED WITH WATERPROOF TAGS AND GROUPED INTO VALVE BOXES INSTALL SINGLE VALVE VALVES IN BOXES ONLY WHEN NO OTHER VALVES ARE CLOSE ENOUGH TO FORM A GROUP

14 NO LAWN OR LANDSCAPE IRRIGATION WITH POTABLE WATER ALLOWED APART FROM THE HOURS OF 10 00PM AND 5 00AM EXCEPT FOR HAND HELD HOSE EQUIPMENT WITH A POSITIVE SHUT-OFF NOZZLE

15 IRRIGATION WATER SHALL NOT RUN OFF LANDSCAPED AREAS TO ADJACENT PROPERTY ADJOINING STREETS SIDEWALKS OR OTHER PAVED AREAS DUE TO INCORRECTLY DIRECTED OR MAINTAINED SPRINKLERS OR EXCESSIVE WATERING

16 ALL IRRIGATION EMISSION DEVICES SHALL MEET THE CRITERIA SET FORTH BY MWELO SECTION 492 7(A)(1)(K) AND SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS

17 CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492 9 WILL BE SUBMITTED FOR REVIEW/APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO FINAL INSPECTION

18 LANDSCAPE CONSTRUCTOR SHALL CLEAN UP ON A DAILY BASIS PER OWNER'S REPRESENTATIVE'S APPROVAL

19 IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF 30 DAYS

20 CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF 1 YEAR FROM FINAL ACCEPTANCE

21 SHOULD ANY PROBLEM WITH THE IRRIGATION SYSTEM BE DISCOVERED WITH THE IRRIGATION SYSTEM BE DISCOVERED WITHIN THE GUARANTEE PERIOD IT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER WITHIN TEN (10) CALENDARS DAYS OF RECEIPT OF WRITTEN NOTICE FROM OWNER

21 CONTRACTOR IS RESPONSIBLE FOR PLUMBING PERMITS AND INSPECTIONS REQUIRED BY THE BUILDING INSPECTOR FOR INSTALLATION OF THE IRRIGATION SYSTEM(S) SHOWN ON THIS DRAWING

22 CONFIRM IRRIGATION CONTROLLER LOCATION PRIOR TO INSTALLATION FINAL LOCATION TO BE DETERMINED IN COORDINATION WITH OWNER OR OWNER'S REPRESENTATIVE

23 STATIC WATER PRESSURE ASSUMED TO BE 70 PSI AT POINT OF CONNECTION PRIOR TO INSTALLATION OF IRRIGATION SYSTEM CONTRACTOR SHALL VERIFY PRESSURE AT POINT OF CONNECTION IN FIELD IF PRESSURE VARIES FROM THAT LISTED NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY

INSPECTIONS:

ALL ITEMS BELOW SHALL BE SCHEDULED WITH THE OWNER, OWNER'S REPRESENTATIVE, AND/OR THE IRRIGATION DESIGNER. INSPECTIONS SHALL NOT OCCUR WITHOUT A MINIMUM OF 48 HOURS PRIOR NOTIFICATION

-PRE-JOB/KICK-OFF MEETING WITH CONTRACTOR, GENERAL CONTRACTOR AND IRRIGATION DESIGNER
-INSTALLATION OF MAINLINE, MASTER VALVES, FLOW SENSORS
-INSTALLATION REVIEW PRIOR TO BACKFILLING TRENCHES
-IRRIGATION MAINLINE PRESSURE TEST
-FINALIZING THE LOCATION FOR THE CONTROLLER ASSEMBLIES - LANDSCAPE CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION DESIGNER TO VERIFY CONNECTION OF FLOW SENSORS AND ASSOCIATED EQUIPMENT TO EACH CONTROLLER ASSEMBLY AND FOR CERTIFICATION/WARRANTY OF EQUIPMENT
-IRRIGATION COVERAGE TEST - A DYNAMIC PRESSURE TEST SHALL BE PERFORMED BY THE LANDSCAPE CONTRACTOR AND SHALL BE OBSERVED BY THE OWNER (OR THE OWNER'S REPRESENTATIVE) AND THE IRRIGATION DESIGNER FOR EACH VALVE DURING THE IRRIGATION COVERAGE TEST
-APPROVAL OF THE AC-BUILT DRAWINGS

TURNOVER ITEMS:

ALL ITEMS BELOW SHALL BE PROVIDED TO THE OWNER OR OWNER'S REPRESENTATIVE UPON COMPLETION OF THE IRRIGATION SYSTEM

-MANUFACTURER MANUALS AND WARRANTY INFORMATION FOR ALL IRRIGATION EQUIPMENT AND PROCEDURES
-REDUCED AND LAMINATED CONTROLLER CHART(S) SHOWING ALL ITEMS INSTALLED, WITH STATIONS COLOR CODED MOUNT TO INSIDE OF CONTROLLER(S)
-COMPLETE "AS-BUILT DRAWING" SHOWING THE EXACT LOCATION OF ALL ITEMS INSTALLED
-TWO (2) WRENCHES FOR DISASSEMBLY AND ADJUSTMENT OF EACH TYPE OF SPRINKLER HEAD USED IN THE IRRIGATION SYSTEM
-THREE (3) 30 SPRINKLER KEYS FOR MANUAL OPERATION OF CONTROL VALVES
-TWO (2) KEYS FOR EACH AUTOMATIC CONTROLLER
-TWO (2) QUICK COUPLER KEYS AND TWO (2) COUPLER LID KEYS
-ONE (1) VALVE BOX COVER KEY OR WRENCH
-SIX (6) EXTRA SPRINKLER HEADS OF EACH SIZE AND TYPE

HYDROZONE LEGEND - OVERALL

VALVE / ZONE	DESCRIPTION	AREA	NOZZLE	IRRIGATION TYPE
1	Mixed Succulents + LW Ornamentals	1,448 SF	L	Drip
2	Citrus + Palm Trees	38 SF	M	Drip
3	Mixed California Natives	4,617 SF	L	Drip
4	Morning Glory Vines	16 SF	M	Drip
5	Redbud + Oak Trees	21 SF	L	Drip
6	California Sycamore Trees	16 SF	M	Drip
7	Pears + Jacaranda Trees	13 SF	M	Drip
8	Mixed Succulents + LW Ornamentals	430 SF	L	Drip
9	Trumpet Vines	11 SF	M	Drip
10	Sweetgum + Palm Trees	40 SF	M	Drip
11	Mixed Succulents + LW Ornamentals	310 SF	L	Drip

"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN"

Kabir Klein LA #5253 — July 30 2024 Date

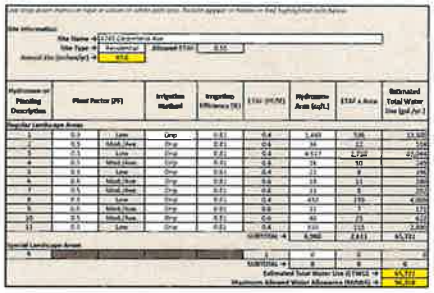
CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492 9 WILL BE SUBMITTED FOR REVIEW/APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO OCCUPANCY OF THE PROJECT

THE CERTIFICATE OF COMPLETION SHALL CONTAIN, AT THE MINIMUM, THE FOLLOWING

- Project information
- Certificate by either signer of the landscape design plan, the signer of the irrigation design plan, or the licensed landscape contractor that the landscape project has been installed per the approved Landscape Documentation Package

Note: Where significant changes have been made in the field during installation, an "as-built" plan shall be included with the certification. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.)

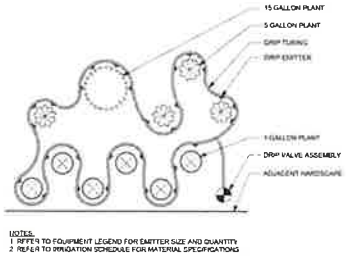
- Irrigation scheduling parameters used to set the controller (see MWELO Section 492 10)
- Landscape and irrigation maintenance schedule (see MWELO Section 492 11)
- Irrigation audit report (see MWELO Section 492 10)
- Soil analysis report (if not previously submitted with Landscape Documentation Package)



Hydrozone Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Hydrozone Area (sq ft)	ETAF x Area	Estimated Total Water Use (gal /yr)
Regular Landscape Areas							
1	0.3	Low	Drip	0.81	0.4	1,448	586
2	0.5	Med/Low	Drip	0.61	0.6	38	23
3	0.1	Low	Drip	0.81	0.6	4,617	2,730
4	0.5	Med/Low	Drip	0.61	0.6	16	10
5	0.3	Low	Drip	0.81	0.4	21	8
6	0.5	Med/Low	Drip	0.61	0.6	16	11
7	0.5	Med/Low	Drip	0.61	0.6	13	8
8	0.3	Low	Drip	0.81	0.4	430	209
9	0.5	Med/Low	Drip	0.61	0.6	11	7
10	0.5	Med/Low	Drip	0.61	0.6	40	25
11	0.3	Low	Drip	0.81	0.4	310	113
					SUBTOTAL →	6,960	3,811
Special Landscape Areas							
0				1	0	0	0
					SUBTOTAL →	0	0
					Estimated Total Water Use (ETWU) →		65,777
					Maximum Allowed Water Allowance (MAWA) →		76,358

ETAF Calculations	
Regular Landscape Areas	
Total ETAF x Area	2,811
Total Area	6,960
Average ETAF	0.40
All Landscape Areas	
Total ETAF x Area	2,811
Total Area	6,960
Average ETAF	0.40

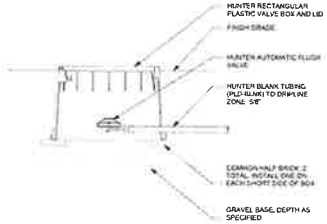
Calculator developed to meet code effective Dec 1, 2015
This calculator is for estimating purposes only



NOTES:
1 REFER TO EQUIPMENT LEGEND FOR EMITTER SIZE AND QUANTITY
2 REFER TO IRRIGATION SCHEDULE FOR MATERIAL SPECIFICATIONS

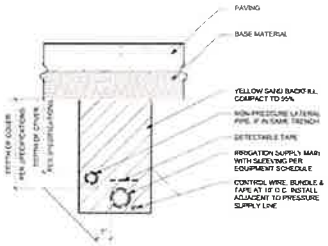
2 POINT SOURCE DRIP LAYOUT

Scale: N.T.S.



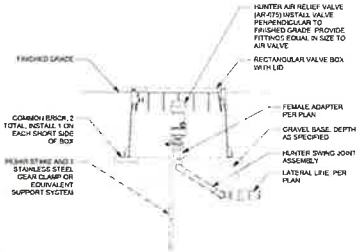
1 AUTOMATIC FLUSH VALVE

Scale: N.T.S.



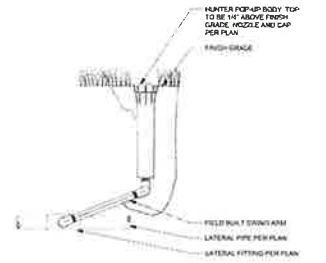
4 SLEEVING UNDER PAVING

Scale: N.T.S.



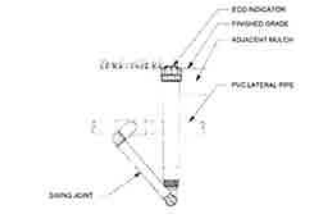
3 AIR RELIEF VALVE

Scale: N.T.S.



6 POP-UP SPRAY BODY

Scale: N.T.S.



5 DRIP OPERATION INDICATOR

Scale: N.T.S.

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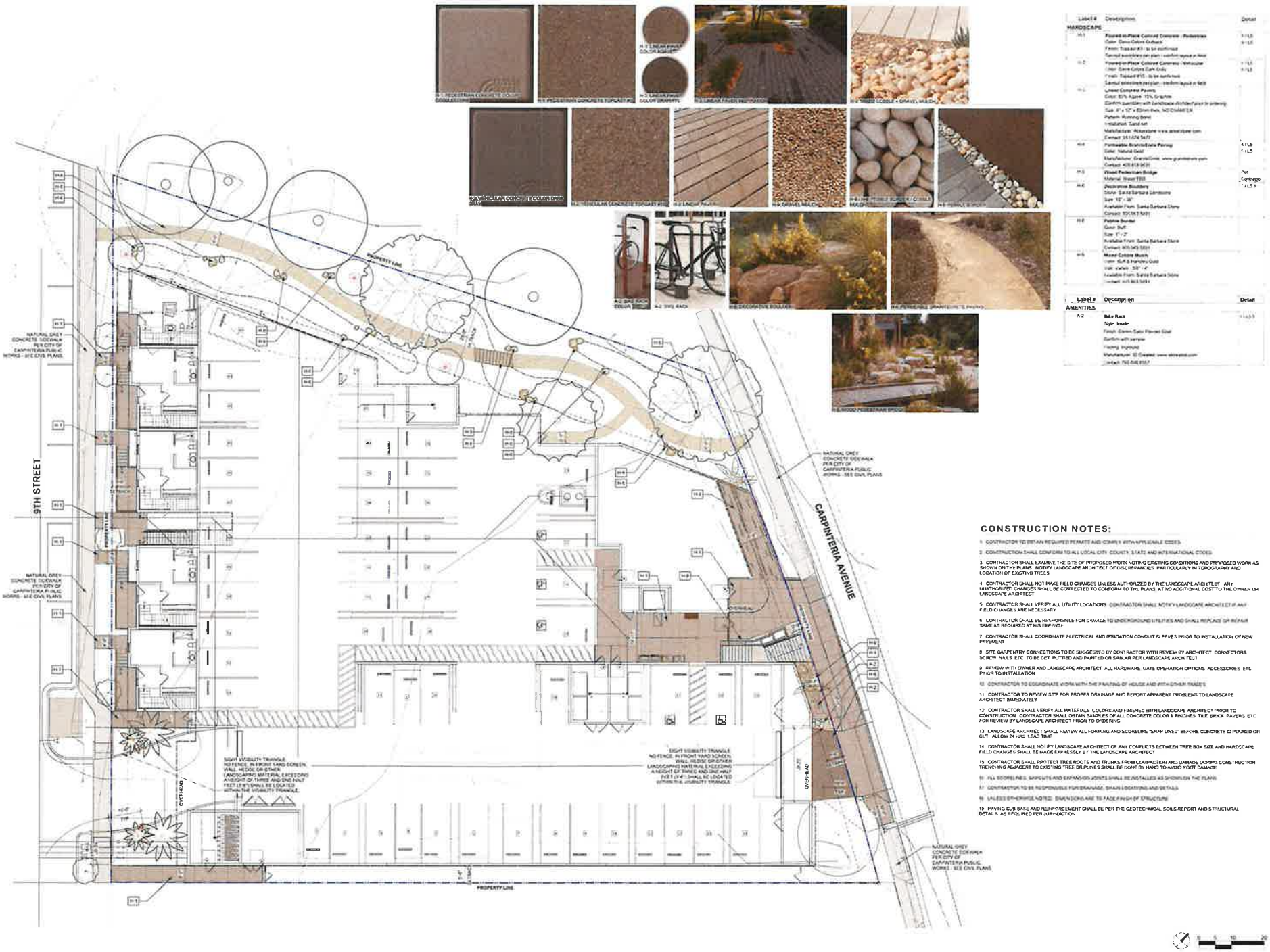
PROJECT

SHEET CONTENTS
Irrigation Details

L3.1



Label #	Description	Detail
HARDSCAPE		
H-1	Poured-in-Place Colored Concrete - Pedestrian Color: Dove Colors Outback Finish: Topcast #10 - to be confirmed Consult sketches per plan - confirm layout in field	H-1/L5 H-1/L5
H-2	Poured-in-Place Colored Concrete - Vehicular Color: Dove Colors Dark Gray Finish: Topcast #10 - to be confirmed Consult sketches per plan - confirm layout in field	H-1/L5 H-1/L5
H-3	Linear Concrete Pavers Color: 80% Agave - 15% Graphite Confirm quantities with Landscape Architect prior to ordering Size: 4" x 12" x 60mm thick, NO CHAMFER Pattern: Running Bond Installation: Sand set Manufacturer: Arcosstone www.arcosstone.com Contact: 951.674.5677	
H-4	Permeable Granite/Cobble Paving Color: Natural Gold Manufacturer: Granite/Cobble www.granitestone.com Contact: 408.818.9631	H-1/L5 H-1/L5
H-5	Wood Pedestrian Bridge Material: Wood TBD	Per Contractor
H-6	Decorative Boulders Stone: Santa Barbara Sandstone Size: 18" - 36" Available From: Santa Barbara Stone Contact: 805.963.5801	H-1/L5
H-7	Pebble Border Color: Buff Size: 1" - 2" Available From: Santa Barbara Stone Contact: 805.963.5801	
H-8	Mixed Cobble Mulch Color: Buff & Harvest Gold Size: cobble - 3/8" - 4" Available From: Santa Barbara Stone Contact: 805.963.5801	
AMENITIES		
A-2	Bike Rack Style: Inside Finish: Green Color Powder Coat Confirm with sample Fixtures Included Manufacturer: SS Greene www.ssgreene.com Contact: 760.598.8557	H-1/L5

CONSTRUCTION NOTES:

1. CONTRACTOR TO OBTAIN REQUIRED PERMITS AND COMPLY WITH APPLICABLE CODES.
2. CONSTRUCTION SHALL CONFORM TO ALL LOCAL CITY, COUNTY, STATE AND INTERNATIONAL CODES.
3. CONTRACTOR SHALL EXAMINE THE SITE OF PROPOSED WORK NOTING EXISTING CONDITIONS AND PROPOSED WORK AS SHOWN ON THIS PLANS. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES, PARTICULARLY IN TOPOGRAPHY AND LOCATION OF EXISTING TREES.
4. CONTRACTOR SHALL NOT MAKE FIELD CHANGES UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT. ANY UNAUTHORIZED CHANGES SHALL BE CORRECTED TO CONFORM TO THE PLANS, AT NO ADDITIONAL COST TO THE OWNER OR LANDSCAPE ARCHITECT.
5. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF ANY FIELD CHANGES ARE NECESSARY.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO UNDERGROUND UTILITIES AND SHALL REPLACE OR REPAIR SAME AS REQUIRED AT HIS EXPENSE.
7. CONTRACTOR SHALL COORDINATE ELECTRICAL AND IRRIGATION CONDUIT SLEEVES PRIOR TO INSTALLATION OF NEW PAVEMENT.
8. SITE CARPENTRY CONNECTIONS TO BE SUGGESTED BY CONTRACTOR WITH REVIEW BY ARCHITECT. CONNECTORS, SCREW, NAILS, ETC. TO BE SET, PUTTIED AND PAINTED OR SIMILAR PER LANDSCAPE ARCHITECT.
9. REVIEW WITH OWNER AND LANDSCAPE ARCHITECT ALL HARDWARE, GATE OPERATION OPTIONS, ACCESSORIES, ETC. PRIOR TO INSTALLATION.
10. CONTRACTOR TO COORDINATE WORK WITH THE PAINTING OF HOUSE AND WITH OTHER TRADES.
11. CONTRACTOR TO REVIEW SITE FOR PROPER DRAINAGE AND REPORT APPARENT PROBLEMS TO LANDSCAPE ARCHITECT IMMEDIATELY.
12. CONTRACTOR SHALL VERIFY ALL MATERIALS, COLORS AND FINISHES WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL OBTAIN SAMPLES OF ALL CONCRETE COLOR & FINISHES, TILE, BRICK, PAVERS, ETC. FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO ORDERING.
13. LANDSCAPE ARCHITECT SHALL REVIEW ALL FORMING AND SCORELINE "SNAP LINES" BEFORE CONCRETE IS POURED OR CUT. ALLOW 24 HRS. LEAD TIME.
14. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN TREE BOX SIZE AND HARDSCAPE. FIELD CHANGES SHALL BE MADE EXPRESSLY BY THE LANDSCAPE ARCHITECT.
15. CONTRACTOR SHALL PROTECT TREE ROOTS AND TRUNKS FROM COMPACTION AND DAMAGE DURING CONSTRUCTION. TRENCHING ADJACENT TO EXISTING TREE DRIPLINES SHALL BE DONE BY HAND TO AVOID ROOT DAMAGE.
16. ALL SCORELINES, SAWCUTS AND EXPANSION JOINTS SHALL BE INSTALLED AS SHOWN ON THE PLANS.
17. CONTRACTOR TO BE RESPONSIBLE FOR DRAINAGE. DRAIN LOCATIONS AND DETAILS.
18. UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO FACE FINISH OF STRUCTURE.
19. PAVING SUB-BASE AND REINFORCEMENT SHALL BE PER THE GEOTECHNICAL SOILS REPORT AND STRUCTURAL DETAILS AS REQUIRED PER JURISDICTION.

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Carpinteria, CA

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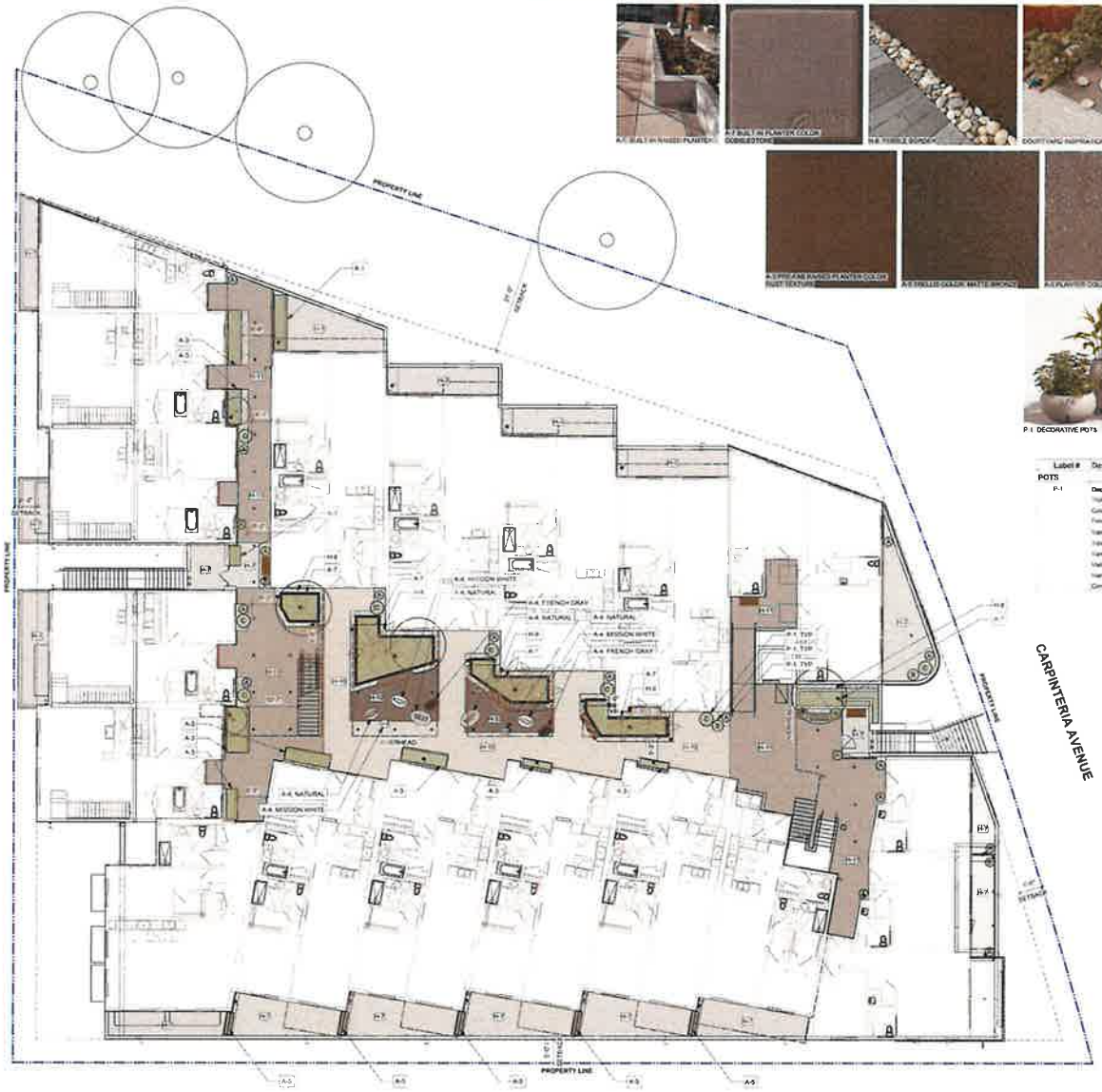
PROJECT

SHEET CONTENTS
Layout + Materials Plan - Ground Floor

L4



Label #	Description	Detail
HARDSCAPE		
H-7	Porcelain Paver - Accent Style: Industrial Park Color: IP01 - Light Gray Size: 24" x 24" Thickness: 5/16" Finish: Matte Stepnose Manufacturer: Daltile, www.daltile.com Contact: Irvin Weller, irvin.weller@daltile.com	
H-6	Pebble Border Color: Buff Size: 1" - 3" Available From: Santa Barbara Stone Contact: 805.963.5651	
H-10	Porcelain Paver - Light Style: Calgary Color: CG40 Legacy Size: 24" x 24" Thickness: 5/16" Finish: Polished Stepnose Manufacturer: Daltile, www.daltile.com Contact: Irvin Weller, irvin.weller@daltile.com, 818.929.5098	Pre-Cast Architect
H-11	Porcelain Paver - Medium Style: Calgary Color: CG42 Fog Size: 24" x 24" Thickness: 5/16" Finish: Polished Stepnose Manufacturer: Daltile, www.daltile.com Contact: Irvin Weller, irvin.weller@daltile.com, 818.929.5098	Pre-Cast Architect
H-12	Porcelain Paver - Dark Style: Industrial Park Color: IP09, Charcoal Gray Size: 24" x 24" Thickness: 5/16" Finish: Matte Stepnose Manufacturer: Daltile, www.daltile.com Contact: Irvin Weller, irvin.weller@daltile.com, 818.929.5098	Pre-Cast Architect

Label #	Description	Detail
AMENITIES		
A-2	Pre-Fab Raised Planters Style: Wallaroo Rectangular Color: Rust Texture / Black Material: Aluminum / Powder Coated Steel Size: Per plan Height: 32" Manufacturer: Tournesol Siteworks www.tournesol.com Contact: Melissa Zepeda 949.400.0677	
A-4	Stone Seats Style: Pebble Material: GFRC Model Number: Per plan Type: Per plan Color: Per plan Finish: Sandstone - to be confirmed Manufacturer: GCP, gcp-corp.com Contact: Anthony Vargas, 951.232.0375	A-1 L5.2 A-1 L5.2 A-1 L5.2 A-1 L5.2
A-3	Pre-Fab Raised Planters with Trellis Style: Wallaroo Rectangular Type: Shadow Finish: Acid Etch Material: GFRC Type: Per plan Planter Height: 24" Total Height with Trellis: 74" Features: Greenscreen Trellis Greenscreen Color: Matte Bronze Mounting: Contained Manufacturer: Tournesol Sitworks, www.tournesol.com Contact: Melissa Zepeda, 949.400.0677	
A-5	Built-In Raised Planters Material: Poured in place concrete Color: Davis Colors Sidestone Finish: Smooth Chamfered Top Edge Height: 32" Features: Wally Bench per plan Wally Bench Manufacturer: Tournesol Sitworks Wally Bench Contact: Melissa Zepeda 949.400.0677 Height: 18"	

Label #	Description	Detail
POTS		
P-1	Decorative Pots Style: Accanto Color: Shadow Finish: Acid Etch Type A: 24" dia x 46"H Type B: 20" dia x 24"H Type C: 24" dia x 20"H Material: GFRC Manufacturer: Tournesol Sitworks www.tournesol.com Contact: Melissa Zepeda 949.400.0677	

CONSTRUCTION NOTES:

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8 SITE CARPENTRY CONNECTIONS TO BE SUGGESTED BY CONTRACTOR WITH REVIEW BY ARCHITECT CONNECTORS SCREW NAILS ETC TO BE SET PUTTIED AND PAINTED OR SIMILAR PER LANDSCAPE ARCHITECT
9 REVIEW WITH OWNER AND LANDSCAPE ARCHITECT ALL HARDWARE GATE OPERATION OPTIONS ACCESSORIES ETC PRIOR TO INSTALLATION
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12 CONTRACTOR SHALL VERIFY ALL MATERIALS COLORS AND FINISHES WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION CONTRACTOR SHALL OBTAIN SAMPLES OF ALL CONCRETE COLOR & FINISHES TILE BRICK PAVERS ETC FOR REVIEW BY LANDSCAPE ARCHITECT PRIOR TO ORDERING
13 LANDSCAPE ARCHITECT SHALL REVIEW ALL FORMING AND SCORELINE "CHAIR LINES" BEFORE CONCRETE IS POURED OR CUT ALLOW 24 HRS LEAD TIME
14 CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN TREE BOX SIZE AND HARDSCAPE FIELD CHANGES SHALL BE MADE EXPRESSLY BY THE LANDSCAPE ARCHITECT
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18 UNLESS OTHERWISE NOTED DIMENSIONS ARE TO FACE FINISH OF STRUCTURE
19 PAVING BASE GRADE AND REINFORCEMENT SHALL BE PER THE GEOTECHNICAL TOILS REPORT AND STRUCTURAL DETAILS AS REQUIRED PER JURISDICTION

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Carpinteria, CA

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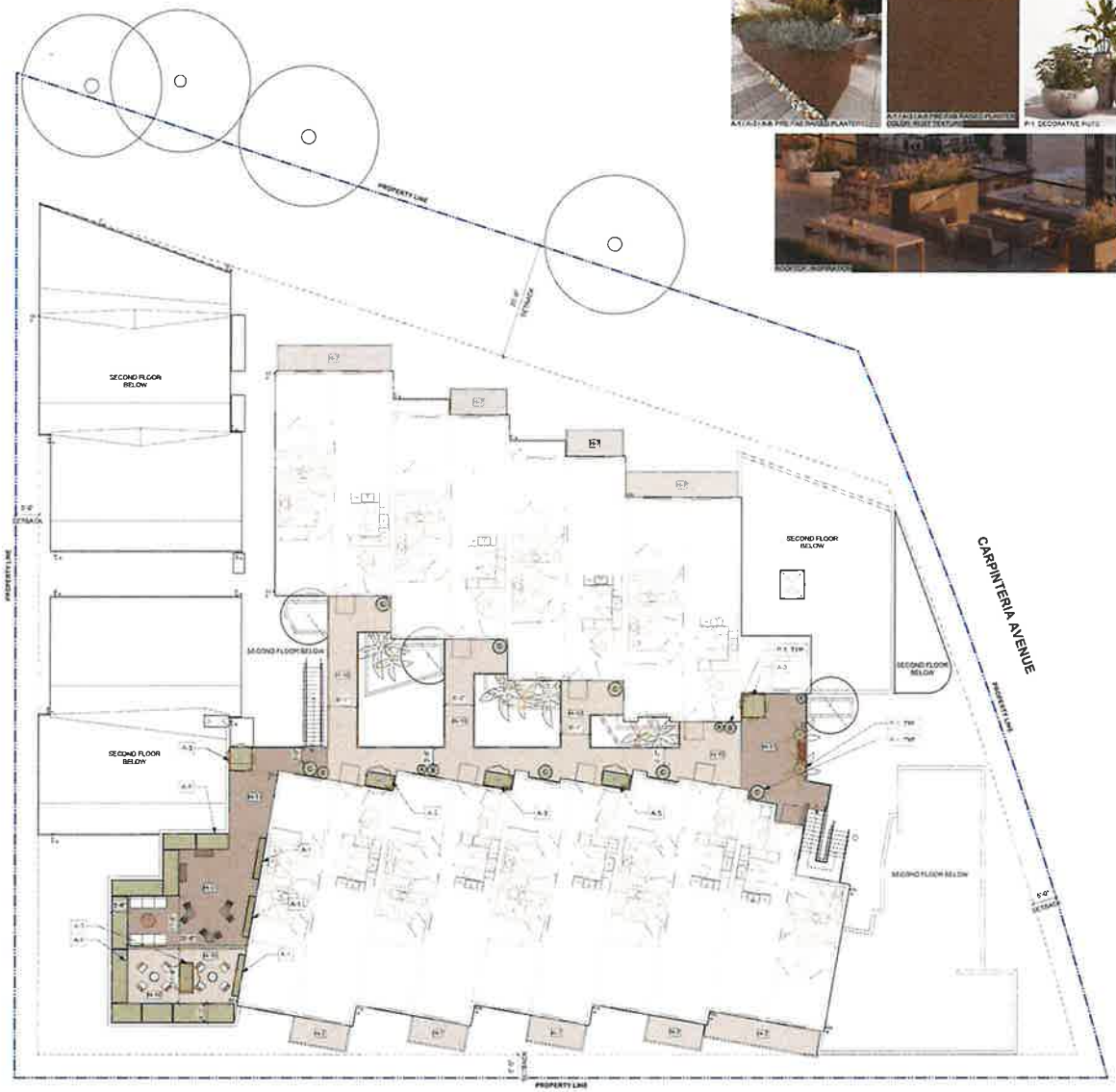
PROJECT

SHEET CONTENTS
Layout + Materials Plan - 2nd Floor

L4.1



Label #	Description	Detail
HARDSCAPE		
H-7	Porcelain Paver - Accent Style: Industrial Park Color: IP07 Light Gray Size: 24" x 24" Thickness: 5/16" Finish: Matte Stepping Manufacturer: Dalble www.dalble.com Contact: Irvin Weller, irvin.weller@dalble.com, 818.929.9058	Per Architect
H-10	Porcelain Paver - Light Style: Calgary Color: CD45 Legacy Size: 24" x 24" Thickness: 5/16" Finish: Polished, Stepping Manufacturer: Dalble www.dalble.com Contact: Irvin Weller, irvin.weller@dalble.com, 818.929.9058	Per Architect
H-11	Porcelain Paver - Medium Style: Calgary Color: CD42 Fog Size: 24" x 24" Thickness: 5/16" Finish: Polished, Stepping Manufacturer: Dalble www.dalble.com Contact: Irvin Weller, irvin.weller@dalble.com, 818.929.9058	Per Architect

Label #	Description	Detail
AMENITIES		
A-1	Pre-Fab Raised Planters - Short Style: Walnut Rectangular Color: Rust Texture Material: Powder Coated Steel Size: Per Plan Height: 24" Manufacturer: Tournesol Site works www.tournesol.com Contact: Melissa Zepeda 949.400.0577	
A-2	Pre-Fab Raised Planters Style: Walnut Rectangular Color: Rust Texture Material: Powder Coated Steel Size: Per plan Height: 30 Manufacturer: Tournesol Site works www.tournesol.com Contact: Melissa Zepeda 949.400.0577	
A-6	Pre-Fab Raised Planters - Tall Style: Walnut Rectangular Color: Rust Texture Material: Powder Coated Steel Size: Per Plan Height: 42" Features: Light fixtures per plan Manufacturer: Tournesol Site works www.tournesol.com Contact: Melissa Zepeda 949.400.0577	

Label #	Description	Detail
POTS		
P-1	Decorative Pots Style: Aquatrian Color: Bronze Finish: Acid Etch Size A: 24" dia x 66"H Size B: 30" dia x 24"H Size C: 36" dia x 30"H Material: GFRC Manufacturer: Tournesol Site works www.tournesol.com Contact: Melissa Zepeda, 949.400.0577	

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rrm design group

SUBMITTALS

4745 Carpinteria Ave.
Carpinteria, CA

NOT FOR CONSTRUCTION

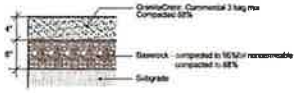
PROJECT

SHEET CONTENTS
Layout + Materials Plan - 3rd Floor

L4.2

GraniteCrete™
Permanent. Permeable. Natural.
www.granitecrete.com

GraniteCrete Paving - Single-Family Home. Non-Vehicular Traffic



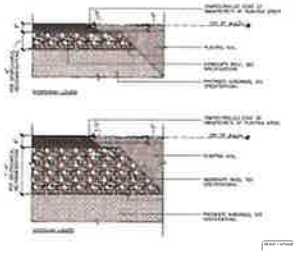
GraniteCrete Paving - Commercial. Non-Vehicular Traffic

GraniteCrete Paving - EVA & Vehicular Traffic

4 **GraniteCrete - Cross Section**

GraniteCrete™
Permanent. Permeable. Natural.
THE FUTURE OF PAVING

No Edging Illustration



3 **GraniteCrete - No Edging**

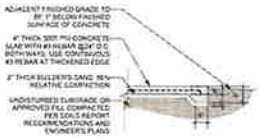
INDUSTRIAL PARK™

2 **Porcelain Paver - Industrial Park**

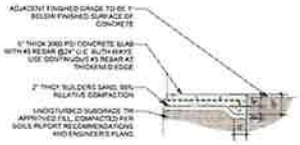
CALGARY™

1 **Porcelain Paver - Calgary**

rrm design group

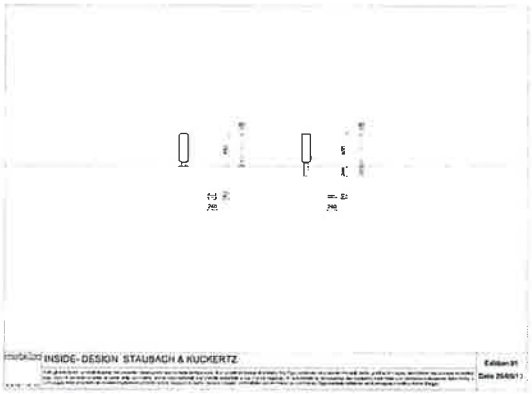


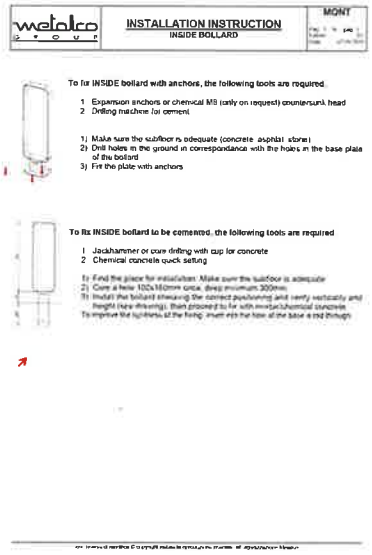
6 **P.I.P. Concrete - Pedestrian**



7 **P.I.P. Concrete - Vehicular**

5 **Bike Rack**





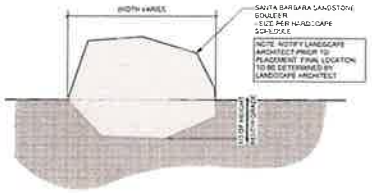
4745 Carpinteria Ave.
Carpinteria, CA

PROJECT

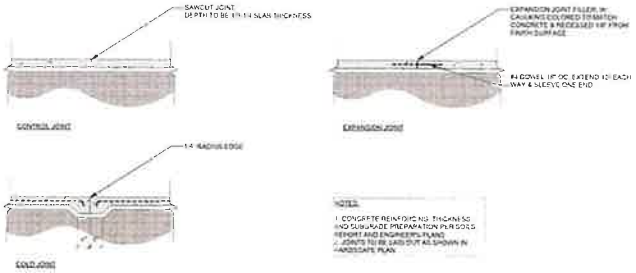
SHEET CONTENTS
Construction Details

L5

3 **Steel Header**



2 **Decorative Boulder**



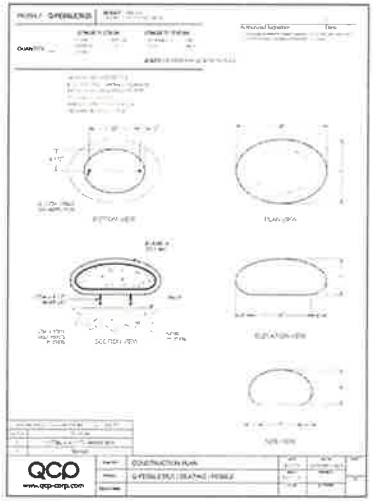
1 **Concrete Joints**

rrm design group

4745 Carpinteria Ave.
Carpinteria, CA

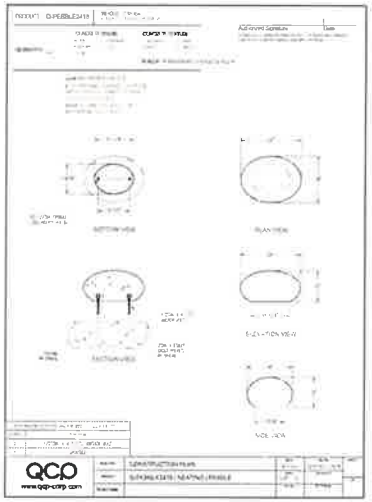
SHEET CONTENTS
Construction Details

L5.1



3 **Pebble Seat - 3625**

scale N T S

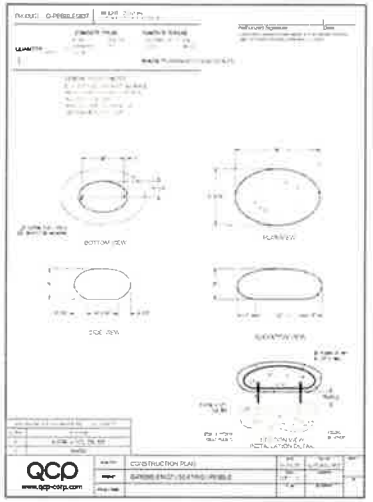


2 **Pebble Seat - 2418**

scale N T S

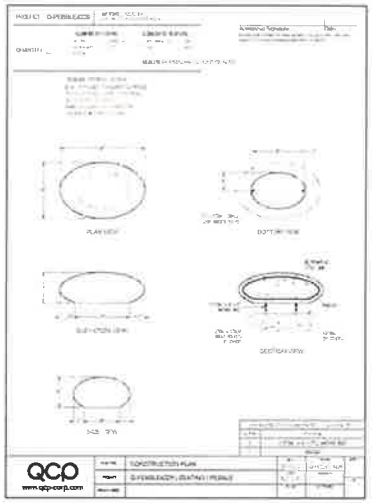
1 **Wally Bench Attached to Planter**

scale N T S



5 **Pebble Seat - 5637**

scale N T S



4 **Pebble Seat - 4228**

scale N T S

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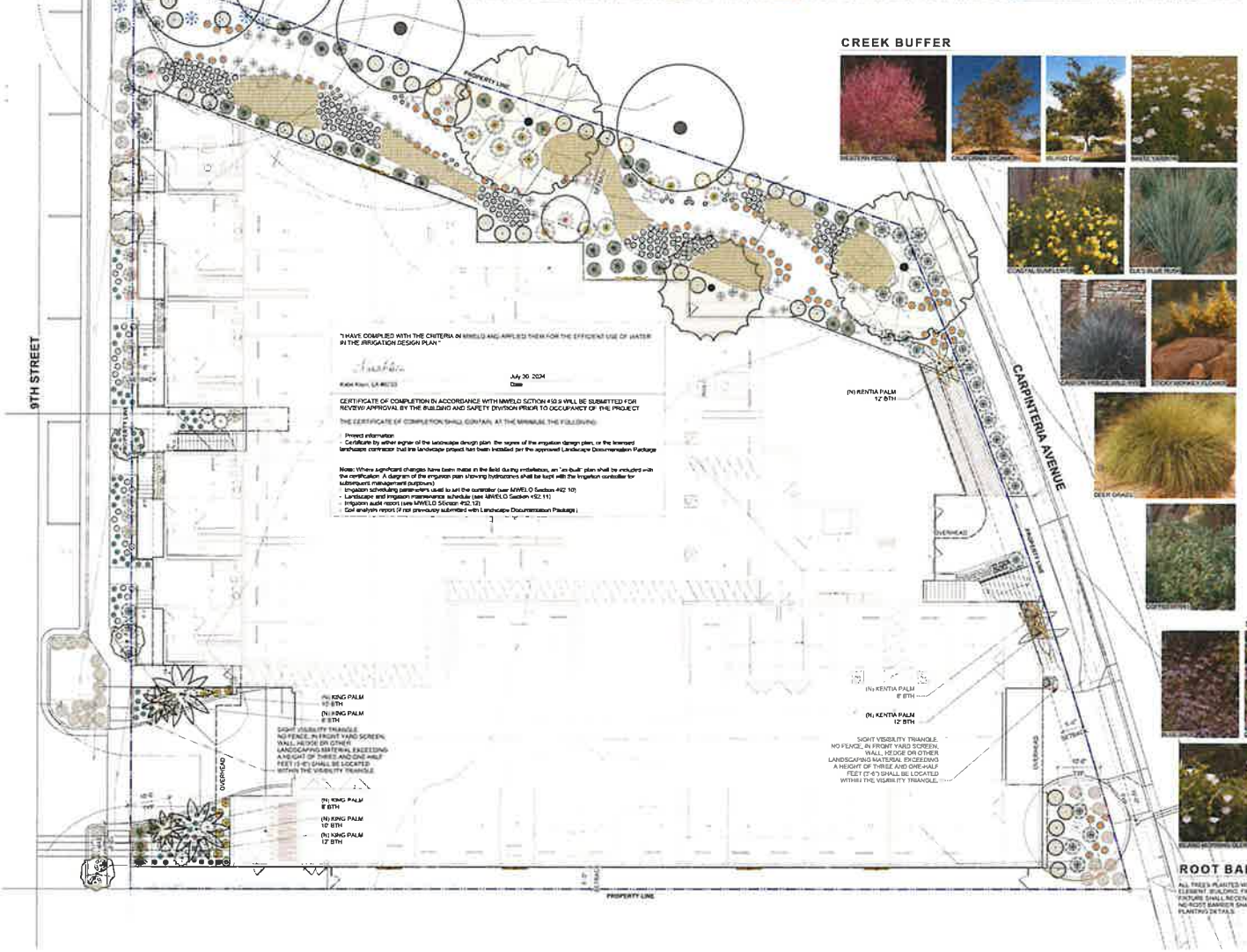
4745 Carpinteria Ave.
Carpinteria, CA

PROJECT

SHEET CONTENTS
Construction Details

L5.2

GROUND FLOOR



"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

July 30 2024
Date

CERTIFICATE OF COMPLETION IN ACCORDANCE WITH MWELO SECTION 492.9 WILL BE SUBMITTED FOR REVIEW/APPROVAL BY THE BUILDING AND SAFETY DIVISION PRIOR TO OCCUPANCY OF THE PROJECT

THE CERTIFICATE OF COMPLETION SHALL CONTAIN, AT THE MINIMUM, THE FOLLOWING:

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Note: Where significant changes have been made in the field during installation, an "as-built" plan shall be included with the certification. A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
- Irrigation scheduling parameters used to set the controller (see MWELO Section 492.10)
- Landscape and irrigation maintenance schedule (see MWELO Section 492.11)
- Irrigation audit report (see MWELO Section 492.12)
- Soil analysis report (if not previously submitted with Landscape Documentation Package)

CREEK BUFFER

PLANTING SCHEDULE-GROUND FLOOR

Botanic Name	Common Name	Schedule Size	WUCOLS
TREES			
Archontophoenix cunninghamiana	King Palm	8' BTH	low
Archontophoenix cunninghamiana	King Palm	12' BTH	low
Citrus 'Semi-dwarf Meyer'	Semi-dwarf Meyer Lemon	24" box	med
Howea forsteriana	Kentia Palm	8' BTH	med
Howea forsteriana	Kentia Palm	12' BTH	med
Jacaranda mimosifolia	Jacaranda	24" box	med
SHRUBS + PERRENNIALS			
Agave attenuata	Fox Tail Agave	5 gal	low
Aloe vera	Medicinal Aloe	1 gal	low
Chondropetalum tectorum	Small Cape Rush	1 gal	Low
Cuno radicans	String of Bananas	4" pot	low
Dianella 'Cassa Blue	Blue Flax Lily	1 gal	low
Dietes grandiflora 'Grey Ghost'	Gray Tipped Fortnight Lily	5 gal	low
Graptoveria 'Fred Ives'	Fred Ives Graptoveria	4" pot	Low
Leucadendron 'Harvest Mango'	Magic Royal Hawaiian Cone Brush	15 gal	low
Leymus c. 'Canyon Prince'	Canyon Prince Wild Rye	5 gal	low
Lomandra 'Platinum Beauty'	Variegated Dwarf Mat Rush	5 gal	low
Mimulus aurantiacus	Sticky Monkey flower	1 gal	v. low
Rhamnus californica 'Mound San Bruno'	Coffeeberry	5 gal	v. low
VINES			
Distictis 'Rosea'	Royal Trumpet Vine	15 gal	med
Hardenbergia 'White Out'	White Hardy Vine Lilac	15 gal	low
GROUNDCOVERS			
Senecio mandraliscae	Kleinia	4" pot	Low
Westringia 'Mundi'	Mundi Westringia	1 gal	low

PLANTING SCHEDULE-CREEK BUFFER

Botanic Name	Common Name	Schedule Size	WUCOLS
TREES			
Cercis occidentalis (MULTI)	Western Redbud	24" box	low
Platanus racemosa STD	California Sycamore	36" box	med
Quercus lobata	Valley Oak	36" box	Low
SHRUBS + PERRENNIALS			
Achillea millefolium 'Sonoma Coast'	White Yarrow	1 gal	low
Encelia californica	Coastal Sunflower	5 gal	low
Juncus patens 'Elk's Blue'	Elk's Blue Rush	1 gal	low
Leymus c. 'Canyon Prince'	Canyon Prince Wild Rye	5 gal	low
Mimulus aurantiacus	Sticky Monkey flower	1 gal	v. low
Muhlenbergia rigens	Deer Grass	5 gal	low
Rhamnus californica 'Mound San Bruno'	Coffeeberry	5 gal	v. low
Salvia apiana cv. 'Vanishing Canyon'	Blue Sage	5 gal	v. low
Stenotaphrum secundatum 'Alamo Point'	Dwarf Blue Eyed Grass	1 gal	low
VINES			
Calystegia macrostegia	Island Morning Glory	15 gal	low
GROUNDCOVERS			
Ceanothus gloriosus horizontalis 'Yankee Point'	Yankee Point California Lilac	1 gal	low

SEE SHEET L7 FOR TOTAL PLANT QUANTITIES

SOIL AMENDMENTS:

THE FOLLOWING NOTES ARE FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN AGRONOMIC SOILS REPORT PER THE SPECIFICATIONS, AND SHALL FOLLOW THE SOIL AMENDMENT AND BACKFILL RECOMMENDATIONS PER THE AGRONOMIST. QUANTITIES AND MATERIALS RECOMMENDED IN THE SOILS REPORT SHALL SUPERCEDE THE FOLLOWING REQUIREMENTS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT

PRE-PLANTING SOIL PREPARATION - IN-GRADE PLANTING
CULTIVATE TO A DEPTH OF 12" WITH THE FOLLOWING AMENDMENTS PER 1000 SQUARE FEET
- 4 CY N-FORTIFIED REDWOOD SHAVINGS
- 60 LBS GROW POWER PLUS
- 1 1/2 LBS TRI-C ENDO 120

LIGHTWEIGHT OVER-STRUCTURE MIX
MANUFACTURER, ANGUNA GREEN
PROVIDE ONLY 30% BY VOLUME. WASHED CONCRETE SAND, PUMICE (OR PEARLITE) AND PEAT MOSS. NO ORGANIC MATERIAL SHALL BE INCLUDED
NOTE: FOR USE IN ALL ON-STRUCTURE PLANTERS

NOTES:

THE ABOVE LEGEND IS FOR REFERENCE. REFER TO PLAN FOR FINAL PLANT COUNTS

WUCOLS - WATER USE CLASSIFICATION OF LANDSCAPE SPECIES. UC COOPERATIVE EXTENSION + SANTA BARBARA ADDENDUM

NEW/ORANGE UTILITIES SHALL BE SCREENED TO THE MAXIMUM EXTENT FEASIBLE. PLANTS LISTED AS "ALERT STATUS" BY CAL-IPC SHALL NOT BE USED

ROOT BARRIER NOTE:

ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 5'-0" LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL. REFER TO TREE PLANTING DETAILS.

rrm design group

4745 Carpinteria Ave.
Carpinteria, CA

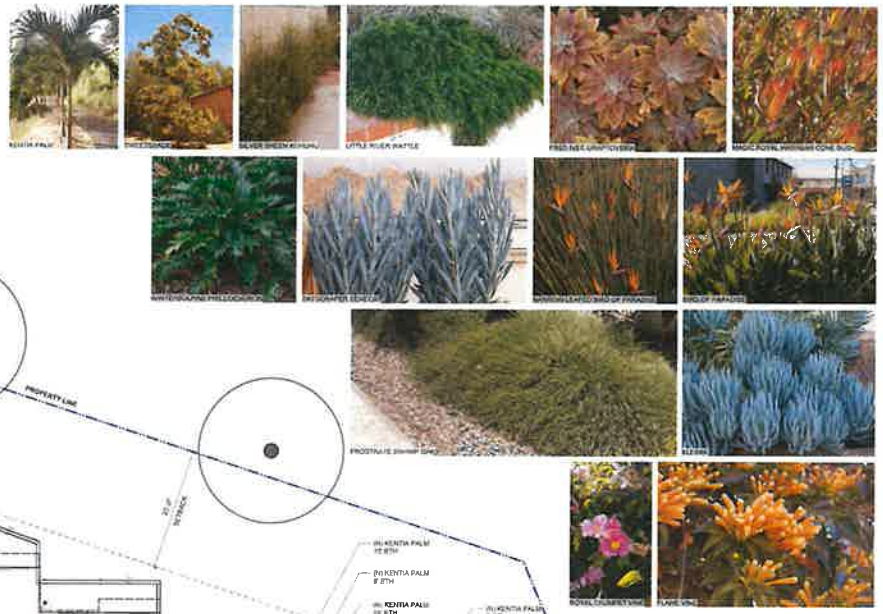
NOT FOR CONSTRUCTION ACTION

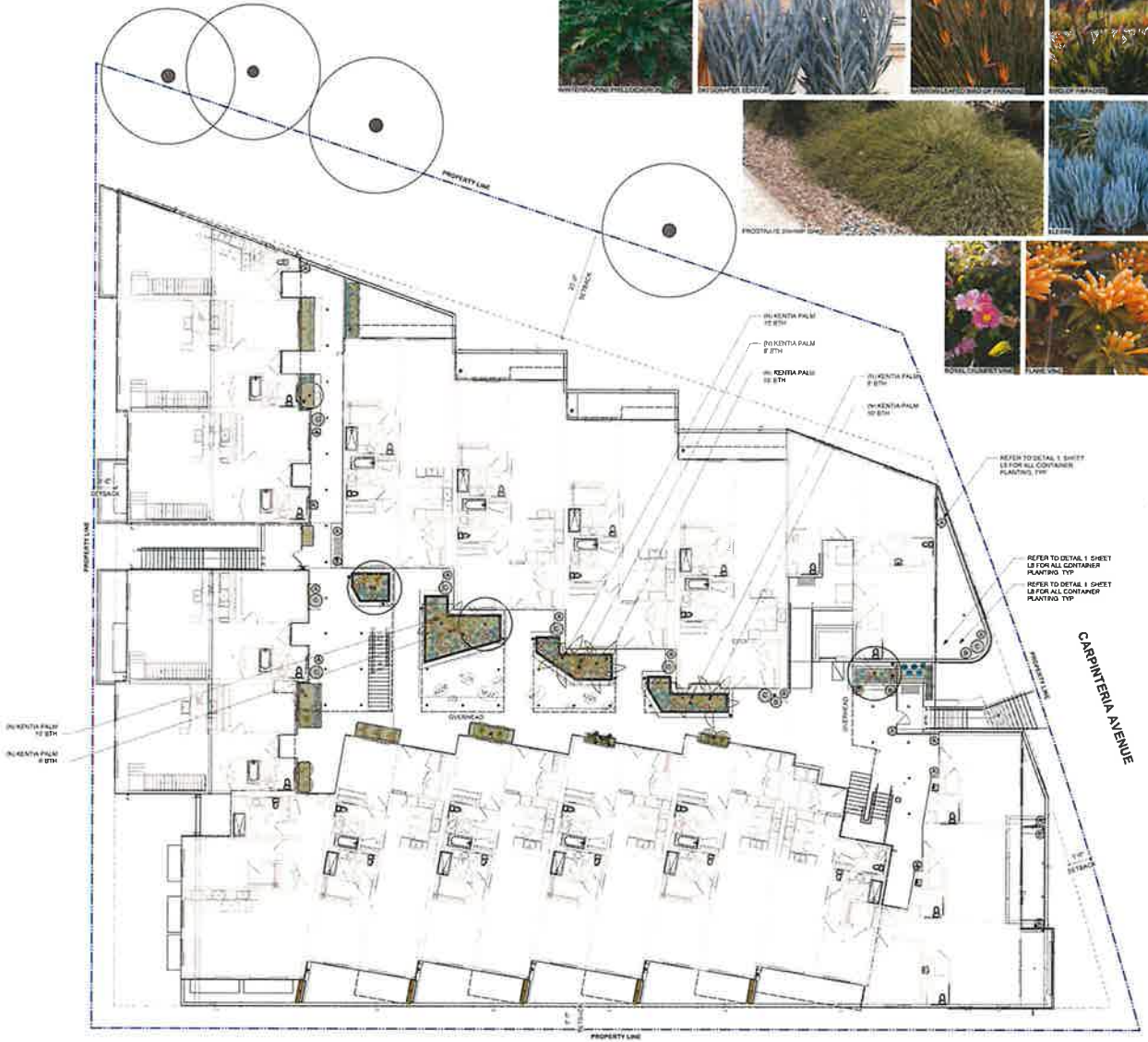
PROJECT

SHEET CONTENTS
Planting Plan - Ground Floor

6/28/24
1" = 10'-0"

L6





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PRE-PLANTING SOIL PREPARATION - IN-GRADE PLANTING
CULTIVATE TO A DEPTH OF 12" WITH THE FOLLOWING AMENDMENTS PER 1000 SQUARE FEET
- 4 CY. N-CERTIFIED REDWOOD SHAVINGS
- 40 LBS GROW POWER PLUS
- 1 1/2 LBS TRI-C EXCEL 120

LIGHTWEIGHT 'OVER-STRUCTURE' MIX:
MANUFACTURER ANGUINA GREEN
PROVIDE ONLY 33% BY VOLUME. WASHED CONCRETE SAND, PUMICE (OR PEARLITE) AND PEAT MOSS. NO ORGANIC MATERIAL SHALL BE INCLUDED NOTE: FOR USE IN ALL ON-STRUCTURE PLANTERS

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WUCOLS - WATER USE CLASSIFICATION OF LANDSCAPE SPECIES. UC COOPERATIVE EXTENSION + SANTA BARBARA ADDENDUM

ABOVE-GRADE UTILITIES SHALL BE SCREENED TO THE MAXIMUM EXTENT FEASIBLE. PLANTS LISTED AS 'ALERT STATUS' BY CAL-IPC SHALL NOT BE USED

PLANTING SCHEDULE - SECOND FLOOR

Botanic Name	Common Name	Schedule Size	WUCOLS
TREES			
Howea forsteriana	Kentia Palm	8' BTH	med
Howea belmoreana	Kentia Palm	10' BTH	med
Hymenosporum flavum	Sweetshade	24" box	Low
Philodendron selloum 'Silver Sheen'	Silver Sheen Kuhuhu	15 gal	med
SHRUBS + PERENNIALS			
Acacia cognata 'Cousin It'	Little River Wattle	5 gal	low
Graptoveria 'Fired Ivee'	Fired Ivee Graptoveria	4" pot	Low
Leucadendron 'Harvest Magic'	Magic Royal Hawaiian Core Sugi	15 gal	low
Philodendron selloum 'Winterbourne'	Winterbourne Philodendron	5 gal	med
Senecio ficoides 'Mount Everest'	Succulent Senecio	5 gal	low
Strelitzia juncea	North Leafed End of Paradise	5 gal	low
Strelitzia reginae	Bird of Paradise	5 gal	low
VINES			
Distictis 'Rivers'	Royal Trumpet Vine	15 gal	med
GROUNDCOVERS			
Sedum pachyphyllum 'Cousin It'	Prostrate Swiss Cheese	5 gal	low
Senecio mandraliscae	Kleinia	4" pot	Low

PLANTING SCHEDULE - 2nd FLOOR POTS

Botanic Name	Common Name	Schedule Size	WUCOLS
SHRUBS + PERENNIALS			
Graptoveria 'Fired Ivee'	Fired Ivee Graptoveria	4" pot	Low
Leucadendron 'Safari Sunset'	Safari Conebush	5 gal	Low
Senecio ficoides 'Mount Everest'	Succulent Senecio	15 gal	low
VINES			
Pyrostegia venusta	Flame Vine	15 gal	low

"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

Kate Klein LA #6253 — July 30 2024 Date

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- Landscape and irrigation maintenance schedule (see MWELO Section 492.11)
- Irrigation audit report (see MWELO Section 492.12)
- Soil analysis report (if not previously submitted with Landscape Documentation Package)

rrm design group

4745 Carpinteria Ave.
Carpinteria, CA

PROJECT

SHEET CONTENTS
Planting Plan - 2nd Floor

L6.1

SOIL AMMENDMENTS:

THE FOLLOWING NOTES ARE FOR INDOING PURPOSES ONLY CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AN AGRONOMIC SOILS REPORT PER THE SPECIFICATIONS AND SHALL FOLLOW THE SOIL AMENDMENT AND BACKFILL RECOMMENDATIONS PER THE AGRONOMIST QUANTITIES AND MATERIALS RECOMMENDED IN THE SOILS REPORT SHALL SUPERCEDE THE FOLLOWING REQUIREMENTS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT

PRE-PLANTING SOIL PREPARATION - IN-GRADE PLANTING
CULTIVATE TO A DEPTH OF 12" WITH THE FOLLOWING AMENDMENTS PER 1000 SQUARE FEET
- 4 CY IN CERTIFIED REDWOOD SHAVINGS
- 40 LBS GROW POWER PLUS
- 1 1/2 LBS TRI-C ENDO 120

LIGHTWEIGHT 'OVER-STRUCTURE' MIX:
MANUFACTURER: AMOUNA GREEN
PROVIDE ONLY 33% BY VOLUME WASHED CONCRETE SAND PUMICE (OR PEARLITE) AND PEAT MOSS
NOTE FOR USE IN ALL ON STRUCTURE PLANTERS

NOTES:

THE ABOVE LEGEND IS FOR REFERENCE REFER TO PLAN FOR FINAL PLANT COUNTS

WUCOLS WATER USE CLASSIFICATION OF LANDSCAPE SPECIES UC COOPERATIVE EXTENSION + SANTA BARBARA ADDENDUM

ABOVE-GRADE UTILITIES SHALL BE SCREENED TO THE MAXIMUM EXTENT FEASIBLE PLANTS LISTED AS "ALERT STATUS" BY CAL-IPC SHALL NOT BE USED

PLANTING SCHEDULE - THIRD FLOOR

Botanic Name	Common Name	Schedule Size	WUCOLS
TREES			
Citrus japonica	Kumquat	15 gal	med
Howea forsteriana	Kentia Palm	4' BTH	mod
SHRUBS + PERENNIALS			
Agave attenuata	Fox Tail Agave	5 gal	low
Graptoveria 'Fred Ives'	Fred Ives Graptoveria	4" pot	Low
Leucadendron goldtriumph 'Yellow Bird'	Yellow Wedding Pincushion	15 gal	low
Senecio ficoides 'Mount Everest'	Skyscraper Senecio	5 gal	low
VINES			
GROUNDCOVERS			
Senecio mandraliscae	Kleinia	4" pot	Low

PLANTING SCHEDULE - 3rd FLOOR POTS

Botanic Name	Common Name	Schedule Size	WUCOLS
TREES			
Howea forsteriana	Kentia Palm	4' BTH	mod
SHRUBS + PERENNIALS			
Graptoveria 'Fred Ives'	Fred Ives Graptoveria	4" pot	Low
Leucadendron 'Safari Sunset'	Safari Conebush	5 gal	Low
Senecio ficoides 'Mount Everest'	Skyscraper Senecio	15 gal	low

SEE SHEET L7 FOR TOTAL PLANT QUANTITIES

"I HAVE COMPLIED WITH THE CRITERIA IN MWELO AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN."

Katie Kerr, LA #5253 — Date: July 30, 2024

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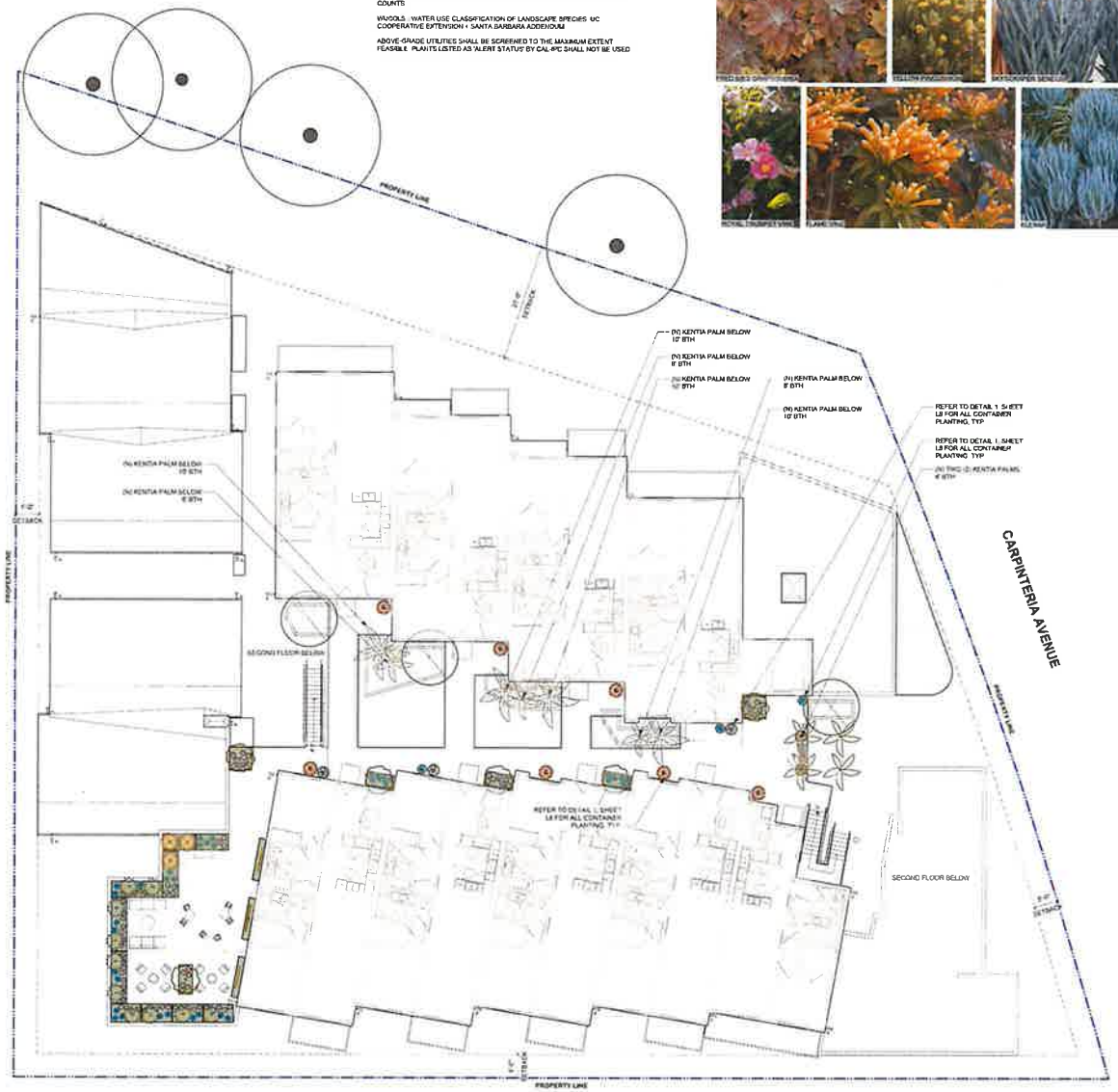
- Landscape and irrigation maintenance schedule (see MWELO Section 492.11)
- Irrigation audit report (see MWELO 3.0 Section 492.12)
- SIM analysis report of not previously submitted with Landscape Documentation Package



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SUBMITTALS

4745 Carpinteria Ave.
Carpinteria, CA

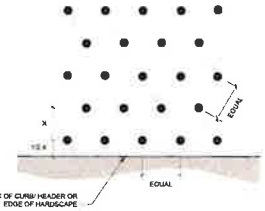
PROJECT

Planting Plan - 3rd Floor

L6.2

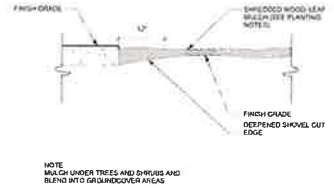
PLANTING SCHEDULE

Botanic Name	Common Name	Schedule Size	Quantity	WUCOLS
TREES				
Archontophoenix cunninghamiana	King Palm	12' BTH	2	low
Archontophoenix cunninghamiana	King Palm	8' BTH	2	low
Cercis occidentalis (MULTI)	Western Redbud	24" box	3	low
Citrus japonica	Kumquat	15 gal	8	med
Citrus 'Sarcodactylis' Meyer	Sarcodactylis Lemon	24" box	5	med
Howea belmoreana	Kentia Palm	12' BTH	2	med
Howea forsteriana	Kentia Palm	8' BTH	3	med
Howea forsteriana	Kentia Palm	10' BTH	9	med
Howea forsteriana	Kentia Palm	4' BTH	4	med
Hymenosporum flavum	Sweetshade	24" box	8	Low
Jacaranda mimosifolia	Jacaranda	24" box	1	med
Pittosporum tenuifolium 'Silver Sheen'	Silver Sheen Kohuhu	15 gal	2	med
Platanus racemosa STD	California Sycamore	36" box	2	med
Quercus lobata	Valley Oak	36" box	1	Low
SHRUBS + PERENNIALS				
Acacia cognata Cousin It	Little River Wattle	5 gal	7	low
Achillea millefolium 'Sonoma Coast'	White Yarrow	1 gal	42	low
Agave attenuata	Fox Tail Agave	5 gal	20	low
Aloe vera	Medicinal Aloe	1 gal	52	low
Chondropetalum tectorum	Small Cape Rush	1 gal	4	Low
Coleonema pulchrum	Bang of Bananas	4" pot	6	low
Dianella Cassa Blue	Blue Flax Lily	1 gal	1	low
Dietes grandiflora 'Gray Shoes'	Gray Striped Fortnight Lily	5 gal	8	low
Ceanothus cuneatus	Buckbrush Ceanothus	5 gal	1	low
Grevillea 'Fireball Ives'	Fireball Grevillea	4" pot	150	Low
Juncus patens 'Elk's Blue'	Elk's Blue Rush	1 gal	155	low
Leucadendron 'Harvest Magic'	Magic Rose Harvest Cone Bush	15 gal	12	low
Leucadendron 'Safari Sunset'	Safari Sunset	5 gal	10	Low
Leucospermum cordifolium 'Yellow Bird'	Yellow Pincushion Pincushion	15 gal	3	low
Leymus c. 'Canyon Prince'	Canyon Prince Wild Rye	5 gal	31	low
Lonicera 'Purpusii Beauty'	Winter Honeysuckle	5 gal	10	low
Mimulus aurantiacus	Sticky Monkey Flower	1 gal	96	v. low
Muhlenbergia rigens	Deer Grass	5 gal	11	low
Philodendron selloum 'Winterbourne'	Winterbourne Philodendron	5 gal	8	med
Rhamnus californica 'Mound San Bruno'	California Coffeeberry	5 gal	28	v. low
Salvia chamelaeagnea 'Wooolmat Dwarf'	Blue Sage	5 gal	6	v. low
Senecio flaccidus 'Mount Erwin'	Weyrich Senecio	—	42	low
Smyrnium perfoliatum 'Rocky Point'	Cut-leaf Blue Eyed Grass	1 gal	22	low
Strelitzia nicolai	Native Leather Bird of Paradise	5 gal	3	low
Strelitzia reginae	Bird of Paradise	5 gal	10	low
VINES				
Callistemon macrolaena	Island Morning Dew	15 gal	2	low
Distichlis 'Rivers'	Rivers' Trumpet Vine	15 gal	10	med
Hardenbergia 'White Out'	White Happy Wanderer	15 gal	7	low
Pyrostegia venusta	Flame Vine	15 gal	4	low
GROUNDCOVERS				
California Native Swale Mix	Available from: S&S Seeds	seed	510	low
Ceanothus gloucens 'Cousin It'	Prostrate Swag Bush	5 gal	4	low
Ceanothus gloucens horizontalis 'Yankee Point'	Yankee Point California Lilac	1 gal	11	low
Senecio mandraliscae	Kleinia	4" pot	152	Low
Westringia 'Mundi'	Mundi Westringia	1 gal	37	low



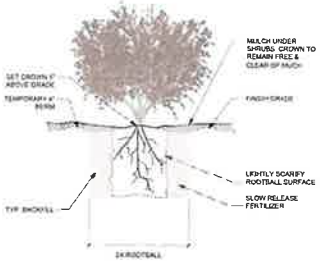
NOTE
ALL SHRUBS AND GROUNDCOVERS TO BE PLANTED AT EQUAL SPACING (TRIANGULAR) UNLESS OTHERWISE NOTED ON PLANS

3 Plant Spacing
scale N.T.S.



NOTE
MULCH UNDER TREES AND SHRUBS AND BLENDS INTO GROUNDCOVER AREAS

2 Mulch
scale N.T.S.



1 Shrub Planting
scale N.T.S.

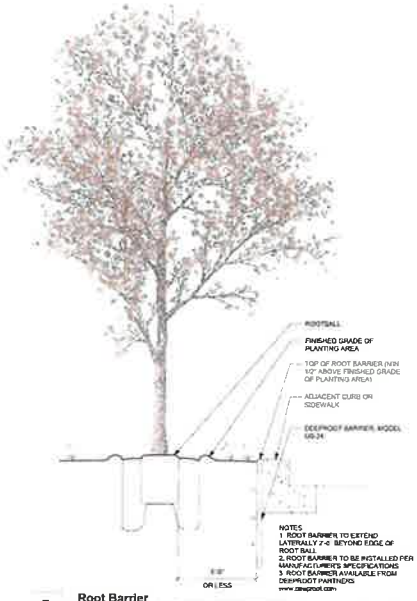
PLANTING NOTES:

ALL PLANT MATERIALS SHALL BE SET OUT AS SHOWN ON PLAN. FINAL LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. APPROVAL SHALL NOT OCCUR WITHOUT A MINIMUM OF 48 HOURS PRIOR NOTICE.

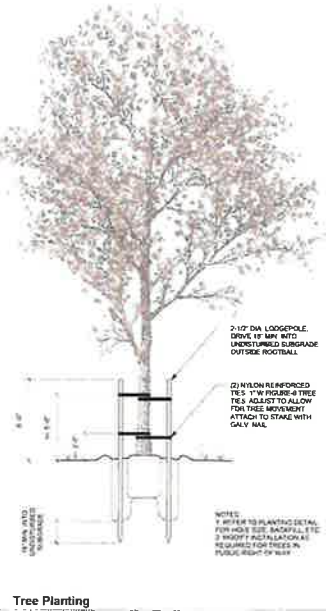
1. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING AWARE OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES FOR FIELD LOCATION OF UNDERGROUND UTILITY LINES PRIOR TO ANY EXCAVATION.
2. DO NOT KNOWINGLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
3. THE LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NOTES SUBMITTED REVISIONS DUE TO FAILURE TO GIVE SUBMITTED NOTIFICATION.
4. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
5. THE LANDSCAPE CONTRACTOR SHALL ALLOW FOR THE ADDITION OF SPECIFIED QUANTITIES OF SOIL AMENDMENTS AND CONDITIONERS IN SOIL PREPARATION AND FINISH GRADING. PER RECOMMENDATION OF SOILS REPORT.
6. RECOMMENDATIONS IN THE SOILS MANAGEMENT REPORT SHALL BE INCORPORATED INTO THE LANDSCAPE INSTALLATION AND A COPY OF THE REPORT IS TO BE ON SITE AT THE TIME OF INSPECTION.
7. FOR BIDDING PURPOSES ONE 1" IN THE TOP 6" OF SOIL COMPOST AT A RATE OF A MINIMUM OF (4) CUBIC YARDS PER 1,000 SQUARE FEET OF PLANTABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6" INTO THE SOIL.
8. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANT MATERIAL FREE OF PESTS OR PLANT DISEASES. CONTRACT ORIGIN OR TAGGED MATERIAL MUST BE INSPECTED BY THE LANDSCAPE CONTRACTOR AND CERTIFIED DISEASE FREE. IT IS THE LANDSCAPE CONTRACTOR'S OBLIGATION TO WARRANTY ALL PLANT MATERIALS.
9. THE LANDSCAPE CONTRACTOR SHALL PROVIDE HEALTHY, VIGOROUS PLANT STOCK GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THE CONDITIONS IN THE VICINITY OF THE PROJECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE PLANT MATERIAL DELIVERED TO THE SITE THAT IS SUBSTANDARD. CONTRACTOR SHALL SUPPLY REPLACEMENT PLANT MATERIAL AT NO ADDITIONAL COST TO OWNER.
10. SPECIMEN TREES WILL BE SELECTED AND TAGGED BY LANDSCAPE DESIGNER PRIOR TO PLANT INSTALLATION. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKE-OFFS FOR ALL PLANT MATERIALS AND NOTES SHOWN ON PLANS. ALL SUBSTITUTIONS SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT.
11. SEE DETAILS AND SPECIFICATIONS FOR STAKING METHOD. PLANT PIT DIMENSIONS AND BACKFILL REQUIREMENTS. IF DETAILS HAVE NOT BEEN PROVIDED, CONTACT LANDSCAPE ARCHITECT. PLANT EXCAVATION VARIANCE RELATIVE TO FINISH GRADE ARE SHOWN ON PLANTING DETAILS AND SHALL BE STRICTLY ADHERED TO. PROPER COMPACTION OF BACKFILL TO PREVENT SETTLEMENT SHALL BE REQUIRED.
12. THE LANDSCAPE ARCHITECT WILL APPROVE FINISH GRADES AT ALL LANDSCAPE AREAS PRIOR TO PLANTING.
13. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST THE LOCATION OF PLANT MATERIAL DURING INSTALLATION AS APPROPRIATE TO THE PROJECT.
14. VINE TIE LOCATIONS SHALL BE CHALKED OUT FOR REVIEW.
15. LANDSCAPE BARK MULCH SHALL BE APPLIED AT 3 INCHES THICK OVER ALL LANDSCAPE SURFACES EXCEPT LAWN AREAS. MULCH MUST BE APPROVED BY LANDSCAPE ARCHITECT.
16. CONTRACTOR TO INCLUDE LANDSCAPE FABRIC (FELT CLOTH) AND GOPHER BASKETS IN BID.
17. ALL (E) PLANT MATERIAL TO BE EVALUATED WITH LANDSCAPE ARCHITECT FOR POSSIBLE RELOCATION PRIOR TO DEMO.
18. CONTRACTOR SHALL VERIFY PLANTING INSTALLATION DATE WITH LANDSCAPE ARCHITECT A MINIMUM OF TWO (2) WEEKS PRIOR TO INSTALLATION.
19. CONTRACTOR SHALL GUARANTEE PLANT MATERIAL 5 GALLON OR SMALLER, EXCEPT TRANSPLANTS, FOR A PERIOD OF NINETY (90) DAYS FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL GUARANTEE PLANT MATERIAL 15 GALLON AND LARGER AND TRANSPLANTS FOR A PERIOD OF ONE (1) YEAR FOLLOWING FINAL ACCEPTANCE. CONTRACTOR SHALL REPLACE DEAD PLANTS AND PLANTS NOT IN VIGOROUS CONDITION, WITHOUT COST TO OWNER AS DETERMINED BY LANDSCAPE ARCHITECT AT THE END OF THE WARRANTY PERIOD.
20. CONTRACTOR SHALL PROVIDE NINETY (90) DAY MAINTENANCE PERIOD AS PART OF THE CONTRACT. THIS PERIOD SHALL BEGIN AFTER INSTALLATION AND EXTEND CONTINUOUSLY FOR 90 DAYS UNTIL FINAL ACCEPTANCE.
21. PROVIDE LIGHTWEIGHT SOIL MIX FOR PLANTERS ON STRUCTURE, COMPARE SPECIFICATION WITH LANDSCAPE ARCHITECT.

CONDITIONS OF APPROVAL #14, #15 + #16 (LANDSCAPE):

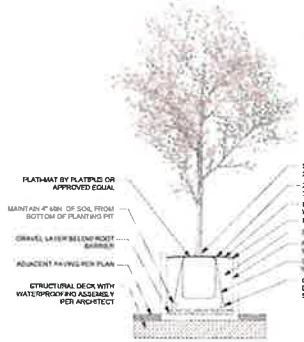
14. PRIOR TO ISSUANCE OF ANY BUILDING PERMITS, THE APPLICANT SHALL POST A LANDSCAPE SECURITY BOND OF $500.00 AND COMPLY WITH THE FOLLOWING REQUIREMENTS:
    A. ALL LANDSCAPING AND IRRIGATION PLANS SHALL BE PREPARED BY A STATE LICENSED LANDSCAPE ARCHITECT OR SIMILAR PROFESSIONAL AS DETERMINED APPROPRIATE BY CDD.
    B. THE LANDSCAPING SHALL BE MAINTAINED IN GOOD CONDITION FOR THE LIFE OF THE PROJECT. AFTER LANDSCAPING HAS BECOME ESTABLISHED AT THREE YEARS AND FOUND TO BE IN GOOD CONDITION, THE SECURITY WILL BE RELEASED.
    C. LANDSCAPING SHALL BE DROUGHT RESISTANT. LOW WATER SPECIES. PER BUILDING PERMIT SET AND PLANTING EXHIBIT, SHEET L0.4
    D. WHERE FEASIBLE, LOCALLY ADAPTED NATIVE PLANTS SHALL BE REQUIRED PER BUILDING PERMIT SET AND PLANTING EXHIBIT, SHEET L0.4
    E. PRIOR TO OCCUPANCY CLEARANCE, ALL LANDSCAPING AND PLANTING SHALL BE INSTALLED, AND,
    F. SPECIMEN TREES SHALL BE APPROPRIATE TO THE SITE AND SHALL BE MAINTAINED IN GOOD CONDITION SO AS TO ATTAIN A FULL AND HEALTHY MATURE APPEARANCE. PER BUILDING PERMIT SET AND PLANTING EXHIBIT, SHEET L0.4
15. THE PROJECT LANDSCAPING OUTSIDE OF THE CREEK BUFFER AREA SHALL CONSIST OF DROUGHT-TOLERANT, NATIVE AND/OR MEDITERRANEAN TYPE SPECIES. LANDSCAPING SHALL BE COMPATIBLE WITH THE CHARACTER OF THE SURROUNDINGS AND THE ARCHITECTURAL STYLE OF THE STRUCTURAL DEVELOPMENT. PER BUILDING PERMIT SET AND PLANTING EXHIBIT, SHEET L0.4 PLAN REQUIREMENTS: PRIOR TO ISSUANCE OF A GRADING OR BUILDING PERMIT THE APPLICANT SHALL ENTER INTO AN AGREEMENT WITH THE CITY TO INSTALL REQUIRED LANDSCAPING AND WATER-CONSERVING IRRIGATION SYSTEMS AND MAINTAIN REQUIRED LANDSCAPING FOR THE LIFE OF THE PROJECT. THE APPLICANT SHALL ALSO SUBMIT THE FINAL LANDSCAPE AND IRRIGATION PLAN TO CDD FOR REVIEW AND APPROVAL. TIMING: PRIOR TO OCCUPANCY CLEARANCE, LANDSCAPE AND IRRIGATION SHALL BE INSTALLED. MONITORING: PRIOR TO OCCUPANCY CLEARANCE CDD SHALL VERIFY INSTALLATION AND CHECK MAINTENANCE AS NEEDED. RELEASE OF PERFORMANCE SECURITY REQUIRES CDD APPROVAL.
16. IN COMPLIANCE WITH THE WATER CONSERVATION IN LANDSCAPING ACT OF 2006 (ASSEMBLY BILL 1881, LAWD) AS AMENDED BY THE MAY 29, 2015 INFORMATION BULLETIN 2015-01 FROM THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT AND CHAPTER 15.60 OF THE CITY'S MUNICIPAL CODE, WATER EFFICIENT LANDSCAPING: A LANDSCAPE DOCUMENTATION PACKAGE CONTAINING THE FOLLOWING ELEMENTS SHALL BE PREPARED BY A DESIGN PROFESSIONAL. PROJECT INFORMATION, WATER EFFICIENT LANDSCAPE WORKSHEET, SOIL MANAGEMENT REPORT, LANDSCAPE DESIGN PLAN, IRRIGATION DESIGN PLAN, AND GRADING DESIGN PLAN. THE PREPARATION OF A CERTIFICATE OF COMPLETION CONTAINING THE FOLLOWING ELEMENTS SHALL ALSO BE PREPARED BY A DESIGN PROFESSIONAL. CERTIFICATION OF INSTALLATION (PER THE APPROVED PLAN), FINAL SOILS INFORMATION, IRRIGATION SCHEDULING PARAMETERS, MAINTENANCE SCHEDULES, AND IRRIGATION AUDIT REPORT. PLAN REQUIREMENTS AND TIMING: PRIOR TO APPROVAL OF A BUILDING PERMIT, THE APPLICANT SHALL SUBMIT A LANDSCAPE DOCUMENTATION PACKAGE TO THE CDD FOR REVIEW AND APPROVAL. THE CDD SHALL SEND A COPY OF THE DOCUMENTATION PACKAGE THE CARPINTERIA VALLEY WATER DISTRICT. THE APPLICANT SHALL ENTER INTO AN AGREEMENT WITH THE CITY TO INSTALL REQUIRED LANDSCAPING AND IRRIGATION AND MAINTAIN REQUIRED LANDSCAPING FOR THE LIFE OF THE PROJECT. SUBSEQUENT TO INSTALLATION OF THE APPROVED GRADING, LANDSCAPE AND IRRIGATION PLANS, THE APPLICANT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO CDD FOR REVIEW AND APPROVAL. THE LANDSCAPE DOCUMENTATION PACKAGE AND CERTIFICATE OF COMPLETION FORMS ARE AVAILABLE AT THE CDD AND ARE REQUIRED TO BE APPROVED BY THE CDD PRIOR TO OCCUPANCY CLEARANCE. MONITORING: CDD SHALL CONDUCT SITE VISITS TO ENSURE INSTALLATION OF MAINTENANCE OF LANDSCAPE AND IRRIGATION.



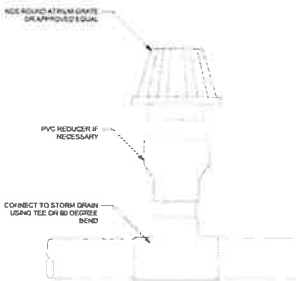
5 Root Barrier
scale N.T.S.



4 Tree Planting
scale N.T.S.



7 Tree Planting on Structure
scale N.T.S.



6 Landscape Atrium Inlet
scale N.T.S.

rrm design group

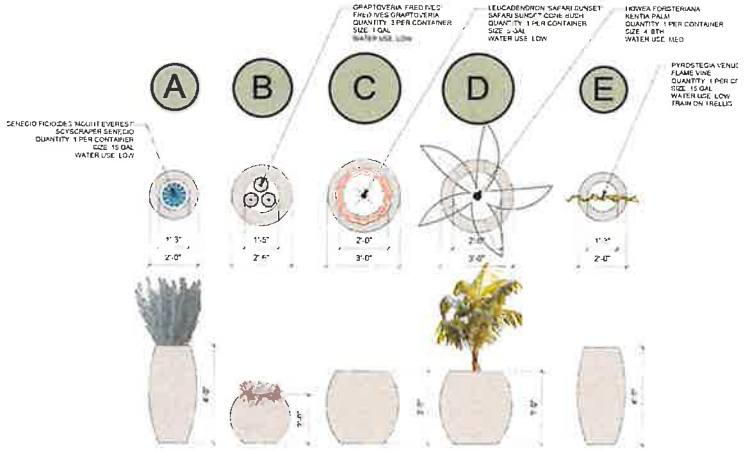
4745 Carpinteria Ave.
Carpinteria, CA

PROJECT

SHEET CONTENTS
Planting Details

07/29/24
N.T.S.
BA
23-08

L7



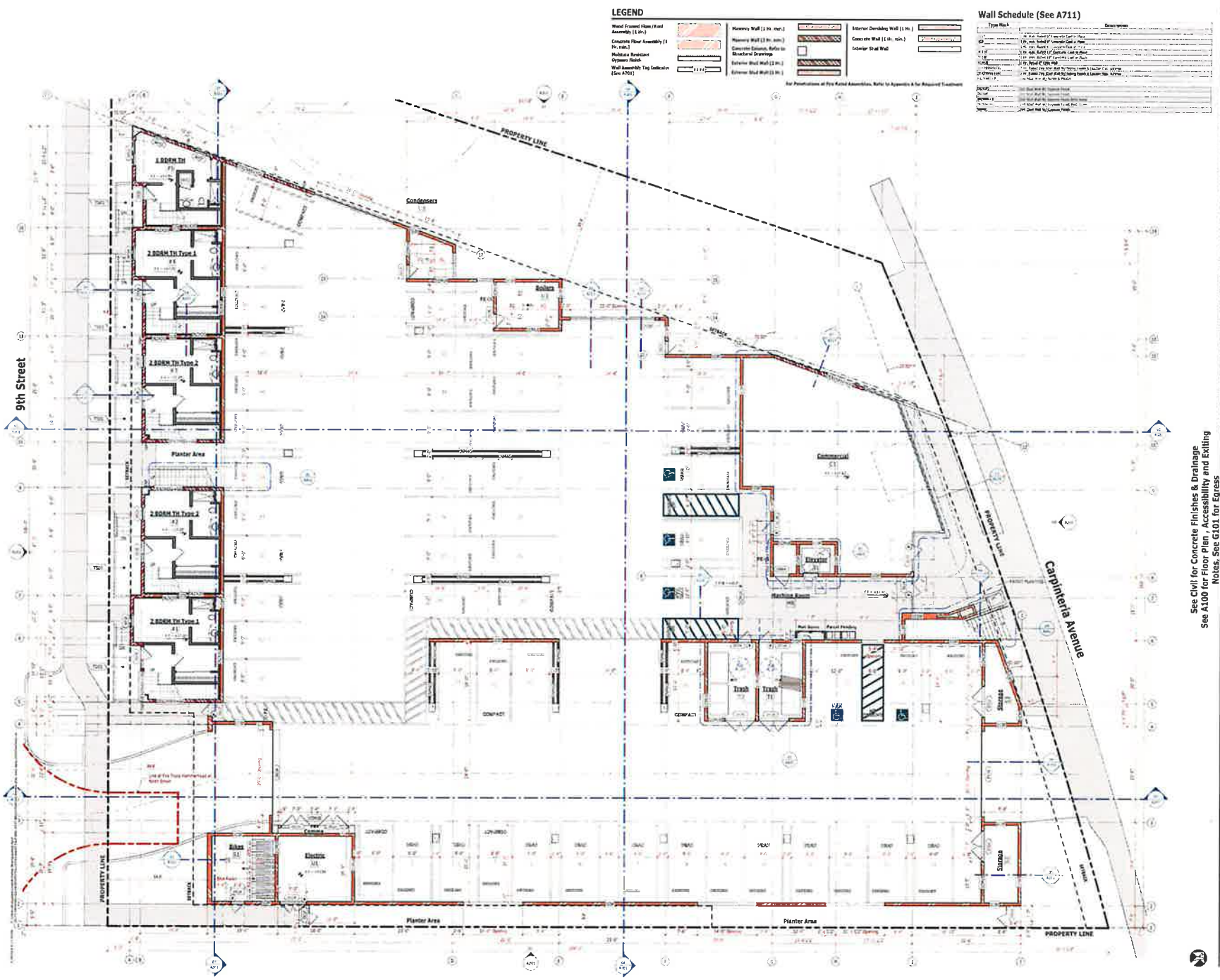
1 Container Planting

rrm design group

4745 Carpinteria Ave.
Carpinteria, CA

SHEET CONTENTS
Planting Details

L7.1



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805 966 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NO CEQA

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2021
	Final ARB Submittal	[illegible]

A101

OVERALL FLOOR PLANS - 1ST FLOOR (GROUND)

See Civil for Concrete Finishes & Drainage
See A100 for Floor Plan , Accessibility and Exiting Notes, See G101 for Egress

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14 N. Calle Cesar Chavez #102
Santa Barbara, CA 93102

4745 Carpinteria Ave.
Mixed Use Dev.

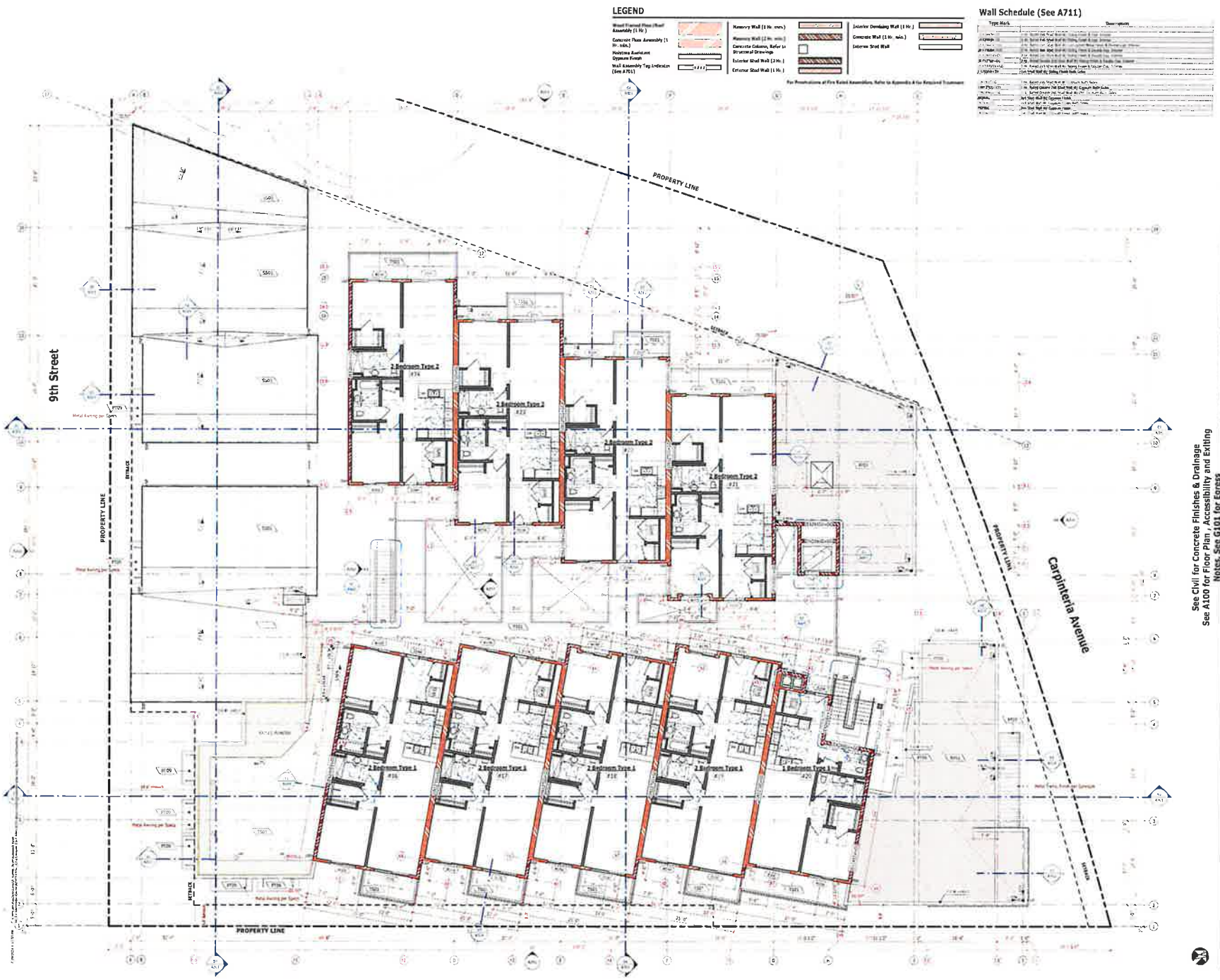
4745 Carpinteria Ave
Carpinteria, CA 93013

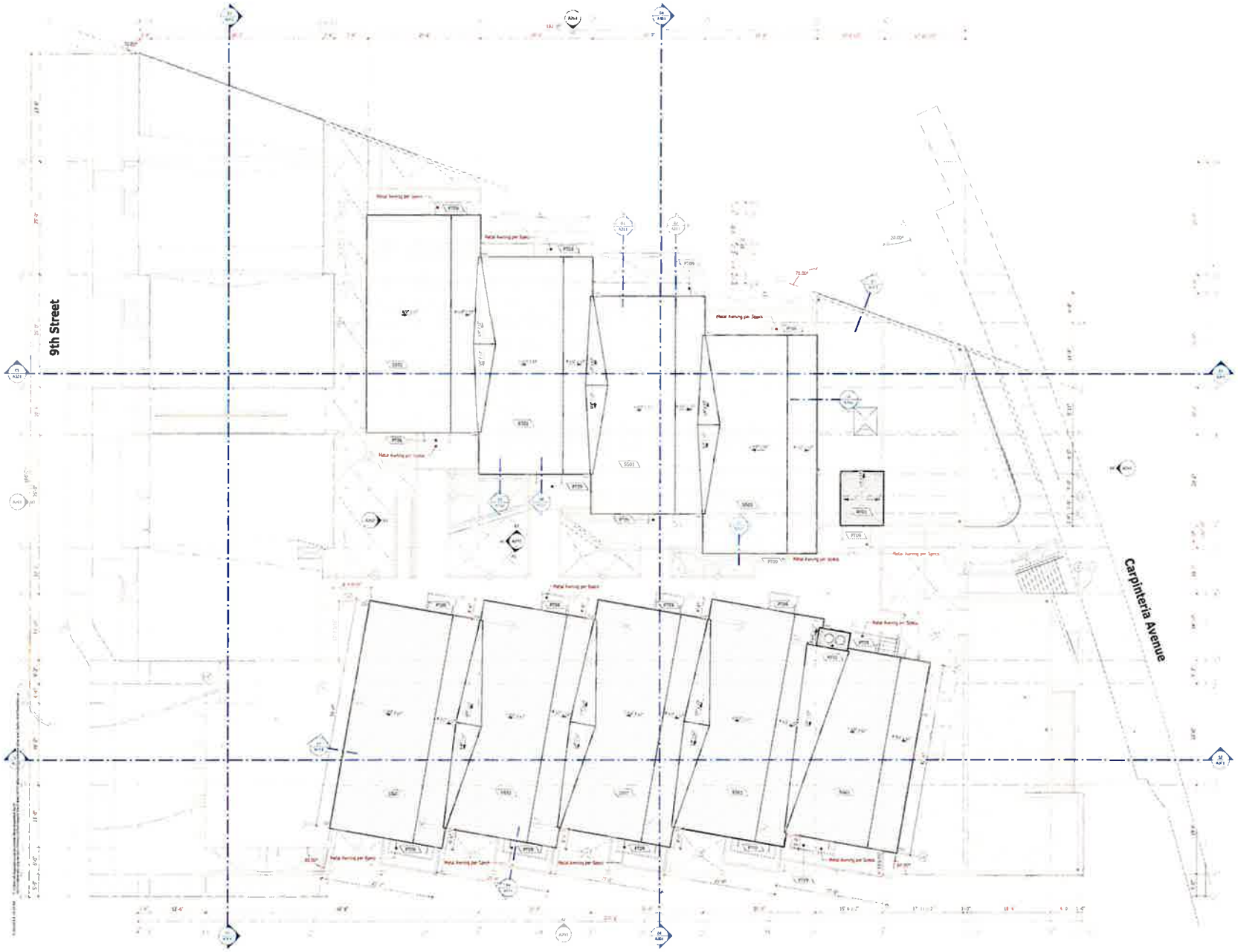
PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/24/2023
	Final ARB Submittal	07/05/2024

A102

OVERALL FLOOR PLANS - 2ND FLOOR


LEGEND
Wood Framed Floor/Roof Assembly (1 Hr.)
Concrete Floor Assembly (1 Hr. min.)
Moisture Resistant Gypsum Board
Wall Assembly Tag Indicator (See A711)
Masonry Wall (1 Hr. min.)
Masonry Wall (2 Hr. min.)
Concrete Column, Refer to Structural Drawings
Exterior Stud Wall (2 Hr.)
Exterior Stud Wall (1 Hr.)
Interior Demising Wall (1 Hr.)
Concrete Wall (1 Hr. min.)
Interior Stud Wall
For Penetrations at Fire Rated Assemblies, Refer to Appendix A for Required Treatment
Wall Schedule (See A711)
Type Mark
Description
PROPERTY LINE
9th Street
Carpinteria Avenue
SETBACK
2 Bedroom Type 2
2 Bedroom Type 1
1 Bedroom Type 1
See Civil for Concrete Finishes & Drainage
See A100 for Floor Plan , Accessibility and Exiting
Notes, See G101 for Egress
DMHA
ARCHITECTURE + INTERIOR DESIGN
NOT FOR CONSTRUCTION
4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013
PROJECT #: Project Number
NO. DESCRIPTION
DATE
A103
OVERALL FLOOR PLANS - 3RD FLOOR



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1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93102

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

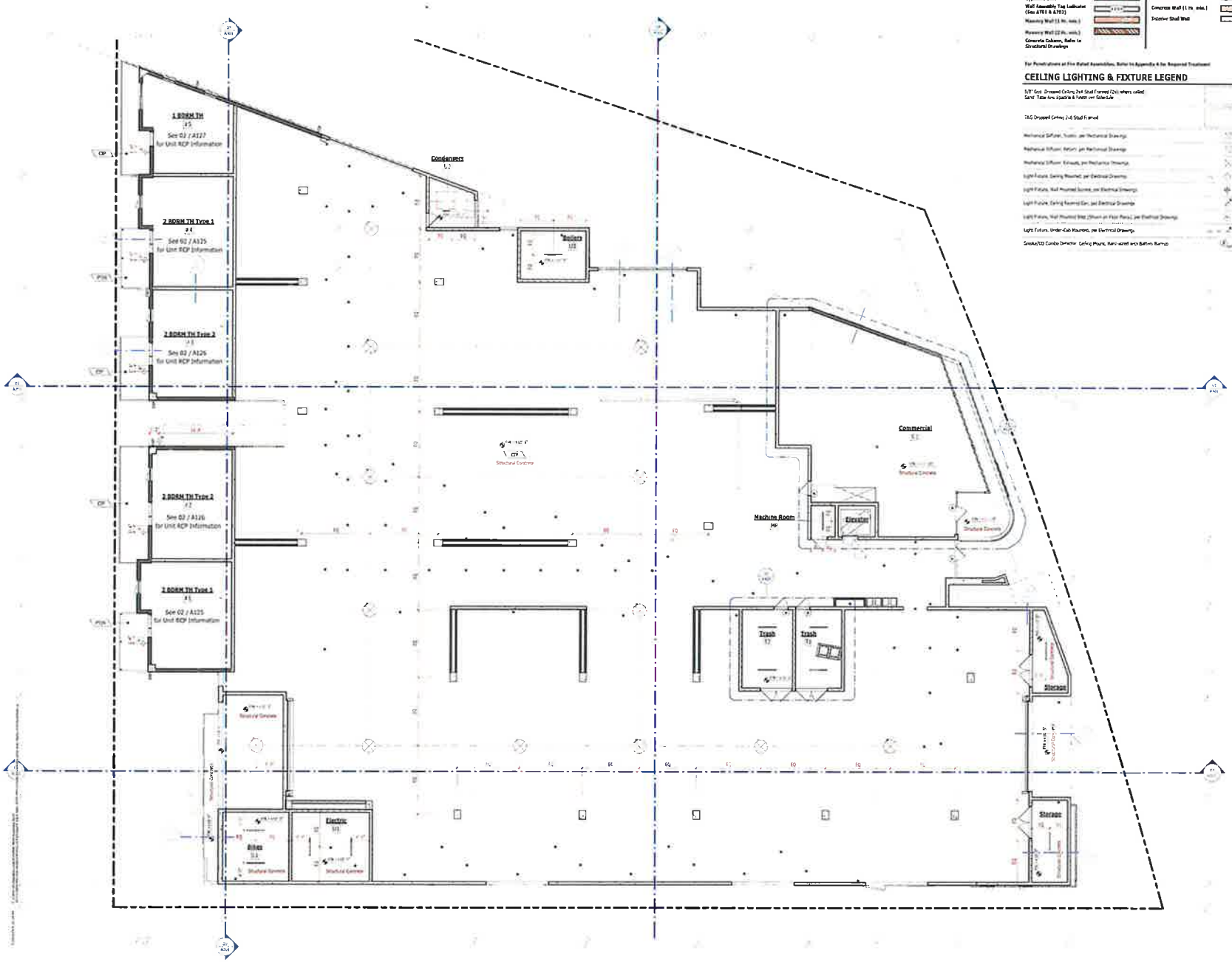
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/24/2023
	Final ARB Submittal	07/29/2024

A104

OVERALL ROOF PLANS - ROOF



LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)	Exterior Stud Wall (2 Hr.)
Concrete Floor Assembly (1 Hr. min.)	Exterior Stud Wall (1 Hr.)
Moisture Resistant Gypsum Board	Interior Demising Wall (1 Hr.)
Wall Assembly Tag Indicator (See A701 & A702)	Concrete Wall
Masonry Wall (1 Hr. min.)	Concrete Wall (1 Hr. min.)
Masonry Wall (2 Hr. min.)	Interior Stud Wall
Concrete Columns, Refer to Structural Drawings	

For Penetrations at Fire Rated Assemblies, Refer to Appendix A for Required Treatment

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Dropped Ceiling 2x4 Stud Framed (2x6 where called) Sand Texture Apply & Finish per Schedule

T&G Dropped Ceiling 2x6 Stud Framed

Mechanical Diffuser, Supply, per Mechanical Drawings

Mechanical Diffuser, Return, per Mechanical Drawings

Mechanical Diffuser, Exhaust, per Mechanical Drawings

Light Fixture, Ceiling Mounted, per Electrical Drawings

Light Fixture, Wall Mounted Sconce, per Electrical Drawings

Light Fixture, Ceiling Recessed Can, per Electrical Drawings

Light Fixture, Wall Mounted Step (Shown on Floor Plans), per Electrical Drawings

Light Fixture, Under-Cab Mounted, per Electrical Drawings

Smoke/CO Combo Detector Ceiling Mount, Hard-wired w/ Battery Backup

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Mixed Use Dev.

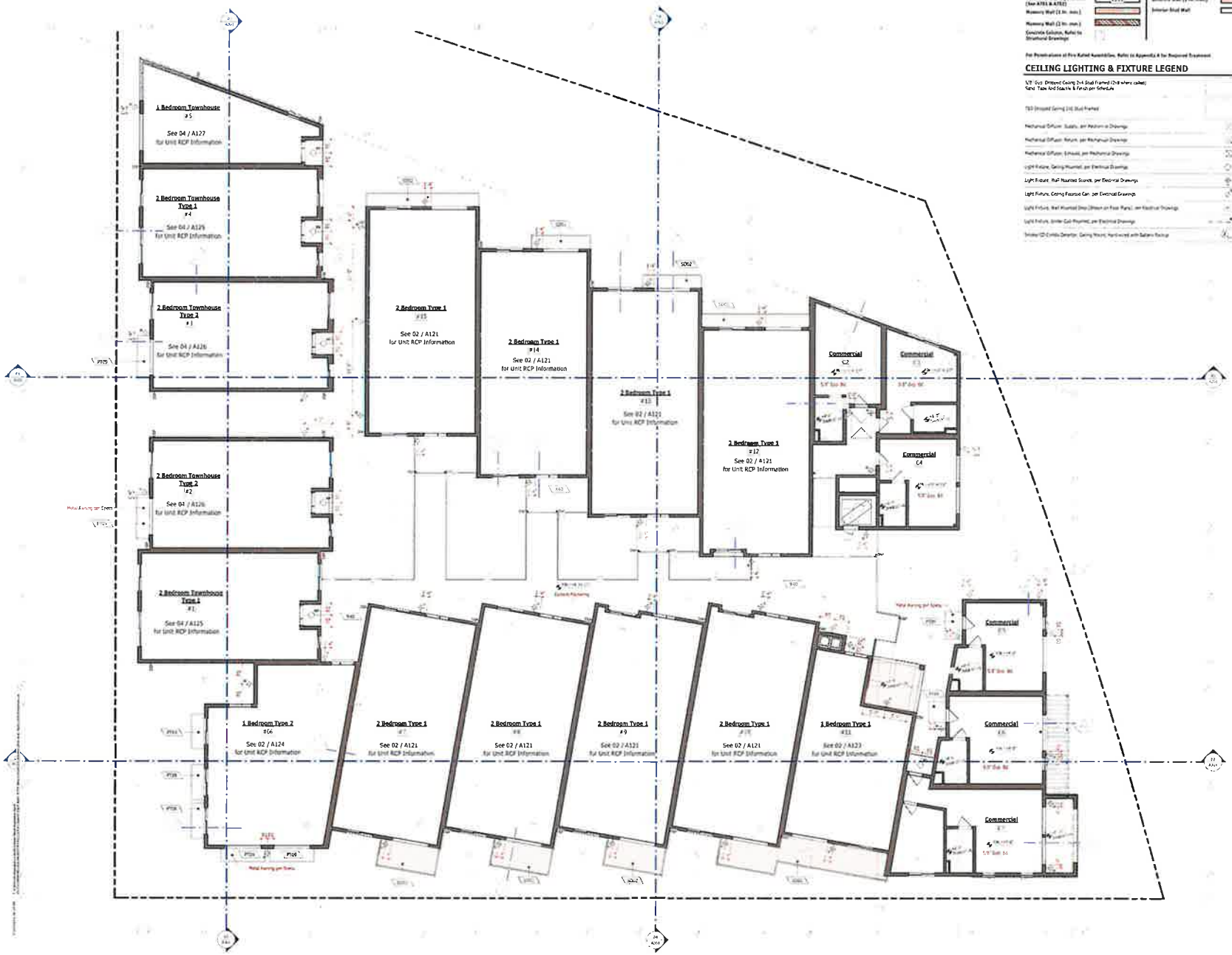
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE

A105

OVERALL CEILING PLANS - 1ST FLOOR



LEGEND

Wood Framed Floor/Roof Assembly (1 hr.)	Exterior Stud Wall (1 hr.)
Concrete Floor Assembly (1 hr. min.)	Exterior Stud Wall (1 hr.)
Moisture Resistant System Finish	Exterior Demising Wall (1 hr.)
Wall Assembly Tag Indicator (See A701 & A702)	Concrete Wall
Masonry Wall (1 hr. min.)	Concrete Wall (1 hr. min.)
Masonry Wall (1 hr. min.)	Interior Stud Wall
Concrete Column, Refer to Structural Drawings	

For Penetrations of Fire Rated Assemblies, Refer to Appendix A for Required Treatment

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Dropped Ceiling 2x4 Stud Framed (2x8 where called)
Sand, Tape And Spackle & Finish per Schedule

TGD Dropped Ceiling (2x) Stud Framed

Mechanical Diffuser: Supply, per Mechanical Drawings

Mechanical Diffuser: Return, per Mechanical Drawings

Mechanical Diffuser: Exhaust, per Mechanical Drawings

Light Fixture, Ceiling Mounted, per Electrical Drawings

Light Fixture: Wall Mounted Sconce, per Electrical Drawings

Light Fixture, Ceiling Recessed Can, per Electrical Drawings

Light Fixture, Wall Mounted Step (Shown on Floor Plans), per Electrical Drawings

Light Fixture, Under Cab Mounted, per Electrical Drawings

Smoke/CO Combo Detector, Ceiling Mount, Hardwired with Battery Backup

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Santa Barbara, CA 93103
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4745 Carpinteria Ave.
Mixed Use Dev.

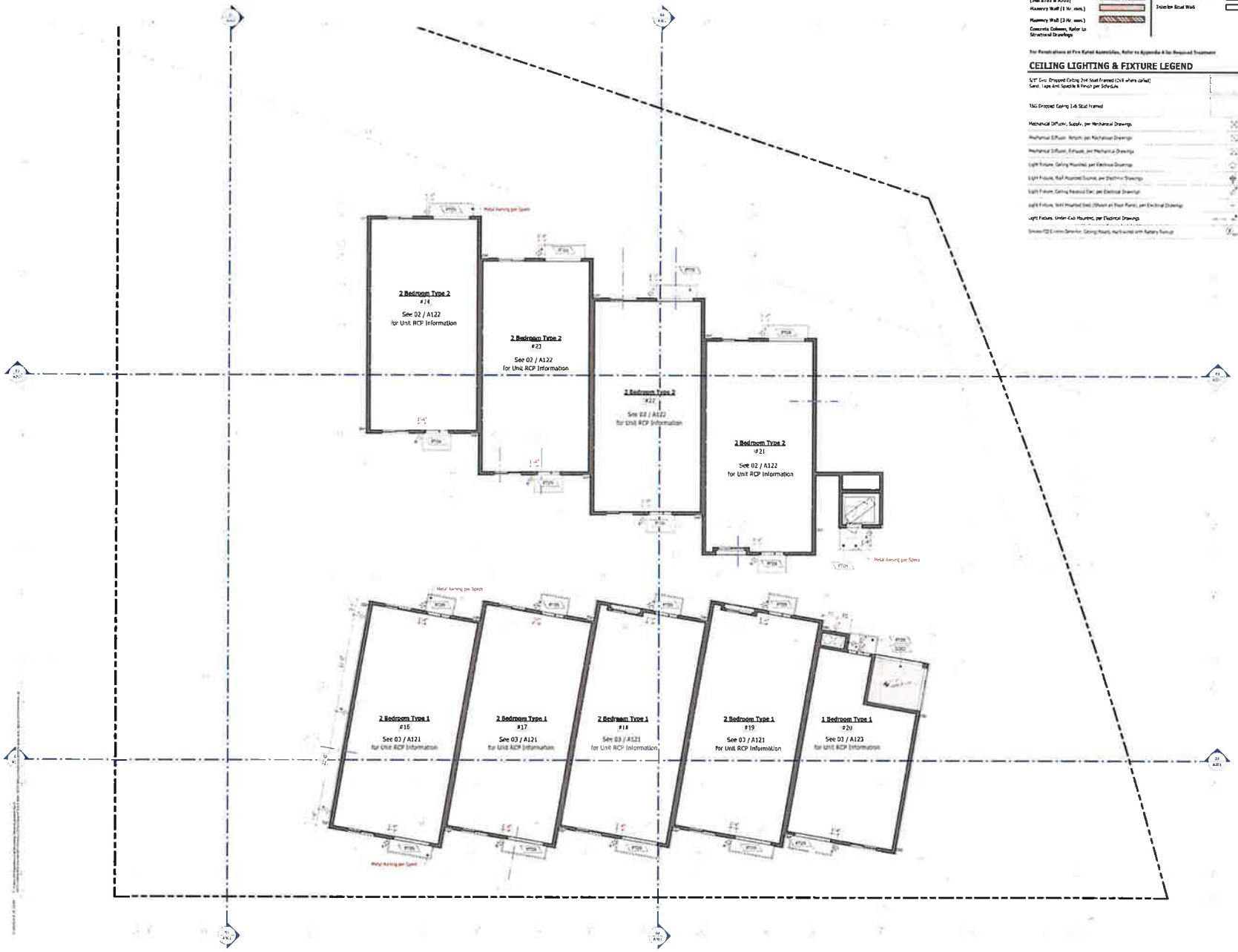
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE

A106

OVERALL CEILING PLANS - 2ND FLOOR



LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)
Concrete Floor Assembly (1 Hr. min.)
Moisture Resistant Gypsum Panels
Wall Assembly Tag Indication (See A703 & A703)
Masonry Wall (1 hr. min.)
Masonry Wall (2 Hr. min.)
Concrete Column, Refer to Structural Drawings
Exterior Stud Wall (2 Hr.)
Exterior Stud Wall (1 Hr.)
Interior Demising Wall (1 hr.)
Concrete Wall
Concrete Wall (1 Hr. min.)
Interior Stud Wall

For Penetrations at Fire Rated Assemblies, Refer to Appendix A for Required Treatment

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Dropped Ceiling 2x4 Stud Framed (2x8 where called) Sand, Tape And Spackle & Finish per Schedule
TAG Dropped Ceiling 2x6 Stud Framed
Mechanical Diffuser, Supply, per Mechanical Drawings
Mechanical Diffuser, Return, per Mechanical Drawings
Mechanical Diffuser, Exhaust, per Mechanical Drawings
Light Fixture, Ceiling Mounted, per Electrical Drawings
Light Fixture, Wall Mounted Sconce, per Electrical Drawings
Light Fixture, Ceiling Recessed Can, per Electrical Drawings
Light Fixture, Wall Mounted Bed Officer at Post Panel, per Electrical Drawings
Light Fixture, Under-Cab Mounted, per Electrical Drawings
Smoke/CO Combo Detector, Ceiling Mount, Hard-wired with Battery Backup

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805 965 7777
11 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NO. C 31321

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

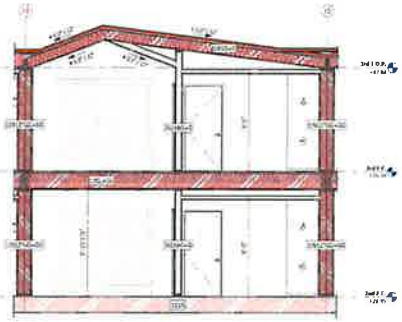
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

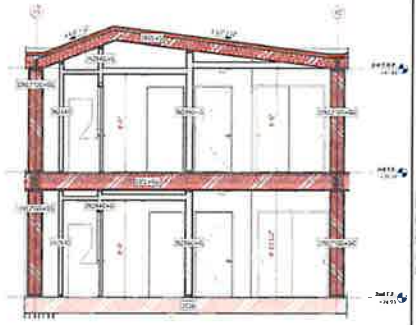
NO.	DESCRIPTION	DATE

A107

OVERALL CEILING PLANS - 3RD FLOOR



SECTION b
1/4" = 1'-0"



SECTION a
1/4" = 1'-0"

LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)
Concrete Floor Assembly (1 Hr. min.)
Moisture Resistant Gypsum Finish
Wall Assembly Tag Indicator (See A701 & A702)
Masonry Wall (1 Hr min.)
Masonry Wall (2 Hr. min.)
Concrete Column, Refer to Structural Drawings

Exterior Stud Wall (1 Hr.)
Interior Stud Wall (1 Hr.)
Interior Demising Wall (1 Hr.)
Concrete Wall
Concrete Wall (1 Hr. min.)
Interior Stud Wall

Fire Penetrations at Fire Rated Assemblies, Refer to Appendix B for Required Treatment

Wall Schedule (see A701 & A702)

Type Mark	Description
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Drywall Ceiling Stud Frame. See Fire Plan. Sand, Tape And Spackle & Finish per Schedule

Tile Dropped Ceiling Job Stud Framed

24" x 24" Acoustic Ceiling per Detail

Mechanical Diffuser, Exhaust per Mechanical Drawings

Light Fixture, Ceiling Mounted, per Electrical Drawings

Light Fixture, Wall Mounted Sconce, per Electrical Drawings

Recessed Junction Box, per Electrical Drawings

Light Fixture, Wall Mounted Step, per Electrical Drawings

Light Fixture, Under Cab Mounted per Electrical Drawings

Smoke/CO Combo Detector, Ceiling Mount, Hard wired with Battery Backup

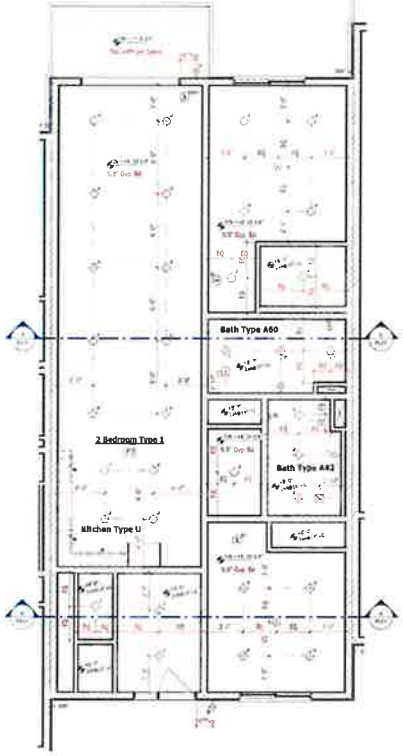
Smoke Detector, Ceiling Mount, Hard wired with Battery Backup

INSULATION SCHEDULE

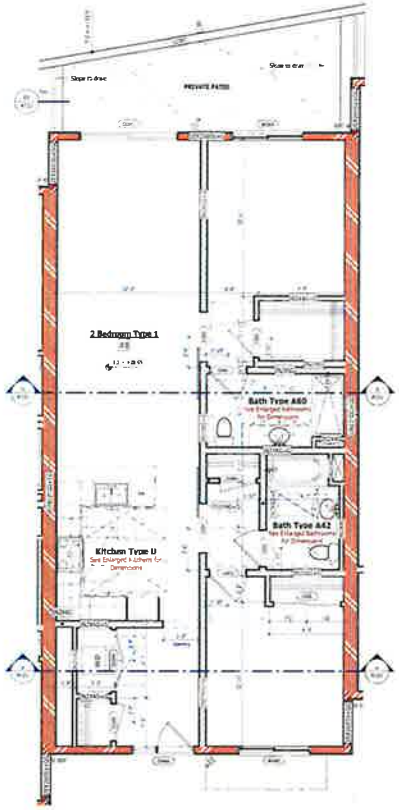
Minimum Insulation per Title 24 Drawings For Energy + Envelope Compliance.
Recommended Level of Insulation Below

1	Sloped Roofs	R30 Rigid & Batt (2"min. Rigid Above Sheathing)
2	Low Slope Roofs	R38 Flash & Batt (4"min. Open Cell Flash)
3	Exterior Walls	R-21 Batt
4	Exterior Walls at Commercial Space	R-15
5	Floors Between Habitable Units	R21 Batt
6	Drop Ceilings	R 13 Sound Batt
7	All Interior Walls	R 13 Sound Batt
8.	Insulate All Pipe Chases For Sound	
9	Provide Rock Wool Insulation at Crevices Between All Window & Exterior Door Frame & Rough Framing	

3RD FLOOR - REFLECTED CEILING PLAN 03
1/4" = 1'-0"



2ND FLOOR - REFLECTED CEILING PLAN 02
1/4" = 1'-0"



FLOOR PLAN 01
1/4" = 1'-0"

SEE OVERALL FLOOR PLANS FOR EXTERIOR DIMENSIONS

INTERIOR LIGHTING SCHEDULE

Mark	Manufacturer	Model	Type Comments
[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]

TYPICAL UNIT FINISH SCHEDULE

Finishes				
Countertop	[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

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Santa Barbara, CA 93102

NO. C-31521

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4745 Carpinteria Ave. Mixed Use Dev.

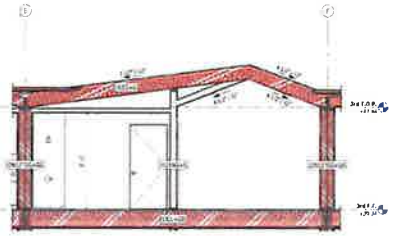
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

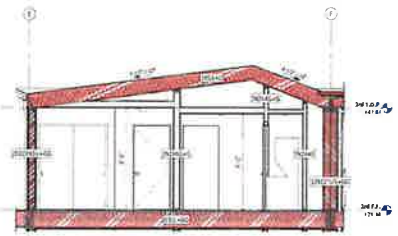
NO.	DESCRIPTION	DATE

A121

UNIT TYPES - 2 BEDROOM TYPE 1



SECTION b
1/4" = 1'-0"



SECTION a
1/4" = 1'-0"

LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)	Exterior Stud Wall (1 Hr.)
Concrete Floor Assembly (1 Hr. min.)	Interior Stud Wall (1 Hr.)
Moisture Resistant Gypsum Board	Interior Dressing Wall (1 Hr.)
Wall Assembly Tag Indicator (See A701 & A702)	Concrete Wall
Masonry Wall (1 Hr. min.)	Concrete Wall (1 Hr. min.)
Masonry Wall (2 Hr. min.)	Interior Stud Wall
Concrete Column, Refer to Structural Drawings	

For Penetrations at Fire Rated Assemblies, Refer to Appendix B for Required Treatment

Wall Schedule (see A701 & A702)

Type Mark	Description
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Drop Ceiling Stud Frame Size Per Plan. Sand, Tape And Spackle & Finish per Schedule

TBD Dropped Ceiling (at Stud Frame)

24" x 24" Acoustic Panel per Detail

Mechanical Diffuser, Exhaust, per Mechanical Drawings

Light Fixture, Ceiling Mounted, per Electrical Drawings

Light Fixture, Wall Mounted Sconce, per Electrical Drawings

Recessed Junction Box, per Electrical Drawings

Light Fixture, Wall Mounted Bar, per Electrical Drawings

Light Fixture, Under Cab Mounted, per Electrical Drawings

Smoke/CO Combo Detector, Ceiling Mount, Hard wired with Battery Backup

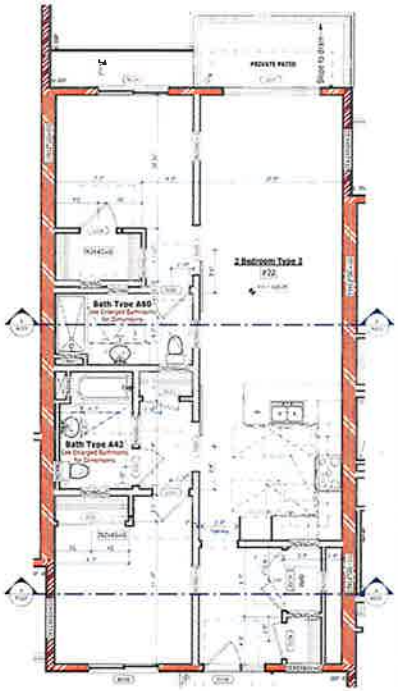
Smoke Detector, Ceiling Mount, Hard wired with Battery Backup

INSULATION SCHEDULE

Minimum Insulation per Title 24 Drawings For Energy + Envelope Compliance
Recommended Level of Insulation Beyond

1.	Slained Roofs	R38 Rigid & Batt (2"min. Rigid Above Sheathing)
2.	Low Slope Roofs	R38 Flash & Batt (4" min. Open Cell Flash)
3.	Exterior Walls	R-21 Batt
4.	Exterior Walls at Commercial Spaces	R-15
5.	Party Between Multiple Units	R11 Batt
6.	Drop Ceilings	R L3 Sound Batt
7.	All Interior Walls	R L3 Sound Batt
8.	Insulate All Pipe Chases for Sound.	
9.	Provide Back Wood Insulation or Equivalent Between All Windows & Exterior Door Frame & Rough Framing	

REFLECTED CEILING PLAN 02
1/4" = 1'-0"



FLOOR PLAN 01
1/4" = 1'-0"

SEE OVERALL FLOOR PLANS FOR EXTERIOR DIMENSIONS

INTERIOR LIGHTING SCHEDULE

Mark	Manufacturer	Model	Type Comments
[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]

TYPICAL UNIT FINISH SCHEDULE

[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]

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805 966 7777
14 N. Calle Cesar Chavez #102
Santa Barbara, CA 93102

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4745 Carpinteria Ave. Mixed Use Dev.

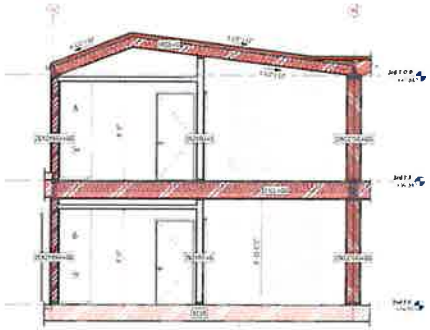
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE

A122

UNIT TYPES - 2 BEDROOM TYPE 2



SECTION a
1/4" = 1'-0"

LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)
Concrete Floor Assembly (1 Hr. min.)
Moisture Resistant Gypsum Board
Wall Assembly Tag Indicator (See A701 & A702)
Masonry Wall (1 hr. min.)
Masonry Wall (2 hr. min.)
Concrete Column, Refer to Structural Drawings
Exterior Stud Wall (2 Hr.)
Exterior Stud Wall (1 Hr.)
Interior Demising Wall (1 Hr.)
Concrete Wall
Concrete Wall (1 Hr. min.)
Interior Stud Wall

For Finish alcove at fire Rated Assemblies, Refer to Appendix A for Required Treatment

Wall Schedule (see A701 & A702)

Type Mark	Description
[illegible]	[illegible]

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Drop Ceiling Stud Frame. Size Per Plan. Sand, Tape And Texture & Finish per Schedule

TBD Dropped Ceiling Det Rod Hanger

24" X 24" Access Panel per Detail

Mechanical Diffuser, Exhaust per Mechanical Drawings

Light Fixture, Ceiling Mounted, per Electrical Drawings

Light Fixture, Wall Mounted Sconce, per Electrical Drawings

Recessed Junction Box, per Electrical Drawings

Light Fixture, Wall Mounted Strip, per Electrical Drawings

Light Fixture, Under-Cab Mounted, per Electrical Drawings

Smoke/CO Sensor Detector, Ceiling Mount, Hard-wired with Battery Backup

Smoke Detector, Alarm Mount, Hard-wired with Battery Backup

INSULATION SCHEDULE

Minimum Insulation per Title 24 Drawings For Energy + Envelope Compliance
Recommended Level of Insulation Below

1	Sloped Roof	R38 Kraft & Batt (2"min. Rigid Above Sheathing)
2	Low Slope Roof	R38 Batt & Batt (4"min. Open Cell Batt)
3	Exterior Walls	R-21 Batt
4	Exterior Walls at Commercial Spaces	R-15
5	Floors Between Residence Units	R21 Batt
6	Drop Ceilings	R-13 Sound Batt
7	All Interior Walls	R-13 Sound Batt

8. Insulate All Pipe Chases For Sound.
9. Provide Rock Wool Insulation or Equivalent Between All Window & Exterior Door Frame & Rough Framing

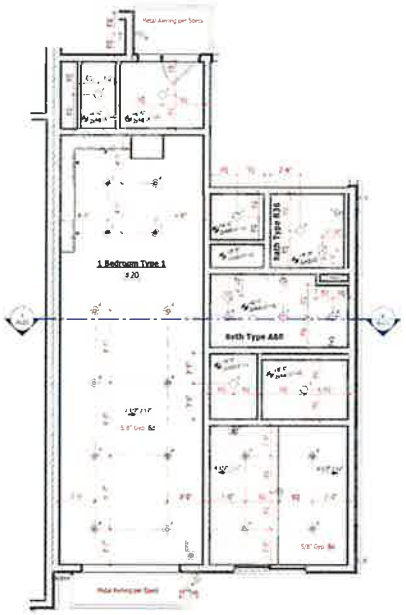
INTERIOR LIGHTING SCHEDULE

Mark	Manufacturer	Model	Type Comments
[illegible]	[illegible]	[illegible]	[illegible]

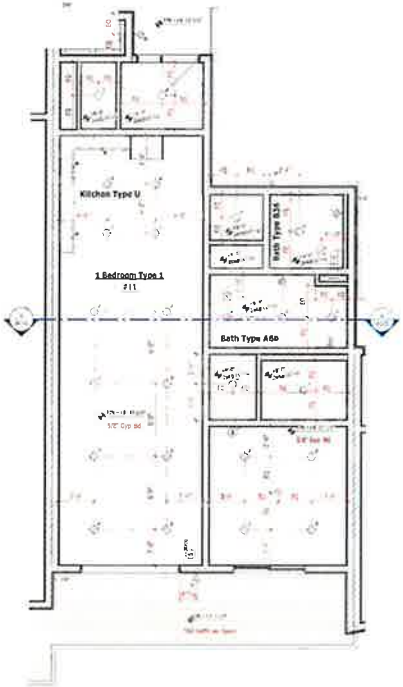
TYPICAL UNIT FINISH SCHEDULE

Legends
Abbreviations

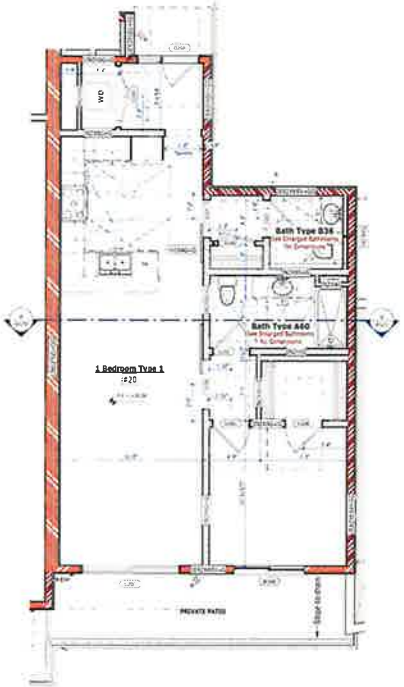
Mark	Finish	Finishes Alcove	See Finish Package for More Information
[illegible]	[illegible]	[illegible]	See Interior Package for More Information



3RD FLOOR - REFLECTED CEILING PLAN 03
1/4" = 1'-0"



2ND FLOOR - REFLECTED CEILING PLAN 02
1/4" = 1'-0"



FLOOR PLAN 01
1/4" = 1'-0"

SEE OVERALL FLOOR PLANS FOR EXTERIOR DIMENSIONS

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Santa Barbara, CA 93102

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4745 Carpinteria Ave. Mixed Use Dev.

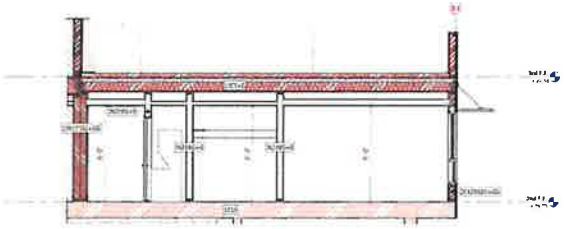
4745 Carpinteria Ave.
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE

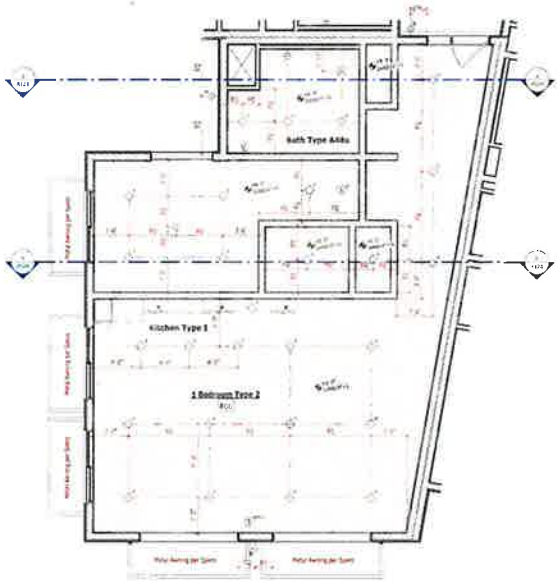
A123

UNIT TYPES - 1 BEDROOM TYPE 1

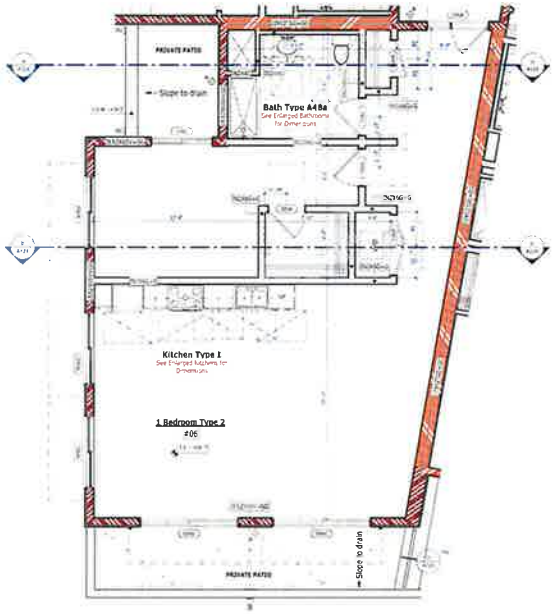


SECTION b

SECTION a



REFLECTED CEILING PLAN 02



FLOOR PLAN 01

SEE OVERALL FLOOR PLANS FOR EXTERIOR DIMENSIONS

LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)	Exterior Stud Wall (1 Hr.)
Concrete Floor Assembly (1 Hr. min.)	Exterior Stud Wall (1 Hr.)
Moisture Resistant Gypsum Finish	Interior Demising Wall (1 Hr.)
Wall Assembly Tag Indicator (See A701 & A702)	Concrete Wall
Masonry Wall (1 Hr. min.)	Concrete Wall (1 Hr. min.)
Masonry Wall (1 Hr. min.)	Interior Stud Wall
Concrete Column, Refer to Structural Drawings	

For Penetrations at Fire Rated Assemblies, Refer to Appendix A for Required Treatment

Wall Schedule (see A701 & A702)

Type Mark	Description
[illegible]	[illegible]

CEILING LIGHTING & FIXTURE LEGEND

5'0" Dia. Drop Ceiling Stud Frame. Size Per Plan. Sand, Tape And Spackle & Finish per Schedule	
750 Dropped Ceiling Sub Stud Framed	
24" x 24" Acoustic Panel per Detail	
Mechanical Diffuser, Return, per Mechanical Drawings	
Light Fixture, Ceiling Mounted, per Electrical Drawings	
Light Fixture, Wall Mounted Sconce, per Electrical Drawings	
Recessed Lighting Box, per Electrical Drawings	
Light Fixture, Wall Mounted Strip, per Electrical Drawings	
Light Fixture, Under Cabinet Mounted, per Electrical Drawings	
Smoke/CO Combo Detector, Ceiling Mount, Hard wired with Battery Backup	
Smoke Detector, Ceiling Mount, Hard wired with Battery Backup	

INSULATION SCHEDULE

Minimum Insulation per Title 24 Drawings For Energy + Wholesale Compliance.
Recommended Level of Insulation Below:

1. Roofed Porch	R38 Rigid & Batt (2" min. Rigid Above Sheathing)
2. Low Slope Roofs	R30 Rigid & Batt (4" min. Open Cell Foam)
3. Exterior Walls	R-21 Batt
4. Exterior Walls of Commercial Space	R-15
5. Floors Between Habitable Units	R21 Batt
6. Drop Ceilings	R-13 Sound Batt
7. All Interior Walls	R-13 Sound Batt
8. Insulate All Pipes Chases For Sound	
9. Provide Note Area Insulation or Equivalent Between All Bedroom & Exterior Door Frame & Rough Framing	

INTERIOR LIGHTING SCHEDULE

Mark	Manufacturer	Model	Type Comments
[illegible]	[illegible]	[illegible]	[illegible]

TYPICAL UNIT FINISH SCHEDULE

Location	Product	Finish Group	Color Matrix Number (If Not Applicable)
[illegible]	[illegible]	[illegible]	[illegible]

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4745 Carpinteria Ave. Mixed Use Dev.

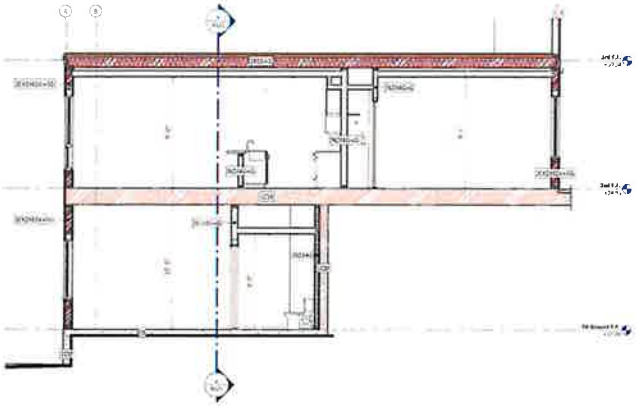
4745 Carpinteria Ave.
Carpinteria, CA 93013

PROJECT #: Project Number

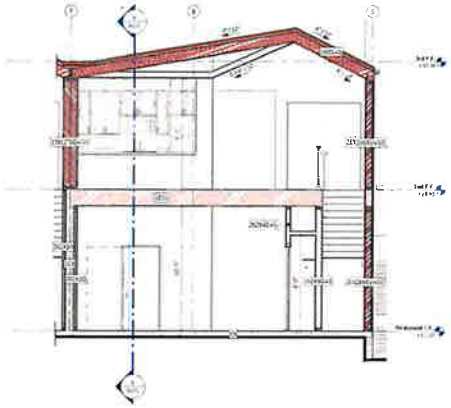
NO.	DESCRIPTION	DATE

A124

UNIT TYPES - 1 BEDROOM TYPE 2



SECTION b
1/4" = 1'-0"



SECTION a
1/4" = 1'-0"

LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)
Concrete Floor Assembly (1 Hr. min.)
Moisture Resistant Gypsum Board
Wall Assembly Tag Indicator (See A701 & A702)
Masonry Wall (1 Hr. min.)
Masonry Wall (2 Hr. min.)
Concrete Column, Refer to Structural Drawings

Exterior Stud Wall (2 Hr.)
Exterior Stud Wall (1 Hr.)
Interior Decorating Wall (1 Hr.)
Concrete Wall
Concrete Wall (1 Hr. min.)
Interior Stud Wall

For Penetrations at Fire Rated Assemblies, Refer to Appendix B for Required Treatment

Wall Schedule (see A701 & A702)

Type Mark	Description
[illegible]	[illegible]

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Drop Ceiling Stud Frame. Site Per Plan. Sand, Tape And Space & Finish per Schedule

T-24 Dropped Ceiling Det Stud Frames

24" x 24" Acoustic Panel per Detail

Mechanical Diffuser: Refer to Mechanical Drawings

Light Fixture, Ceiling Mounted, per Electrical Drawings

Light Fixture, Wall Mounted Sconce, per Electrical Drawings

Recessed Fluorescent Down, per Electrical Drawings

Light Fixture, Wall Mounted Strip, per Electrical Drawings

Light Fixture, Under Cab Mounted, per Electrical Drawings

Smoke CO Combo Detector, Ceiling Mount, Hard wired with Battery Backup

Smoke Detector, Ceiling Mount, hard wired with Battery Backup

INSULATION SCHEDULE

Minimum Insulation per Title 24 Drawings For Energy + Envelope Compliance
Recommended Level of Insulation Below

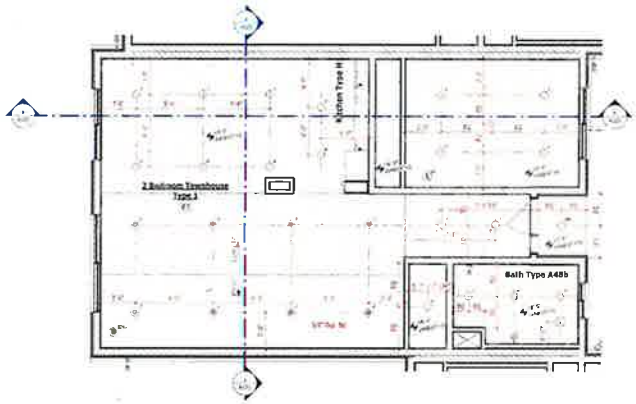
1. Sloped Roofs	R38 Rigid & Batt (2"min. Rigid Above Sheathing)
2. Low Slope Roofs	R38 Flash & Batt (4"min. Open Cell Flash)
3. Attic Floors	R-21 Batt
4. Exterior Walls at Commercial Space	R-15
5. Floors Between Residential Units	R21 Batt
6. Drop Ceilings	R-13 Sound Batt
7. All Interior Walls	R-13 Sound Batt
8. Insulate All Pipe Chases For Sound.	
9. Provide Rock Wool Insulation at Equipment Between All Windows & Exterior Door Frame & Rough Framing	

INTERIOR LIGHTING SCHEDULE

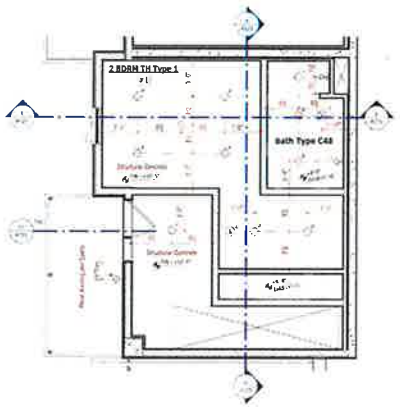
Mark	Manufacturer	Model	Type Comments
[illegible]	[illegible]	[illegible]	[illegible]

TYPICAL UNIT FINISH SCHEDULE

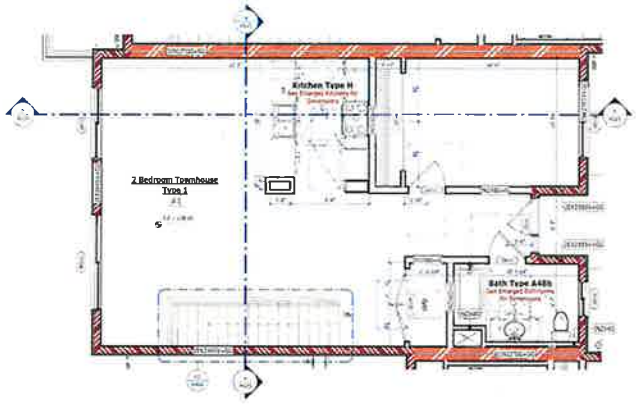
Location	Item	Manufacturer Catalog	Type Material Finish Color (or Match Adjacent)
[illegible]	[illegible]	[illegible]	[illegible]



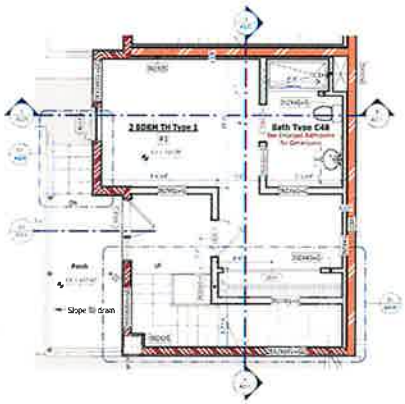
2ND FLOOR - REFLECTED CEILING PLAN 04
1/4" = 1'-0"



1ST FLOOR - REFLECTED CEILING PLAN 02
1/4" = 1'-0"



2ND FLOOR PLAN 03
1/4" = 1'-0"



1ST FLOOR PLAN 01
1/4" = 1'-0"

SEE OVERALL FLOOR PLANS FOR EXT. DIMENSIONS

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805 969 7777
11 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

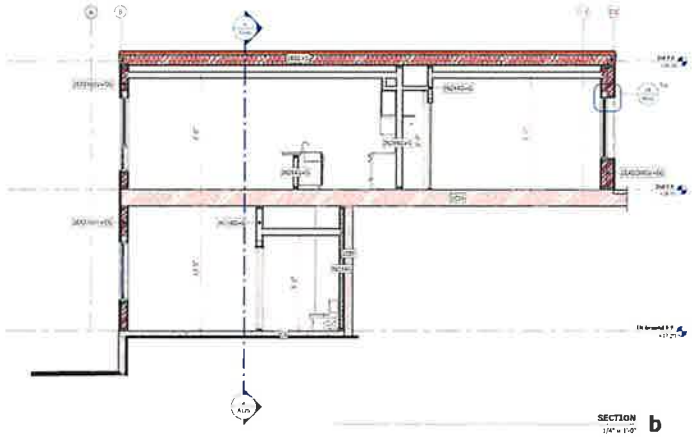
4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

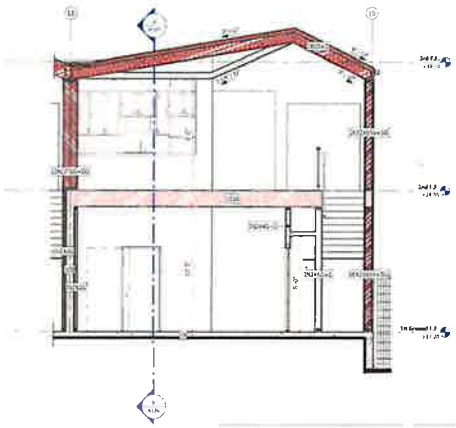
NO.	DESCRIPTION	DATE

A125

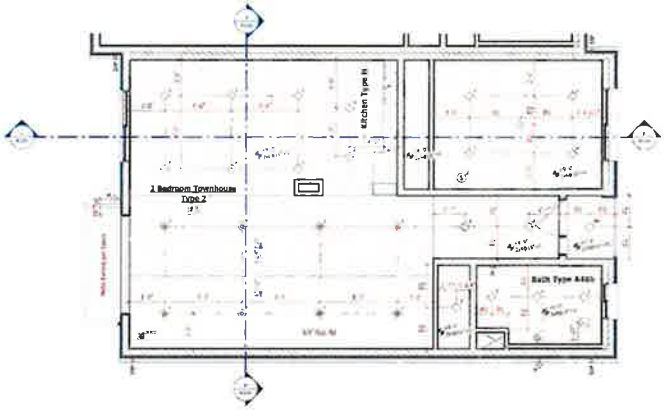
UNIT TYPES - 2 BEDROOM TOWNHOUSE TYPE 1



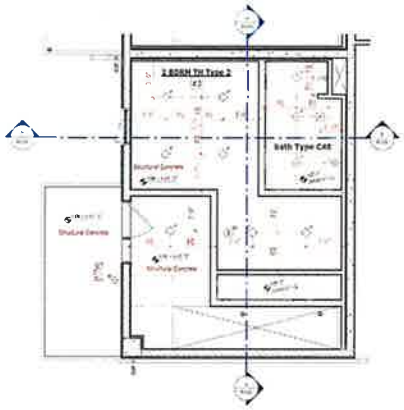
SECTION b
1/4" = 1'-0"



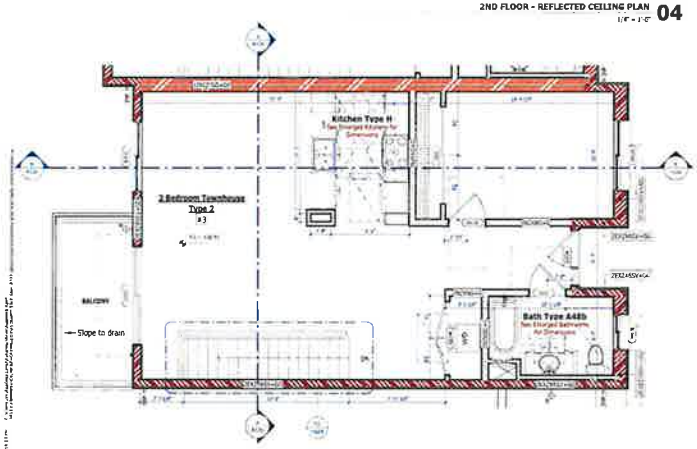
SECTION a
1/4" = 1'-0"



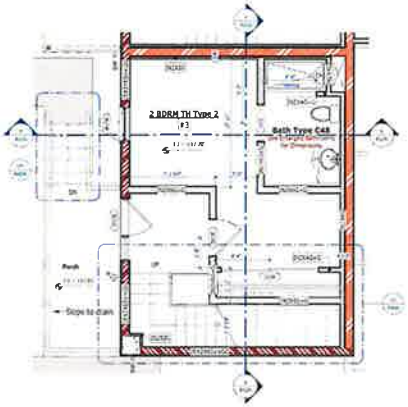
2ND FLOOR - REFLECTED CEILING PLAN 04
1/4" = 1'-0"



1ST FLOOR - REFLECTED CEILING PLAN 02
1/4" = 1'-0"



2ND FLOOR PLAN 03
1/4" = 1'-0"



1ST FLOOR PLAN 01
1/4" = 1'-0"

SEE OVERALL FLOOR PLANS FOR EXT. DIMENSIONS

LEGEND

Wood Framed Floor/Roof Assembly (1 Hr.)	Exterior Stud Wall (2 Hr.)
Concrete Floor Assembly (1 Hr. min.)	Exterior Stud Wall (1 Hr.)
Moisture Resistant Gypsum Finish	Interior Demising Wall (1 Hr.)
Wall Assembly Tag Indicator (See A701 & A702)	Concrete Wall
Masonry Wall (1 Hr. min.)	Concrete Wall (1 Hr. min.)
Masonry Wall (2 Hr. min.)	Interior Stud Wall
Concrete Column, Refer to Structural Drawings	

For Penetrations at Fire Rated Assemblies, Refer to Appendix A for Repair of Treatment

Wall Schedule (see A701 & A702)

Type Mark	Description
[illegible]	[illegible]

CEILING LIGHTING & FIXTURE LEGEND

5/8" Gyp. Drywall Ceiling Total Frame. Size Per Plan. Sand, Tape And Sparkle & Finish per Schedule	
7/8 Dropped Ceiling Set Stud Framed	
24" x 24" Acoustic Panel per Detail	
Mechanical Diffuser, Exhaust - per Mechanical Drawings	
Light Fixture, Ceiling Mounted, per Electrical Drawings	
Light Fixture, Wall Mounted Sconce, per Electrical Drawings	
Recessed Junction Box, per Electrical Drawings	
Light Fixture, Wall Mounted Strip, per Electrical Drawings	
Light Fixture, Under Cabinet Mounted, per Electrical Drawings	
Smoke/CO Combo Detector, Ceiling Mount, Hard wired with Battery Backup	
Smoke Detector, Ceiling Mount, Hard wired with Battery Backup	

INSULATION SCHEDULE

Minimum Insulation per Title 24 Drawings For Energy + Envelope Compliance
Recommended Level of Inspection Below

1 Garage Walls	R28 Batt & Batt (2"Min. Rigid Above Sheathing)
2 Low Slope Roofs	R28 Batt & Batt (4" min. Open Cell Batt)
3 Exterior Walls	R-21 Batt
4 Exterior Walls at Commercial Spaces	R-15
5 Floors Between Habitable Units	R21 Batt
6 Drop Ceilings	R 13 Sound Batt
7 All Interior Walls	R-13 Sound Batt
8 Insulate All Pipe Chases for Sound	
9 Provide Rock Wool Insulation or Equivalent Between All Window & Exterior Door Frame & Rough Framing	

INTERIOR LIGHTING SCHEDULE

Mark	Manufacturer	Model	Type Comments
[illegible]	[illegible]	[illegible]	[illegible]

TYPICAL UNIT FINISH SCHEDULE

Location			
Mark	Finish	Finished Items	Sub Material Package for More Information
Bathroom			
[illegible]	[illegible]	[illegible]	[illegible]

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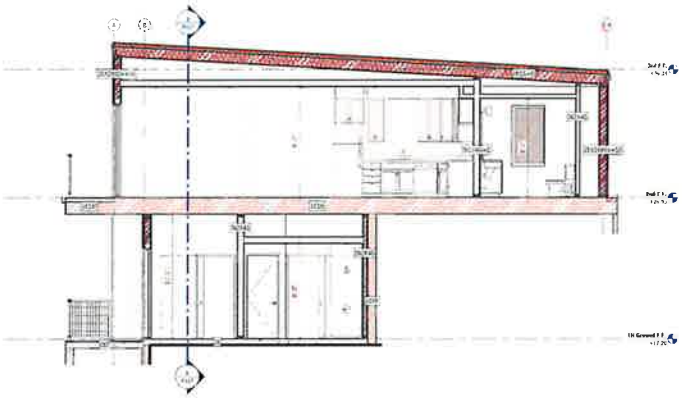
805 966 7777
114 Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

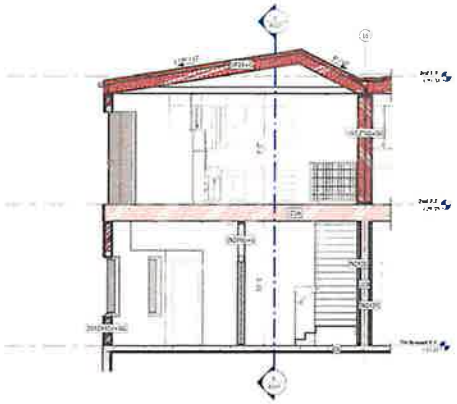
4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013
PROJECT #: Project Number

NO.	DESCRIPTION	DATE

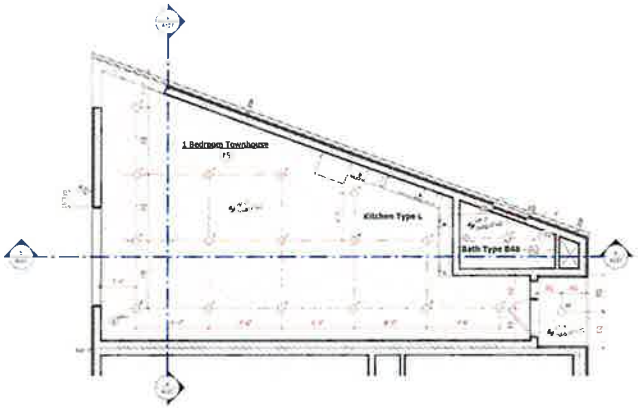
A126
UNIT TYPES - 2 BEDROOM TOWNHOUSE TYPE 2



SECTION b
1/4" = 1'-0"

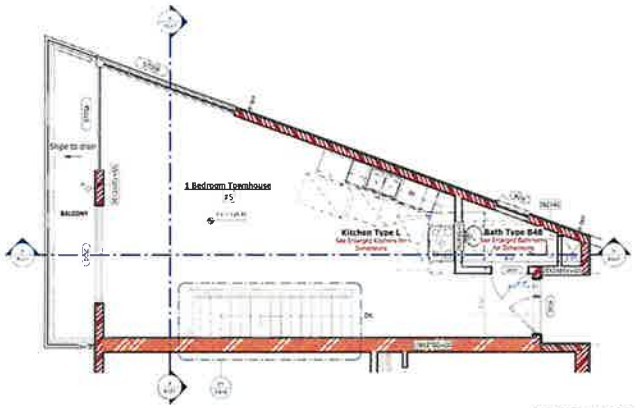


SECTION a
1/4" = 1'-0"

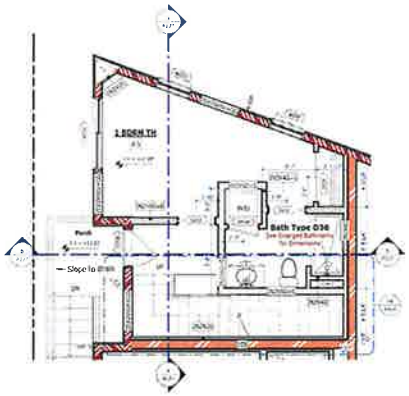


2ND FLOOR - REFLECTED CEILING PLAN 04
1/4" = 1'-0"

1ST FLOOR - REFLECTED CEILING PLAN 02
1/4" = 1'-0"



2ND FLOOR PLAN 03
1/4" = 1'-0"



1ST FLOOR PLAN 01
1/4" = 1'-0"

SEE OVERALL FLOOR PLANS FOR EXT. DIMENSIONS

LEGEND

- Wood Framed Floor/Roof Assembly (1 Hr.)
- Concrete Floor Assembly (1 Hr. min.)
- Moisture Resistant Gypsum Finish
- Wall Assembly Tag Indicator (See A701 & A702)
- Masonry Wall (1 Hr min.)
- Masonry Wall (2 Hr. min.)
- Concrete Column, Refer to Structural Drawings
- Exterior Stud Wall (2 Hr.)
- Exterior Stud Wall (1 Hr.)
- Interior Demising Wall (1 Hr.)
- Concrete Wall
- Concrete Wall (1 Hr. min.)
- Interior Stud Wall

For Penetrations at Fire Rated Assemblies, Refer to Appendix A for Required Treatment

Wall Schedule (see A701 & A702)

Type Mark	Description
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]

CEILING LIGHTING & FIXTURE LEGEND

- 5/8" O.C. Drop Ceiling Stud Frame. Size Per Plan. Sand, Tape And Spackle & Finish per Schedule
- 15.0 Ensuite Ceiling Sub Stud Framed
- 24" x 24" Acoustic Panel per Plan
- Mechanical Diffuser. Exhaust. per Mechanical Drawings
- Light Fixture. Ceiling Mounted. per Electrical Drawings
- Light Fixture. Wall Mounted Sconce. per Electrical Drawings
- Recessed Lighting Box per Electrical Drawings
- Light Fixture. Wall Mounted Strip. per Electrical Drawings
- Light Fixture. Under Cab. Mounted. per Electrical Drawings
- Smoke/CO Combo Detector. Ceiling Mount. Hard wired with Battery Backup
- Smoke Detector. Ceiling Mount. Hard wired with Battery Backup

INSULATION SCHEDULE

Minimum Insulation per Title 24 Drawings For Energy + Envelope Compliance
Environmental Level of Insulation Below

1	Sloped Roof	R28 Rigid & Batt (2" min. Rigid Above Sheathing)
2	Low Slope Roofs	R28 Flash & Batt (4" min. Open Cell Flash)
3	Exterior Walls	R-21 Batt
4	Exterior Walls at Commercial Space	R-15
5	Floors Between Habitable Units	R21 Batt
6	Drop Ceilings	R-13 Sound Batt
7	All Interior Walls	R-13 Sound Batt
8	Insulate All Pipe Chases For Sound	
9	Provide Rock Wool Insulation or Equivalent Between All Windows & Exterior Door Frame & Rough Framing	

INTERIOR LIGHTING SCHEDULE

Mark	Manufacturer/Brand	Model	Type Comments
[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	[illegible]	[illegible]

TYPICAL UNIT FINISH SCHEDULE

Location	Type	Finish Material	See Interior Package for More Information
[illegible]	[illegible]	[illegible]	[illegible]

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805 569 7777
916 Cliff Ocean Drive, E102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave. Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE

A127

UNIT TYPES - 1 BEDROOM TOWNHOUSE

NORTH ELEVATION (CARPINTERIA AVE.) 04

SOUTH ELEVATION (9TH ST.) 03

EAST ELEVATION 02

WEST ELEVATION (CREEK) 01

EXTERIOR FINISH KEY

Cast-in-place Concrete				
	CF		Cast in Place Concrete, Board Formed	
	CSF		Cast in Place Concrete, Smooth Finish	
Corrugated				
	PT11	Sherwin Williams	SW 6229 Hopsack - Semi-Gloss	
Countertop				
	CT01	Stone	By Owner	See Interior Package for More Information
Exterior Paint				
	PT01	Benjamin Moore	BM AC-40 Glacier White - Satin Gloss	
	PT02	Benjamin Moore	BM HC-83 Carrington Beige - Satin Gloss	
	PT03	Benjamin Moore	BM HC-155 Hartford Blue - Satin Gloss	
	PT04	Benjamin Moore	BM HC-151 Rockland Blue - Satin Gloss	
	PT09	Sherwin Williams	SW 7069 Iron Ore - Semi-Gloss	
	PT10	Sherwin Williams	SW 6555 Light French Gray - Flat	
FLOORING				
	CSF		Cast in Place Concrete	
Plaster				
	S-40	La Habra	40 Medium Finish Dove Gray	Smooth Trowel with Square Corners
Roofing				
	RF01	Evergreen	Extreme TPO Single Ply 60Mil. Class B ESR-4676	Color TBD Light Gray
	SS01	Berridge	Steel Double Lock Zee-Lock, Lead-Free	
Siding				
	SD01	Harmony	Clear Seal Finish	
Stain				
	ST01	TBD	TBD	Submit Samples for Architectural Review
Windows & Doors				
	FT08	Sierra Pacific	Factory Paint Clad Aluminum - Graphite	
Wood TGV				
	SD01	Harmony	Clear Seal Finish	

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805 969 7777
1N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

4745 Carpinteria Ave.
Carpinteria, CA 93013

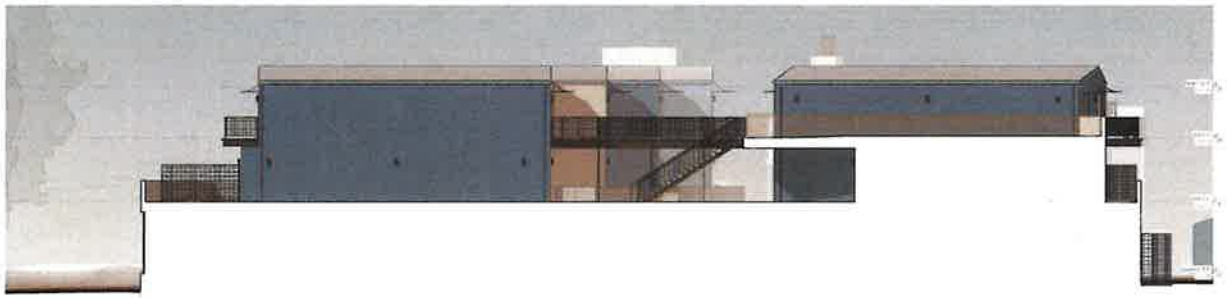
PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Development Application Submittal	06.14.2013
	Plan Check Submittal	01.15.2014

A201

OVERALL EXTERIOR ELEVATIONS

COURTYARD NORTH ELEVATION 1/8" = 1'-0" **04**



COURTYARD SOUTH ELEVATION 1/8" = 1'-0" **03**

COURTYARD EAST ELEVATION 1/8" = 1'-0" **02**

COURTYARD WEST ELEVATION 1/8" = 1'-0" **01**

EXTERIOR FINISH KEY

Cast-in-place Concrete				
	CF		Cast in Place Concrete, Board Formed	
	CIP		Cast in Place Concrete, Smooth Finish	
Corrugated				
	PT11	Sherwin Williams	SW 6109 Hopsack - Semi-Gloss	
Countertop				
	ZT01	Stone	By Owner	See Interior Package for More Information
Exterior Paint				
	PT01	Benjamin Moore	BM AC-40 Glacier White - Satin Sheen	
	PT02	Benjamin Moore	BM HC-83 Carrington Beige - Satin Sheen	
	PT03	Benjamin Moore	BM HC-155 Marblehead Blue - Satin Sheen	
	PT04	Benjamin Moore	BM HC-161 Buckland Blue - Satin Sheen	
	PT05	Sherwin Williams	SW 7069 Iron Ore - Semi-Gloss	
	PT10	Sherwin Williams	SW 7010 Light French Gray - Flat	
FLOORING				
Pavers				
	CIP		Cast in Place Concrete	
	F40	La Italia	SB Houston Finish Dove Grey	Smooth Trowel with Square Corners
Roofing				
	RF01	Firestone	Firestone TPO Sample Ply 60mil, Class B ESR-4876	Color TBD Light Grey
	SD01	Berridge	Steel Double-Lock Zee-Lock, Level-Cote	
Siding				
	SD01	Thermory	Clear Seal Finish	
Stain				
	ST01	TBD	TBD	Submit Samples for Architecture Review
Windows & Doors				
	PT08	Sierra Pacific	Factory Paint Clad Aluminum - Graphite	
Wood Slat				
	SD02	Thermory	Clear Seal Finish	

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1 N. Calle Cesar Chavez #120
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013

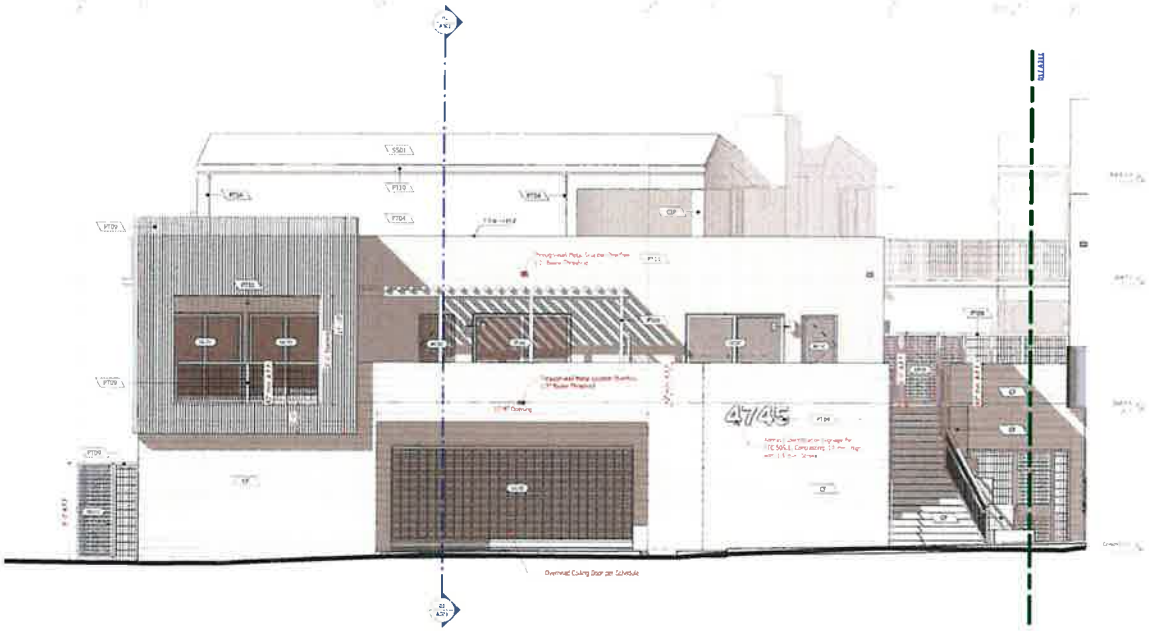
PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final ARB Submittal	07.29.2014

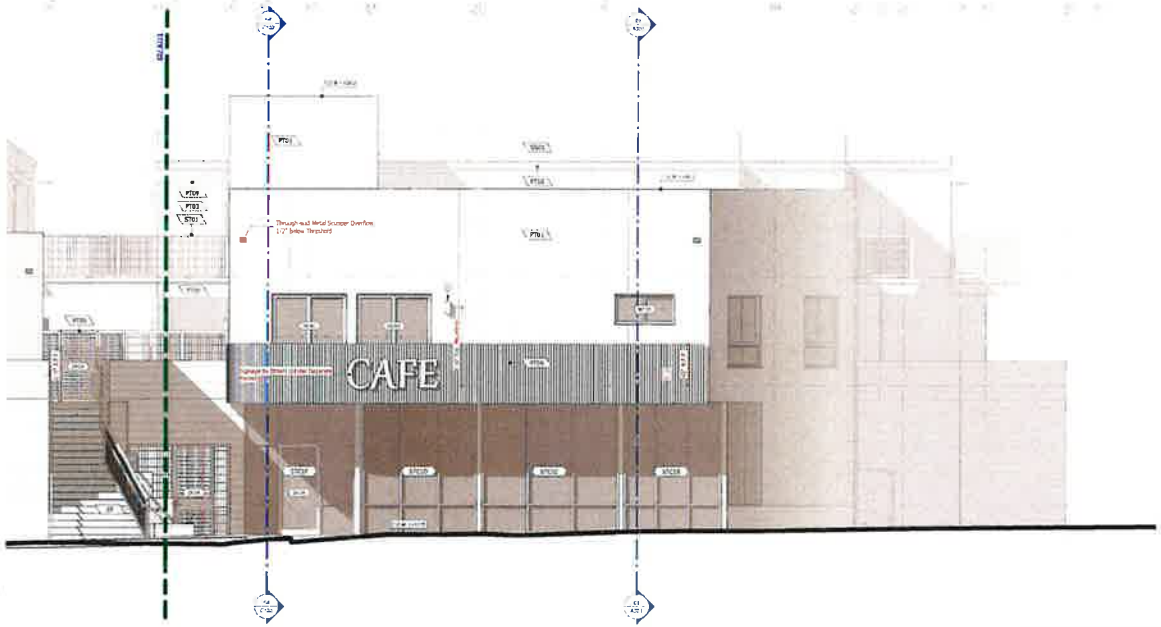
A202

OVERALL COURTYARD ELEVATIONS

SCALE: 1/8" = 1'-0"



NORTH ELEVATION (CARPINTERIA AVE.) EAST 02
1/4" = 1'-0"



NORTH ELEVATION (CARPINTERIA AVE.) WEST 01
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

Key	Manufacturer	Model or Color	Comments
Cast in Place Concrete			
CC		Cast in Place Concrete, Sand Finish	
CC1		Cast in Place Concrete, Smooth Finish	
Ornamental			
ORN1	Decorative Railings	ZRM 6.0 Ornamental - Powder Coating	
Lighting			
LT1	Lumitec	Zin Series	Light Control Package for Photo Sensitivity
Painted Plaster			
PP1	Benjamin Moore	OC-41 White Dove - Satin Finish	
PP2	Benjamin Moore	OC-17 Swiss Coffee - Satin Finish	
PP3	Benjamin Moore	OC-45 Linen White - Satin Finish	
PP4	Benjamin Moore	OC-45 Linen White - Satin Finish	
PP5	Benjamin Moore	OC-45 Linen White - Satin Finish	
PP6	Dunn Edwards	DE 6375 Quiet Gray - Satin Finish	
PP7	Dunn Edwards	DE 6371 Light Fresh Air - Flat	
Accessories			
CG		Cast in Place Concrete	
Glazing - Lites			
GL1		Tempered Laminated Safety Glass, Clear 1/4"	
Panels			
PN1	Trex Decking	TRX Wheat Finish Decking	Sample Board with Fasten Section
Roofing			
RF1	Tamko Roofing	Heritage Pro Shake Dry Wood, Class A, 5.0 lb. Weight	Color: TRP Light Gray
RF2	Berridge	Clean Double Lock Zinc, 24ga, Mill Finish	
Siding			
SD1	Hardiboard	Cedar Shake Shingle	
Stone			
ST1	Cultured Stone	Ledge	Submit Samples for Architectural Review
Windows & Doors			
FD1	Clear Vision Doors	Fiberglass Door - Half Decorative - Unbreakable	
Wood Trim			
WT1	Hardiboard	Cedar Shake Shingle	

All Exposed Structural & Decorative Steel on this Project Shall be Initially Metalized with A Thermal Sprayed Zinc Coating For Barrier + Galvanic Protection Prior to Painting. This Process Shall be By Zincmation, Inc. Or Equal.

EXTERIOR LIGHTING SCHEDULE

Key	Manufacturer	Model	Type/Comments

DMHA
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805 845 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

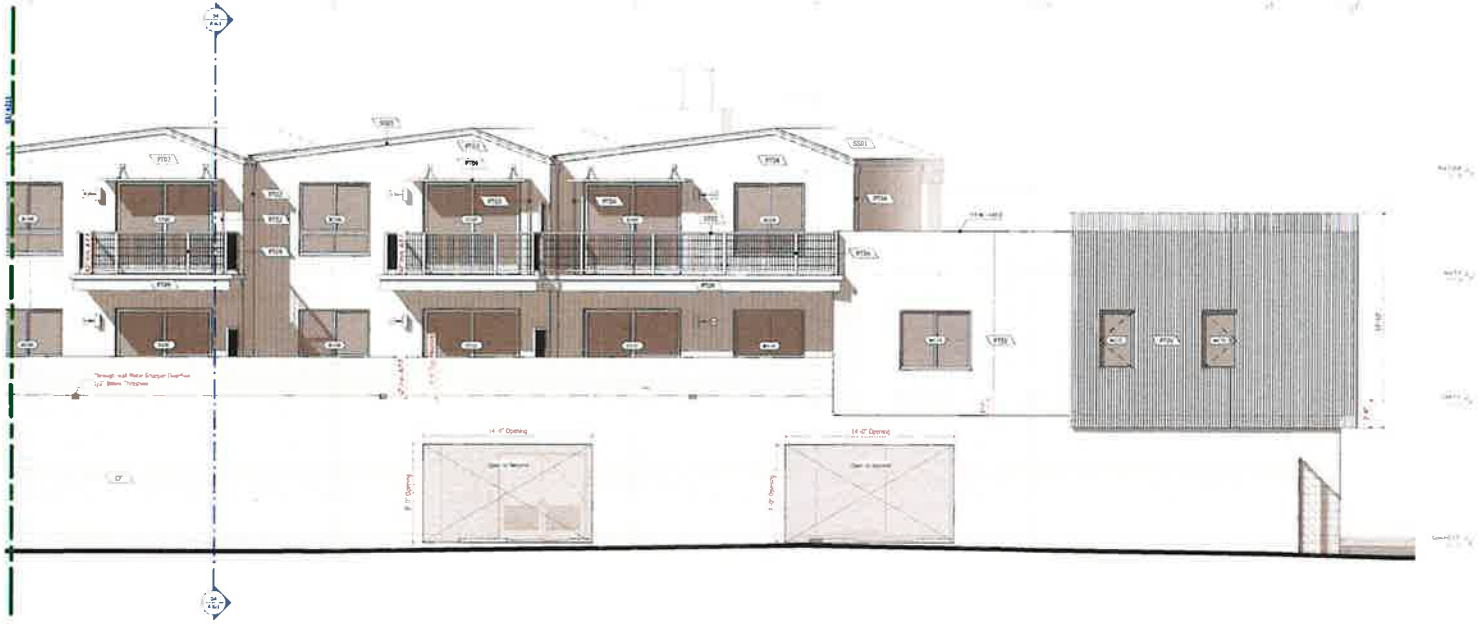
NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013
PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final ARB Submittal	07/29/2014

A211
EXTERIOR ELEVATIONS - NORTH

EAST ELEVATION (SOUTH) 02
1/4" = 1'-0"



EAST ELEVATION (NORTH) 01
1/4" = 1'-0"

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N. Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

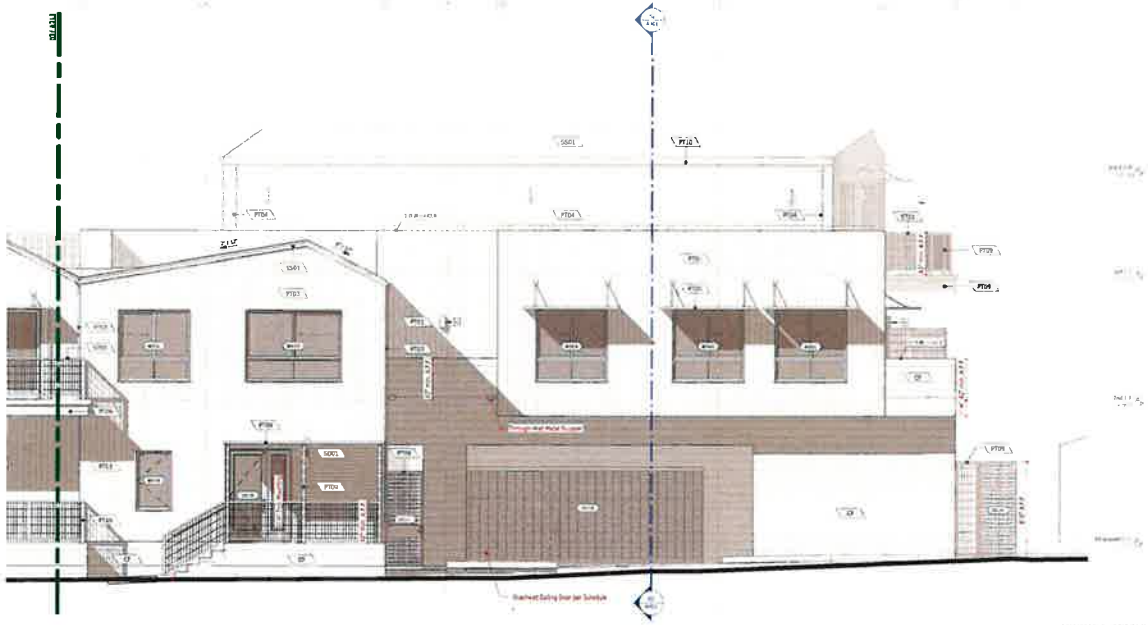
PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final ARB Submittal	01/26/2024

A212

EXTERIOR ELEVATIONS - EAST

SOUTH ELEVATION (9TH ST.) 02



SOUTH ELEVATION (9TH ST.) 01

EXTERIOR FINISH SCHEDULE

Key	Manufacturer	Model or Color	Comments
Cast in place Concrete			
CIP		Cast in Place Concrete, Sand Finish	
CIP		Cast in Place Concrete, Smooth Finish	
Metal Panel			
MP01	Alucobond Millennium	PVDF Gloss Metallic, Dark Silver	
Construction			
CT1	Trex	Dry Stone	Cut Lumber Package to Match Architrave
Exterior Paint			
PT01	Benjamin Moore	1000-40 AC Dune White, Flat Finish	
PT02	Benjamin Moore	2000-70 Carbonite Black, Satin Finish	
PT03	Benjamin Moore	2000-60 1122 Marlborough Blue, Satin Finish	
PT04	Benjamin Moore	2000-70 Charcoal Blue, Satin Finish	
PT05	Sherwin Williams	SW 7069 Iron Ore - Semi-Gloss	
PT06	Sherwin Williams	SW 6387 Light French Gray - LRV	
Plastering			
CIP		Cast in Place Concrete	
Masonry	Clay		
CMU		Textured gray concrete masonry units, Color TBD	
Plaster			
CMU	Lot Mesh	TK Plaster Finish Over Gray	Smooth Finish with Sponge Texture
Roofing			
RM1	Firestone	Firestone TPO Single Ply Roofing Membrane 0.060 White	Color TBD Light Gray
RM2	Sherwin	Sherwin Duration Acrylic Flat Coat, Light Gray	
Siding			
SD1	Hardiplank	Lap Siding Cedar	
Stone			
ST01	Clay	TBD	Central Antiquarian Architectural Stones
Stucco Trim			
ST1		Match Stone Manufacturer	
Windows & Doors			
PT10	Clearly Gorgeous	Painted Steel Door Manufacturer - Graphite	
Wood Trim			
WT1	Hardiplank	Lap Siding Cedar	

All Exposed Structural & Decorative Steel on this Project Shall be Initially Metallized with A Thermal Sprayed Zinc Coating For Barrier + Galvanic Protection Prior to Painting. This Process Shall be By Zincnation, Inc. Or Equal.

EXTERIOR LIGHTING SCHEDULE

Key	Manufacturer	Model	Type Comments
ID			

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 569 7777
1 N. Calle Cesar Chavez #202
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

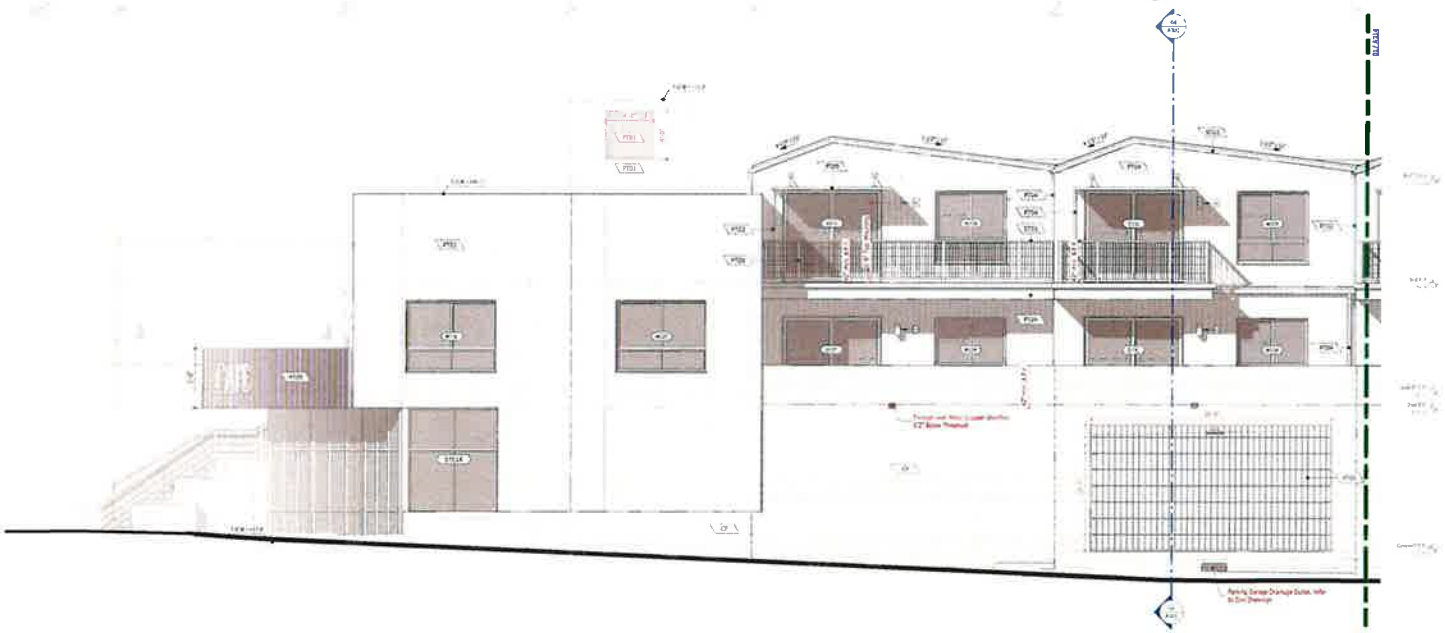
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

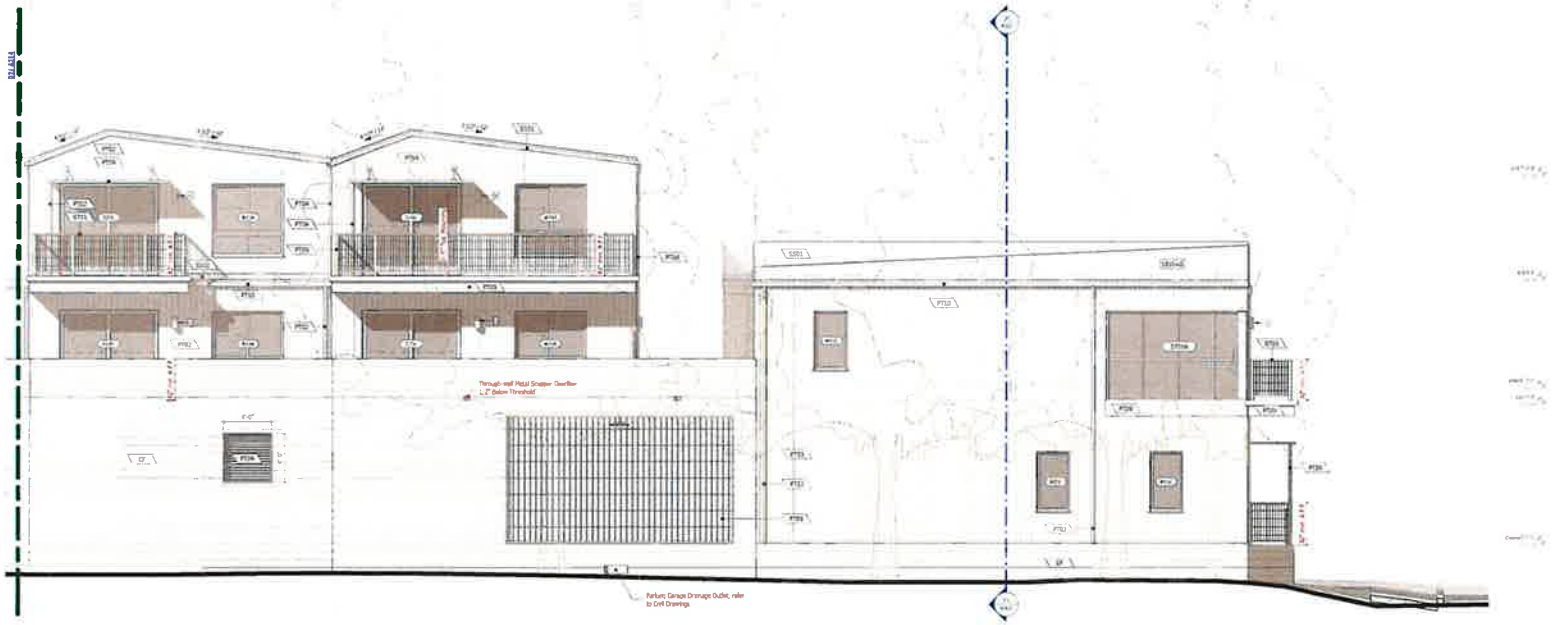
NO.	DESCRIPTION	DATE
	Final MM Submittal	07.24.2024

A213

EXTERIOR ELEVATIONS - SOUTH



WEST ELEVATION (CREEK) 02
3/4" = 1'-0"



WEST ELEVATION (CREEK) 01
3/4" = 1'-0"

DMHA
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805 965 7777
11 N. Calle Cesar Chavez #103
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final DRB Submittal	01/29/2024

A214

EXTERIOR ELEVATIONS - WEST

COURTYARD NORTH ELEVATION EAST 02
1/4" = 1'-0"

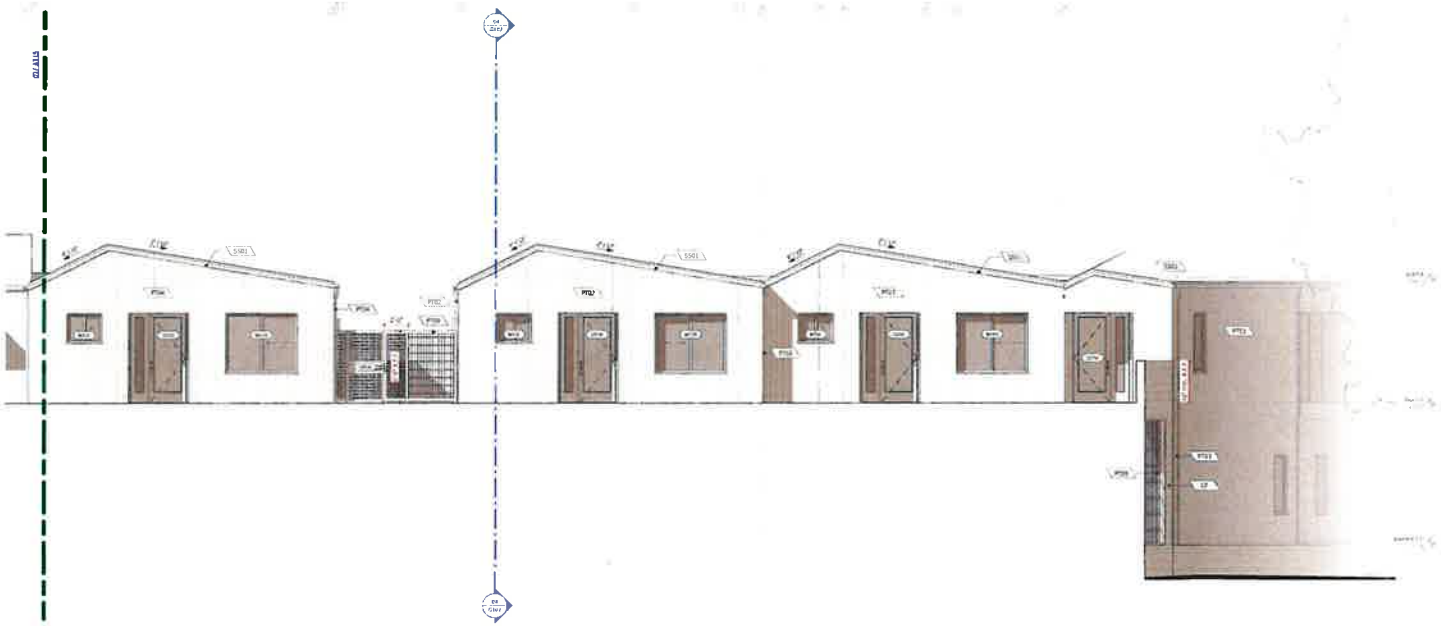
EXTERIOR FINISH SCHEDULE

Key	Manufacturer	Model or Color	Comments
Site to place Concrete			
[illegible]		Color to Match Concrete, Sand Finish	
[illegible]		Color to Match Concrete, Smooth Finish	
Site Lighting			
PT1	Sherwin Williams	SW 6148 Rugged Terra Cotta	
Landscape			
[illegible]		Dry Stack	Type Stone Per Sign In Plan Elevation
Exterior Paint			
P1C1	Benjamin Moore	OC-15, HC Classic White - Satin Finish	
P1C2	Benjamin Moore	OC-17, CC Cloud White - Satin Finish	
P1C3	Benjamin Moore	OC-41, CC Revolution Blue - Satin Finish	
P1C4	Benjamin Moore	OC-41, CC Revolution Blue - Satin Finish	
P1C5	Sherwin Williams	SW 7069 Iron Ore - Satin Finish	
P1C6	Sherwin Williams	SW 7069 Iron Ore - Satin Finish	
Foundation			
CF		Color to Match Concrete	
Masonry - CMU			
[illegible]		Textured - Color to Match Existing Stucco Finish	
Stucco			
STU	Lo Walton	Dry Process Finish Stucco Color	Smooth Finish with Square Pattern
Roofing			
[illegible]	[illegible]	[illegible]	[illegible]
[illegible]	[illegible]	Color Shown Is For Color Only, Level Color	
Flashing			
[illegible]	[illegible]	[illegible]	
Gutter			
[illegible]	[illegible]	Color	Submit Samples to Architect/Owner
Trellis Tube			
[illegible]	[illegible]	Match Exterior Finish	
Windows & Doors			
[illegible]	Sierra Pacific	Fiberglass Clad Aluminum - Graphite	
Metal Pipe			
[illegible]	[illegible]	Color Test Finish	

All Exposed Structural & Decorative Steel on this Project Shall be Initially Metalized with A Thermal Sprayed Zinc Coating For Barrier + Galvanic Protection Prior to Painting. This Process Shall be By Zincnation, Inc. Or Equal.

EXTERIOR LIGHTING SCHEDULE

Key	Manufacturer	Model	Type Comments
[illegible]			



COURTYARD NORTH ELEVATION WEST 01
1/4" = 1'-0"

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NO ICBO STUDY

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

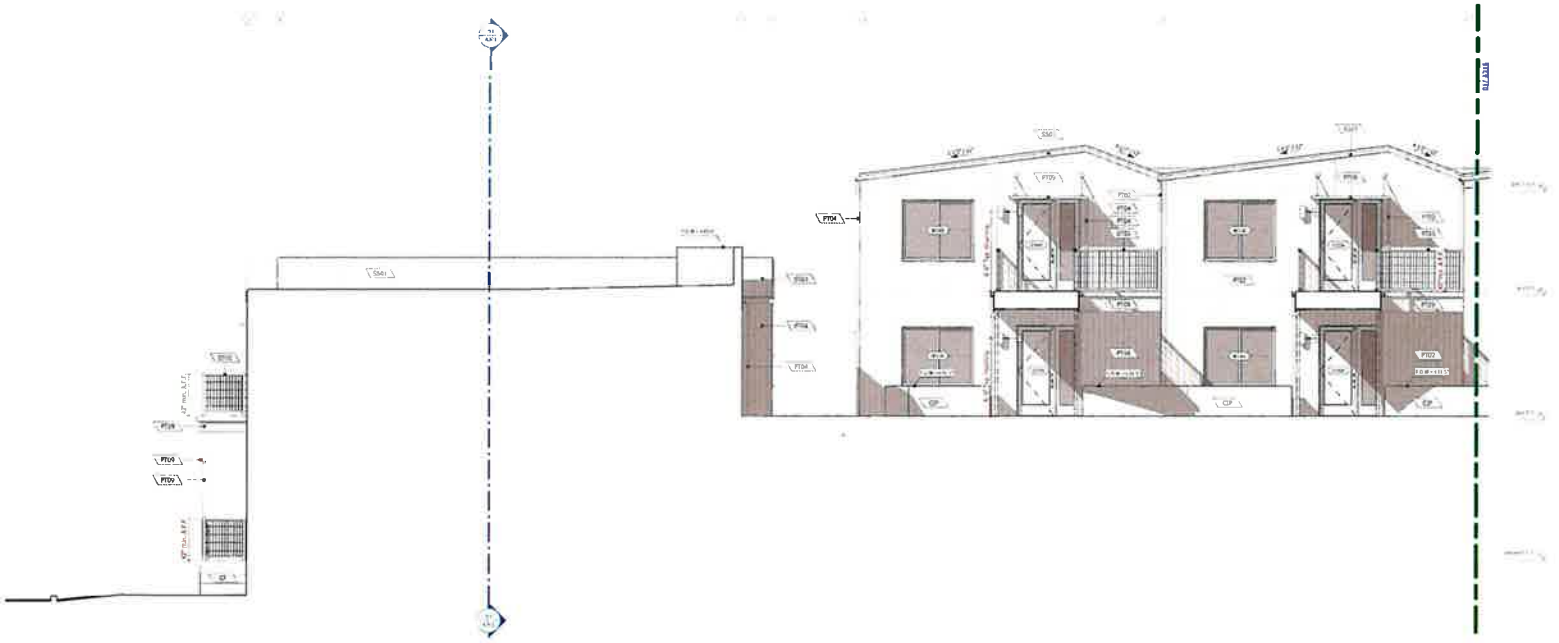
4745 Carpinteria Ave.
Carpinteria, CA 93013

PROJECT #: Project Number

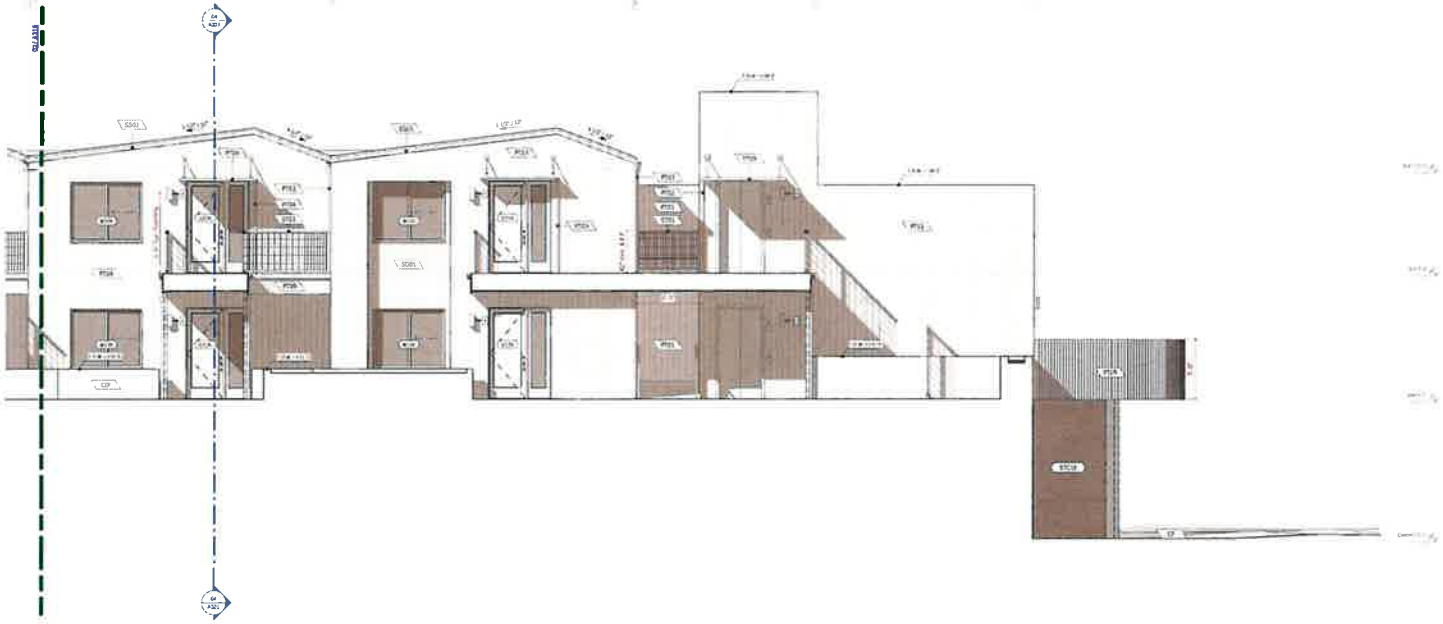
NO.	DESCRIPTION	DATE
	Final ARB Submittal	[illegible]

A215

COURTYARD ELEVATIONS - NORTH



COURTYARD EAST ELEVATION SOUTH 02



COURTYARD EAST ELEVATION NORTH 01
1/4" = 1'-0"

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ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

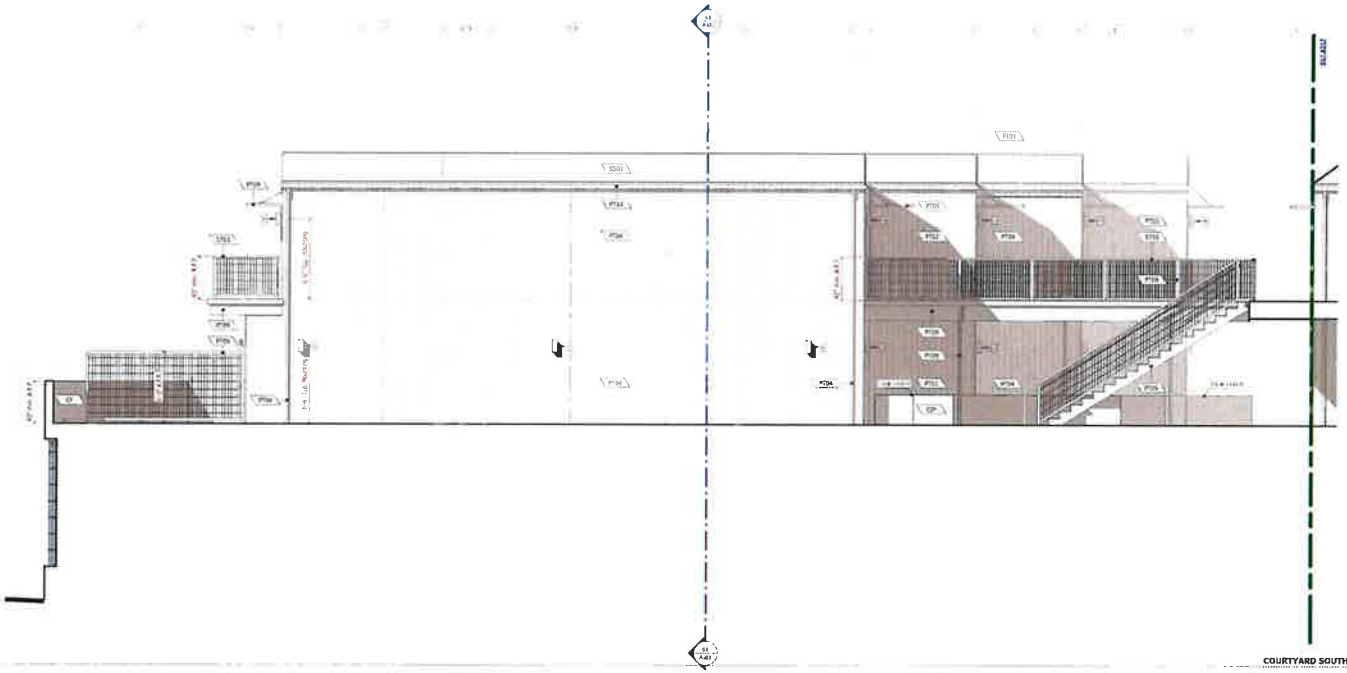
NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013
PROJECT #: Project Number

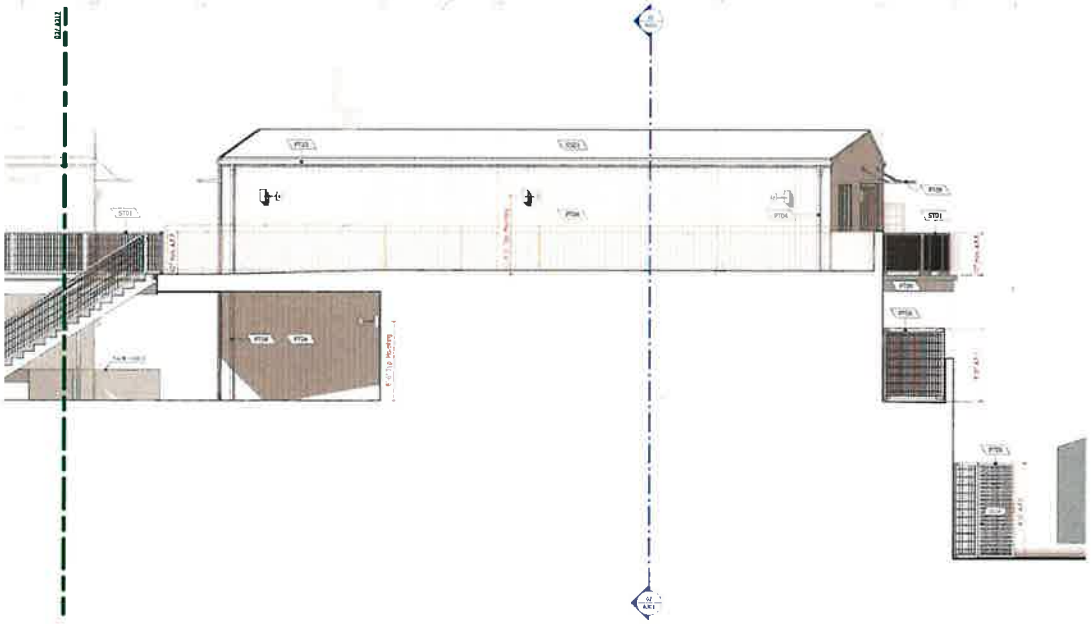
NO.	DESCRIPTION	DATE
	Final SPR Submittal	07/28/2024

A216

COURTYARD ELEVATIONS - EAST



COURTYARD SOUTH ELEVATION WEST 02
1/4" = 1'-0"



COURTYARD SOUTH ELEVATION EAST 01
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

Key	Manufacturer	Model or Color	Comments
Cast in place Concrete			
CIP		Cast in Place Concrete Smooth Finish	
Ornamental			
ORN-1	Classic Railing	TFM Line Sculpture - Heavy Gauge	
Masonry			
CMU-1	Grace	Tan Mortar	See Exterior Package for Block Mix Number
Exterior Paint			
PT01	Benjamin Moore	2080-60 - 60 Classic White - Satin Finish	
PT02	Benjamin Moore	2080-40 - 40 Classic White - Satin Finish	
PT03	Benjamin Moore	2080-30 - 30 Classic White - Satin Finish	
PT04	Benjamin Moore	2080-20 - 20 Classic White - Satin Finish	
PT05	Benjamin Moore	2080-10 - 10 Classic White - Satin Finish	
PT06	Kelly-Moore	2104-30 Gold Dust - Satin Finish	
PT07	Kelly-Moore	2104-20 Light Gold Leaf - Satin	
Insulation			
ISO		Cavity in Place Insulation	
Masonry - CMU			
CMU		Standard Gray Medium Weight Units - Color TBD	
Plaster			
PL01	Sto Stucco	TBD Western Finish Stucco Finish	Smooth Trowel with Square Stucco
Roofing			
R-01	Sarnafil	Sarnafil TS 77-22 Light Gray R-Value 30	Color TBD - Light Gray
R-02	Sarnafil	Sarnafil Sheet Metal Flashing Color Matched to Roofing	
Siding			
SD-1	Hardiplank	Lap Siding	
Stone			
STO-1	TBD	TBD	Submit Samples for Approval Prior Review
Stucco Trim			
ST-1	Sto Stucco	Sto Stucco Coordinate	
Windows & Doors			
FD01	Clerestory Aluminum	Standard Light Gold Anodized - Graphite	
Metal Trim			
MT-1	Hardiplank	Lap Trim Siding	

All Exposed Structural & Decorative Steel on this Project Shall be Initially Metallized with a Thermal Sprayed Zinc Coating For Barrier + Galvanic Protection Prior to Painting. This Process Shall be By Zincnation, Inc. Or Equal

EXTERIOR LIGHTING SCHEDULE

Key	Manufacturer	Model	Type Comments

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NOT FOR CONSTRUCTION

4745 Carpinteria Ave. Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final BPA Submittal	07/29/2021

A217

COURTYARD ELEVATIONS - SOUTH

COURTYARD WEST ELEVATION NORTH 02

COURTYARD WEST ELEVATION SOUTH 01

EXTERIOR FINISH SCHEDULE

Key	Manufacturer	Model or Color	Comments
Cast in place Concrete			
CM		Cast in Place Concrete, Sand Finish	
CP		Cast in Place Concrete, Smooth Finish	
Ornamental			
FP-1	Decorative Millworks	Flat Panel Supports - Metal Gallery	
Construction			
C-1	Dow	Tyvek	Use Tyvek Package in Place of Insulation
Exterior Finish			
EF-1	Sherwin Williams	SW 6... 42 Quarter Spring - Satin Finish	
EF-2	Sherwin Williams	SW 6... Spring Pea Soup - Satin Finish	
EF-3	Sherwin Williams	SW 6... Northern Blue - Satin Finish	
EF-4	Sherwin Williams	SW 6... 11 Rockport Blue - Satin Finish	
EF-5	Sherwin Williams	SW 6... 11 Rockport Blue - Satin Finish	
EF-6	Sherwin Williams	SW 6... Gray Screen - Satin Finish	
Foundation			
F-1		Cast in Place Concrete	
Masonry - CMU			
CMU		Architectural Concrete Masonry Unit, Color TBD	
Metals			
MT-1	Sun Valley	1/4 Mesh Solid Wire Glass	Smooth Guard with Powder Coating
Roofing			
R-1	Hardscape	Cool Roof Cool Roof Cool Roof Cool Roof	Cool Roof Cool Roof
R-2	Sherwin	Cool Shadow Cool Roof Cool Roof Cool Roof	
Siding			
S-1	Tuf-Nite	Cool Roof Cool Roof	
Stucco			
ST-1		TBD	Stucco Integral to Concrete Mixture
Stucco & Trim			
ST-2	Dryvit Systems	Dryvit Sand Finish Stucco - Organic	
Wood - TBD			
W-1		Cool Roof Cool Roof	

All Exposed Structural & Decorative Steel on this Project Shall be Initially Metalized with A Thermal Sprayed Zinc Coating For Barrier + Galvanic Protection Prior to Painting. This Process Shall be By Zincnation, Inc. Or Equal.

EXTERIOR LIGHTING SCHEDULE

Key	Manufacturer	Model	Type Comments
E			

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4745 Carpinteria Ave.
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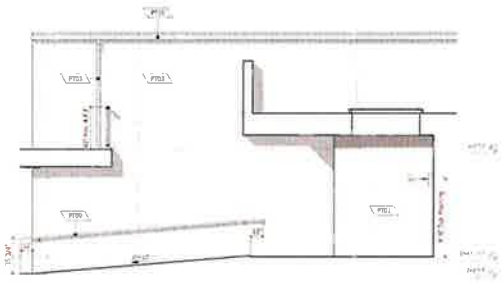
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final AHB Submittal	07/29/2024

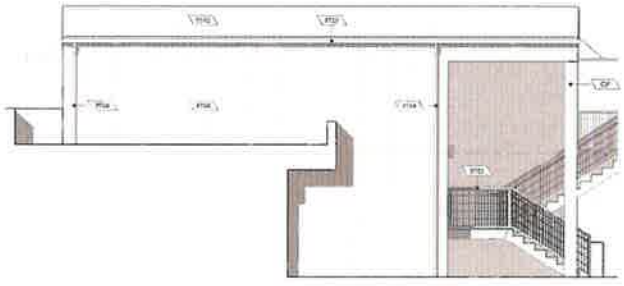
A218

COURTYARD ELEVATIONS - WEST



COMMERCIAL WEST CORRIDOR ELEVATION NORTH 06
1/4" = 1'-0"

COMMERCIAL WEST CORRIDOR ELEVATION SOUTH 04
1/4" = 1'-0"



COMMERCIAL EAST CORRIDOR ELEVATION NORTH 02
1/4" = 1'-0"

COMMERCIAL WEST CORRIDOR ELEVATION WEST 05
1/4" = 1'-0"

COMMERCIAL WEST CORRIDOR ELEVATION EAST 03
1/4" = 1'-0"

COMMERCIAL EAST CORRIDOR ELEVATION SOUTH 01
1/4" = 1'-0"

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4745 Carpinteria Ave.
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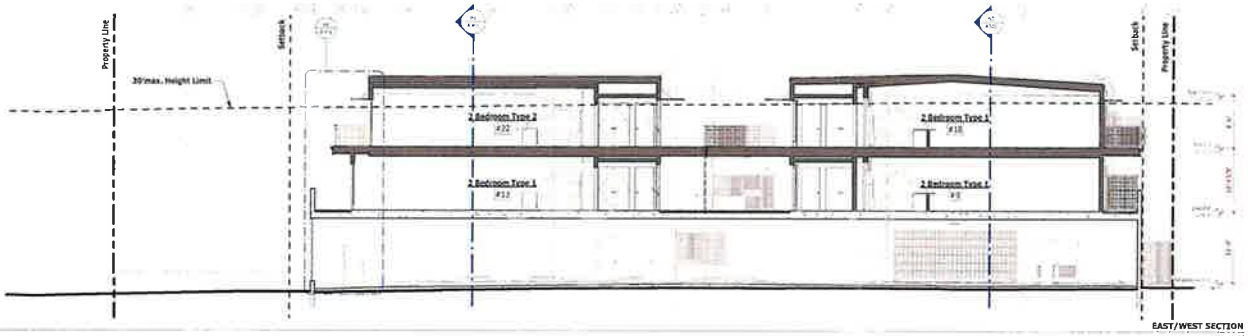
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final MM Submittal	01/24/2020

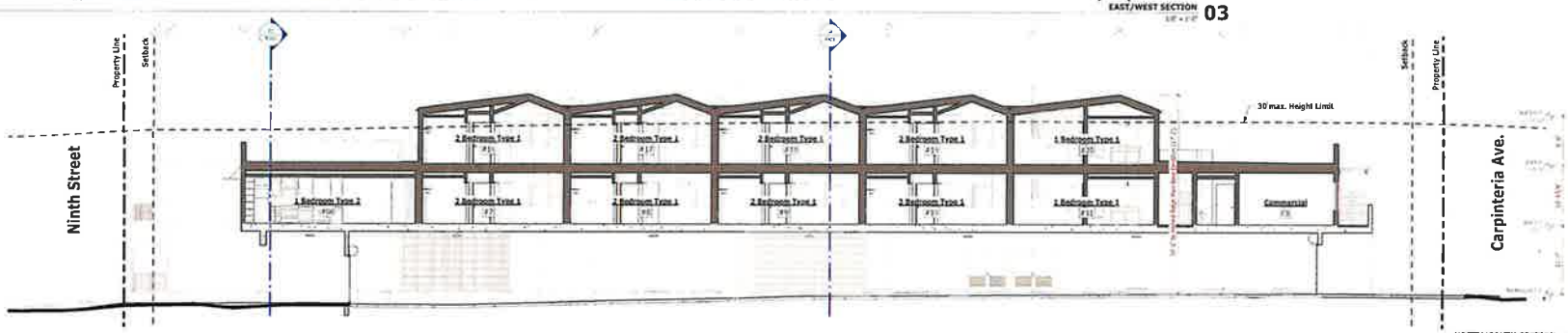
A219

CORRIDOR ELEVATIONS

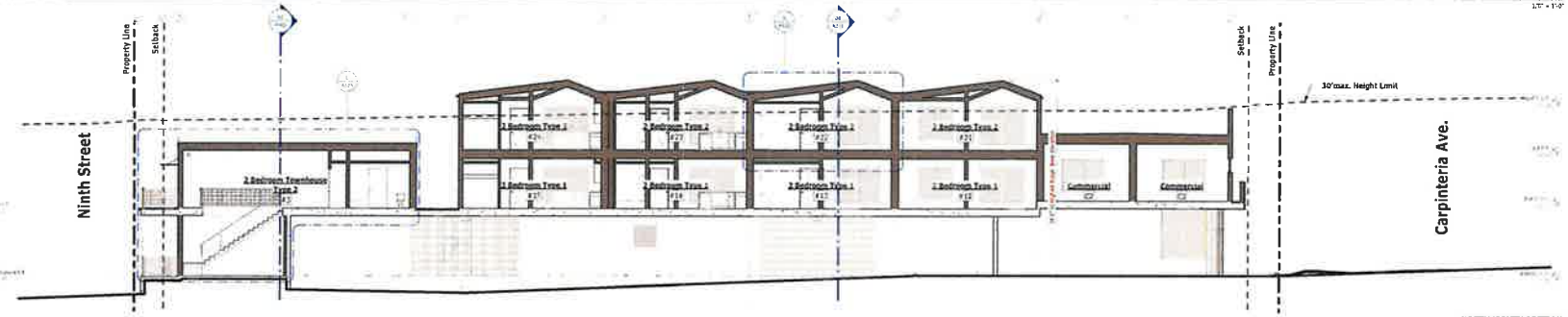


EAST/WEST SECTION 04

EAST/WEST SECTION 03



NORTH/SOUTH SECTION 02



NORTH/SOUTH SECTION 01

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Santa Barbara, CA 93102

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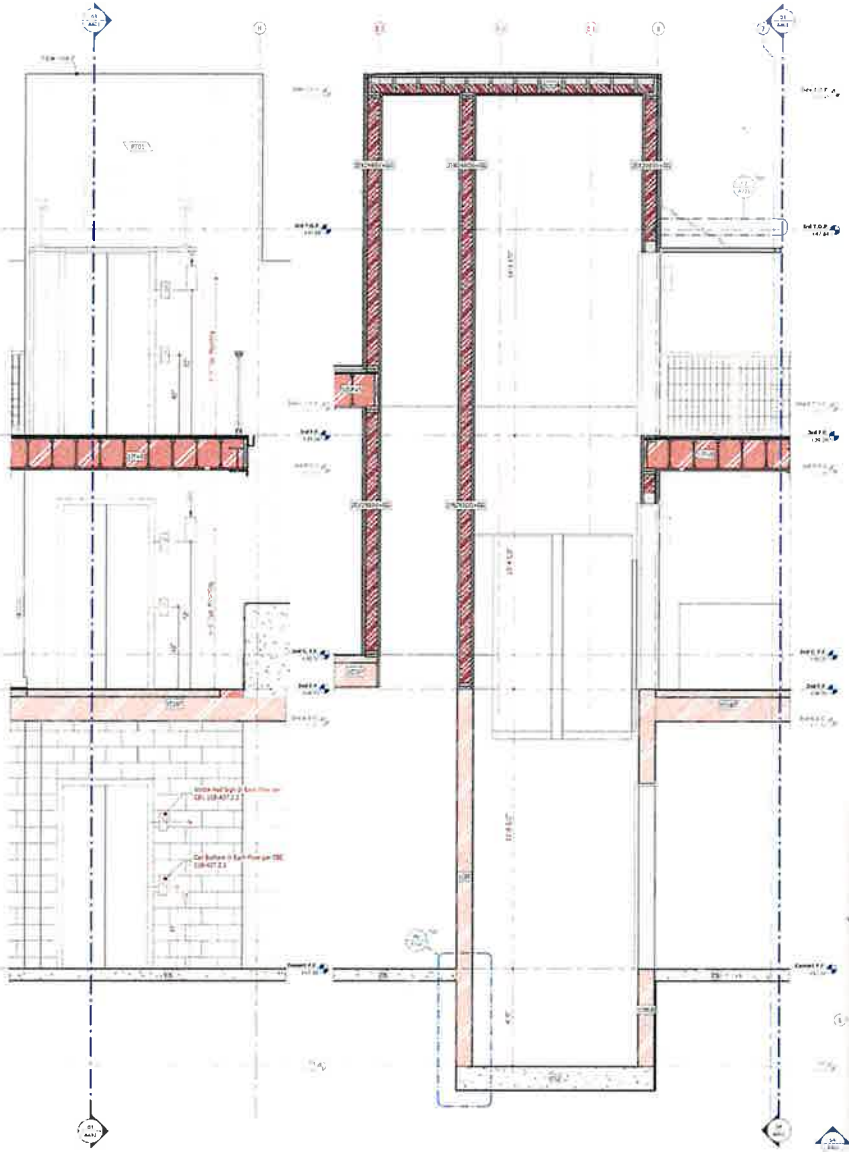
4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave.
Carpinteria, CA 93013

PROJECT #: Project Number

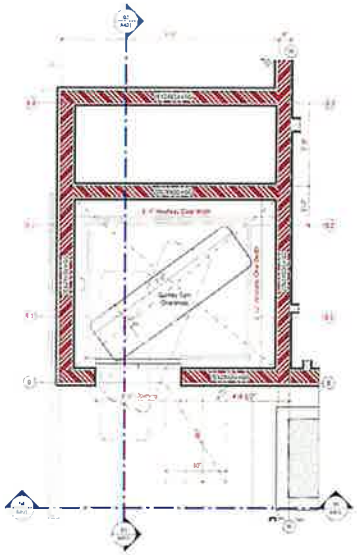
NO.	DESCRIPTION	DATE
	Development Application Submittal	[illegible]
	Pre-APR Submittal	[illegible]

A301

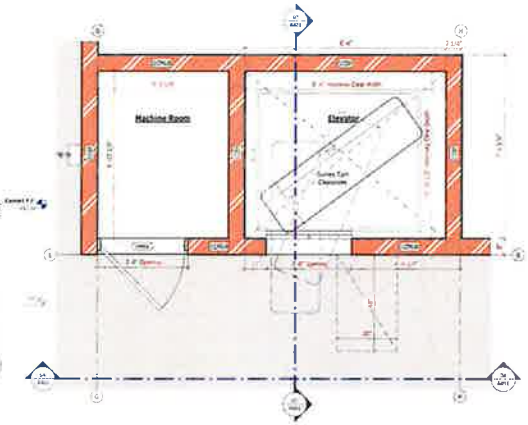
OVERALL BUILDING SECTIONS



ELEVATION 04
1/2" = 1'-0"



TYPICAL FLOOR PLAN 02
1/2" = 1'-0"



SECTION 03
1/2" = 1'-0"

1ST FLOOR PLAN 01
1/2" = 1'-0"

GENERAL ELEVATOR NOTES

1. Elevators provided in covered multifamily buildings shall be accessible and comply with Chapter 11A, and Title 24, Part 7, of the California Code of Regulations. Private elevators serving only one dwelling unit need not be accessible per CBC 1124A.1
2. The elevator shall be automatic and be provided with a self-leveling feature that will automatically bring the car to the floor landing within a tolerance of plus or minus ½ ". The clearance between the car platform sill and the edge of the hoistway landing shall be no greater than 1 and ¼ inch per CBC 1124A.10
3. Elevators shall comply with CBC 1124.4.2 and ANSI A117.1. They shall be passenger elevators as specified in ASME A17.1 and operate automatically
4. Call buttons shall be operable with one hand and not require tight grasping, pinching or twisting of the wrist. The force required to operate controls is 5 lbs. max.
5. Call buttons and keypads shall be located within one of the reach ranges, measured to the centerline of the highest operable part.
6. Call buttons are to have square shoulders, be 3/4" min. in the smallest dimension and raised 1/8 inches plus or minus 1/32 inches above the surrounding surface. The buttons shall be activated by a mechanical motion that is detectable
7. The clear floor or ground space required at elevator call buttons must remain free of obstructions (including pathways, stands and other decorative elements that prevent wheelchair users and others from reaching the buttons. The height of the clear floor area or ground space is considered to be a volume from the floor to 80 inches above the floor
8. Call buttons shall have visual signals that will activate when each call is registered and will extinguish when each call is answered
9. Call buttons are to be internally illuminated with a white light
10. Elevator control buttons shall be configured, located and designed as required by CBC Section 1124A.3.3.1
11. Where keypads are provided, keypads are to be an standard telephone keypad arrangement
12. A visible and audible signal shall be provided at each hoistway entrance to indicate which car is answering a call and the car's direction of travel. Where in-car signals are provided, they shall be visible from the floor area adjacent the hall call buttons.
13. Visible signal fixtures shall be centered at 72 inches min. above the finish floor or ground. The visible signal elements shall be a minimum 2 1/2" high by 2 1/2" wide. signals shall be visible from the floor area adjacent to the hall call button.
14. Audible signals shall sound once for the up direction and twice for the down, or shall have verbal announcements that indicate the direction of the elevator car travel. Audible signals shall have a frequency of 1500 hz. max. verbal announcements shall have a frequency of 300 hz min. and 3000 hz max. the audible signal and verbal announcements shall be 10 db min. above ambient, but shall not exceed 80 db. measured at the hall button.
15. Floor designation signs shall be provided on both jambs of elevator hoistway entrances in both tactile characters and braille
16. Raised characters shall be 2 inches high max.
17. A raised star, placed to the left of the floor designation, shall be provided on both jambs at the main entry level. The outside diameter of the star shall be 2 inches high and all points shall be equal length
18. Contracted Grade 2 braille shall be placed below the corresponding raised characters and the star. The braille translation of the star shall be "main". Applied plates are acceptable if they are permanently fixed to the jamb
19. Raised characters, including the star, shall be white on black background
20. Tactile characters on signs shall be located 48 inches min. above the finish floor or ground surface measured from the baseline of the lowest braille cells and 60 inches max. above the finish floor, measured from the baseline of the highest line of raised characters.
21. Elevator doors shall be horizontal sliding type, car doors and hoistway doors shall open automatically
22. Car controls, operable parts shall be operable with one hand and not require tight grasping, pinching or twisting of the wrist. The force required to operate controls is 5 lbs. max
23. Controls shall be located within one of the accessible reach ranges
24. Buttons are to have square shoulders, be 3/4" min. in the smallest dimension and raised 1/8 inches plus or minus 1/32 inches above the surrounding surface
25. Buttons shall be arranged with numbers in ascending order, when two or more columns are provided they shall read from left to right.
26. Buttons shall be illuminated and activated by a mechanical motion that is detectable
27. Car control buttons shall be identified by accessible raised characters or symbols, white on black background and contrast braille
28. Raised characters and braille designations shall be placed immediately to the left of the control button to which the designation applies
29. CAHC 120.6(7) mandatory requirements for elevators.
    1. The light power density for the luminaires inside the elevator cab shall be no greater than 0.6 watts per square foot.
    2. Elevator cab ventilation fans for cabs without space conditioning shall not exceed 0.33 watts per cfm as measured at max. speed
    3. When the elevator cab is empty and unoccupied with doors closed for over 15 minutes, the cab interior lighting and ventilation fans shall be switched off until elevator cab operation resumes.
    4. Lighting and ventilation shall remain operational in the event that the elevator cabin gets stuck when passengers are in the cabin
    5. Elevator lighting and ventilation control acceptance. before an occupancy permit is granted for elevators subject to 120.6(7), the following equipment and systems shall be certified as meeting the acceptance requirement for code compliance, as specified by the reference nonresidential appendix NA7. A certificate of acceptance shall be submitted to the enforcement agency that certifies that the equipment and systems meet the acceptance requirements specified in NA7.14
30. Doors closed by automatic means shall be provided with a door reopening device that will function to stop and reopen a car door and adjacent hoistway door in case of the car door is obstructed while closing and shall comply with the requirements of CBC Section 1124A.5
31. The maximum acceptable time for notification that a car is answering a call (lantern and audible signal) shall comply with Section 1124A.7.1 and shall not be less than 5 seconds
32. The maximum acceptable time for doors to remain fully open shall not be less than five seconds per CBC section 1124A.7.1
33. The car inside shall allow for the turning of a wheelchair. The minimum clear distance between wall or between wall and door excluding return panels, shall not be less than 80 inches by 54 inches for center opening doors and 68 inches by 54 inches for side-slide opening doors. Minimum distance from wall to return panel shall not be less than 51 inches, Per CBC section 1124A.3.2
34. Car control identification for the visually impaired shall be as required in CBC Section 1124A.3.3.2
35. A visual and audible signal shall be provided at each hoistway entrance indicating to the prospective passenger the car answering the call and its direction of travel as required by CBC Section 1124A.6
36. Passenger elevator shall have daynight marking conforming to CBC Section 1124A.6

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NO. C31021

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

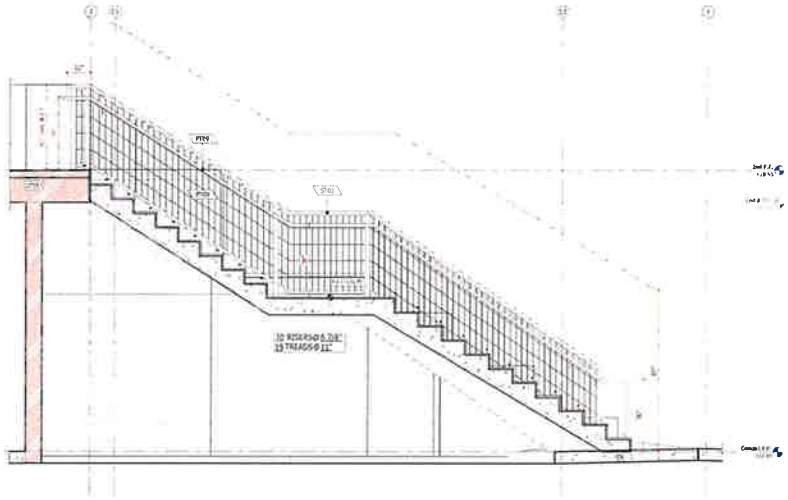
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

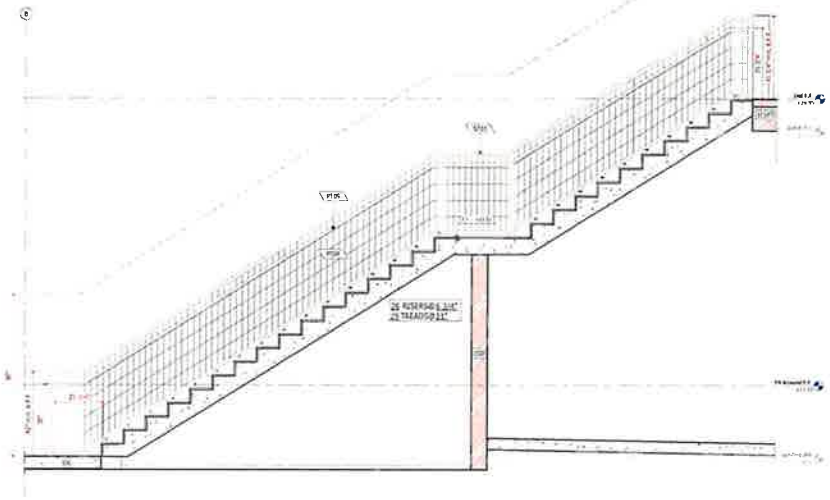
NO.	DESCRIPTION	DATE

A401

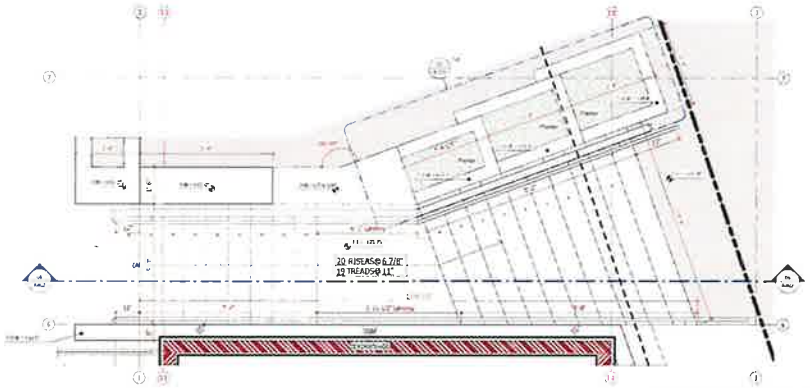
ENLARGED PLANS - ELEVATOR



STAIR NORTH - SECTION 06
1/2" = 1'-0"

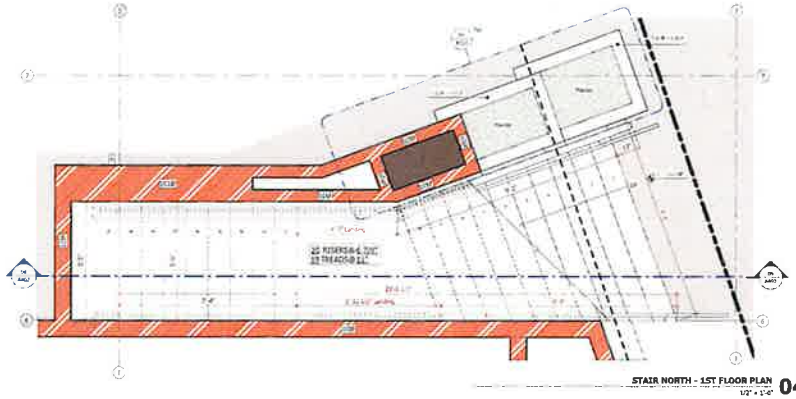


STAIR SOUTH - SECTION 03
1/2" = 1'-0"

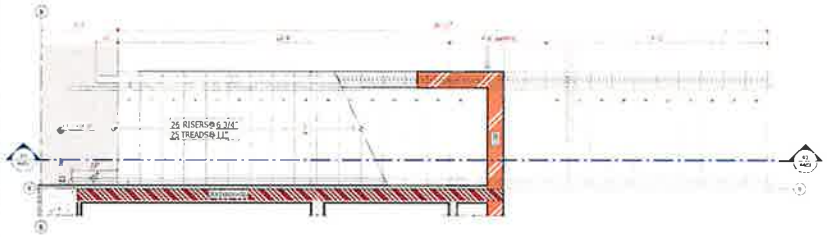


STAIR NORTH - 2ND FLOOR PLAN 05
1/2" = 1'-0"

STAIR SOUTH - 2ND FLOOR PLAN 02
1/2" = 1'-0"



STAIR NORTH - 1ST FLOOR PLAN 04
1/2" = 1'-0"



STAIR SOUTH - 1ST FLOOR PLAN 01
1/2" = 1'-0"

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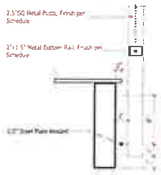
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

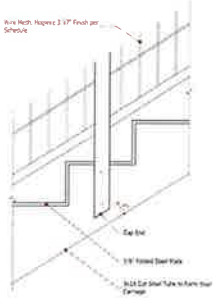
NO.	DESCRIPTION	DATE

A402

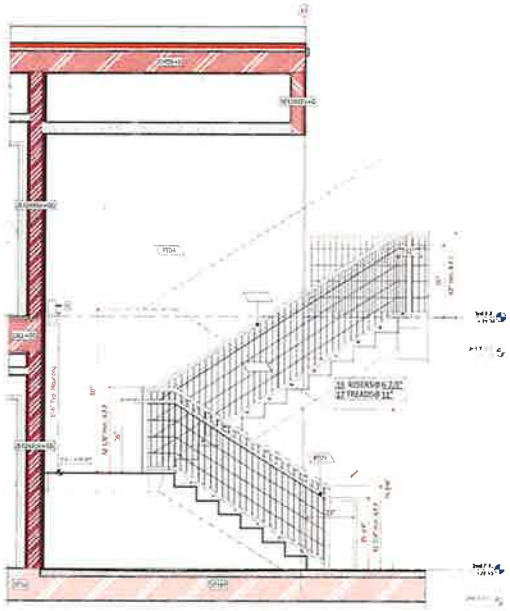
ENLARGED PLANS - STAIRS NORTH & SOUTH



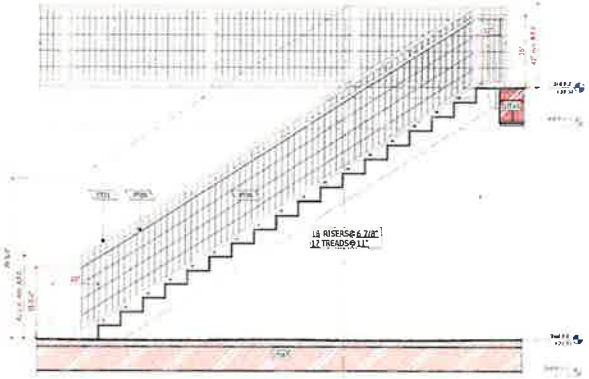
SECTION



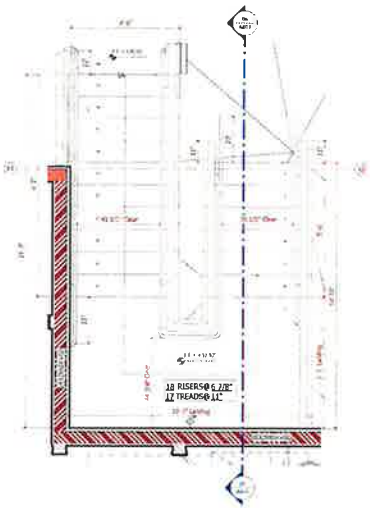
Stair Plate Detail 1 1/2" = 1'-0" **07**



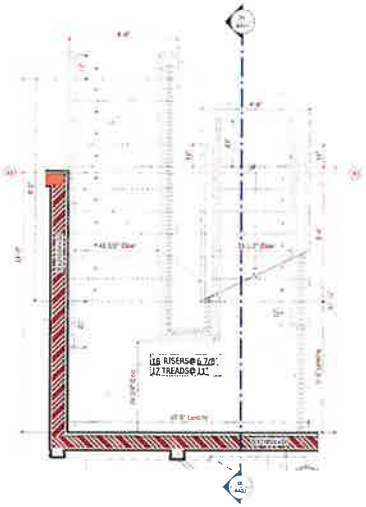
SECTION 1/2" = 1'-0" **06**



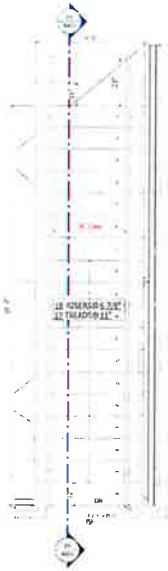
SECTION 1/2" = 1'-0" **03**



3RD FLOOR PLAN 1/2" = 1'-0" **05**



2ND FLOOR PLAN 1/2" = 1'-0" **04**



3RD FLOOR PLAN 1/2" = 1'-0" **02**

2ND FLOOR PLAN 1/2" = 1'-0" **01**

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4745 Carpinteria Ave.
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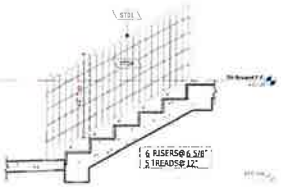
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE

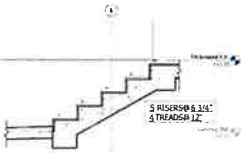
A403

ENLARGED PLANS - COURTYARD STAIRS



SECTION 10
1/2" = 1'-0"

FLOOR PLAN 09
1/2" = 1'-0"



SECTION 08
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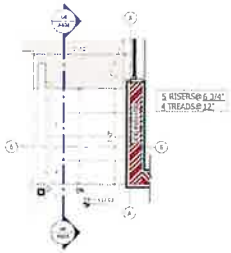
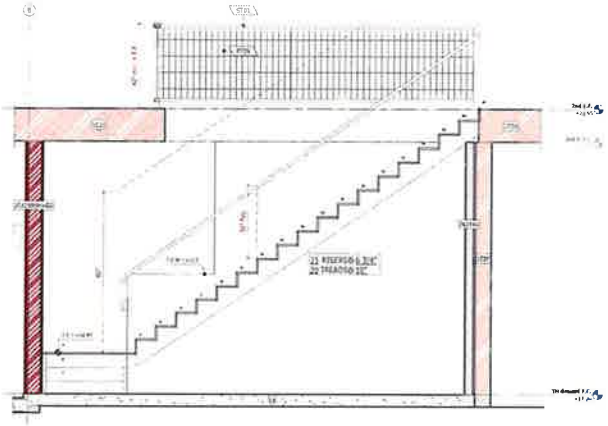


FLOOR PLAN 07
1/2" = 1'-0"



SECTION 06
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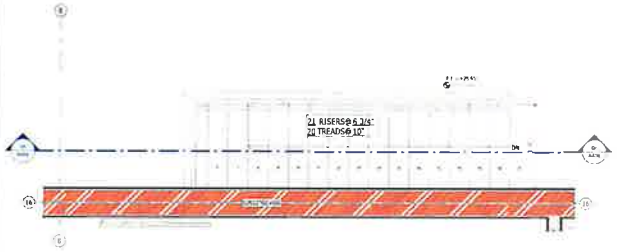
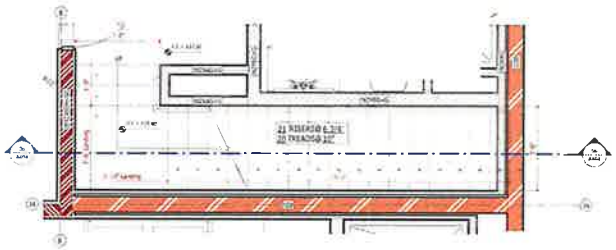
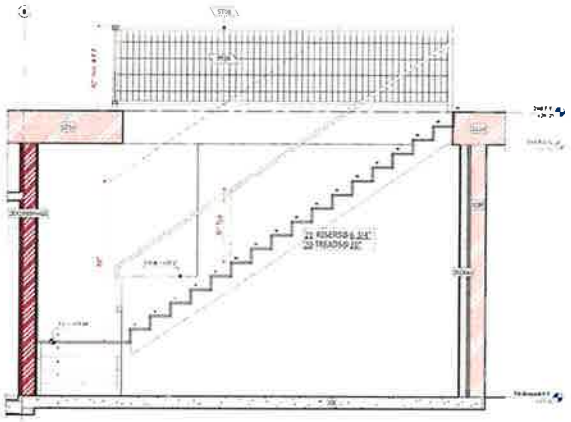


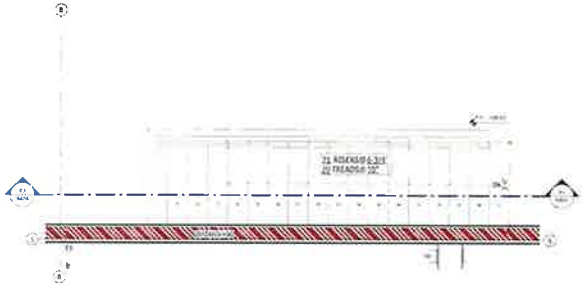
2ND FLOOR PLAN 05
1/2" = 1'-0"



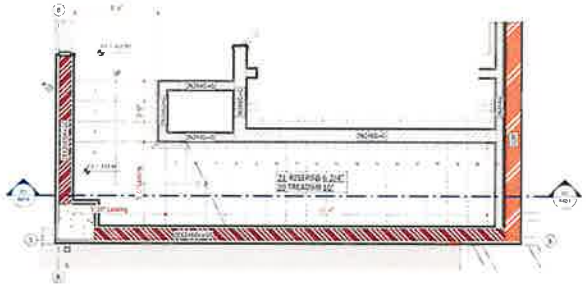
1ST FLOOR PLAN 04
1/2" = 1'-0"



SECTION 03
1/2" = 1'-0"



2ND FLOOR PLAN 02
1/2" = 1'-0"



1ST FLOOR PLAN 01
1/2" = 1'-0"

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ARCHITECTURE + INTERIOR DESIGN
805 963 7777
11 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NO. C 31121

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

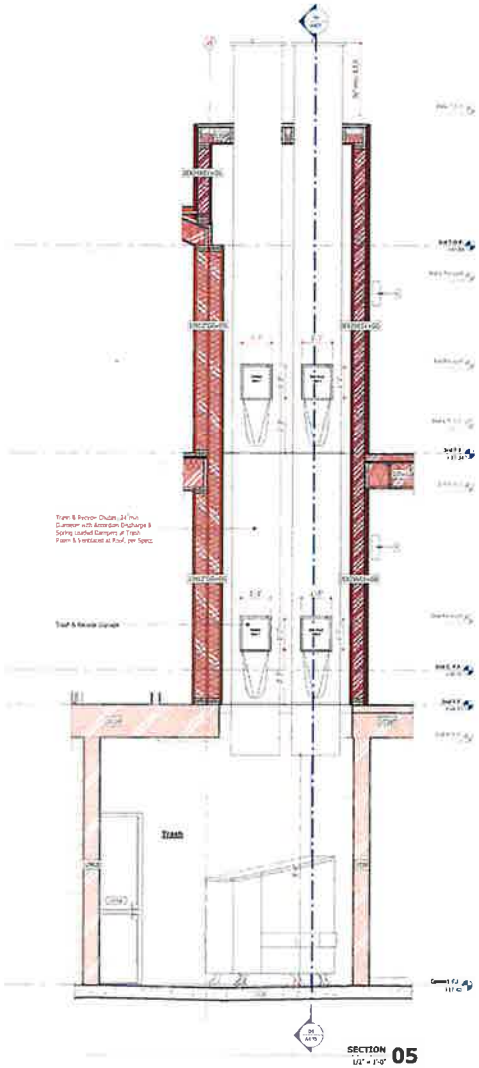
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

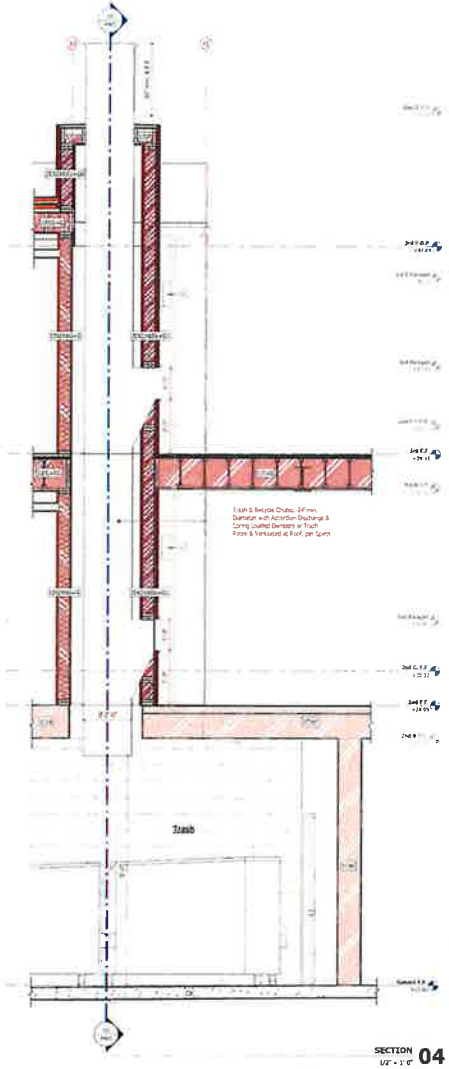
NO.	DESCRIPTION	DATE

A404

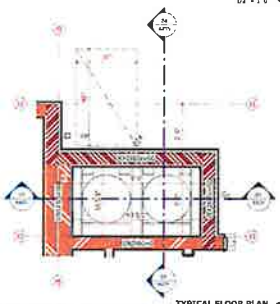
ENLARGED PLANS - TOWNHOUSE STAIRS



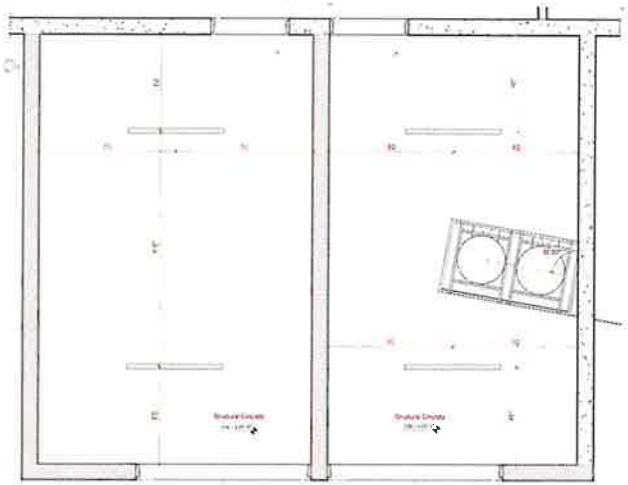
SECTION 05
1/4" = 1'-0"



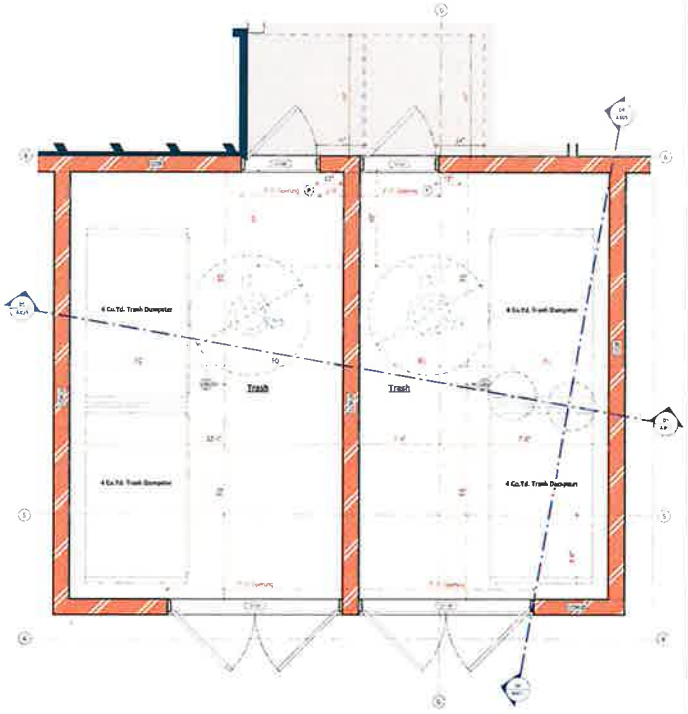
SECTION 04
1/4" = 1'-0"



TYPICAL FLOOR PLAN 03
1/4" = 1'-0"



FIRST FLOOR REFLECTED CEILING PLAN 02
1/4" = 1'-0"



1ST FLOOR PLAN 01
1/4" = 1'-0"

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Santa Barbara, CA 93102

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave.
Carpinteria, CA 93013

PROJECT #: Project Number

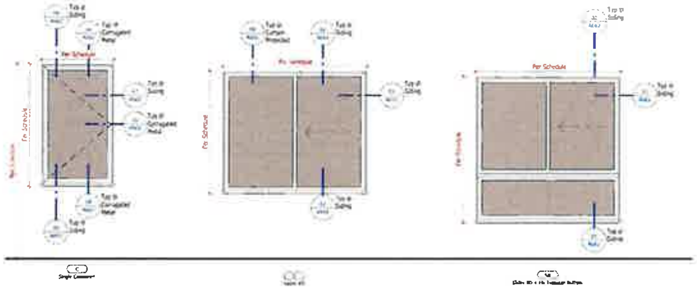
NO.	DESCRIPTION	DATE

A405

ENLARGED PLANS - TRASH CHUTE

WINDOW SCHEDULE

NUM.	TYPE	DESCRIPTION	MFR.	SIZE	HEAD HEIGHT	SAFETY G	REQ EGRESS	MAT.	FIN.	COLOR EX.	COLOR IN.	COMMENTS
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]



WINDOW ELEVATIONS 01
1/2" = 1'-0"

GENERAL DOOR & WINDOW NOTES

1. All doors and windows to be installed & waterproofed per manufacturer's recommendations. Where a discrepancy exists notify the architect immediately.
2. Dimensions shown are nominal - window vendor shall be responsible for field verifying all opening sizes & general contractor shall be responsible for providing the necessary rough opening for proper setting & shimming of doors & windows. Header heights are as noted.

SCHEDULE ABBREVIATIONS

AL =	ALUMINUM	VGDF =	VERTICAL GRAIN DOUG FIR
BF =	BI-FOLD	P =	PAINT
CL =	CLOSET	PH =	PANIC HARDWARE
GL =	GLASS	PP =	PAIP
HCW =	HOLLOW CORE WOOD	PF =	PRE-FINISHED
HM =	HOLLOW METAL	RM =	REMOVABLE MULLION
CF =	CLEAR FINISH	SCW =	SOLID CORE WOOD
CP =	COPPER	STL =	STEEL
FA =	FACTORY	T =	TEMPERED
FX =	FIXED	TR =	TERRACE
MANUF =	MANUFACTURED	WD =	WOOD
BRCH =	BIRCH FINISH	SS =	SMOKE SEAL
CLRAN =	CLEAR ANODIZED	§ =	SECURITY PROVISIONS APPLY

DOOR NOTES

1. Refer to drawings for swing of doors.
2. All door glazing to be dual pane low E clear (U-0.57/SHGC=0.39 - Res. U=0.3/SHGC=0.23)
3. Both panes tempered where safety glazing called out on plans.
4. Field verify all conditions for placement, size & details.
5. Per Section 2406, all glazing installed in hazardous locations to be safety glass.
6. Undercut door for minimum clearance above floor finish.
7. Provide door schedule & hardware specifications for architect's approval prior to installation.
8. Field verify all door dimension rough openings. Verify dimensions with head, jamb, sill & details.

D ### #

Indicates Room # or Space — Indicates Sequence

WINDOW NOTES

1. Refer to schedule for window dimensions.
2. All window glazing to be dual pane low E clear (U-0.57/SHGC=0.39 - Res. U=0.3/SHGC=0.23)
3. Both panes tempered where safety glazing called out on Plans.
4. Per Section 2406 all glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position & where the bottom exposed edge of the glazing is less than 60 inches above the walking surface shall be tempered. Per 2406.4.3 glazing in an individual fixed or operable panel that meets all of the following conditions shall be tempered:
   a. The exposed area of an individual pane is greater than 9 square feet and
   b. The bottom edge of the glazing is less than 18" above the finished floor level and
   c. One or more walking surface(s) are within 36", measured horizontally & in a straight line, of the plane of the glazing
5. Per Section 2406, all glazing installed in hazardous locations shall be safety glass.
6. Field verify all window dimension rough openings. Verify dimensions with head, jamb, & sill details.
7. Windows required to comply with accessible requirements as identified in the schedule are to meet 11B-309 requirements for operable parts within reach ranges.
8. Contractor to verify wall thickness & coordinate jamb width accordingly.

W ### #

Indicates Room # or Space — Indicates Sequence

DOOR HARDWARE NOTES

1. The general contractor shall provide & install required [illegible] as shown on architect's drawings, U.N.O.
2. The general contractor shall provide & install doors as specified on architect's drawings, U.N.O.
3. [illegible]
4. [illegible]
5. All hardware applied to metal doors or jambs shall be made to template & shall be secured by machine screws.
6. [illegible]
7. Contractor shall furnish standard strike plates with extended lips where required to protect trim from being marred or damaged by the latch bolt.
8. Contractor shall provide dust covers at all strike plates.
9. All fasteners shall match the hardware material and finish.
10. The attached hardware schedule is intended to cover all doors in the project & establish a type and standard of quality. It is the responsibility of the contractor to furnish a complete and operational system of door finish hardware items, encompassing all openings within the project area.
11. Door stops of in swinging doors shall be of one-piece construction with the jamb or joined by rabbet to the jamb, U.N.O.
12. All pin type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have minimum 1/4"D steel jamb stud with 1/4" minimum protection unless the hinges are shaped to prevent removal of the door if the hinge pins are removed.
13. The strike plate for latches and the holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2 1/4" in length.
14. Refer to general notes & respective door schedule sheets for additional notes on doors, frames, and hardware.
15. Contractor shall furnish all hardware as required to meet code and functional intentions and requirements. The following outline hardware specification is provided as a basis for a complete subcontractor submittal. Hardware submittal shall be subject to architect's approval.
16. All hardware shall comply with CBSC Section 12-10-202(f) as adopted by the fire marshal for all occupancies.
17. Door hardware shall comply with the (CBSC) section 12-10-202 subsection (1), as adopted by the state fire marshal for all occupancies (r & m occupancies with less than 10 occupants are exempt), "levers must be curved & shall return to within 1/2" of the door"
18. Door handles, pulls, latches, locks & other operating devices on doors required to be accessible shall not require tight grasping, tight pinching or twisting of the wrist to operate.
19. All closers require compliance with 5 seconds from 90 degrees to 12 degrees of latch per CBC 11B-404.2.8 & a maximum opening force of 5 lbs. Per 11B-404.2.7
20. All operable parts of all handles, pulls, latches, locks on doors and gates shall be within 34" minimum and 44" maximum above finish floors.

SAFETY GLAZING NOTES

Provide safety glazing in all fixed and operable panels of swinging, sliding, and bi-fold doors. Show specific locations of safety glazing in door schedule or on floor plans. (CBC R308.4)

Unless there is an intervening wall or other permanent barrier, provide safety glazing in sidelights or window adjacent to a door where the nearest vertical edge is within a 24 inch arc of the door in a closed position and whose bottom edge is less than 60 inches above the floor or walking surface. Show specific locations of safety glazing in door schedule or on floor plans. (CBC R308.4)

Unless protected by a horizontal protective railing at 34 inches to 38 inches above finish floor capable of withstanding a horizontal load of 50 pounds per linear foot, provide safety glazing at fixed or operable panels exceeding 9 square feet where the lower edge of the glazing is less than 18 inches above finish floor, the top edge is more than 36 inches above floor and there are one or more walking surfaces within 36 inches of the glazing. Show specific locations of safety glazing in door schedule or on floor plans. (CBC R308.4)

Provide safety glazing in glass railings & balusters. (CBC R308.4)

Provide safety glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers where the bottom edge of the glass is less than 60 inches from the floor and within 5 feet of the water's edge. Provide safety glazing in enclosures for or walls adjacent to swimming pools, hot tubs and spas where the bottom edge of glass is less than 60 inches from the floor and within 5 feet of the water's edge. (CBC R308.4)

Fixed or operable glass panels within 36 inches horizontally of the walking surface in stairways, ramps, and landings, where the bottom edge of the glass is less than 36 inches above the finish surface, is to be of safety glazing unless protected by a horizontal protective railing with a minimum of 1-½" cross sectional height located at 34 to 38 inches above finish floor capable of withstanding a horizontal load of 50 pounds per linear foot. Show specific locations of safety glazing in door schedule or on floor plans. (CBC R308.4)

Fixed or operable glass panels within 60 inches in any direction from the bottom tread of a stair, where the bottom edge of the glass is less than 36 inches above the finish surface, is to be of safety glazing unless protected by a guard or handrail complying with CBC R312 and the plane of glass is more than 18 inches from the guard. (CBC R308.4)

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4745 Carpinteria Ave. Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

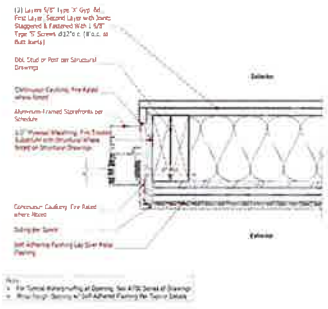
PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final ARB Submittal	07.29.2019

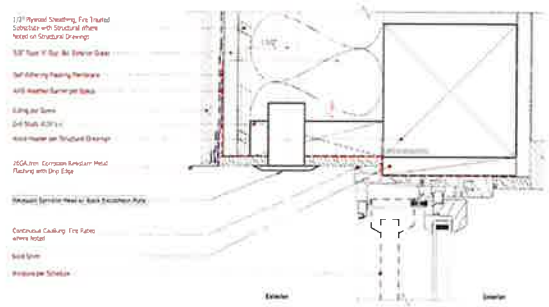
A601

WINDOW SCHEDULE

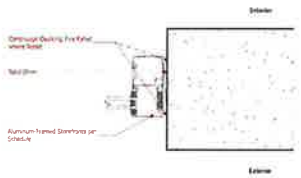
NOT FOR CONSTRUCTION



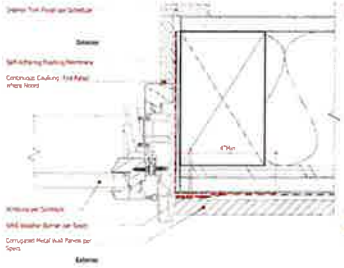
TYP. STOREFRONT JAMB @ SIDING WALL 14



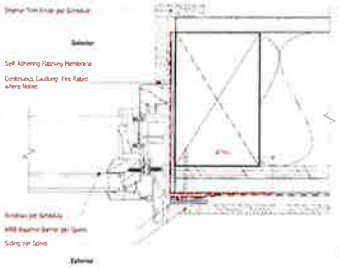
WATER CURTAIN DETAIL @ OPENING 04



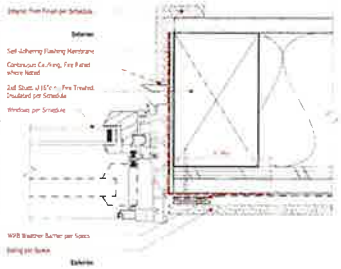
TYP. STOREFRONT JAMB @ CONCRETE WALL 13



TYP. CASEMENT WINDOW JAMB @ CORRUGATED METAL 10

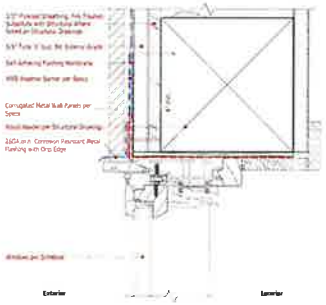


TYP. CASEMENT WINDOW JAMB @ SIDING 07

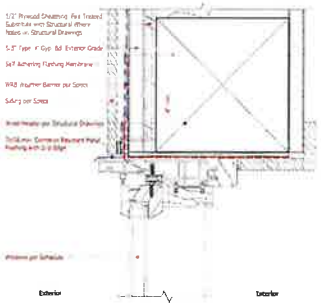


TYP. SLIDING WINDOW JAMB @ SIDING 03

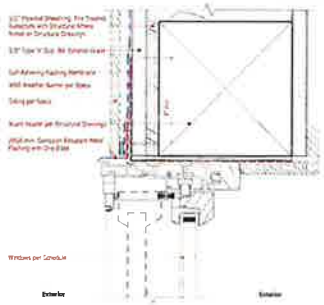
TYP. STOREFRONT HEAD @ CONCRETE FLOOR 12



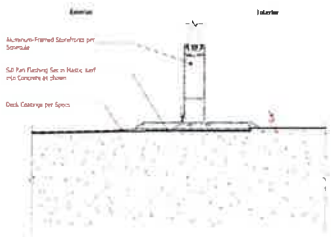
TYP. CASEMENT WINDOW HEAD @ CORRUGATED METAL 09



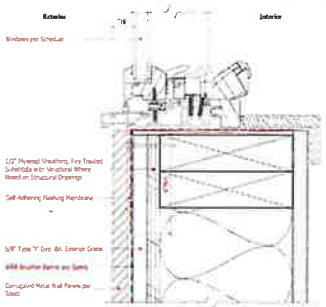
TYP. CASEMENT WINDOW HEAD @ SIDING 06



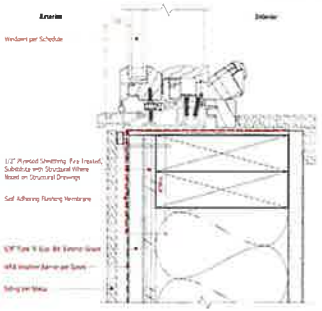
TYP. SLIDING WINDOW HEAD @ SIDING 02



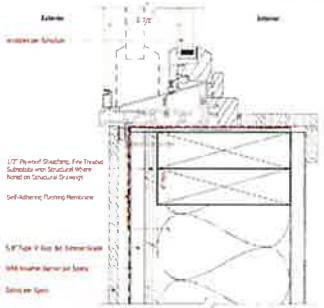
TYP. STOREFRONT THRESHOLD @ PODIUM 11



TYP. CASEMENT WINDOW SILL @ CORRUGATED METAL 08



TYP. CASEMENT WINDOW SILL @ SIDING 05



TYP. SLIDING WINDOW SILL @ SIDING 01

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NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

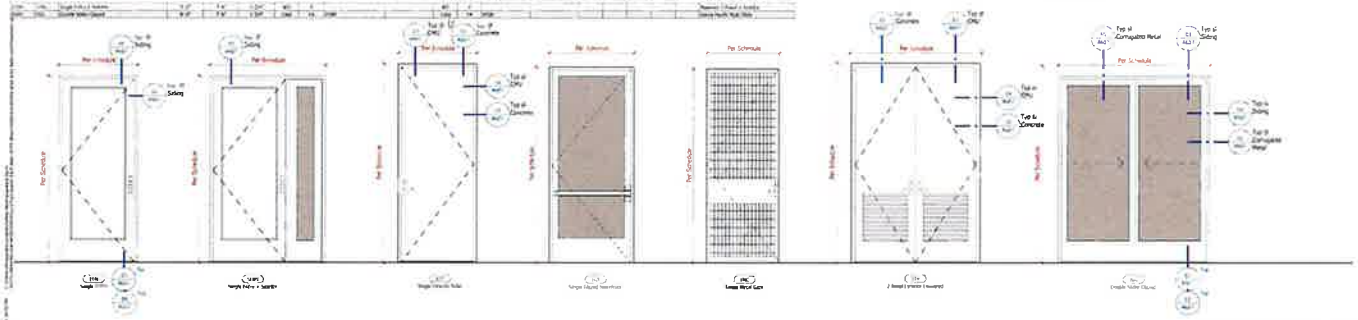
NO.	DESCRIPTION	DATE
	Final ARB Submittal	07/29/2014

A602

WINDOW DETAILS

DOOR SCHEDULE - EXTERIOR

					PANEL				FRAME											
NUM	TYPE	DESCRIPTION	WIDTH	HEIGHT	THK	MAT	FIN	COLOR EX.	COLOR IN.	MAT	FIN	COLOR EX.	COLOR IN.	HARDWARE	FIRE RATING	SAFETY G	ACTUAL	PANIC	COMMENTS
101A	1HR	1 Door Exterior	3'-0"	7'-0"	1 3/4"														
101B	1HR	1 Door Exterior	3'-0"	7'-0"	1 3/4"														
101C		Single Exterior Door	3'-0"	7'-0"	1 3/4"														
101D	1HR	Single Metal Door	3'-0"	7'-0"	4"														
102A		Sliding Security Grille Door	7'-0"	7'-0"	4"														
102B		Sliding Security Grille Door	7'-0"	7'-0"	4"														
103A	1HR	Single Metal Door	3'-0"	7'-0"	1 3/4"														
103B	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"														
104A	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"														
104B	1HR	1 Door Exterior	3'-0"	7'-0"	1 3/4"														
104C	1HR	1 Door Exterior	3'-0"	7'-0"	1 3/4"														
104D	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"														
104E	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"														
104F	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"														
105A	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"														
105B	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"														
106A	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Transom
106B	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Transom
106C	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Transom
106D	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Transom
107A	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Transom
107B	1HR	Single Exterior Door	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Transom
108A		Single Metal Door	3'-0"	8'-0"	4"														
108B		Single Metal Door	3'-0"	8'-0"	4"														
109A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
109B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
110A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
110B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
111A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
111B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
112A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
112B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
113A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
113B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
114A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
114B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
115A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
115B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
116A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
116B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
117A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
117B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
118A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
118B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
119A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
119B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
120A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
120B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
121A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
121B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
122A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
122B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
123A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
123B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
124A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
124B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
125A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
125B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
126A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
126B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
127A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
127B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
128A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
128B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
129A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
129B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
130A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
130B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
131A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
131B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
132A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
132B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
133A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
133B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
134A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
134B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
135A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
135B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
136A	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite
136B	1HR	Single Entry + Sidelite	3'-0"	7'-0"	1 3/4"	MTL	F			MTL	F								Alternate 1 Door + Sidelite



EXTERIOR DOOR ELEVATIONS 01
1/2" = 1'-0"

GENERAL DOOR & WINDOW NOTES

1. All doors and windows to be installed & weatherproofed per manufacturer's recommendations. Where a discrepancy exists, notify the architect immediately.
2. Dimensions shown are nominal. Window vendor shall be responsible for field verifying all opening sizes & general contractor shall be responsible for providing the necessary rough opening for proper setting & shimming of doors & windows. Header heights are as noted.

SCHEDULE ABBREVIATIONS

AL =	ALUMINUM	VGDF =	VERTICAL GRAIN DOUG FIR
BF =	BI FOLD	P =	PAINT
CL =	CLOSET	PH =	PANIC HARDWARE
GL =	GLASS	FP =	FAIR
HCW =	HOLLOW CORE WOOD	PF =	PRE-FINISHED
HM =	HOLLOW METAL	RM =	REMOVABLE MULLION
CF =	CLEAR FINISH	SCW =	SOLID CORE WOOD
CP =	COPPER	STL =	STEEL
FA =	FACTORY	T =	TEMPERED
FI =	FIXED	TR =	TERRACE
MANUF. =	MANUFACTURED	WD =	WOOD
EFCH =	EPOXY FINISH	SS =	SPONGE SEAL
CLAR#=	CLEAR ANODIZED	S =	SECURITY PROVISIONS APPLY

DOOR NOTES

1. Refer to drawings for swing of doors.
2. All door glazing to be dual pane low E clear (U-0.31/SHGC=0.25 - Min. U=0.33/SHGC=0.25)
3. Both panes tempered where safety glazing called out on plans.
4. Field verify all conditions for placement, size & details.
5. Per Section 2406, all glazing installed in hazardous locations to be safety glass.
6. Underside door for minimum clearance above floor finish.
7. Provide door schedule & hardware specifications for architect's approval prior to installation.
8. Field verify all door & transom rough openings, verify dimensions with head, jamb, sill & details.

Indicates Room or Space — Indicates Sequence

WINDOW NOTES

1. Refer to schedule for window dimensions.
2. All window glazing to be dual pane low E clear (U-0.31/SHGC=0.25 - Min. U=0.33/SHGC=0.25).
3. Both panes tempered where safety glazing called out on plans.
4. Per Section 2406, all glazing in an individual fixed or operable panel adjacent to a door where the nearest vertical edge of the glazing is within a 24" arc of either vertical edge of the door in a closed position & where the bottom exposed edge of the glazing is less than 60 inches above the walking surface shall be tempered. Per 2406.4.3, glazing in an individual fixed or operable panel that meets all of the following conditions shall be tempered:
   a. The exposed area of an individual pane is greater than 9 square feet and
   b. The bottom edge of the glazing is less than 18" above the finished floor level and
   c. One or more walking surfaces are within 36" measured horizontally & in a straight line, of the plane of the glazing.
5. Per Section 2406, all glazing, installed in hazardous locations shall be safety glass.
6. Field verify all window dimensions (rough openings). Verify dimensions with head, jamb, & sill details.
7. Windows required to comply with accessible requirements as identified in the schedule are to meet CBC 11B-309 requirements for operable parts within reach ranges.
8. Contractor to verify wall thickness & coordinate jamb with sub-trades.

Indicates Room or Space — Indicates Sequence

DOOR HARDWARE NOTES

1. The general contractor shall provide & install required back mounting as shown on architect's drawings, U.N.O.
2. The general contractor shall provide & install doors as specified on architect's drawings, U.N.O.
3. All exterior doors to be keyed alike U.N.O. keying to be reflected on door & hardware submittal.
4. Each set/use of hardware shall be individually packaged in its manufacturers' containers' properly marked or labeled in conformity with the approved hardware list.
5. All hardware applied to metal doors or jambs shall be made to templates & shall be secured by machine screws.
6. Furnish two butt hinges for doors up to 5 ft. high and one additional butt hinge for each 2 1/2 ft.
7. Contractor shall furnish standard stops which extended lips where required to prevent door from being marred or damaged by the latch bolt.
8. Contractor shall provide dust covers at all strike plates.
9. All fasteners shall match the hardware material and finish.
10. The attached hardware schedule is intended to cover all doors in the project & establish a type and standard of quality. It is the responsibility of the contractor to furnish a complete and operational system of door finish hardware items, encompassing all openings within the project area.
11. Door stops at or swinging doors shall be of one piece construction with the jamb or joined by rabbet to the jamb. U.N.O.
12. All pin type hinges which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have minimum 1/4"O steel jamb stud with 1/4" minimum protrusion unless the hinges are shaped to prevent removal of the door if the hinge pins are removed.
13. The strike plate for latches and the holding device for swinging steel bolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 3 1/4" in length.
14. Refer to general notes & respective door schedule sheets for additional notes on doors, frames, and hardware.
15. Contractor shall furnish all hardware as required to meet code and functional attachments and requirements. The following outline hardware specified on or provided in a door for a complete performance automatic hardware automatic shall be subject to architect's approval.
16. All hardware shall comply with CBSC Section 12 10-2(2.7) as required by the fire marshal for all occupancies.
17. Door hardware shall comply with the CFSC, section 12 10-2(2 subsection (1), as adopted by the state fire marshal for all occupancies (2 & 3) occupancies with less than 10 occupants are exempt). "Knobs must be curved & shall return to within 1/2" of the door".
18. Door handles, pulls, latches, locks & other operating devices on doors required to be accessible shall not require tight grasping, tight pinching or twisting of the wrist to operate.
19. All closers require compliance w/o 5 seconds from 90 degrees to 12 degrees of latch per CBC 11B-404.2.8 & a maximum opening force of 5 lbs. Per 11B-404.2.7
20. All operable parts of all handles, pulls, latches, locks on doors and gates shall be within 34" minimum and 44" maximum above finish floors.

SAFETY GLAZING NOTES

Provide safety glazing in all fixed and operable panels of swinging, sliding, and bi-fold doors. Show specific locations of safety glazing in door schedule or on floor plans. (CBC 8.2024.4)

Unless there is an intervening wall or other permanent barrier, provide safety glazing in sidelights, or window adjacent to a door where the nearest vertical edge is within a 24 inch arc when door in a closed position and where bottom edge is less than 60 inches above the floor or walking surface. Show specific locations of safety glazing in door schedule or on floor plans. (CBC 8.2024.4)

Unless protected by a horizontal protective railing in 34 inches to 38 inches above finish floor capable of withstanding a horizontal load of 50 pounds per linear foot, provide safety glazing at fixed or operable panels exceeding 9 square feet where the lower edge of the glazing is less than 18 inches above finish floor, the top edge is more than 36 inches above floor and there are one of more walking surfaces within 36 inches of the glazing. Show specific locations of safety glazing in door schedule or on floor plans. (CBC 8.2024.4)

Provide safety glazing in glass railings & balusters. (CBC 8.2024.4)

Provide safety glazing in enclosures for or walk facing hot tubs, whirlpools, saunas, steam rooms, bathtubs, and showers where the bottom edge of the glass is less than 60 inches from the floor and within 5 feet of the water's edge. Provide safety glazing in enclosures for or walls adjacent to swimming pools, hot tubs and spas where the bottom edge of glass is less than 60 inches from the floor and within 5 feet of the water's edge. (CBC 8.2024.4)

Fixed or operable glass panels within 36 inches horizontally of the walking surface in stairways, ramps, and landings, where the bottom edge of the glass is less than 24 inches above the finish surface. In lieu of safety glazing, provide protected by a horizontal protective railing with a minimum of 1 1/2" cross sectional height located at 34 to 38 inches above finish floor capable of withstanding a horizontal load of 50 pounds per linear foot. Show specific locations of safety glazing in door schedule or on floor plans. (CBC 8.2024.4)

Fixed or operable glass panels within 60 inches in any direction from the bottom tread of a stair, where the bottom edge of the glass is less than 36 inches above the finish surface, in lieu of safety glazing, provide protected by a guard or handrail complying with CBC 8.1013 and the plane of glass is more than 18 inches from the guard. (CBC 8.2024.4)

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805 965 7777
114 Calle Cesar Chavez #102
Santa Barbara, CA 93103
www.dmha.com

NO. C31021

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

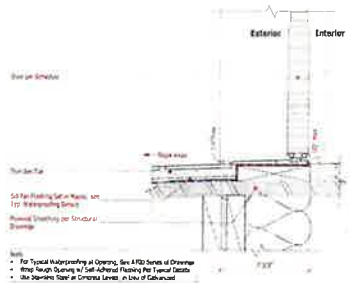
NO.	DESCRIPTION	DATE
	Final SDR Submittal	07/29/2024

A605

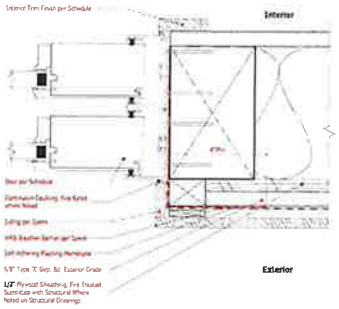
DOOR SCHEDULE - EXTERIOR

TYP. ROLL-UP DOOR JAMB 16
3" = 1'-0"

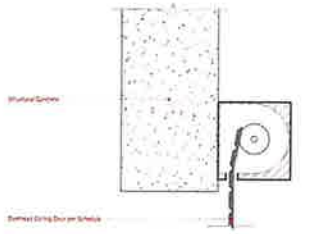
TYP. HOLLOW METAL DOOR JAMB @ CONCRETE 12
3" = 1'-0"



TYP. INSWING ENTRY DOOR THRESHOLD 08
3" = 1'-0"

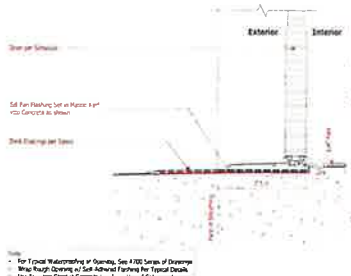


TYP. SLIDING DOOR JAMB @ SIDING 04
6" = 1'-0"

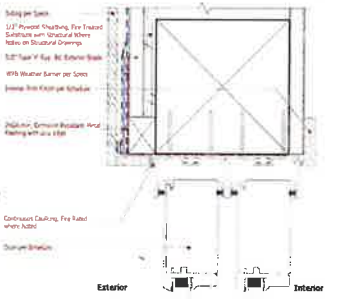


TYP. ROLL-UP DOOR HEAD 15
3" = 1'-0"

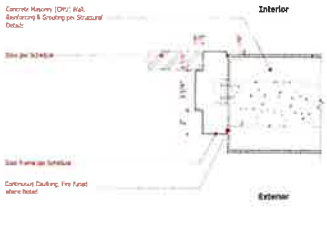
TYP. HOLLOW METAL DOOR HEAD @ CONCRETE 11
3" = 1'-0"



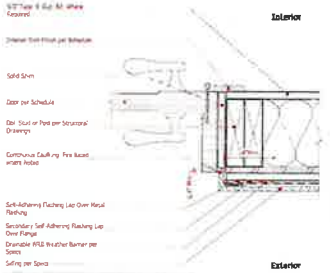
TYP. INSWING ENTRY DOOR THRESHOLD @ CONCRETE 07
3" = 1'-0"



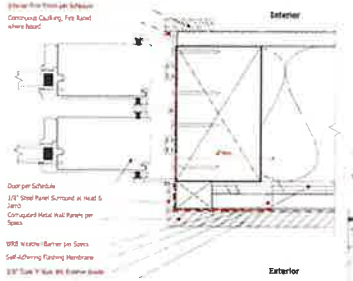
TYP. SLIDING DOOR HEAD @ SIDING 03
6" = 1'-0"



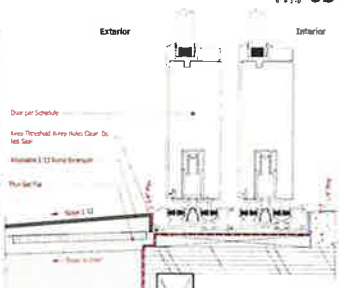
TYP. HOLLOW METAL DOOR JAMB @ CMU 14
3" = 1'-0"



TYP. INSWING ENTRY DOOR JAMB 10
3" = 1'-0"

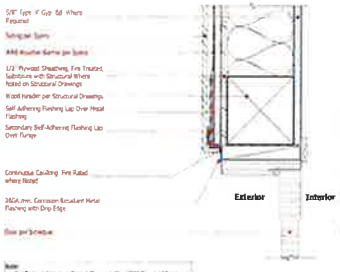


TYP. SLIDING DOOR JAMB @ CORRUGATED METAL 06
6" = 1'-0"

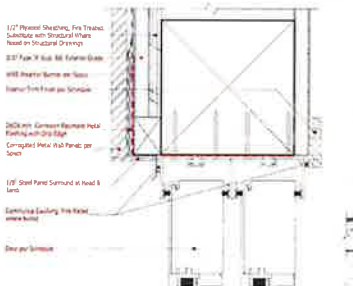


TYP. SLIDING DOOR THRESHOLD 02
6" = 1'-0"

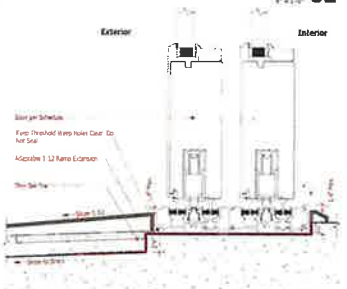
TYP. HOLLOW METAL DOOR HEAD @ CMU 13
3" = 1'-0"



TYP. INSWING ENTRY DOOR HEAD 09
3" = 1'-0"



TYP. SLIDING DOOR HEAD @ CORRUGATED METAL 05
6" = 1'-0"



TYP. SLIDING DOOR THRESHOLD @ CONCRETE DECK 01
6" = 1'-0"

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NO CARBON

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

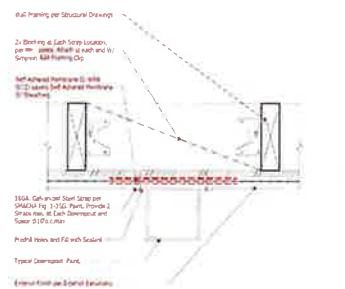
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

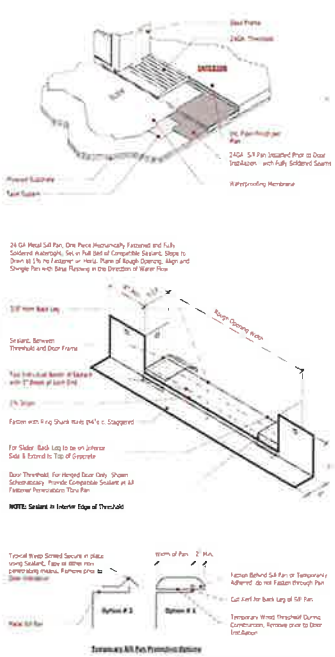
NO.	DESCRIPTION	DATE
	Demolition & Grading Permit Submittal	05/23/2024
	Floor AMB Supportive	07/26/2024

A607

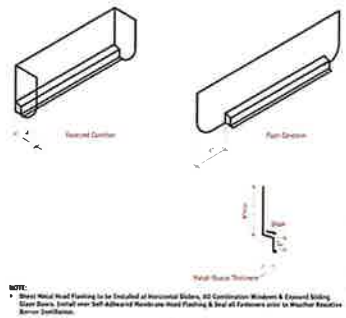
DOOR DETAILS - EXTERIOR



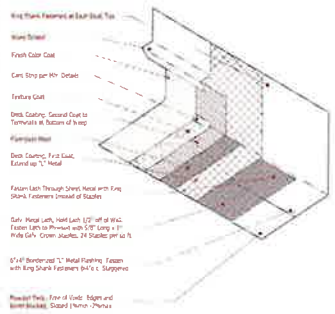
DOWNSPOUT STRAP & BLOCKING 13
3" = 1'-0"



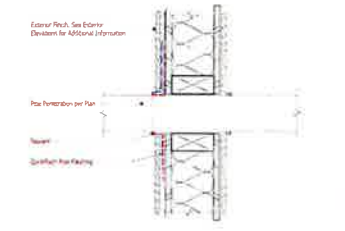
TYP. THRESHOLD PAN FLASHING 10
3" = 1'-0"



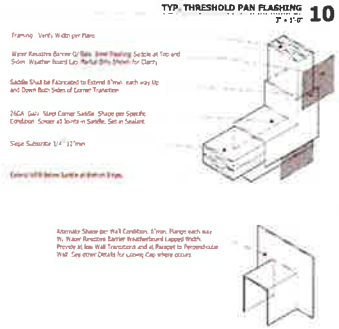
TYP. METAL FLASHING AT HEADER 07
3" = 1'-0"



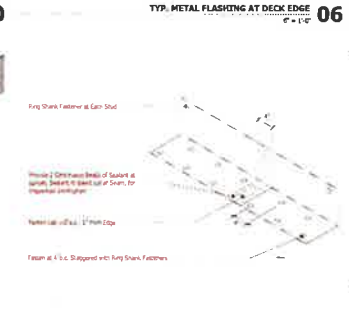
TYP. METAL FLASHING AT DECK TO WALL 03
1 1/2" = 1'-0"



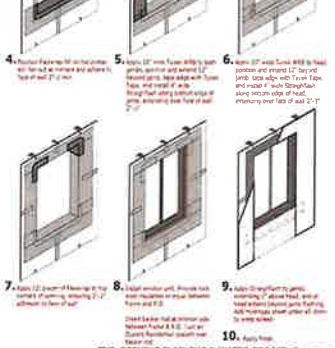
TYP. PENETRATION FLASHING 12
3" = 1'-0"



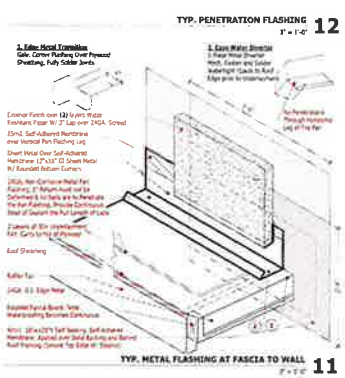
TYP. METAL SADDLE AT WALL CORNERS 09
3" = 1'-0"



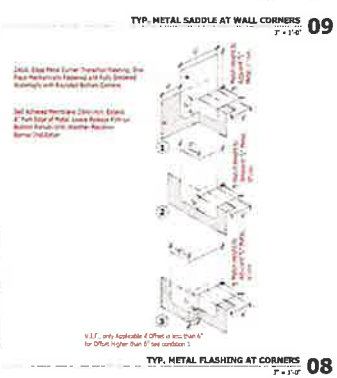
TYP. METAL FLASHING AT DECK EDGE 06
6" = 1'-0"



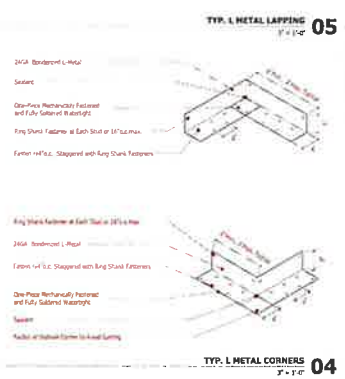
TYP. OPENING FLASHING & WATER-PROOFING 02
1/2" = 1'-0"



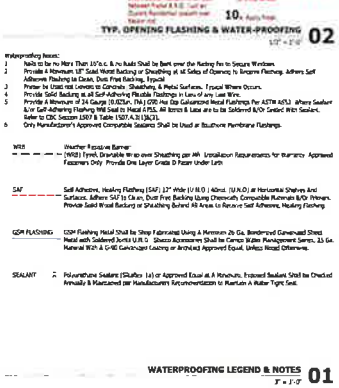
TYP. METAL FLASHING AT FASCIA TO WALL 11
3" = 1'-0"



TYP. METAL FLASHING AT CORNERS 08
3" = 1'-0"



TYP. L METAL CORNERS 04
3" = 1'-0"



TYP. L METAL LAPPING 05
3" = 1'-0"

WATERPROOFING LEGEND & NOTES 01
3" = 1'-0"

Waterproofing Issues:

1 Nails to be no More Than 16"o.c. & no Nails Shall be Bent over the Nailing Fin to Secure Windows.
2 Provide A Minimum 18" Solid Wood Backing or Sheathing at all Sides of Openings to Receive Flashing. Adhere Self Adhesive Flashing to Clean, Dust Free Backing, Typical
3 Primer be Used on Concrete Substrates & Metal Surfaces, Typical Where Occurs.
4 Provide Solid Backing as Self-Adhering Flexible Flashings in Lieu of any Lath Wire.
5 Provide A Minimum of 24 Gauge (0.023in. (No.) G90 Hot Dip Galvanized Metal Flashings Per ASTM A653. Where Sealant & or Self-Adhering Flashing Will Seal to Metal (PTS). All Joints & Laps are to be Soldered &/Or Sealed With Sealant. Refer to CBC Section 1507 & Table 1507.4.3(1)&(2).
6 Only Manufacturer's Approved Compatible Sealants Shall be Used at Elastomer Membrane Flashings.

WRB — Weather Resistive Barrier (WRB) Type. Durable Wrap over Sheathing per MA Installation Requirements for Warranty. Approved Fasteners Only. Provide One Layer Grade D Paper Under Lath

SAF — Self Adhesive, Healing Flashing (SAF) 12" Wide (U.N.O.) 40mil. (U.N.O.) at Horizontal Shelves And Surfaces. Adhere SAF to Clean, Dust Free Backing Using Chemically Compatible Materials &/Or Primers. Provide Solid Wood Backing or Sheathing Behind All Areas to Receive Self Adhesive, Healing Flashing.

G90 FLASHING — G90 Flashing Metal Shall be Shop Fabricated Using A Minimum 26 Ga. Bonderized Galvanized Steel Metal with Soldered Joints U.N.O. Stucco Accessories Shall be Certain Water Management Series. 26 Ga. Material With A G-90 Galvanized Coating or Architect Approved Equal, Unless Noted Otherwise.

SEALANT — Polyurethane Sealant (Sikaflex 1a) or Approved Equal at A Minimum. Exposed Sealant Shall be Checked Annually & Maintained per Manufacturers Recommendation to Maintain A Water Tight Seal.

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Carpinteria, CA 93013

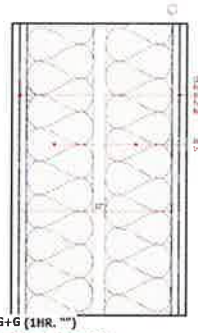
PROJECT #: Project Number

NO.	DESCRIPTION	DATE

A701

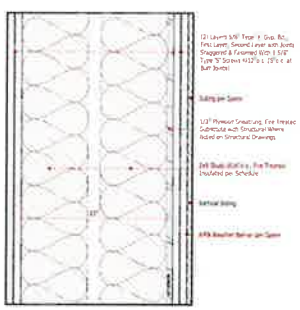
TYPICAL WATERPROOFING DETAILS

IN2X6G



1IN14"G+G (1HR. "")

EX2X6BS+P



2EX14"SV+GG (2HR. "")

IN2X4G+G

2IN2X6GG+GG (2HR. "")

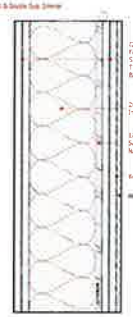
EX2X6SV+SV

2EX2X6SV+GG (2HR. "")

IN2X4G

CMU8

1EX2X6SV+G (1HR. "")

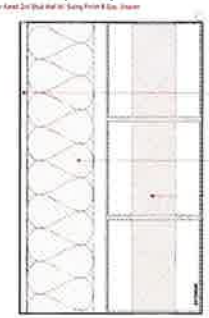


2EX2X6SH+GG (2HR. "")

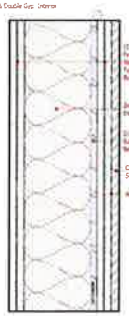
IN2X6G+G

1IN2X6G+G (1HR. "")

1C12



1CMU8P+2x6G (1HR. "")



2EX2X6CV+GG (2HR. "")

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PROJECT #: Project Number

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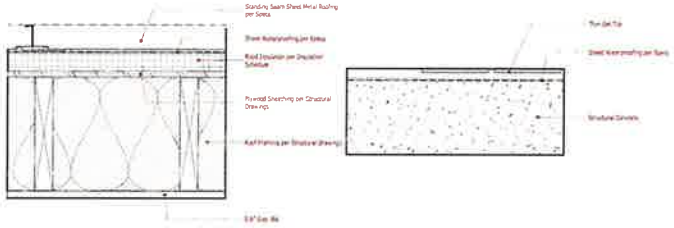
A711

TYPICAL WALL ASSEMBLIES

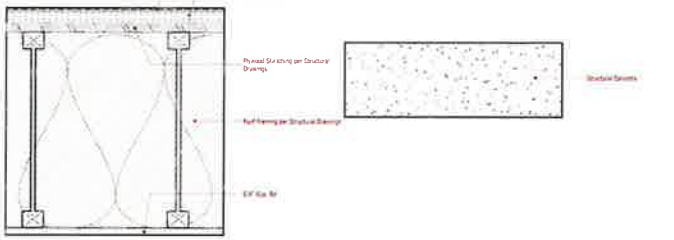


1RSS+G

2 Hour Rated Rafters W/ Standing Seam & Gyp. Bd(S)

C6T

5.5" Concrete Cast in Place W/ Tile



1JSP+G

2 Hour Rated 16" Joists W/ Single Ply & Gypsum Bd(S)

C6

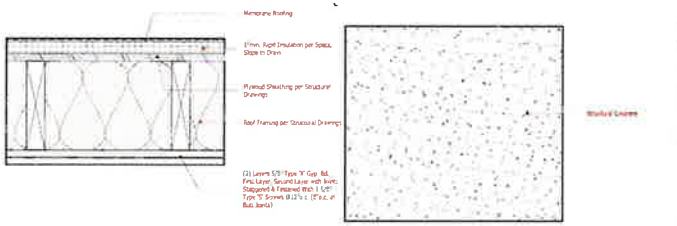
4" Concrete Cast in Place

1JSP+G (1HR. "")

2 Hour Rated Joist Framing W/ Single Ply

1C12T

3 Hr. min. Rated 12" min. Thickness Concrete Cast in Place W/ Tile

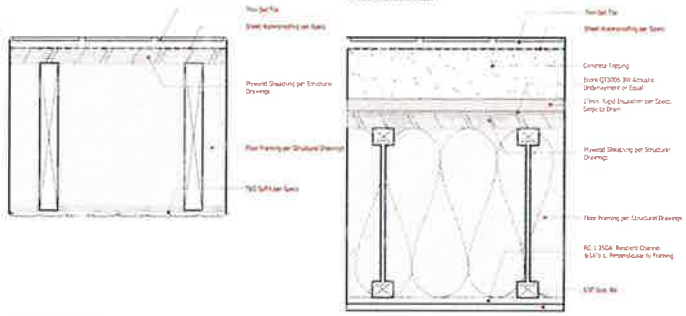


2JSP+GG (2HR. "")

2 Hour Rated Joist Framing W/ Single Ply

1C16

3 Hr. min. Rated 16" Concrete Cast in Place



1JT+G (1HR. "")

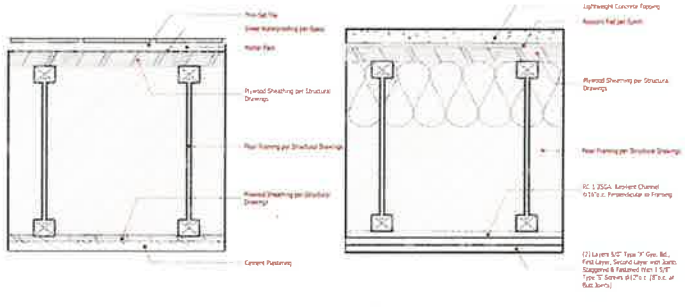
2 Hour Rated Joist Framing W/ Thinset Tile (Tested Assembly per G2/A721)

JT

Joist Framing W/ Thinset Tile

1JCT+G (1HR. "")

2 Hour Rated Joist W/ Thin-set over Concrete



1JT+P (1HR. "")

2 Hour Rated Joist Framing W/ Thinset Tile (Tested Assembly per G2/A721)

1JCL+GG (1HR. "ESR-1153 B")

2 Hour Rated Joist Framing W/ Gypsum

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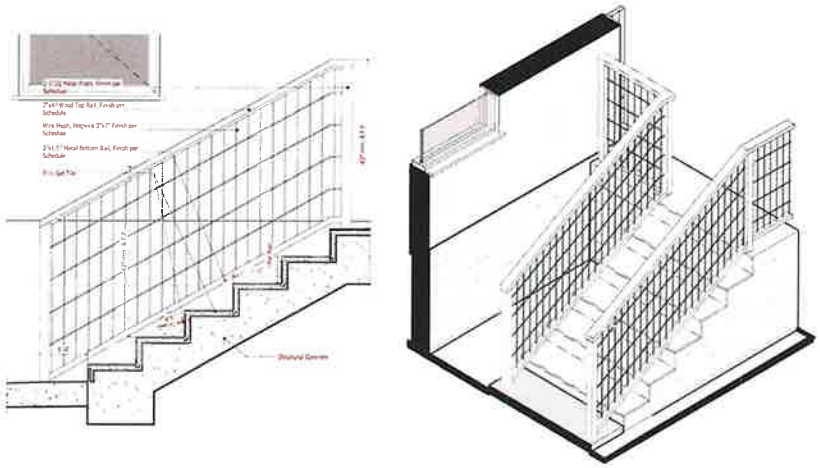
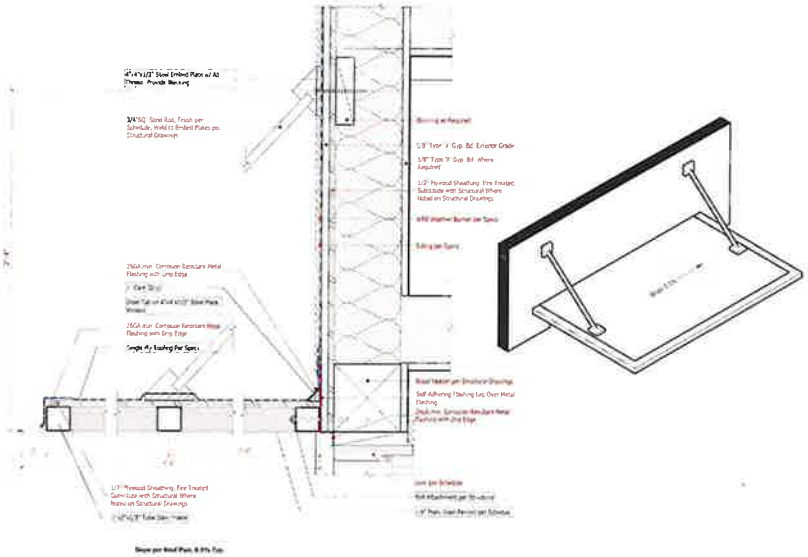
A712

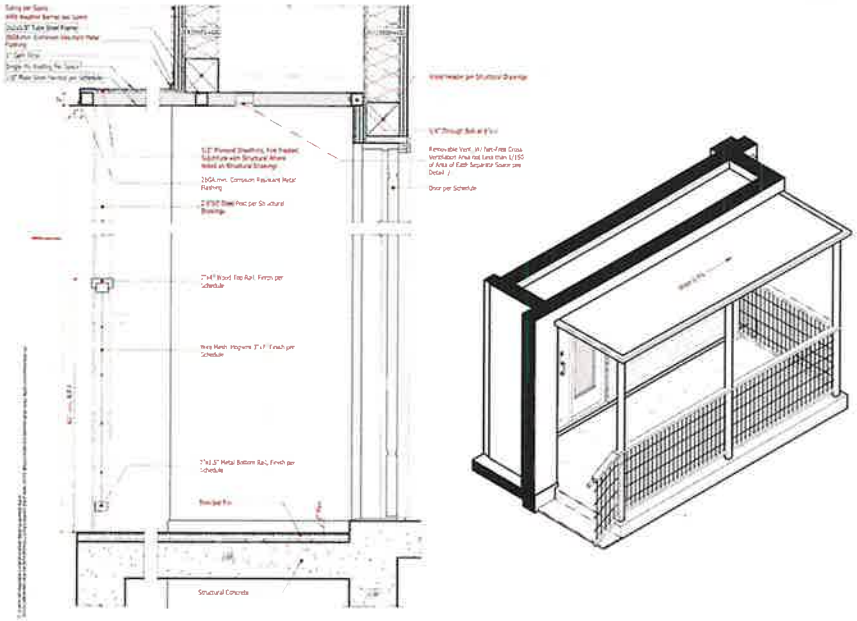
TYPICAL FLOOR & ROOF ASSEMBLIES



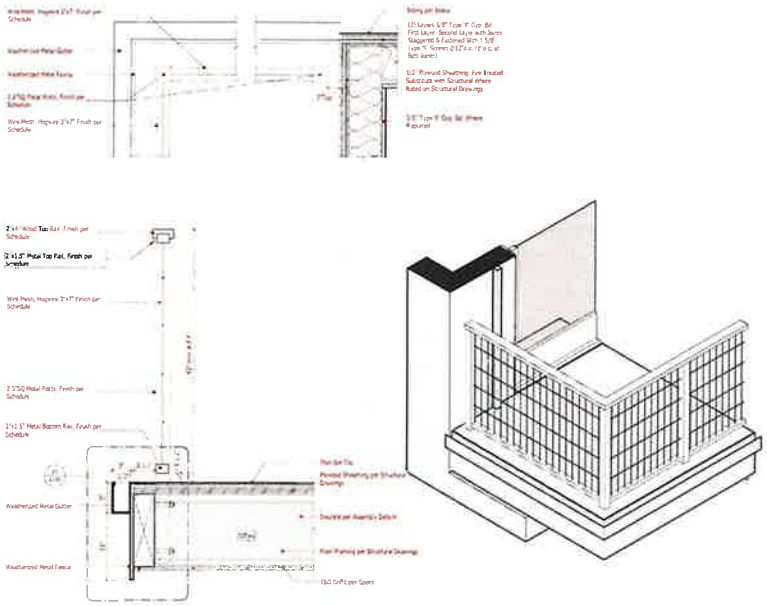
PORCH STAIRS & FLOORING 1" = 1'-0" 04



TYP. AWNING & BRACE 3" = 1'-0" 02



TOWNHOUSE AWNING & POSTS 1 1/2" = 1'-0" 03



TYP. BALCONY EDGE & RAIL 1 1/2" = 1'-0" 01

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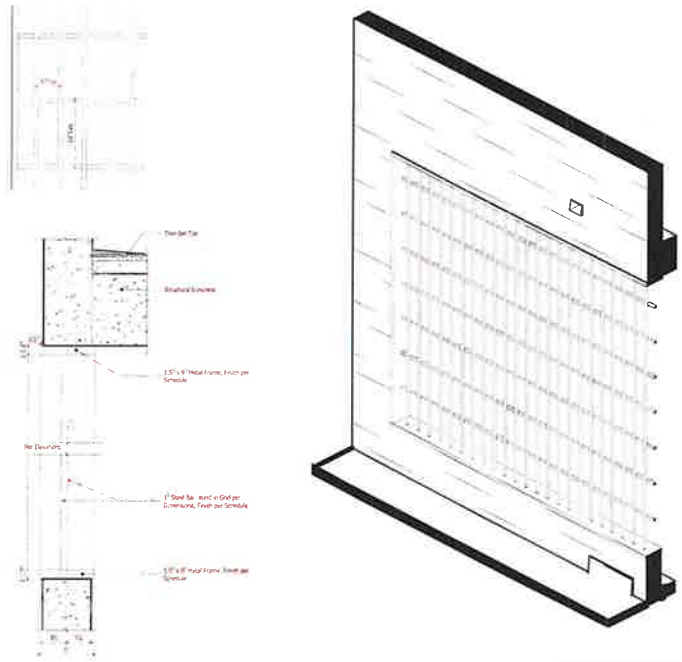
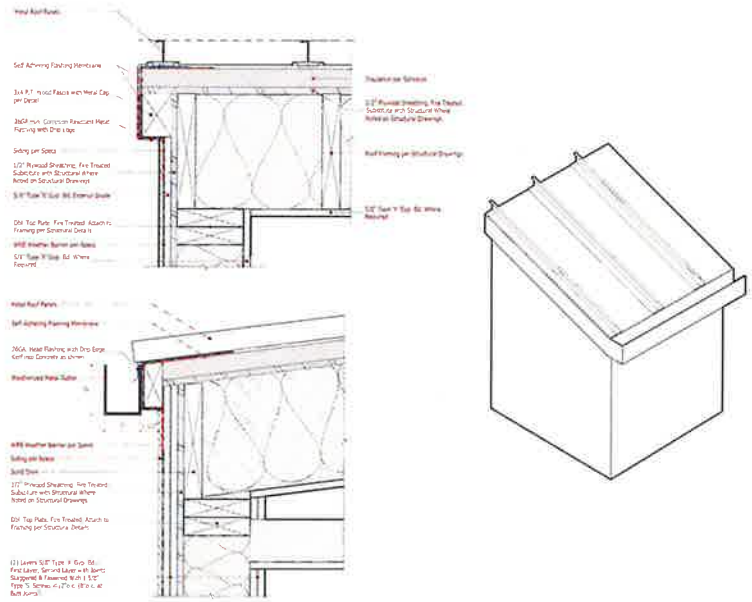
A721

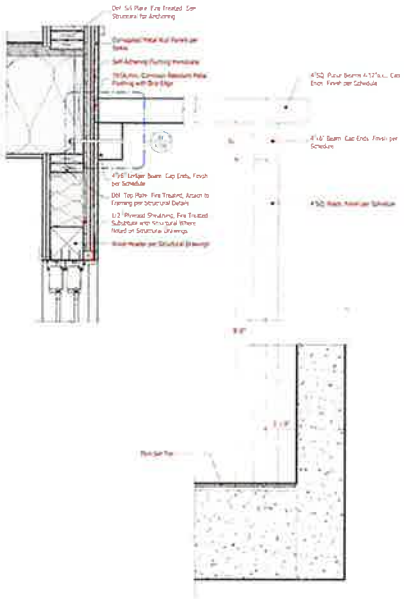
DESIGN DETAILS

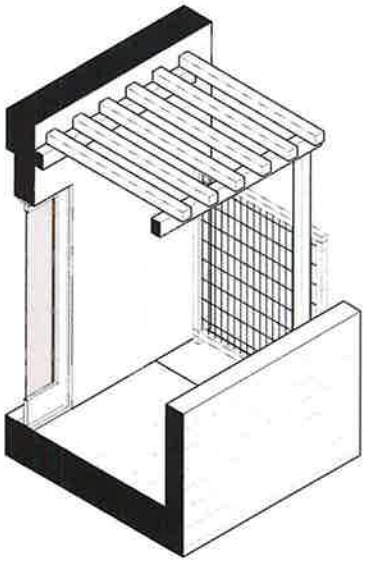


CREEKSIDE SECURITY FENCE 1 1/2" = 1'-0" **04**

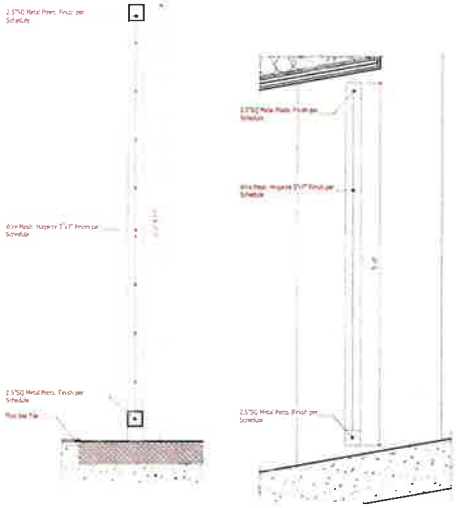


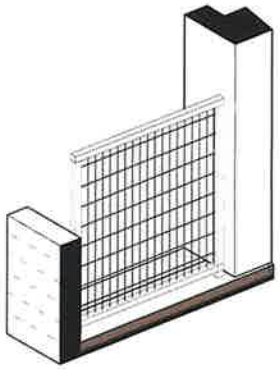
TYP. EAVE & RAKE 1" = 1'-0" **02**





TYP. TRELLIS 1 1/2" = 1'-0" **03**





PRIVACY SCREEN 1 1/2" = 1'-0" **01**

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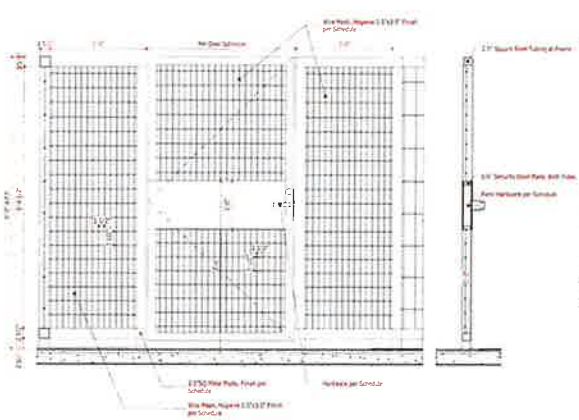
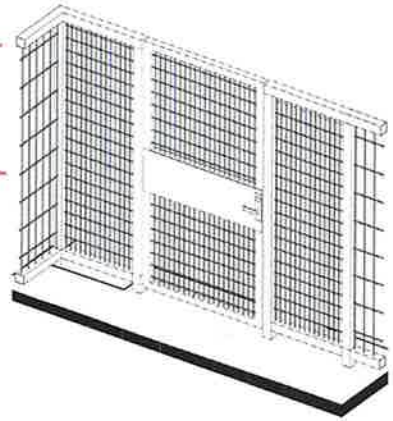
PROJECT #: Project Number

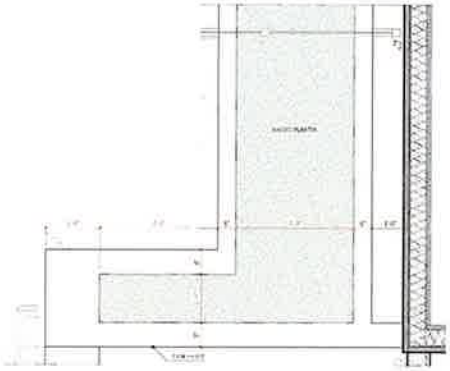
NO.	DESCRIPTION	DATE
	Final ARB Submittal	07.29.2021

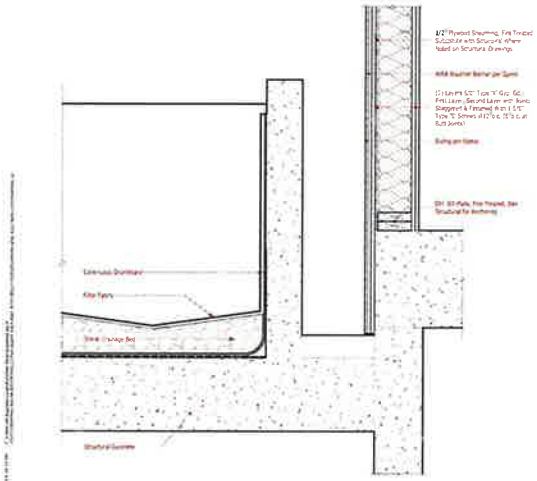
A722
DESIGN DETAILS

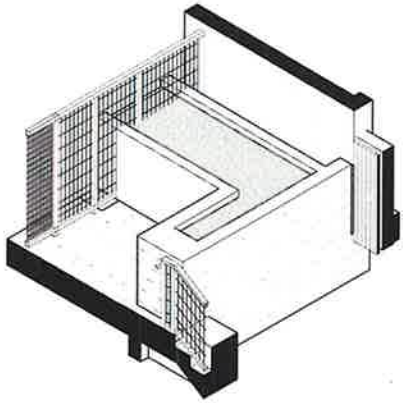




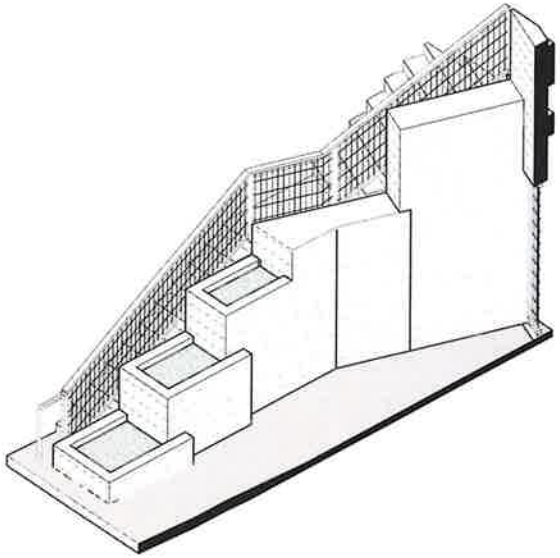
TYP. FENCE & GATE ELEVATION 1" = 1'-0" **03**

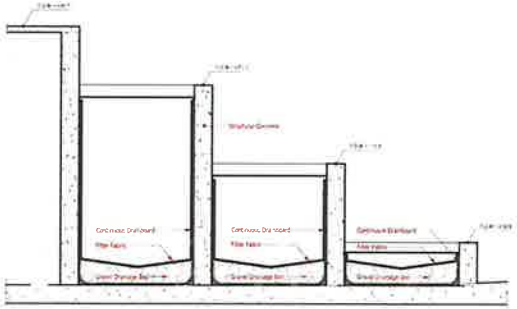


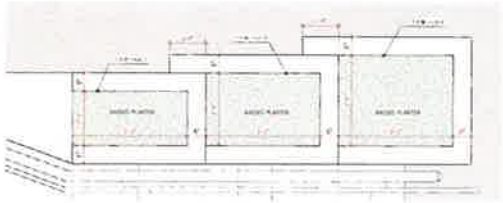




PLANTER AT PODIUM LEVEL 1 1/2" = 1'-0" **02**







ENTRY FEATURE WALL & PLANTERS 1/4" = 1'-0" **01**

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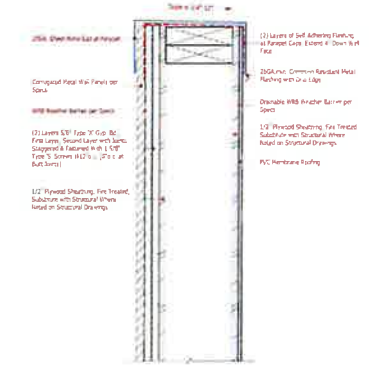
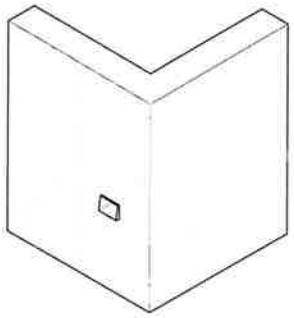
	Final ARB Submittal	07/29/2024

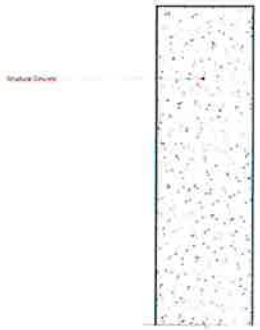
A723

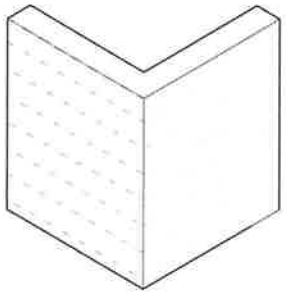
DESIGN DETAILS



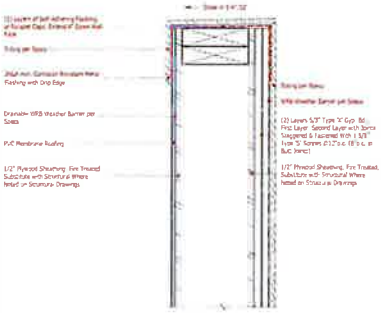


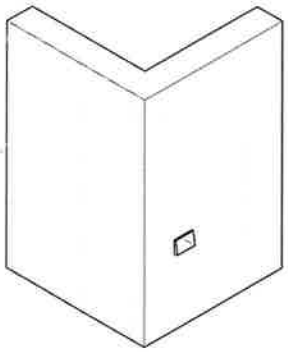
TYP. PARAPET (CORRUGATED METAL) 05
3" = 1'-0"



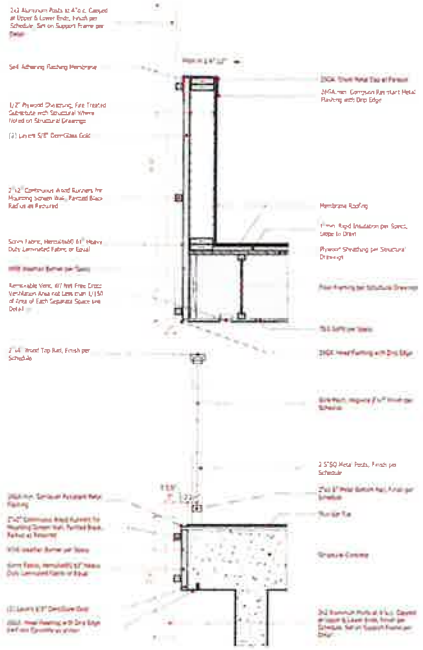


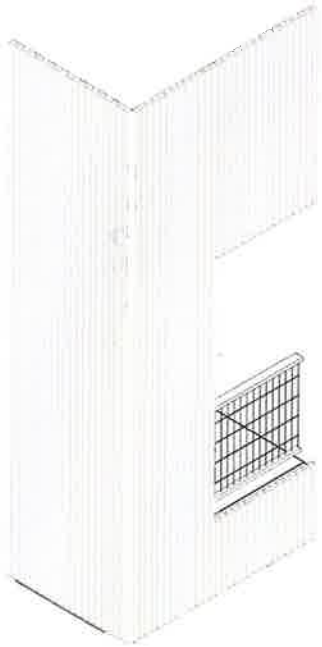
TYP. PARAPET (CONCRETE) 04
3" = 1'-0"



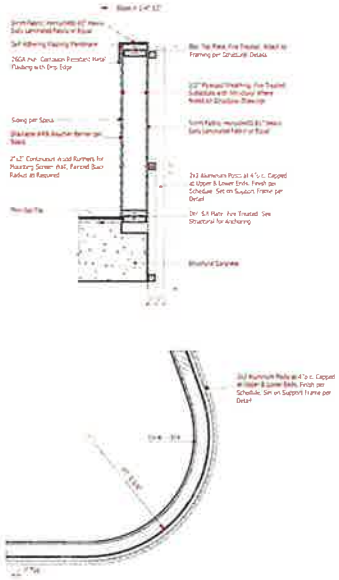


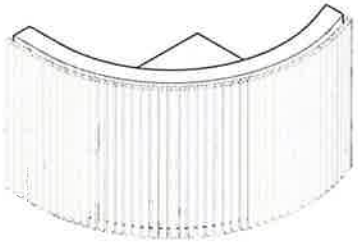
TYP. PARAPET (SIDING) 03
3" = 1'-0"





FEATURE SLAT SCREEN WALL 02
3" = 1'-0"





FEATURE SLAT WALL 01
1/2" = 1'-0"

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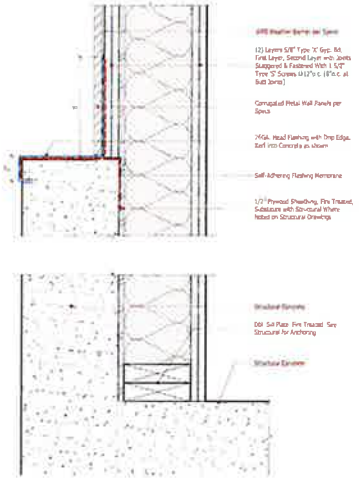
Carpinteria, CA 93013

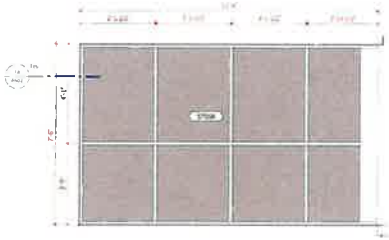
PROJECT #: Project Number

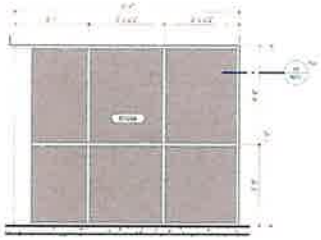
NO.	DESCRIPTION	DATE
	Final ARB Submittal	07/29/2024

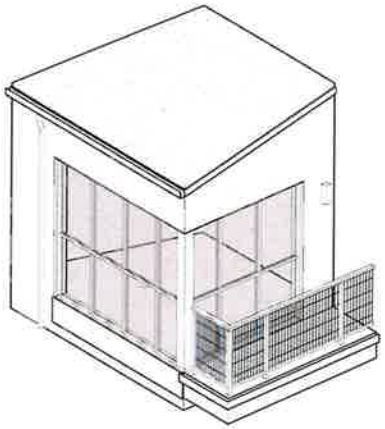
A724

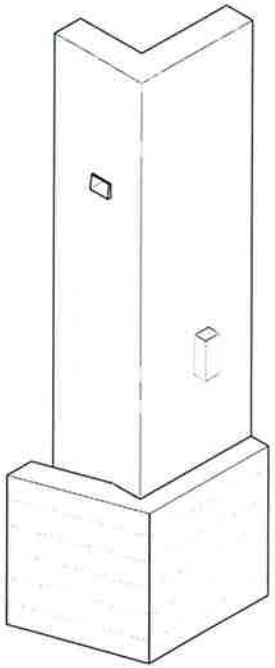
DESIGN DETAILS

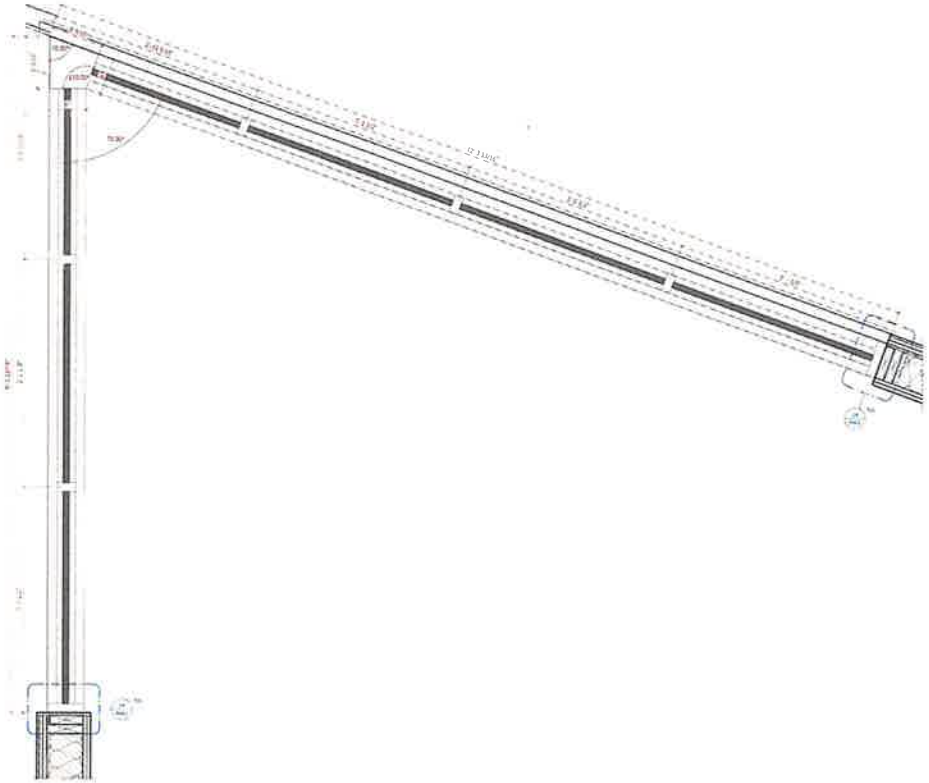


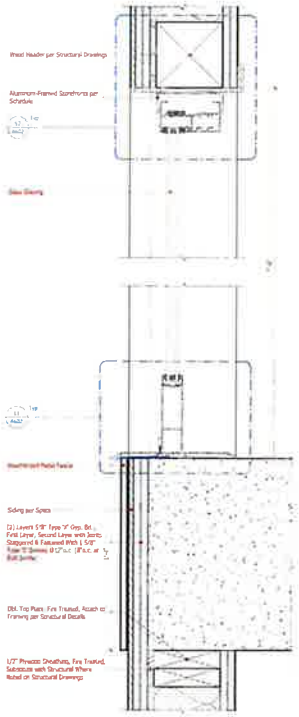












CORRUGATED TRANSITION TO CONCRETE PARAPET 02
3" = 1'-0"

CORNER FEATURE WINDOW 01
3" = 1'-0"

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805 965 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

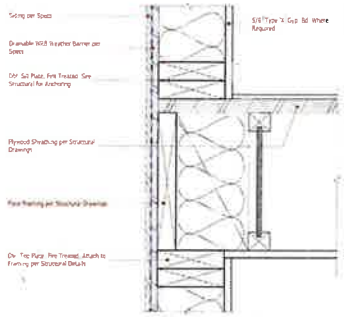
NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

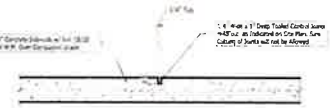
NO.	DESCRIPTION	DATE
	Final DRB Submittal	01/29/2020

A725
DESIGN DETAILS

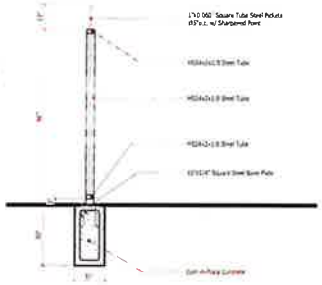


TYP. EXTERIOR FLOOR INTERSECTION 16
3" = 1'-0"

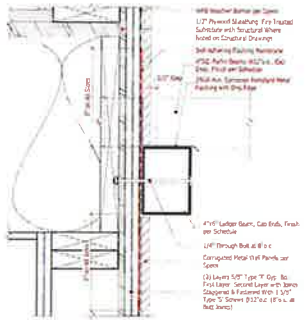
Note:
Construction joints shall be @ 20'-0"o.c. max. as indicated on plan



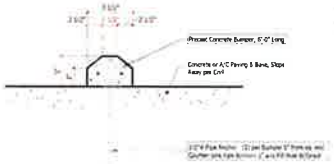
TYP. CONCRETE CONTROL JOINT 12
1 1/2" = 1'-0"



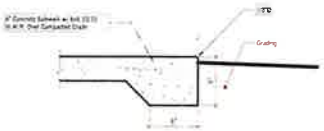
TYP. METAL FENCE SECTION 08
1/2" = 1'-0"



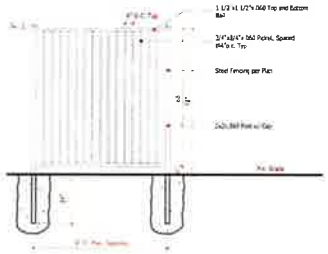
TRELLIS ALUMINUM LEDGER 04
1" = 1'-0"



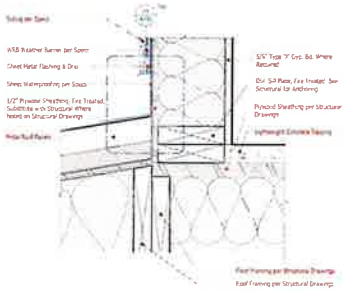
TYP. CONCRETE WHEEL STOP 15
1 1/2" = 1'-0"



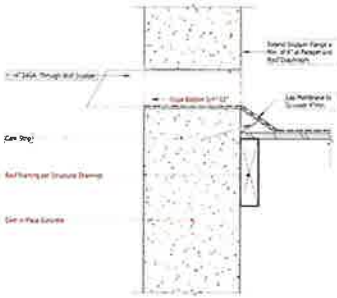
TYP. CONCRETE WALK EDGE 11
1 1/2" = 1'-0"



TYP. METAL FENCE 07
1/2" = 1'-0"

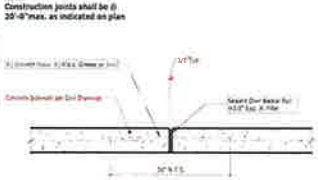


TYP. EXTERIOR WALL BASE AT ROOF 03
3" = 1'-0"



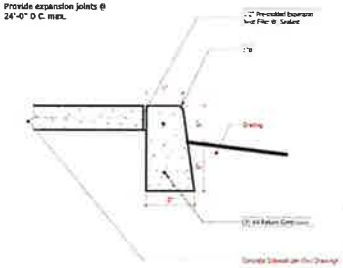
TYP. SCUPPER OVERFLOW AT CONCRETE PARAPET 18
3" = 1'-0"

Note:
Construction joints shall be @ 20'-0"max. as indicated on plan



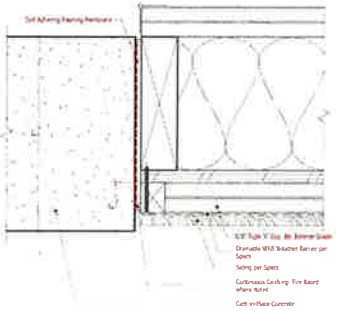
TYP. CONCRETE EXPANSION JOINT 14
1 1/2" = 1'-0"

Note:
Provide expansion joints @ 24'-0" O.C. max.

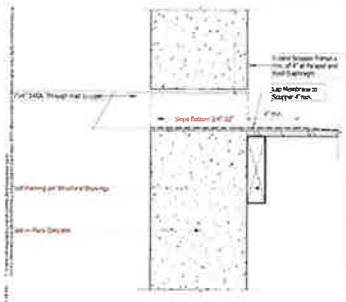


TYP. CONCRETE WALK & CURB 10
1 1/2" = 1'-0"

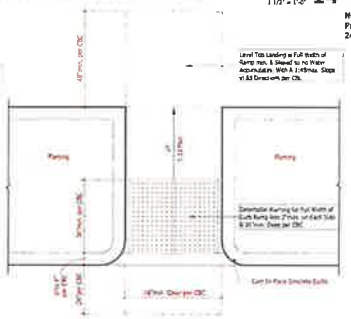
TYP. WATERPROOFING AT ELEVATOR PIT 06
1 1/2" = 1'-0"



TYP. FINISH TRANSITION 02
6" = 1'-0"

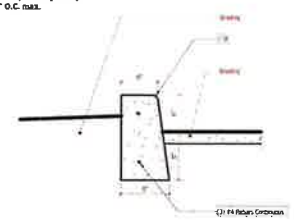


TYP. SCUPPER AT CONCRETE PARAPET 17
3" = 1'-0"

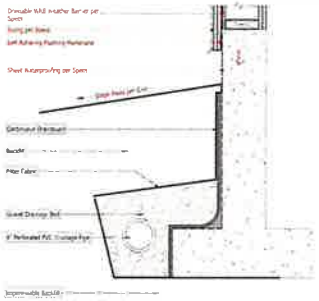


TYP. CURB CUT RAMP - WITHOUT FLARES 13
1/2" = 1'-0"

Note:
Provide expansion joints @ 24'-0" O.C. max.



TYP. CONCRETE CURB 09
1 1/2" = 1'-0"



TYP. BELOW GRADE WATER PROOFING 05
1 1/2" = 1'-0"

STUD TO CONCRETE WALL TRANSITION 01
3" = 1'-0"

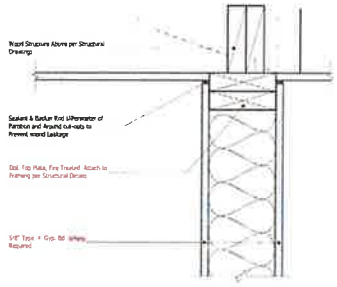
DMHA
ARCHITECTURE + INTERIOR DESIGN
805 966 7777
114 Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

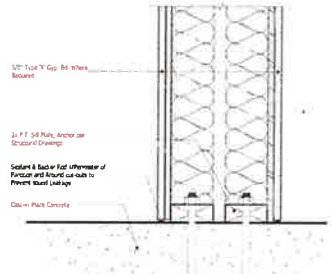
4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013
PROJECT #: Project Number

NO.	DESCRIPTION	DATE

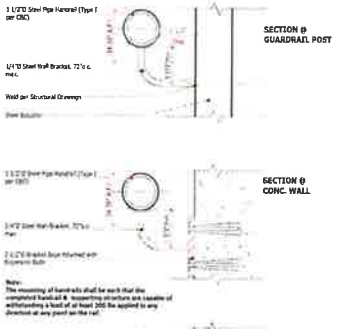
A731
CONSTRUCTION DETAILS



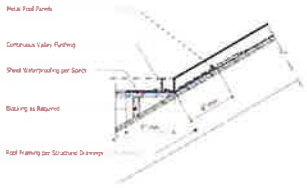
SEALANT AT TOP OF PARTITION 16
3" = 1'-0"



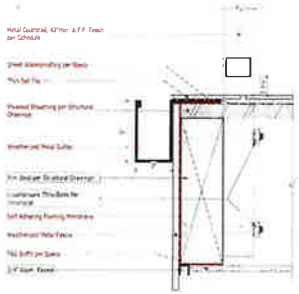
DEMISING WALL BASE AT CONC. FLOOR 12
3" = 1'-0"



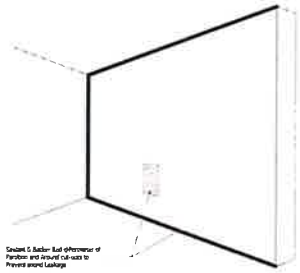
TYP. HANDRAIL TO WALL 07
6" = 1'-0"



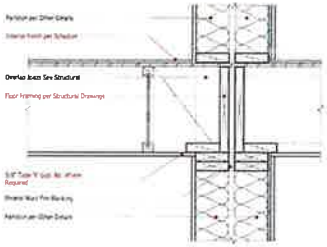
TYP. ROOF TRANSITION 04
1 1/2" = 1'-0"



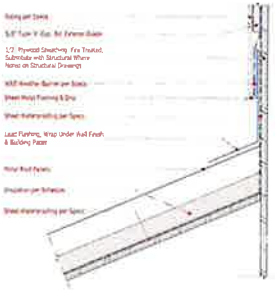
TYPICAL WALKWAY EDGE 21
3" = 1'-0"



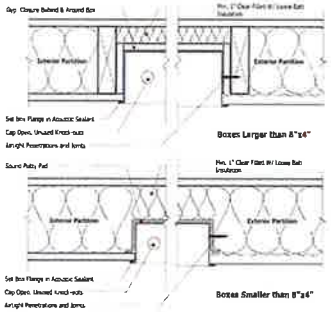
SEALANT AT PENETRATIONS AND PERIMETER 15
NOT TO SCALE



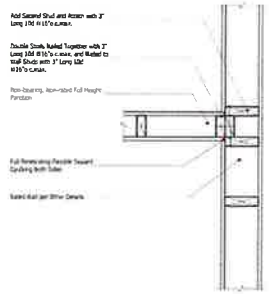
DEMISING WALL AT FLOOR FRAMING 11
1 1/2" = 1'-0"



TYP. ROOF TO WALL 03
3" = 1'-0"

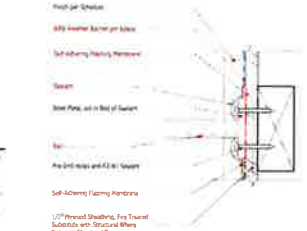


DETAIL AT RECESSED BOXES 20
3" = 1'-0"



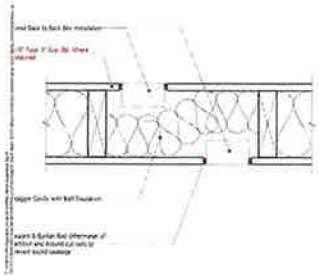
TYP. INTERSECTION OF NON-RATED AND RATED PARTITIONS 14
1 1/2" = 1'-0"

TYP. PARTITION BASE AT CONC. SLAB 10
3" = 1'-0"

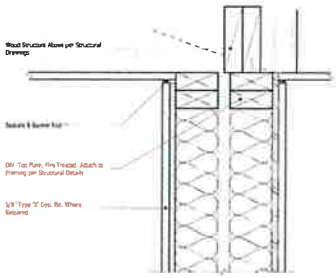


TYP. RAIL ATTACHMENT 06
6" = 1'-0"

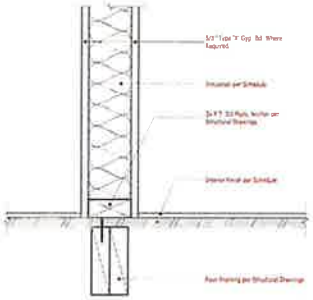
TYP. ROOF RIDGE 02
3" = 1'-0"



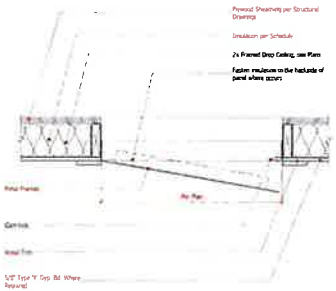
PLAN AT STAGGERRED BOXES 17
3" = 1'-0"



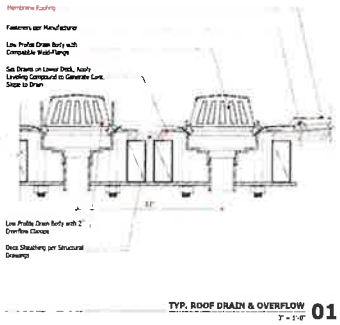
DEMISING WALL TOP AT FLOOR FRAMING 13
3" = 1'-0"



TYP. PARTITION BASE AT WOOD FRAMED FLOOR 09
3" = 1'-0"



TYP. CEILING ACCESS PANEL 05
1 1/2" = 1'-0"



TYP. ROOF DRAIN & OVERFLOW 01
3" = 1'-0"

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93102

NO. C 31521

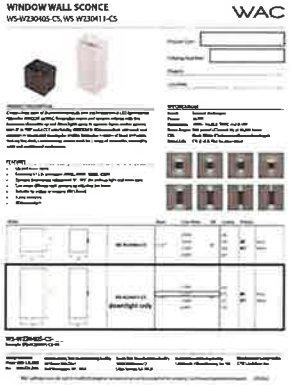
NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE

A732
CONSTRUCTION DETAILS



EXTERIOR SCONCE FIXTURE 11
NOT TO SCALE

GAURDRAIL HOGWIRE 08
NOT TO SCALE

METAL RAILING/GAURDRAIL HOGWIRE 07
NOT TO SCALE

CONCRETE STAIR 04
NOT TO SCALE

METAL SIDING

EXTERIOR METAL SIDING AT COMMERCIAL 03
NOT TO SCALE

EXTERIOR FINISH KEY

Cast-in-place Concrete

	CF	Cast in Place Concrete. Board Formed	
	CIP	Cast in Place Concrete. Smooth Finish	

Corrugated

PT11	Sherwin Williams	SW 6328 Hopsack - Semi-Gloss	

Countertop

CT01	Silestone	By Stone	See Interior Package for More Information

Exterior Paint

PT01	Benjamin Moore	BM AC-40 Glacier White - Satin Sheen	
PT02	Benjamin Moore	BM HC-83 Carrington Beige - Satin Sheen	
PT03	Benjamin Moore	BM HC-153 Nantucket Blue - Satin Sheen	
PT04	Benjamin Moore	BM HC-155 Buckland Blue - Satin Sheen	
PT05	Sherwin Williams	SW 7069 Iron Ore - Semi-Gloss	
PT10	Sherwin Williams	SW 7023 Light French Gray - Flat	

FLOORING

	CIP	Cast in Place Concrete	

Plaster

	EXO	La Riviera	SB Mission Finish Stone Grey	Smooth Trowel with Stone Cement

Roofing

	RF01	Everguard	Extreme TPO Single Ply Adhesive, Class B ESR-4476	Color: TBD Light Gray
	SD01	Berridge	Steel Double Lock Zee Lock, Lead-Grey	

Siding

	SD01	Thermory	Clear Seal Finish	

Glass

	GL01	TBD	TBD	Submit Samples to Architecture Review

Windows & Doors

	FT08	Sierra Pacific	Factory Paint Clad Aluminum - Graphite	

Wood Trim

	SD03	Thermory	Clear Seal Finish	

MANUFACTURER: RAYNOR
STYLE: ROLLING SECURITY GRILLE DOOR
MODEL: RAYNOR DURAGRILLE
FINISH: BRONZE ANODIZED

GARAGE ROOL UP- GRILLE DOOR 10
NOT TO SCALE

Metal Canopy
- Unit'S Entry At Level 3
- 8th St Windows At 2nd Floor

Finish: Powder Coated Black

EXTERIOR METAL AWNING 06
NOT TO SCALE

Manufacturer: Berridge
Model: Double-Lock Zee-Lock Panel
Color: Zinc Grey (Preweathered Gehalume)
Finish: Bonderized

STANDING SEAM ROOF 02
NOT TO SCALE

Clad Aluminum Siding Doors & Windows
Manufacturer: Sierra Pacific
Exterior Finish: Graphite
Clear Glazing - Tempered Where Indicated

EXTERIOR DOORS AND WINDOWS 09
NOT TO SCALE

Manufacturer: Hardie

EXTERIOR SIDING 01
NOT TO SCALE

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
115 Calle Cesar Chavez #120
Santa Barbara, CA 93103

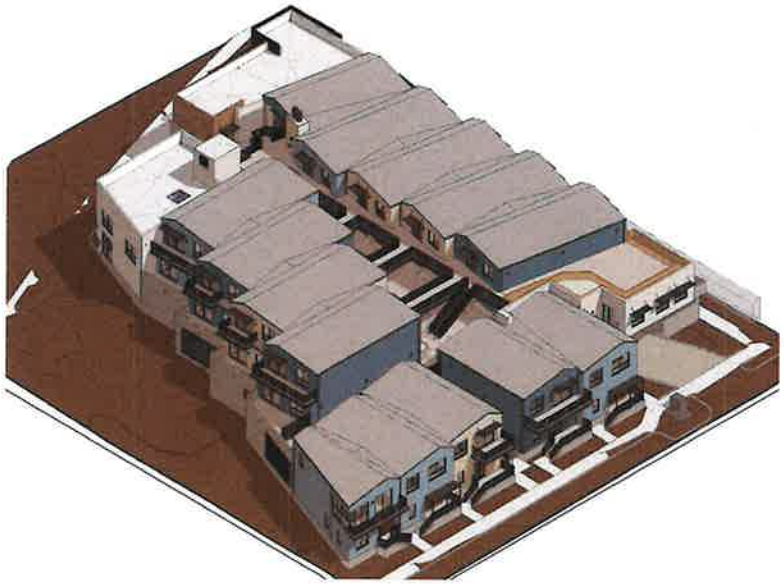
NOT FOR CONSTRUCTION

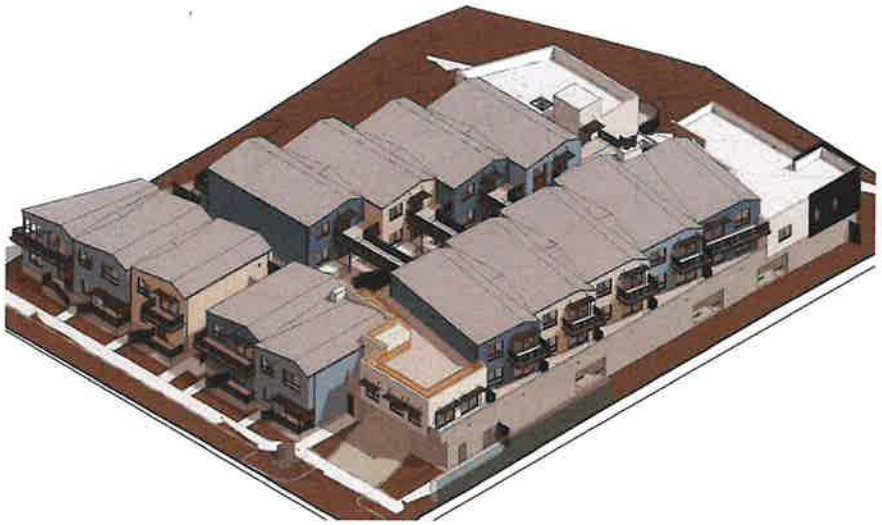
4745 Carpinteria Ave.
Mixed Use Dev.
4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final ARB Submittal	07.24.2024

A801
MATERIAL BOARD & SPECS





DMHA
ARCHITECTURE + INTERIOR DESIGN
805 962 7777
114 Cesar Chavez #120
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Ave.
Mixed Use Dev.

4745 Carpinteria Ave
Carpinteria, CA 93013

PROJECT #: Project Number

NO.	DESCRIPTION	DATE
	Final MPR Submittal	07/29/2016

A901

AXONOMETRIC VIEWS

Attachment B

October 26, 2023 ARB Meeting Minutes

4745 Carpinteria Avenue Mixed Use Development
Project 23-2221-DP/CDP/ARB
Final ARB Review
August 15, 2024

CITY OF CARPINTERIA
5775 Carpinteria Avenue
Carpinteria California 93013

ARCHITECTURAL REVIEW BOARD
Meeting Date: October 26, 2023

ACTION MINUTES

The meeting was called to order at 5:31 p.m. by Chair Stein.

ROLL CALL

Boardmembers present: Brad Stein, Chair
Amy Blakemore, Vice Chair
Richard Little
Patrick O'Connor

Boardmembers absent: Richard Johnson

OTHERS PRESENT: Approximately 13 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

1) Projects: Davis Residence Remodel, Project 23-2228-ARB/CDP
Address: 5459 Shemara Street
Applicant: Gabriel Zamora, Architect, for Emma Davis
Planner: Marysol Smith

Request of Gabriel Zamora, architect, for Emma Davis to consider Project 23-2228-ARB/CDP for preliminary/final review of a request to comprehensively remodel the exterior of an existing single family residence and to construct a new covered front porch and a new trellis over the garage. The project also includes an interior remodel and comprehensive site improvements. The property is an 8,712 square foot parcel zoned Single Family Residential (8-R-1) shown as APN 001-272-009 and addressed as 5459 Shemara Street.

Ex Parte Communications Disclosure: None

Staff Comments:
Marysol Smith described the proposed scope of work. Staff requested feedback from the Board on the proposed garden border wall in the front yard, the covered front porch and trellis, and on the expansion of hardscaping in the front yard.

Applicant Comments: Gabriel Zamora, Architect, highlighted the driving factors for the project. The intent of the project is to help open the house up more to the gardens, calling for slightly more privacy in the front yard, which they home would be achieved by the proposed border wall and plantings. The house-side of the border wall would be infilled the minimum necessary to meet the existing grade of the yard, which slopes downward towards the sidewalk. Careful attention to existing front yard treatments in the neighborhood guided their proposal. Although the neighborhood features a variety of treatments, several properties have different types of border walls at different heights. Mr. Zamora further clarified that the new hardscaping in the front yard would have a similar paver style to what is already installed over the driveway and would be installed to allow for permeability.

Public Comment: None.

Boardmember Discussion:
Boardmember O'Connor commented that the project was nicely designed and is compatible with the neighborhood. He supports the project as proposed.

Boardmember Little expressed support for the feature in front of the garage as it helps soften the look. He shared he has experience building rock walls and observed that the rock wall proposed would be dry stacked. He recommends instead to incorporate some mortar to help improve stability. Overall he supports the project.

Boardmember Blakemore noted that the project would use both Santa Barbara Sandstone and Bouquet Canyon Flagstone. She recommends considering an alternative flagstone variety, such as Sweetwater, Cherokee or Fossil Creek, for enhanced compatibility with the color of the Santa Barbara Sandstone. The water use/irrigation calculations need to be restudied. The Zoysia Turf is not a low water use plant and the water feature in the backyard was not accounted for in the hydrozone table. She confirmed that the plant selection for the top of the border wall in the front yard is appropriate (it is a type of salvia that will stay low). She requested that the specifications for the pavers be shared with Staff, with input from the Board, to ensure the design is compatible. Boardmember Blakemore expressed support for the project and identified the project as an asset to the neighborhood.

Boardmember Stein agreed with all the previous comments. The design of the border wall can be found to be appropriate given the plant selection. He had no objection to the additional permeable paving in the front yard. Overall he supports the project and finds it to be compatible with the neighborhood.

ACTION: Motion by Boardmember Little, seconded by Boardmember Blakemore, to recommend preliminary/final approval with their comments attached.

VOTE: 4-0 (Boardmember Johnson Absent)

2) Projects: Klentner Mixed-Use Development, Project 23-2221-DP/CDP
Address: 4745 Carpinteria Avenue
Applicant: Michael Stroh, DMHA Architects, for Justin Klentner
Planner: Nick Bobroff / Brian Banks

Request of Michael Stroh, DMHA Architects, agent/architect for Justin Klentner, to consider project 23-2221-DP/CDP for continued preliminary review of a new commercial / residential mixed-use development. The contemplated proposal calls for removing all existing site improvements and constructing a three-story mixed-use building comprised of 4,202 square feet of commercial space, 24 apartment units (4 one-bedroom units and 20 two-bedroom units), and a 53-space ground level parking garage. Total project square footage would be approximately 57,188 square feet and reach a maximum height of approximately 36 feet. The project seeks to utilize state density bonus provisions in exchange for setting aside a percentage of the apartment units for low-income affordable housing. The property is identified as APN 003-251-021, and addressed as 4745 Carpinteria Avenue (presently occupied by "Sun Coast Rentals").

Ex Parte Communications Disclosure: None

Staff Comments:
Nick Bobroff described the proposed scope of work. He presented a summary of project revisions in response to the previous ARB comments at the August 31, 2023 preliminary review meeting, including revisions to the unit mix, elevations and landscaping along the Franklin Creek property line. Images were displayed to highlight the revisions, including how the applicant responded to the Carpinteria Avenue and 9th Street frontages.

Mr. Bobroff noted that along the Carpinteria Avenue frontage, the square footage of the commercial tenant spaces were slightly adjusted downward to allow for a larger, more prominent entry stair to the second floor, and that the vehicle gate on the Carpinteria Avenue driveway was also recessed farther back into the garage.

On the Ninth Street elevation, Mr. Bobroff noted how each of the townhome units was offset from the neighboring unit to further animate the 9th Street frontage, which also created an opportunity for each unit to be clad in different color siding, to help with more of a residential character to the façade.

On the side elevations, he noted that further animation was introduced by slightly varying the offsets between units and using more variety in the layouts and dimensions of the units' decks and that subtle roof overhangs have also been reintroduced.

Mr. Bobroff also presented more information on the project's proposed colors, materials and architectural details in response to previous ARB comments.
Finally, Mr. Bobroff explained how the proposed revisions to the landscape scheme, principally related to changes to the layout and location of the proposed onsite bioretention facilities to create a larger buffer from the dripline of the large sycamore trees along the creek.

Applicant Comments: Michael Stroh and Ryan Mills of DMHA Architecture, Katie Klein of Parryi Landscape, and the project applicant, Justin Klentner, introduced themselves to the Board. Mr. Stroh explained the changes made in response to the August 31, 2023 Preliminary ARB review comments. Mr. Stroh related that two additional one-bedroom units were incorporated to replace two two-bedroom units and that the overall size of the commercial units was reduced, which allowed for a more open frontage and stairway on the Carpinteria Avenue frontage.

Ryan Mills summarized the evolution of the 9th Street portion of the project including slightly pushing-back some of the units from the street, in addition to revisions to colors/materials, decks, and awnings to create a variety along the frontage and to allow for additional landscape areas. Mr. Mills then summarized the principal changes along the Carpinteria Ave portion of the project, which included reducing the ground floor commercial units and pushing-back from the sidewalk which allowed for a greater opening on the frontage and stairway in response to previous ARB comments.

Ms. Klein then provided a brief overview of the proposed landscape revisions, including how incorporation of proposed trees and their location will help screen the Creekside (west) elevation and the incorporation of evergreen species to ensure that there would not be bare trees in the winter.

Public Comment:
Betty Songer, a resident on Calle Pacific, asked questions related to how the number of affordable units was determined, the length of time the affordable units would be restricted, and what the rental rates would be for the proposed units.

Amrita Salm, expressed concern that the project is large and that neighborhood compatibility is an issue. She further expressed that the project feels "suburban" and the scale of the project removes the "small town feeling" of the area. She also questioned if the project was proposed as condominiums or rental units and what the rental rates would be.

Gary Campopiano, a resident of 8th Street, commented that the project's type of housing was needed, but the height of the project was concerning. He further expressed that parking in the immediate area is "a nightmare" that would be exacerbated by the proposed project.

John Nicoli, Manager of the Arbor Trailer Park, expressed concern about the loss of parking on 9th Street. He also commented that the City needs to find a comprehensive solution to the 9th Street parking situation and the project should not move forward without a solution. Mr. Nicoli commented that he did appreciate meeting with the applicant to discuss the project and related impacts to the 9th Street residents, but that there should be a "team effort" with the applicant, City and 9th Street residents.

Bob Franco, a resident at 4745 Carpinteria Ave, related that he grew up in the neighborhood and expressed concerns that the project would result in a loss of mountain views and access to sunlight, especially to the residents of 9th Street. He further commented that the project is out of proportion and is offensive to the character of the community. As a side comment, he noted that it was difficult to hear the proceedings and the speaker volume needs to be amplified for the public to be able to clearly hear the meeting.

John Gonzalez, a resident at 4749 Carpinteria Ave and immediately adjacent to the project, expressed concerns about the project's impact on traffic safety on Carpinteria Ave, specifically related to cars existing from the development on to Carpinteria Ave, which he related is already a problem due to the curve and traffic speeds.

Catherine Decker, a resident at 4677 Carpinteria Ave, noted that there are currently 16 cars that currently park on 9th Street and the project would result in a loss of parking on the street. She expressed that assigned parking would be beneficial. Ms. Decker commented that she felt the applicant did make some nice adjustments to the project.

Kathleen Lord commented that the 9th Street portion of the project could be designed as more of a transition from larger portions of the project the to the existing neighborhood and for the applicant to think not just about the neighborhood, but the community and that architectural style is less important than the massing. Ms. Lord also commented that the project would benefit the community more if it proposed more one-bedroom or studio units rather than two-bedroom units.

Gail Marshall commented that Carpinteria has a certain ambiance that the proposed project doesn't have, and that Carpinteria is a small City and proposed projects should be small as a result. She questioned how the project could be made smaller while still complying with the State's housing

mandates (such as lowering plate heights) and how the General Plan update would impact new development projects.

Three Public Comment Letters/Emails were submitted and summarized below. Copies of the letters were presented to the ARB members at the hearing and on file with the Community Development Department.

John Gobbel wrote that he was opposed to the project in its current form and that the City should not provide any special allowances above the current zoning standards which would "overdevelop" the City and that the project should be scaled down out of concerns related to lack of parking, lack of water availability, pollution, and traffic congestion. Finally, Mr. Gobbel expressed that a beach cottage or Spanish style architecture would be more in keeping with classic Carpinteria architecture.

Salley Graham, a resident on the 4700 block of 9th Street, wrote to protest the size and scale of the project. She questioned if any consideration had been given to the current 9th Street residents with respect to the availability of parking and expressed that parking is already difficult and will become even more of a challenge as a result of the project. Finally, Ms. Graham expressed concern that the project would result in the loss of views of mature trees and open sky and how that would impact the lives of neighbors.

Van Latham, a resident at 1750 Santa Monica Road, wrote to express concern about the project. He related that the story poles "did tell the story" and that the project is too massive/tall, especially for the 9th Street residents. He also lamented the loss of a business that caters to working class citizens and replaced by "upscale" retail and housing.

City Attorney Comments: At the invitation of the Director, City Attorney Mack Carlson presented a brief overview of State Housing laws, including State Densit Bonus law and related limits on ARB and staff's discretion when reviewing housing projects. Mr. Carlson highlighted applicable housing laws and context because the project is afforded certain protections under the Housing Accountability Act and State Density Bonus law. Mr. Carlson related that the ARB has narrow grounds to deny or request modifications/conditions that would result in lesser unit density, but the ARB does still does have latitude to consider the design elements and make recommendations so long as the comments do not seek to condition the project to reduce housing density. Finally, Mr. Carlson answered questions that certain public commenters had related to affordability thresholds and how the affordable rent is calculated and restricted/monitored.

Mr. Carlson and Mr. Bobroff answered several questions from the ARB members related to the state housing laws and how they are applied to the project.

Boardmember Discussion:
Boardmember O'Connor complimented the applicant on the changes to the Carpinteria Avenue entrance, the proposed undergrounding of the power lines on the 9th Street side of the project, and the staggering of the 9th Street units. Boardmember O'Connor expressed that the lot coverage calculation is flawed and that the 50 ft creek buffer should be accounted for, while also noting that the project is meeting "the letter of the law." Boardmember O'Connor commented that the applicant does not have to use the less restrictive calculation and that is what creates the "tension" with the project density.

Boardmember Little noted that the project revisions on the 9th Street frontage including the setbacks and offsetting, awnings, and textures was a "huge improvement" although he wondered if the roof heights could be reduced by even as little as 1 ft, it could soften the impact of the project. He commented that while he did like the idea to open the Carpinteria Avenue stairway, the design does not feel very "beachy," and still looks too commercial. Boardmember Little noted that the ARBs "hands are tied" with respect to size and density and that makes it difficult and while he expressed that housing is needed, he questioned if there is a way to reduce the size and make the Carpinteria Avenue side "beachier" it would be greatly appreciated.

Vice Chair Blakemore commented that she completely agreed with Boardmember Little's comments and they we are "between a rock and a hard place" considering what State housing laws allow. Vice Chair Blakemore commented that she appreciated the project revisions and that the architecture is much better, however she commented that the Carpinteria Avenue frontage is skewing more contemporary and could be softened to make it more "Carpinteria." She further expressed concerns about parking, especially the size and arrangement within the parking garage that might not actually work as designed. Finally, Vice Chair Blakemore commented that the landscaping was very nice.

Chair Stein noted that the project "had come a long way" however he expressed frustration that what the State Law allows is not realistic for a small City like Carpinteria with such limited room. Chair Stein commented that traffic on Carpinteria Avenue is a concern, as are the public comments related to neighborhood compatibility. He wondered if there was still a way to reduce the 9th Street side, but appreciated the colors and how the elevations have been broken up. He further commented that the appreciated the eclectic look along Carpinteria Avenue and everything along the corridor cannot look the same. Chair Stein noted the location is a good spot for housing but more one-bedroom units are needed and neighborhood compatibility remains a concern.

ACTION: Motion by Boardmember Little, seconded by Vice Chair Blakemore, to recommend preliminary approval of the project with comments.

VOTE: 2-2* (Little and O'Conner opposed).

*After the initial motion, the applicant advised that he is willing to continue to refine the architectural design to address the ARB's comments if the project can proceed to the Planning Commission for a decision on the overall project scope and its consistency with applicable ordinance regulations and land use policies. A discussion commenced with the applicant Team, the ARB members, the Planning Director, and City Attorney as to options to revise or propose a new motion.

2nd ACTION: A Revised Motion by Chair Stein, seconded by Vice Chair Blakemore, recommend preliminary approval with the ARB's comments, with specific emphasis on scaling-down the mass of 9th Street frontage and the noting the ARB's concern about the size, bulk, and scale of future projects that the Planning Commission should consider.

2nd VOTE: 3-1 (O'Conner opposed).

OTHER BUSINESS:

CONSENT CALENDAR:

3. Action Minutes of the Architectural Review Board Meeting of August 17, 2023

ACTION: Motion by Boardmember O'Conner, seconded by Boardmember Blakemore, to adopt the Minutes as proposed.

VOTE: 4-0-1 (Johnson absent)

4. Action Minutes of the Architectural Review Board Meeting of August 31, 2023

ACTION: Motion by Boardmember Blakemore, seconded by Boardmember Little, to adopt the Minutes as proposed.

VOTE: 3-0-1 (O'Conner abstain; Johnson absent)

5. Action Minutes of the Architectural Review Board Meeting of September 14, 2023

ACTION: Motion by Boardmember O'Conner, seconded by Boardmember Blakemore, to adopt the Minutes as amended.

VOTE: 3-0-1 (Stein abstain; Johnson absent)

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

- Stern Exterior and Landscape Changes (5476 Cameo Rd): This project involves a comprehensive exterior remodel as well as re-landscaping the property. There would be no additions or changes to the roofline. The exterior walls would be finished in smooth trowel plaster and would feature overlaid Ipe slat walls in select areas. The side yard gates would match with Ipe on metal framing. The Board expressed support for the project's scope, color and materials, and landscaping.

Attachment C

Action Letter from the February 5, 2024 Planning Commission Hearing

4745 Carpinteria Avenue Mixed Use Development
Project 23-2221-DP/CDP/ARB
Final ARB Review
August 15, 2024

CITY of CARPINTERIA, CALIFORNIA

February 6, 2024

Michael Stroh, DMHA Architects
1 N Calle Cesar Chavez, Suite 102
Santa Barbara, CA 93103

Re: Notification of Planning Commission Action
4745 Carpinteria Avenue Mixed Use Development, 23-2221-DP/CDP
4745 Carpinteria Avenue (APN 003-251-021)

Dear Mr. Stroh:

On February 5, 2024, the Planning Commission took action on the following item:

Request for a Development Plan and Coastal Development Permit to allow redevelopment of the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development. The proposed mixed-use development would be comprised of a 24-unit 31,026 square foot apartment complex built around and atop a ground-level 22,198 square foot concrete parking podium, and a 4,044 square foot two-story commercial building fronting Carpinteria Avenue. All existing site improvements would be removed to facilitate the proposed development. Cumulative square footage for the proposed project would total approximately 64,053 square feet. Maximum building height to the top of the proposed three-story element would be approximately 35 feet, seven inches from finished grade.

The 24-unit apartment complex would be comprised of 4 one-bedroom units, 16 two-bedroom units, and 4 two-bedroom "townhouse" units facing Ninth Street. The 4 one-bedroom units would range in size from 996 – 1,163 square feet; the 16 two-bedroom units would range in size from 1,122 – 1,310 square feet; and the 4 two-bedroom "townhome" units would range in size from 1,472 – 1,486 square feet. The four "townhouse" units and one of the one-bedroom units (Unit 5) would be two-story units fronting on Ninth Street. Of the remaining units, Units 6 through 15 would be second floor flats and Units 16 through 24 would be third floor flats. The "townhouse" units would be provided with either a ground floor covered porch (Unit 1 and Unit 4) or both a ground floor covered porch and a second floor private deck (Units 2, 3 and 5). All other units would be provided with second- or third-level private decks oriented toward the perimeter of the property.

The proposed two-story commercial building would be located along the property's Carpinteria Avenue frontage and would contain a ground level commercial space of 1,303 square feet and an upper-level commercial space of 2,741 square feet. The commercial square footage is proposed to be divided into (up to) five tenant suites, with a single ground floor space and the remaining four spaces on the second floor. The ground floor commercial space would feature a covered patio area along the Carpinteria Avenue frontage.

The ground-level covered parking podium would provide a total of 53 parking spaces onsite to serve both the proposed commercial and residential elements of the project, and would rely upon a mix of "standard" and "compact" spaces. The applicant is requesting approval of a Development Plan Modification to allow eight of the total parking spaces provided onsite to be designated "compact" spaces (15% of the total number of spaces). Bicycle storage, trash enclosures, and utility/mechanical closets would be provided within the covered parking podium area. Vehicular access to the parking would be provided from a "primary" driveway on Carpinteria Avenue and a "secondary" driveway entrance from Ninth Street, at the rear of the project site. Room for six parallel spaces would be provided in the Ninth Street right-of-way for public on-street parking as part of the required project frontage improvements.

Open space and landscaping for the project would be provided along the west side of the property within the required 50-foot setback buffer from the adjacent Franklin Creek channel. The buffer area would feature bioretention swales that can doubly serve as part of the restored protective creek buffer and stormwater measures for the proposed development. A meandering walking path would lead through the buffer, connecting Ninth Street and Carpinteria Avenue. Spaces for ornamental landscaping would also be provided along the project's two street frontages and along the interior side property line. Additional open space and landscape areas for the use of apartment residents would be provided in centralized courtyard spaces on the second and third levels, in a "rooftop" deck space in the rear corner of the third level, and on a "green roof" space above the ground floor commercial space's covered patio.

The proposal calls for utilizing the state's Density Bonus Law (Gov. Code §§ 65915-65918) ("Density Bonus Law") to allow for the inclusion of additional dwelling units beyond what the City's maximum density would allow for under the current zoning designation in exchange for designating a certain number of the apartment units as income-restricted rentals. Specifically, the project calls for setting aside three units for households that fall within the low-income level (50% to 80% of the area median income ("AMI")) in exchange for a density bonus of six additional units. These additional granted units and the low-income restricted units are included the project figures described above. The three low-income restricted units are proposed as one-bedroom units (Units 5, 6 and 11).

Pursuant to Density Bonus Law, the proposal requests the use of incentives or concessions from the local jurisdiction's development standards to facilitate the construction of the project and/or to accommodate the increased density. Specifically, the project proposes to utilize the reduced required parking rates for residential developments subject to density bonus provisions, and to request the two following concessions/incentives and/or waivers or reductions in development standards to: 1.) Allow for increased building height beyond the 30-foot maximum allowed by the City; and 2.) Allow for building lot coverage in excess of the 50% maximum limit for the Planned Residential Development ("PRD-13") zoned portion of the property.

The Planning Commission approved the project with the following Findings and revisions to the Conditions of Approval:

2. The design, scale and character of the project architecture and landscape shall be compatible and blend harmoniously with vicinity development and consistent with the City's "small beach town" character. As agreed to by the applicant at the Planning Commission meeting on February 5, 2024, the applicant shall set back the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard dimensions. The applicant further shall study revisions to the plans to reduce the overall height of the project, and privacy considerations for the portions of the units facing the interior courtyards. **Plan Requirement and Timing:** The applicant shall submit plans for the project for final review by the Architectural Review Board prior to approval of any Building Permit for physical development. **Monitoring:** Community Development Department staff (CDD) shall review submitted plans, provide direction to the ARB regarding this condition, and site inspect during the construction phase.

36. The applicant shall provide Three (3) low income dwelling units (16.67% of project units) available for rent at prices affordable to households earning up to 80% of Area Median Income (AMI) consistent with the provisions of Government Code §§ 65915-65918 (Density Bonus Law). **Requirements and Timing**: Prior to issuance of the building permit, the applicant shall execute and record an *Affordable Housing Regulatory Agreement* (Agreement), which shall include a Restrictive Covenant (Covenant). The Agreement and Covenant shall be based on the City's model documents and subject to the review and approval of CDD and the City Attorney. As agreed to by the applicant at the Planning Commission meeting on February 5, 2024, ~~T~~the units shall remain affordable for a period of 99 ~~55~~ years, beginning upon date of issuance of the occupancy clearance for said units. The running of the covenant shall toll during any period of violation.

The Agreement shall include, but not be limited to, the following information about the project:

a. The total number of units approved for the housing development, including the number of affordable dwelling units and manager's unit;

b. A description of the household income group to be accommodated by the housing development and the standards and methodology for determining the corresponding affordable rent or affordable sales price and housing cost consistent with California Department of Housing and Community Development and Housing and Urban Development guidelines;
c. The marketing plan for the affordable units;
d. The location, unit sizes (square feet) and number of bedrooms of the affordable dwelling units;
e. Tenure of the use restrictions for affordable dwelling units for a period of ~~55~~ 99 years;
f. A schedule for completion and occupancy of the affordable dwelling units;
g. A description of the additional incentives and concessions being provided by the City;
h. A description of the remedies for breach of the agreement by the owners, developers and/or successors in interest of the project;
i. Other provisions to ensure successful implementation and compliance with the City's Density Bonus ~~regulations~~ ordinance, ~~and~~ Government Code §§ 65915-65918 (Density Bonus Law), and California Department of Housing and Community Development and Housing and Urban Development guidelines; and
j. Other provisions to ensure compliance with applicable local, state, and federal tenant protection regulations.

In addition, the Agreement shall provide for the following conditions governing the use of affordable dwelling units during the applicable restriction period:

a. The rules and procedures for qualifying tenants, establishing affordable rent, filling vacancies and maintaining the affordable dwelling units for qualified tenants;
b. Provisions requiring owners to annually verify tenant incomes and maintain books and records to demonstrate compliance.
c. Provisions requiring owners to submit an annual report to the City, which includes the name, address and income of each person occupying the affordable dwelling unit and which identifies the bedroom size and monthly rent or cost of each unit; and
d. The applicable use restriction period shall comply with the time limits for continued availability as specified above.

41. No permits for development shall be issued except in conformance with the approved Development Plan and Coastal Development Permit. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Attachment A, Exhibit 2, dated February 5, 2024, and with the agreed upon modification to increase the setback from the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard

dimensions during the February 5, 2024 Planning Commission meeting. Substantial conformity shall be determined by the Community Development Department Director.

The Planning Commission approved the project with the following additions to the Findings and Conditions of Approval:

8. Owner shall not install any over-the-air reception devices (OTARD), such as satellite dishes, television or radio antenna or other communication or transmission devices, on the building, in common areas or on roofs located more than thirty (30) feet above finished grade. All other OTARD devices located on the building, in common areas, on roofs or on the property shall include reasonable screening to prevent impacts to surrounding properties consistent with applicable Federal Communications Commission regulations.

38. Owner shall provide direct connections to high-speed internet service, including wireless access (e.g., Wi-Fi), to each residential unit and all residential tenants at no charge. The City acknowledges that Owner does not operate a high-speed internet service and thus is not responsible to configure a tenant's personal computer or other similar devices and temporary internet services outages may occur outside the control of the Owner. Owner may require residential tenants to comply with reasonable restrictions on the use of the internet service consistent with applicable federal, state and local laws and regulations. Tenants shall have the right to alternative internet service at the tenant's own expense.

39. Owner shall designate at least One (1) on-site manager that resides in the project consistent with applicable California Department of Housing and Community Development and Housing and Urban Development guidelines.

This decision to approve the project is appealable to the City Council. The appeal period is ten days commencing on February 6, 2024, and ending on February 15, 2024, at 5:00 p.m. Because the project is within the Coastal Appeals Overlay, the project approval is also subject to a 10-working day CCC appeal period which commences after the 10-day local appeal period has expired. No appeal fee is required for projects located within the CA Overlay.

In accordance with Chapter 15.80 of the Carpinteria Municipal Code ("CMC"), the applicant shall pay Development Impact Fees (DIFs). The amount of the fees as detailed in the staff report prepared for the Planning Commission hearing is estimated to be $397,933.41 with other fees estimated to be $ 123,145.97. CMC §15.80.090 requires payment of DIFs for commercial projects prior to the issuance of a Building Permit; residential DIFs are allowed to be collected consistent with Government Code section 66007(a), which states that DIFs for residential projects shall be collected on the date of final inspection or issuance of a certificate of occupancy, whichever occurs first, except as provided in Government Code section 66007(b)(1). Fee amounts are updated no less frequently than in July of each year; thus, when final fee

calculations are made at the time the fees are paid, the fee amounts may vary from the estimate given at the initial development approval. Fees are always considered an estimate until the date of payment. The 90-day period during which you may file a protest regarding the imposition of these fees pursuant to Government Code §66020(a) commenced on February 6, 2024.

Conditions of Approval for the project are attached to this letter for your records. **A separate copy of the last page of the Conditions of Approval is also attached. Please sign and return this page to the Community Development Department.** Should you have any questions or need further information regarding this action letter or the project, please contact Brian Banks at (805) 755-4414.

Sincerely,

Nick Bobroff, Director
Community Development Department

Attachment: Planning Commission Resolution with Attachments

cc: Justin Klentner, Owner
IDAG members
Project file, 23-2221-DP/CDP/ARB

RESOLUTION NO. PC-24-001

A RESOLUTION OF THE CITY OF CARPINTERIA PLANNING COMMISSION APPROVING A DEVELOPMENT PLAN AND COASTAL DEVELOPMENT PERMIT FOR PROJECT 23-2221- DP/CDP/ARB FOR THE 4745 CARPINTERIA AVENUE MIXED USE DEVELOPMENT PROJECT. THE PROJECT IS LOCATED AT 4745 CARPINTERIA AVENUE (APN 003-251-021), REQUESTED BY EDWARD DEVICENTE, DMHA ARCHITECTURE.

WHEREAS, the Carpinteria Planning Commission has considered an application for a Development Plan and Coastal Development Permit filed by Edward DeVicente, Architect, on behalf of Justin Klentner, on April 14, 2023, to allow redevelopment of the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development consisting of a 24-unit, 31,026 square foot apartment complex built around and atop a ground-level 22,198 square foot concrete parking podium, and a 4,044 square foot two-story commercial building fronting Carpinteria Avenue; and

WHEREAS, the application was subsequently deemed complete and accepted by the City as being consistent with the applicable submittal requirements on November 28, 2023; and

WHEREAS, a similar mixed-use proposal was previously reviewed at a conceptual level during a joint meeting of the City Council-Planning Commission-Architectural Review Board on December 19, 2022 wherein feedback was provided to the applicant; and

WHEREAS, the ARB considered the proposed project at a conceptual review level at their May 25, 2023 meeting, and at a preliminary review at their August 31, 2023 and October 26, 2023 meetings, culminating in an ARB recommendation for preliminary approval with comments; and

WHEREAS, applicant has made good faith effort to respond to and revise plans to address the City of Carpinteria Architectural Review Board comments; and

WHEREAS, the Planning Commission has conducted a noticed public hearing and received evidence regarding the application for the Development Plan and Coastal Development Permit; and

WHEREAS, applicant is applying provisions of the state's Density Bonus Law (Gov. Code §§ 65915-65918) ("Density Bonus Law") to allow for the inclusion of additional dwelling units which exceed the City's maximum density under the current zoning designation in exchange for designating three of the units as low-income-restricted rentals; and

WHEREAS, applicant is requesting concessions or incentives and/or waivers or reduction of development standards under the provisions of Density Bonus Law to allow the project building height and lot coverage to exceed the City's maximum height and lot coverage under the current zoning designation to facilitate the construction of the project; and

WHEREAS, applicant is requesting use of the specified parking ratios under provisions of Density Bonus Law to allow the project to provide 53 total parking spaces for the onsite commercial and residential uses, including visitor spaces; and

WHEREAS, the Planning Commission has considered a request for a modification of the zoning district requirements for allowance of fifteen percent (15%) of the project parking spaces to be of compact size as specified in Chapter 14.54; and

WHEREAS, the project is categorically exempt from the California Environmental Quality Act ("CEQA") under CEQA Guidelines Section 15332 (in-fill development projects); and

WHEREAS, the Planning Commission has reviewed the policies of the General Plan/Coastal Land Use Plan and the Zoning Code standards that are applicable and relevant to the project.

NOW THEREFORE, THE PLANNING COMMISSION HEREBY RESOLVES AS FOLLOWS:

1. The Development Plan, including a Modification to allow compact parking spaces, and Coastal Development Permit are approved, making the Findings for approval outlined in Exhibit 1;

2. The Notice of Exemption prepared for the project (Attachment F to the staff report) is accepted as having satisfied the requirements of CEQA; and

3. The Development Plan and Coastal Development Permit consistent with the plans shown in Exhibit 2 are approved subject to the project conditions of approval set forth in Exhibit 3.

PASSED, APPROVED AND ADOPTED this 5th day of February 2024, by the following called vote:

AYES: Commissioners: Benefield, La Fevers, Moyer and Allen

NOES: Commissioner(s): None

ABSENT: Commissioner(s):

ABSTAIN: Commissioner(s): Salant

Jane L. Benefield, Chair

ATTEST:

Nick Bobroff, Secretary

I hereby certify that the foregoing Resolution was duly and regularly introduced and adopted at a regular meeting of the Planning Commission of the City of Carpinteria held the 5th day of February 2024.

ATTACHMENT A
EXHIBIT 1: FINDINGS FOR APPROVAL

CITY OF CARPINTERIA PLANNING COMMISSION HEARING
PROJECT 23-2221-DP/CDP/ARB
FEBRUARY 5, 2024

4745 CARPINTERIA AVENUE MIXED USE DEVELOPMENT
4745 CARPINTERIA AVENUE
REQUESTED BY EDWARD DEVICENTE, DMHA ARCHITECTURE

FINDINGS PURSUANT TO GOVERNMENT CODE, LOCAL COASTAL PLAN, GENERAL PLAN, AND TITLE 14 OF THE CARPINTERIA MUNICIPAL CODE

1.0 Administrative Findings

The Planning Commission hereby incorporates by reference as though set forth in full all Community Development Department staff reports and attachments thereto presented to the Planning Commission and all comments made or received either orally or in writing at the public hearings on this project.

1.1 Procedures

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's Local Coastal Program, it has been found that the process for public review of the subject Development Plan and Local Coastal Development Permit has been properly conducted as follows:

a. An application for a Development Plan and Coastal Development Permit was submitted on April 14, 2023, and deemed complete and accepted by the City as being consistent with the applicable submittal requirements on November 28, 2023. Said application and all related material have been available for public review at City offices since the date of submittal.

b. The application has been evaluated and found to conform to the applicable zone district and to be consistent with the applicable City's Local Coastal Program Land Use Plan, the Interpretive Guidelines of the Coastal Commission and the California Coastal Act.

c. The project has been reviewed by the City's Architectural Review Board at duly noticed public meetings which included, but is not limited to, mailed notice to all property owners within 300 feet and occupants within 100 feet of the subject property.

d. The project has been reviewed by the City's Planning Commission at a duly noticed public hearing which included, but is not limited to, mailed notice to all property owners within 300 feet and all occupants within 100 feet of the subject property and publication in the local newspaper, the Coastal View News.

1.2 California Environmental Quality Act

As presented in the staff report and Notice of Exemption prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the Planning Commission finds that the project is categorically exempt from the California Environmental Quality Act pursuant to Section 15332 (In-fill Development Projects) of the Guidelines for the Implementation of the California Environmental Quality Act as the project includes redevelopment of a project site substantially surrounded by urban uses and that meets all of the statutory criteria required for use of the In-fill Development Projects exemption.

1.3 Development Plan Findings

Pursuant to Carpinteria Municipal Code §14.68.030(9), the Planning Commission shall determine that all of the following criteria have been met prior to approving or approving with conditions a Development Plan:

1. *The proposed development is in conformance with the provisions of the applicable zoning district, Local Coastal Plan and implementation programs, and General Plan.*

   As presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the proposed mixed-use project is consistent with the City's General Plan/Coastal Plan. The project site's General/Coastal Plan Land Use is split-designated as Visitor-Serving Commercial ("VC") and General Commercial ("GC"), with the VC designated approximately one-third of the property located along the Carpinteria Avenue frontage and the remaining GC-designated portion of the property located on the remaining southerly two-thirds of the property. The proposed commercial elements of the project would allow for uses such as restaurants or retail business, consistent with the VC designation. The GC General/Coastal Plan designation allows for a mixture of retail, service, office, and residential uses as would be typical of a mixed-use project.

   The project is also consistent with the City's applicable Zoning designations and development standards. The project site is split-zoned with the majority of the property zoned Commercial Planned Development ("CPD"), and remaining portion zoned Planned Residential Development ("PRD-13"). The CDP zone designation allows for commercial development including a variety of office, retail, service, and wholesale businesses, as well as residential development with "dwelling units integrated into the overall commercial development" (i.e., mixed-use developments). The project would place all the commercial elements and a portion of the residential

elements of the project within the portion of the property zoned CPD, consistent with the types of uses permissible in this zone district. The PRD zone designation allows for a variety of residential densities, housing types and designs, including multifamily residential developments (such as apartment complexes). The proposed portion of the project site within the PRD-zoned area of the lot would include ground-level parking and two levels (above) of residential apartments. Such uses would be consistent with the types of land uses permissible in this zone district.

The proposed development is also in conformance with the applicable Visitor-serving Commercial ("V"), Flood Hazard ("FH") and Coastal Appeals ("CA") Overlay districts and would comply with the additional development standards for each, in addition to complying with the base zone district standards as modified under the provisions provided by state Density Bonus Law with respect to density, lot coverage, building height, and required parking. The project qualifies for Density Bonus Law by setting aside three units of the eighteen base units for low-income households at affordable rents for a period of 55 years in exchange for a 29.0% bonus density (i.e., six additional units). The project also proposes use of one concessions or incentive to exceed the maximum building height; and one waiver or reduction of development standards to exceed the PRD zone district maximum lot coverage. The project also calls for utilizing the reduced residential parking requirements stipulated in state Density Bonus Law to reduce the overall required number of residential parking spaces.

The project also calls for utilizing a mix of both standard-size and compact-size parking spaces to meet its parking requirements. As reflected on the project plans, the applicant proposes to designate eight of the 53 total spaces (~15%) as compact spaces and therefore sought approval of a Modification to the development standards as to the design (size) of the parking spaces. The City's Zoning standards do not include standardized provisions for the use of compact-sized spaces, however, by satisfying the required number of parking spaces (as modified under the provisions of Density Bonus Law), and satisfying at least one of the required criteria for approval of a Modification (i.e., provision of affordable housing units), the project would comply with the zone district parking requirements.

2. *The proposed development is sited and designed to avoid risks to life and property due to geologic, flood, or fire hazards and that the proposed density of development is consistent with these objectives.*

As presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the proposed mixed-use project is sited and designed to avoid risks to life and property, and is consistent with the contemplated density for this site as shown in the City's Land Use Map, and as modified through application of state Density Bonus Law. The project site is located in an area that, according to the Safety Element of the City's General Plan/Coastal Land Use Plan, has high potential for both liquefaction and expansive soils. As such, a site-specific geotechnical study was prepared for the project which provides

recommendations for foundation design and construction techniques. These recommendations and techniques, along with the application of current building and seismic codes as part of the building permit review process, would ensure that the proposed development is safe from a geologic perspective. Additionally, the development is designed to comply with FEMA regulations and the City's floodplain management ordinance to ensure the development is safe from flood hazards. Further, the project site is not identified as being located in an area prone to tsunami or sea level rise hazards. Finally, the site is not located within a mapped high fire severity area and with the application of current building and fire codes as part of the building permit review process, the project would be safe from fire hazards.

3. *The proposed development will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.*

   As presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the proposed mixed-use project will not cause substantial environmental damage. The project site is currently developed with a commercial equipment and tool rental business with the entirety of the site disturbed and devoid of any sensitive habitat. The western portion of the project site borders Franklin Creek, which, though channelized and not designated as Environmentally Sensitive Habitat Area ("ESHA") on the City's General/Coastal Plan maps, is considered potential habitat area and the creek channel and adjacent buffer are considered important coastal resources that shall be protected. As such, consistent with the City's Creeks Preservation Program, the proposed project includes the required 50-foot setback from the adjacent Franklin Creek channel. This creek setback "buffer" area is required to be protected in perpetuity as part of the project and restored as riparian and/or upland habitat as incorporated into the project plans. Additionally, the project incorporates vegetated bioswales that would be used to capture, treat and retain stormwater runoff from the project site, and other Low Impact Development ("LID") measures to treat stormwater and protect the adjacent creek from untreated runoff. Additionally, the project incorporates tree protection measures to ensure that the offsite native sycamore trees west of the project site along the creek corridor are protected during construction of the project. Lastly, standard construction phase conditions of approval are included to ensure temporary impacts related to dust, erosion/sedimentation, spills/water quality, air quality/emissions, and noise would be avoided or minimized.

4. *The proposed development will not conflict with any recorded easements acquired by the public at large for access through the property or use of the property or any easements granted to any public agency or required as a condition of approval.*

   The proposed development will not conflict with any recorded public access easements as no recorded pubic access easements affect the property, nor are public easements required to effectuate project approval.

5. *The proposed development will not adversely affect necessary community services and values including but not limited to traffic circulation, sewage disposal, fire protection, water supply, and police protection.*

   As presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the proposed mixed-use project will not adversely affect necessary community services. A traffic study prepared by a qualified traffic engineer, was provided by the applicant as part of the project review. The study utilized the County's Vehicle Miles Travelled ("VMT") calculator and regional traffic models in addition to an analysis of certain project-specific elements including the mixed-use design, including integration of affordable rental units, location in close proximity to transit stops, and the inclusion of electric vehicle charging and parking spaces, for the analysis. The study was provided to the City's contract traffic engineering consultant for peer-review, and the City's consultant confirmed the study was adequate and agreed with its conclusions that the project would not result in an adverse impact to traffic circulation.

   The project site is presently served by all utilities and services, and the described project can continue to be adequately served by all required utilities and public services. The project was reviewed by the Carpinteria Valley Water District, Carpinteria Sanitary District and Carpinteria-Summerland Fire Protection District, with each indicating the ability to serve the project. Electrical, natural gas, and telecommunication services are all available at the site.

6. *The proposed development will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood.*

   As presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the proposed mixed-use project will not be detrimental to the peace, health, safety, comfort, convenience, property values, or general welfare of the neighborhood. Through successive project design iterations in response to comments received during the City's architectural review process, the project's Ninth Street elements have been reduced in height from the original application submittal. In addition, even with the parking reductions incorporated into the project as allowed under state Density Bonus Law, the project provides in excess of the minimum number of required on-site parking spaces allowable under state law. The project is an in-fill development on a site that is substantially surrounded by urban uses and is consistent with the type and intensity of development anticipated in urbanized areas of the City's downtown neighborhood and the City's General Plan/Coastal Land Use Plan.

   As discussed in more detail in the General Plan / Coastal Plan Neighborhood Policy analysis below, the proposed in-fill project is consistent with the type and intensity of development anticipated in urbanized areas of the City's downtown neighborhood by the City's General Plan/Coastal Land Use Plan.

Downtown mixed-use developments that provide opportunities for both new/expanded commercial development in the downtown and much needed new workforce housing help to achieve the intent of the above Land Use Element policies. Such developments concentrate workforce housing near job centers and existing businesses, and in close proximity to essential services (including, but not limited to, transit). Higher density mixed use developments also help to foster a livelier and more vital downtown district by introducing additional year-round residents to the area to supplement seasonal tourism and support enhanced opportunities for use of alternative transportation.

The proposed development will not adversely affect necessary community services. A traffic study prepared by a qualified traffic engineer, was provided by the applicant as part of the project review. The study utilized the County's Vehicle Miles Travelled (VMT) calculator and regional traffic models in addition to an analysis of certain project-specific elements including the mixed-use design, integration of affordable rental units, location in close proximity to transit stops, and the inclusion of electric vehicle charging and parking spaces for the analysis. The study was provided to the City's contract traffic engineering consultant for peer-review, and the City's consultant confirmed the study was adequate and agreed with its conclusions that the project would not result in an adverse impact to traffic circulation.

The redevelopment of the site with a multi-story mixed-use development creates an opportunity to gain additional utility out of a rare large, but under-developed site in the City's Downtown "T" district.

Cumulatively, this new square footage would provide expanded opportunities for new visitor-serving commercial development to be introduced at the west end of the downtown core, and present an opportunity to provide compatible commercial activity in this part of the downtown. To maintain consistency with the intent of these policies, future commercial tenants of the ground floor space, at minimum, would need to be visitor-serving in nature.

The site's location within the Downtown "T" on Carpinteria Avenue would also allow the project to utilize existing transit and alternative transportation infrastructure. Carpinteria Avenue is improved with class II bicycle lanes and continuous sidewalks leading into the downtown, and MTD's line 20 bus service runs along Carpinteria Avenue with stops in close proximity to the project site. The City's train station platform is located approximately one-half-mile away.

1.4 Development Plan Modification Findings

Pursuant to Carpinteria Municipal Code §14.50.120, in reviewing a Development Plan, the Planning Commission or City Council may consider modification of requirements of the base zoning district in which the proposed development is located, including building height, yard setback, parking, building coverage or landscaping, if it is determined that

such modification is necessary to accommodate an innovative project which will result in at least one of the following public benefits:

1. *Energy efficient heating/cooling; or*
2. *Provision of affordable housing units through a mix of housing types, innovative design and construction techniques, or other means; or*
3. *Provision of a larger amount of open space or landscaping than the minimum requirements of the district.*

As referenced in the Development Plan Findings above, and as presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the project calls for utilizing a mix of both standard-size and compact-size parking spaces to meet its parking requirement. As reflected on the project plans, the applicant designates eight of the 53 total spaces (~15%) as compact spaces and therefore sought approval of a Modification to development standards as to the design (size) of the parking spaces. As currently designed, the parking area serves as a "podium" over which the majority of the project is constructed, thus maximizing the available site area for open space and landscaping. Allowing for the compact spaces further allows for the provision of more parking spaces and/or a smaller development footprint for the parking area. Given the alternatives allowed by the state Density Bonus Law, the fact that the project may also qualify for coverage under AB 2097 to eliminate parking entirely, and because the project provides three dedicated low-income affordable housing units and innovative design, the Planning Commission can make the required Findings #2 and 3, as provided in the Municipal Code.

1.5 Coastal Development Permit Finding

Pursuant to the California Coastal Act, the Administrative Regulations of the California Coastal Commission and the City's certified Local Coastal Program, it has been found that the permit requested may be issued based on the following findings:

1. *The proposed development is in conformity with the City's certified Local Coastal Program.*

   As referenced in the Development Plan Findings above, and as presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference, the proposed mixed-use project is in conformity with the City's certified Local Coastal Program. The project is an in-fill development on a site that is substantially surrounded by urban uses and is consistent with the type and intensity of development anticipated in urbanized areas of the City's downtown neighborhood and the City's General Plan/Coastal Land Use Plan's Visitor-Serving Commercial ("VC") and General Commercial ("GC") land use designations.

   The project is also consistent with the City's Commercial Planned Development ("CPD") and Planned Residential Development ("PRD-13") zoning designations. The CDP zone designation allows for commercial development including a variety of

office, retail, service, and wholesale businesses, as well as residential development with "dwelling units integrated into the overall commercial development" (i.e., mixed-use developments). The project would place all the commercial elements and a portion of the residential elements of the project within the portion of the property zoned CPD, consistent with the types of uses permissible in this zone district. The PRD zone designation allows for a variety of residential densities, housing types and designs, including multifamily residential developments (such as apartment complexes). The proposed portion of the project site within the PRD-zoned area of the lot would include ground-level parking and two levels (above) of residential apartments. Such uses would be consistent with the types of land uses permissible in this zone district.

The proposed development is also in conformance with the Visitor-serving Commercial ("V"), Flood Hazard ("FH") and Coastal Appeals ("CA") Overlay districts and would comply the additional development standards for each, in addition to complying with the base zone district standards as modified under the provisions provided by state Density Bonus Law with respect to density, lot coverage, building height and required parking, and as further modified through approval of a Development Plan Modification to allow for 15% of the provided onsite parking to utilize compact-size spaces.

An analysis of the project's conformity with the Objectives and Policies of the City's certified Local Coastal Program is presented in the staff report prepared for the Planning Commission hearing of February 5, 2024, and herein incorporated by reference. As discussed in the staff report, the project has been found to be consistent with the applicable objectives and policies of the Land Use; Community Design; Circulation; Open Space, Recreation & Conservation; Safety; Noise; Public Facilities; and Housing Elements of the City's General Plan/Coastal Land Use Plan. Therefore, this finding can be made.

PLANNING COMMISSION HEARING
PROJECT 23-2221-DP/CDP/ARB
4745 CARPINTERIA AVE (APN 003-251-021)
FEBRUARY 5, 2024

ATTACHMENT A, EXHIBIT 3: CONDITIONS OF APPROVAL
4745 CARPINTERIA AVE MIXED-USE PROJECT

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit are based upon and limited to compliance with the project description, the hearing exhibits (Attachment A, Exhibit 2 to the staff report dated February 5, 2024) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

   The project description is as follows:

   Request for a Development Plan and Coastal Development Permit to allow redevelopment of the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development. The proposed mixed-use development would be comprised of a 24-unit 31,026 square foot apartment complex built around and atop a ground-level 22,198 square foot concrete parking podium, and a 4,044 square foot two-story commercial building fronting Carpinteria Avenue. All existing site improvements would be removed to facilitate the proposed development. Cumulative square footage for the proposed project would total approximately 64,053 square feet. Maximum building height to the top of the proposed three-story element would be approximately 35 feet, seven inches from finished grade.

   The 24-unit apartment complex would be comprised of 4 one-bedroom units, 16 two-bedroom units, and 4 two-bedroom "townhouse" units facing Ninth Street. The 4 one-bedroom units would range in size from 996 – 1,163 square feet; the 16 two-bedroom units would range in size from 1,122 – 1,310 square feet; and the 4 two-bedroom "townhome" units would range in size from 1,472 – 1,486 square feet. The four "townhouse" units and one of the one-bedroom units (Unit 5) would be two-story units fronting on Ninth Street.

The three low-income restricted units are proposed as one-bedroom units (Units 5, 6 and 11).

Pursuant to Density Bonus Law, the proposal requests the use of incentives or concessions from the local jurisdiction's development standards to facilitate the construction of the project and/or to accommodate the increased density. Specifically, the project proposes to utilize the reduced required parking rates for residential developments subject to density bonus provisions, and to request the two following concessions/incentives and/or waivers or reductions in development standards to: 1.) Allow for increased building height beyond the 30-foot maximum allowed by the City; and 2.) Allow for building lot coverage in excess of the 50% maximum limit for the Planned Residential Development ("PRD-13") zoned portion of the property.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

PROJECT SPECIFIC CONDITIONS

AESTHETICS

2. The design, scale and character of the project architecture and landscape shall be compatible and blend harmoniously with vicinity development and consistent with the City's "small beach town" character. As agreed to by the applicant at the Planning Commission meeting on February 5, 2024, the applicant shall setback the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard dimensions. The applicant further shall study revisions to the plans to reduce the overall height of the project, and privacy considerations for the portions of the units facing the interior courtyards. **Plan Requirement and Timing:** The applicant shall submit plans for the project for final review by the Architectural Review Board prior to approval of any Building Permit for physical development. **Monitoring:** Community Development Department staff (CDD) shall review submitted plans, provide direction to the ARB regarding this condition, and site inspect during the construction phase.

3. All materials and colors used in construction and all landscape materials shall be as represented to the City and any deviation will require the express review and approval of the Community Development Department.

4. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject

and approved, by the Community Development Department prior to Occupancy Clearance. CDD may refer the program to the Architectural Review Board for review. **Monitoring:** CDD staff shall review all tenant signage applications for consistency with the approved sign program.

BIOLOGY

10. The applicant shall implement the recommended tree protection measures outlined in the arborist report prepared by Bill Spiewak dated August 10, 2023, and listed below, during demolition/construction activities within the project site. Such measures shall include, but not be limited to, the following:
    a. Fence off all trees from construction at the critical root zone or where practical with six-foot high chain link or orange construction fence with metal stakes;
    b. No activities or storage of construction materials shall be allowed within the fenced areas unless approved by CDD;
    c. Any root disturbance to any of the protected trees shall be done by hand and the project arborist alerted;
    d. All roots encountered shall be cut cleanly with a sharp saw to allow for new root regeneration, backfilled immediately or kept moist to prevent drying out and dying;
    e. Any tree affected by the construction process shall be deep-root fertilized to promote better health and vigor;
    f. Compaction of the root zone shall be avoided by spreading three to four inches of mulch. If necessary, plywood or equivalent shall be placed on top;
    g. During hot, dry periods, the foliage may need to be washed with high pressure water to remove construction dust;
    h. Project arborist shall be notified prior to any activities within the critical root zone;
    i. Leave existing hardscape (i.e., asphalt) in place as long as practicable to aid with the protection of the root system;
    j. Utilize caissons and grade beams for any foundation work close to the trees (stay at least 15 feet from the trunks of the trees); and
    k. Final landscaping around trees shall be compatible in water demand to these specific trees' needs with minimal trenching for lighting and irrigation.

    Plan Requirements/Timing: This condition shall be printed on all final building and grading plans. Tree protection measures shall be implemented prior to- and during construction as applicable. **Monitoring:** CDD shall coordinate with the project arborist prior to initiation of construction to ensure tree protection measures are in place. CDD shall spot check in the field to ensure ongoing compliance with this measure.

11. All ground disturbances and vegetation removal within the 50-foot setback of Franklin Creek shall be limited to the demolition, grading for site preparation, landscaping and storm water improvements depicted on the approved project plans. **Plan Requirements:** The 50-foot setback area shall be shown on all grading plans. **Timing:** Protective fencing

g. Permanent native landscaping shall be provided to developed areas;

h. The planting of any landscape plants listed on the California Exotic Pest Plant Council's Lists of Exotic Pest Plants of Greatest Ecological Concern in California is prohibited in any environmentally sensitive habitat areas ("ESHA") or creek setback area;

i. Project applicant and any and all successors shall provide informational materials to future occupants that ensure protective standards/conditions of approval are recognized and complied with throughout the life of the project;

j. Post-Construction Requirements from the City's Water Quality Protection Regulations will be implemented to minimize impacts to runoff, erosion, and water quality;

k. All new fencing shall be wildlife permeable as defined by the following criteria:
    a. Fences shall have a wooden (not wire) rail at the top;
    b. Fences shall be less than 40 inches high; and,
    c. Fences shall have a space greater than 14 inches between the ground and the bottom rail.

l. All exterior lighting shall be minimized, restricted to low intensity features, shielded and directed away from creek ESHA to minimize impacts to wildlife. Permitted lighting shall conform to the following standards:
    i. The minimum necessary to light walkways used for entry and exit to the structure, including parking areas on the site. This lighting shall be limited to fixtures that do not exceed 60 watts, or the equivalent, unless a higher wattage is authorized by the Community Development Director;
    ii. Security lighting attached to the residence that is controlled by motion detectors and is limited to 60 watts, or the equivalent;
    iii. The minimum lighting necessary for safe vehicular use of the driveway. The lighting shall be limited to 60 watts, or the equivalent;
    iv. A light, not to exceed 60 watts or the equivalent, at the entrance to any non-residential accessory structures; and,
    v. No lighting around the perimeter of the site, no lighting for sports courts or other private recreational facilities and no lighting for aesthetic purposes is allowed.

Plan Requirements and Timing: Prior to issuance of a Grading or Building Permit, the applicant shall submit a Construction Mitigation Plan, prepared by a CDD approved biologist, arborist or landscape architect to CDD for review and approval. All requirements shall be specified on grading and building plans and graphically depicted if feasible. Protective fencing shall be installed prior to start of grading or construction. **Monitoring:** CDD shall site inspect throughout grading and construction activities.

by the CDD prior to Occupancy Clearance. **Monitoring:** CDD shall conduct site visits to ensure installation and maintenance of landscape and irrigation.

CULTURAL RESOURCES

17. In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a CDD-qualified archaeologist and Native American representative are retained by the applicant to evaluate the significance of the find pursuant to Phase 2 investigations of the City Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with City Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and shall spot check in the field for compliance.

18. If human remains are uncovered during ground disturbing activities, the applicant shall immediately halt work and contact the Santa Barbara County Coroner to evaluate the remains. CDD shall be contacted immediately after contact or attempted contact with the County Coroner and all excavation activities on the project site shall cease. If the County Coroner determines that the remains are Native American, the Native American Heritage Commission shall be notified and no further excavation activity shall occur on the site until consultation is complete with the most likely descendant, the Coroner and the CDD staff. Authorization to resume construction shall only be given by the City after consultation with the most likely descendent and shall include implementation of all appropriate measures to protect any possible burial sites or human remains. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and shall spot check in the field.

GRADING

19. Grading and erosion and sediment control plans shall be designed to minimize erosion and shall include the following:
    a. Methods such as geotextile fabrics, erosion control blankets, retention basins, drainage diversion structures, siltation basins and spot grading shall be used to reduce erosion and siltation during grading and construction activities.
    b. All entrances/exits to the construction site shall be stabilized (e.g., using rumble plates, gravel beds or other best available technology) to reduce transport of sediment offsite. Any sediment or other materials tracked offsite shall be removed the same day as they are tracked using dry cleaning methods.
    c. Storm drain inlets shall be protected from sediment-laden waters by the use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters and excavated inlet sediment traps.

occupants. This can be achieved passively with z-ducts, fresh air ducts or approved equal.

b. All exterior walls shall meet a Sound Transmission Class (STC) rating of at least 46.

c. All windows and sliding glass doors shall be rated STC 26 (assumed to be standard dual pane windows required per Title 24 energy standards) or higher.

d. All entry doors shall be insulated against weather and sound with non-porous seals. Caulk entry door thresholds as they are placed.

e. Use permanently non-hardening sealant around perimeter of window frames.

f. Window assemblies shall be constructed with effective non-porous gaskets or weatherstripping to minimize air infiltration and sound leakage.

g. Provide airtight construction at all exterior walls with acoustical or other non-hardening sealant at floor plates.

h. Use door jamb and head gasketing and door bottom gasketing at entry doors to seal the solid core doors against weather and sound.

Plan Requirements/Timing: All sound attenuation measures shall be incorporated into the building plans submitted for building permit plan check. Applicable plan sheets (i.e., mechanical, windows and doors, etc.) shall be in substantial compliance with the measures outlined in the acoustical study. **Monitoring:** Building Inspector shall review and approve building plans and shall site inspect during construction, prior to occupancy clearance.

23. Construction activity shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays (e.g., Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits and/or citations. **Monitoring:** Building Inspector shall spot check and respond to complaints.

24. In addition to the construction hour limitations, all construction noise reduction measures specified in the Acoustical and Construction Noise Study prepared by Rincon Consultants, dated August 1, 2023, shall be implemented to limit short-term noise impacts during construction, including, but not limited to:

    a. **Mufflers.** During all phases of demolition and construction, all construction equipment, fixed or mobile, shall be operated with closed engine doors and shall be equipped with properly operating and maintained mufflers consistent with manufacturers' standards.

    b. **Stationary Equipment.** All stationary construction equipment shall be placed so that emitted noise is directed away from the nearest sensitive receptors.

    c. **Equipment Staging Areas.** Equipment staging shall be located in areas that will create the greatest distance feasible between construction-related noise sources and noise-sensitive receptors.

the project. **Monitoring:** CDD shall site inspect during construction, prior to occupancy, and after occupancy to ensure solid waste management components are established and implemented.

27. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on demolition plans. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates. **Timing:** Materials shall be recycled as necessary throughout demolition and grading activities. **Monitoring:** Public Works shall review and approve a completed WMP prior to issuance of a Building Permit.

28. To prevent construction and/or employee trash from blowing offsite, covered receptacles shall be provided onsite prior to commencement of grading or construction activities. Waste shall be picked up weekly or more frequently as directed by CDD staff. **Plan Requirements and Timing:** Prior to Building Permit issuance, applicant shall designate and provide to CDD the name and phone number of a contact person to monitor trash/waste and organize a clean-up crew. Trash control shall occur throughout all grading and construction activities. **Monitoring:** CDD shall inspect periodically throughout grading and construction activities.

AIR QUALITY

29. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site by following the dust control measures listed below. During clearing, grading, earth moving, excavation or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
    a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this shall include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency shall be required whenever the wind speed exceeds 15 miles per hour. Reclaimed water should be used whenever possible.
    b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.
    c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped form the point of origin.

shall spot check and ensure compliance onsite. APCD shall respond to complaints, as applicable.

WATER QUALITY

32. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.

33. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.

STORM WATER

34. The project shall provide for onsite retention of storm water runoff, infiltration, and recharge where feasible. Feasibility shall be determined by CDD and Public Works. Retention basin(s) shall be maintained for the life of the project by the landowner. Recharge systems shall be developed in conjunction with Public Works and CDD. **Plan Requirements:** A drainage plan showing the location and design of the retention basins shall be submitted to CDD and Public Works for review and approval. Long term maintenance requirements shall be specified in a maintenance program submitted by the landowner. **Timing:** Retention and/or recharge basins shall be installed (landscaped and irrigated subject to CDD and Public Works approval) prior to occupancy clearance. **Monitoring:** CDD shall site inspect for installation and maintenance of landscaping. Public Works approval is required on final grading/drainage plans, and CDD approval is required for release of the performance security.

35. The applicant shall follow the County of Santa Barbara Stormwater Technical Guide to implement Post-Construction Runoff Control Measures (PCRs) to effectively prevent the entry of pollutants from the project site into the storm drain system during and after development. **Plan Requirements**: The applicant shall implement a Storm Water Control

c. The marketing plan for the affordable units;
b. The location, unit sizes (square feet) and number of bedrooms of the affordable dwelling units;
c. Tenure of the use restrictions for affordable dwelling units for a period of 99 years;
d. A schedule for completion and occupancy of the affordable dwelling units;
e. A description of the additional incentives and concessions being provided by the City;
f. A description of the remedies for breach of the agreement by the owners, developers and/or successors in interest of the project;
g. Other provisions to ensure successful implementation and compliance with the City's Density Bonus ordinance, Government Code §§ 65915-65918 (Density Bonus Law), and California Department of Housing and Community Development and Housing and Urban Development guidelines; and
h. Other provisions to ensure compliance with applicable local, state, and federal tenant protection regulations.

In addition, the Agreement shall provide for the following conditions governing the use of affordable dwelling units during the applicable restriction period:

a. The rules and procedures for qualifying tenants, establishing affordable rent, filling vacancies and maintaining the affordable dwelling units for qualified tenants;
b. Provisions requiring owners to annually verify tenant incomes and maintain books and records to demonstrate compliance.
c. Provisions requiring owners to submit an annual report to the City, which includes the name, address and income of each person occupying the affordable dwelling unit and which identifies the bedroom size and monthly rent or cost of each unit; and
d. The applicable use restriction period shall comply with the time limits for continued availability as specified above.

38. Owner shall provide direct connections to high-speed internet service, including wireless access (e.g., Wi-Fi), to each residential unit and all residential tenants at no charge. The City acknowledges that Owner does not operate a high-speed internet service and thus is not responsible to configure a tenant's personal computer or other similar devices and temporary internet services outages may occur outside the control of the Owner. Owner may require residential tenants to comply with reasonable restrictions on the use of the internet service consistent with applicable federal, state and local laws and regulations. Tenants shall have the right to alternative internet service at the tenant's own expense.

39. Owner shall designate at least One (1) on-site manager that resides in the project consistent with applicable California Department of Housing and Community Development and Housing and Urban Development guidelines.

40. None of the dwelling units shall be operated as short-term vacation rentals or otherwise leased for a period of less than 30 days.

43. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.

44. No permits for development shall be issued except in conformance with the approved Development Plan and Coastal Development Permit. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Attachment A, Exhibit 2, dated February 5, 2024, and with the agreed upon modification to increase the setback the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard dimensions during the February 5, 2024 Planning Commission meeting. Substantial conformity shall be determined by the Community Development Department Director.

45. On the date a subsequent Development Plan is approved for this site, any previously approved but unbuilt plans shall become null and void.

46. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at 1-800-227-2600 a minimum of 48 hours prior to the start of construction. For best response, provide as much notice as possible, up to 10 working days.

47. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of building permits.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

48. Future commercial uses of all tenant spaces shall be consistent with project zoning, including, but not limited to, the base zone district requirements and any applicable overlay districts, including Visitor-serving Commercial allowed uses. Approval of a Building Permit for all future tenant improvements within the commercial spaces is required. In addition, issuance of a Carpinteria Business License and Occupancy Clearance shall be obtained for all future tenants to confirm respective uses are consistent with allowed uses under zoning prior to initiating business. Individual uses may be conditioned for hours of operation, noise, or similar measures, as needed, to address potential nuisance issues and land use compatibility.

49. No provision of alcohol service, live entertainment or dancing are permitted as part of this approval. Should the applicant or any future tenant(s) choose to provide any of these services or activities, the proper licenses and approvals must first be obtained from the City. **Plan Requirements/Timing:** Prior to initiating alcohol service, live entertainment or dancing, applicant and/or tenant shall apply to the City (and/or respective State agency) for all necessary licenses and approvals. **Monitoring:** CDD staff shall ensure all

58. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.

59. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.

60. All requirements of the City (including but not limited to public improvements as defined in the City Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.

61. The standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.

62. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the Planning Commission.

63. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.

64. If, at any time, the City or Planning Commission determines that there has been, or may be, a violation of the findings or conditions of this Development Plan and Coastal Development Plan, or of the Municipal Code regulations, a public hearing may be held before the Planning Commission to review this permit. At said hearing, the Planning Commission may add additional conditions, or recommend enforcement actions, or revoke the permit entirely, as necessary to ensure compliance with the Municipal Code, and to provide for the health, safety, and general welfare of the City. The applicant shall reimburse the City for all costs associated with gaining compliance with the original conditions of approval.

65. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.

66. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of

CARPINTERIA
Sanitary District

5300 Sixth Street
Carpinteria, CA 93013
Phone (805) 684-7214 • Fax (805) 684-7213

May 3, 2023

Via Email: nickb@carpinteriaca.gov

Mr. Nick Bobroff
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, California 93013

RE: Project No. 23-2221-DP/CDP
4745 Carpinteria Avenue (APN: 003-251-018)
Applicant: Western Built Construction – Justin Klentner

Dear Mr. Bobroff:

Thank you for the opportunity to provide comments on the subject project. The Carpinteria Sanitary District (District) has reviewed the application package and conceptual plans provided for the proposed mixed use project, which includes 22 new residential apartment units and 4,304 square feet of commercial space.

The District recommends that the following conditions be incorporated into the review/approval process to address sewer system improvements:

1. Any sewer improvements shall conform to approved District construction standards for materials and methods. The applicant shall submit detailed engineered drawings to the District showing all proposed sewer improvements for review and approval.

2. The preliminary utility plans show a single connection to the District's existing sewer main in 9th Street. This may be acceptable for the proposed development (single ownership and not condominiums). Exact configuration will be determined in the design review process described in Item 1 above.

3. The applicant shall provide the District with an estimate of peak wastewater flow from the proposed development. The hydraulic capacity of downstream sewer conveyance infrastructure in Holly Avenue is limited. The District may require modeling of the District sewer network to verify available capacity to serve the project.

4. A Sewer Construction Permit is required for sewer improvements serving the proposed project. The permit shall be procured and applicable fees paid prior to issuance of Building permits. During construction, it is the applicant's responsibility to notify the District of any modifications to or variation from the approved engineered drawings.

5. A Development Impact Fee (DIF) for the project shall be paid to the District prior to issuance of a Sewer Construction Permit. The applicable DIF shall be determined by

CARPINTERIA
Sanitary District

5300 Sixth Street
Carpinteria, CA 93013

Phone (805) 684-7214 · Fax (805) 684-7213

January 17, 2024

Via Email: Brian.Banks@carpinteriaca.gov

Mr. Brian Banks
Community Development Department
City of Carpinteria
5775 Carpinteria Avenue
Carpinteria, California 93013

RE: Project No. 23-2221-DP/CDP
4745 Carpinteria Avenue (APN: 003-251-018)
Applicant: Western Built Construction – Justin Klentner

Dear Mr. Banks:

Thank you for the opportunity to provide comments on the subject project. The Carpinteria Sanitary District (District) has reviewed the application package and conceptual plans provided for the proposed mixed-use project, which includes 24 new residential apartment units and 4,304 square feet of commercial space.

The District recommends that the following conditions be incorporated into the review/approval process to address sewer system improvements:

1. Any sewer improvements shall conform to approved District construction standards for materials and methods. The applicant shall submit detailed engineered drawings to the District showing all proposed sewer improvements for review and approval.

2. The preliminary utility plans show a single connection to the District's existing sewer main in 9th Street. This may be acceptable for the proposed development (single ownership and not condominiums). Exact configuration will be determined in the design review process described in Item 1 above.

3. The applicant shall provide the District with an estimate of peak wastewater flow from the proposed development. The hydraulic capacity of downstream sewer conveyance infrastructure in Holly Avenue is limited. The District may require modeling of the District sewer network to verify available capacity to serve the project.

4. A Sewer Construction Permit is required for sewer improvements serving the proposed project. The permit shall be procured and applicable fees paid prior to issuance of

CITY OF CARPINTERIA, CALIFORNIA

Public Works Department
Memorandum

To: Nick Bobroff, Principal Planner
Community Development Department

From: John L. Ilasin, Public Works Director/City Engineer /s/

Date: November 27, 2023

Subject: 4745 Carpinteria Avenue, Project No. 23-2221-DP/CDP

The Public Works Department has reviewed the project submittal dated April 26, 2023, and has the following conditions of approval:

CONDITIONS OF APPROVAL

1. An Engineering Permit shall be obtained from the City Engineer for any improvements or other encroachment work within the public right-of-way.

2. All improvements within the public right-of-way shall be completed to the satisfaction of the City Engineer prior to the issuance of a Certificate of Occupancy.

3. Record drawings or as-built plans shall be submitted to the City Engineer at time of final inspection for all work covered by an Engineering Permit. The record drawings or as-built plans shall be the original construction tracings or permanent mylar copies of a quality acceptable by the City Engineer.

4. A Transportation Permit shall be obtained from the City Engineer for operating or moving any vehicle or combination of vehicles or special mobile equipment in any of the acts as listed in Carpinteria Municipal Code Section 12.12.010.

5. All existing private property encroachments shall be removed from the City of Carpinteria public right-of-way.

6. Improvements shall include concrete curbs, gutters, and sidewalks; and street trees along the property frontage on Ninth Street.

7. Improvements shall include removal of existing driveway approach at the property frontage on Carpinteria Avenue and replacement with concrete curb, gutter, and sidewalk.

8. Improvements shall include new concrete driveway approaches at the following property frontage locations for conformance with current Americans with Disabilities Act (ADA) standards:

Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

November 10, 2023

Justin Klentner
152 N Almont Dr.
West Hollywood, CA 90048

SUBJECT: **Request for Intent to Serve Letter regarding proposed project at 4745 Carpinteria Avenue (the "Project")**

Dear Applicant,

In response to your request, this letter will serve as confirmation that Carpinteria Valley Water District (the "District") currently has sufficient water supply to serve the Project, subject to qualifications indicated below.

The Project proposes to redevelop 4745 Carpinteria Avenue into a new mixed-use development. Per density bonus law, this project set aside 17% of the 18 base units for low-income households, which would equate to three income-restricted units, and would grant the project tup to a 30.5% density bonus (six additional units), which would equal 24 units. The project consists of 23,094 GSF of 18 two-bedroom units, 5,752 GSF of 4 two-bedroom townhouses facing 9th St., 2,155 GSF of 2 one-bedroom units, 4,304 GSF of 2 story commercial/retail, and 22,500 GSF concrete parking podium. 53 proposed parking spaces: 18 commercial and 35 residential.

Permit #: 23-2221-DP/CDP

While the District currently has sufficient water to supply the Project's proposed use, it is important to note that the District has declared a Stage 1 Drought Emergency (see Ordinance 22-1, *www.cvwd.net*), which remains in effect. As a result, while there are currently meters available to service the Project, the District will continue to monitor its water supply, and may be forced to consider declaring more severe stages of drought or imposing further water restrictions or a moratorium on new and/or expanded connections.

Accordingly, the confirmation conveyed by this letter is subject to the following conditions and caveats:

1. If the intensity of the proposed use increases, this letter is void and you will need to file a new request for an "Intent to Serve" letter. Subsequent issuance of a new Intent to Serve letter is not assured.
2. This letter is only valid for the Subject Project.
3. You must obtain all permits and approvals for the Project as required by local, state and federal law.

Carpinteria Valley Water District

1301 Santa Ynez Avenue • Carpinteria, CA 93013
Phone (805) 684-2816

November 10, 2023

Justin Klentner
152 N Almont Dr.
West Hollywood, CA 90048

SUBJECT: **4745 CARPINTERIA AVE; APN 003-251-021; ACCOUNT NUMBER 08-082152-02; PROJECT NUMBER 23-2221-DP/CDP; MIXED-USE DEVELOPMENT (APARTMENTS + TOWNHOMES + COMMERCIAL SPACE); INTENT TO SERVE WITH CONDITIONS**

To Whom It May Concern,

Please be advised, this parcel is within the jurisdiction of Carpinteria Valley Water District and therefore is entitled to District water service in accordance with District Rules and Regulations. Currently the District is in a Stage 1 Drought Emergency; for more information on Ordinance 22-1, please visit the District website www.cvwd.net.

This letter is good for one year from the date of the letter.

The subject property is currently served by a 0.75" commercial water meter and does not have a backflow protection device immediately downstream of the water meter (Account #08-082152-02). Based on the grading and drainage plans dated April 14th, 2023, the District has the following conditions:

- Include the District on the City's building permit issuance and final sign off routing sheets.
- Include the District on the City's final sign off for occupancy.
- The project must have a meter for each dwelling unit and the project must be plumbed accordingly and note which meter is servicing each dwelling unit. Water demand calculations must be provided to the District in order to determine the meter sizes prior to sign off of the building permit.
- Commercial units will require commercial water meter(s) for the project.
- Unless utilized for the project, the existing 0.75" commercial water meter and service line on Carpinteria Avenue is to be abandoned and shown on water utility plan.
- The property will require a dedicated landscape meter or meters to water landscaped areas. The irrigation meter(s) will require an appropriately sized reduced pressure principle backflow assembly (RP) per Standard Detail W-115. Calculated water demand will determine landscape meter size, as to be approved by District.
- Provide landscape plan that displays water system layout prior to issuance of building permit.
- Provide a complete Civil plan set prior to issuance of building permit.
- Once meters are installed, accounts will be open and owner will be responsible for monthly fees, charges, and account deposit.

cc: TCM to account
Brian King, District Engineer

Application for address changes or additional addresses shall be submitted to CSFPD Fire Prevention Bureau.

Additional Comments: 9th street is a dead end street. A fire department turnaround is required. It is recommended to use the 9th street entry driveway as part of the required turnaround. Contact the Fire Prevention Bureau for further clarification.

Water Requirements:

Fire hydrants capable of supplying the required fire flow for fire protection shall be provided for all buildings or portions of buildings which have been or are hereafter constructed within this project.

A current fire flow form shall be submitted to Carpinteria-Summerland Fire Protection District. Contact the Carpinteria Valley Water District to schedule having the test performed.

Fire hydrants shall be installed within 250 feet driving distance of all structures. The hydrant(s) shall be of the type approved by the Fire District and acceptable to the Carpinteria Valley Water District. The fire hydrant and mains supplying the same shall be installed in accordance with the current CFC and CSFPD standards. The minimum gallons per minute at 20 PSI shall be determined by the fire flow requirements in the current CFC.

Prior to vertical construction or stacking of lumber for construction the fire protection water system shall be installed flushed and approved by the Fire District to assure compliance with the standards expressed herein.

Additional Comments: Two new hydrants will be required. One on the Carpinteria Ave. side of the project on the south side of the street. The second will be installed on the 9th street side of the project. Exact location to be determined with Carpinteria Valley Water District.

Fire Protection Systems Requirements:

All new buildings and structures shall be protected by an approved automatic fire sprinkler system.

FDCs shall be located within 150' of a fire hydrant capable of providing the required fire flow.

Prior to installation plans for the proposed fire sprinkler system shall be designed by a qualified person and submitted to this office for approval.

A fire alarm or sprinkler monitoring system shall be installed or modified. Prior to installation plans for the system shall be designed by a qualified person and submitted to this office for approval.

CARPINTERIA~SUMMERLAND
FIRE PROTECTION DISTRICT

Inspector's Signature

Signed 6/29/2023, 11:55:44 AM PDT

The above conditions apply to this project as submitted. Future changes including, but not limited, to further division, intensification of use, or increase in hazard classification, may require additional conditions in order to comply with applicable development standards in effect at the time of the change. If you have questions please do not hesitate to contact this office at (805) 684-4591

Attachment D

Action Letter from March 26, 2024

City Council Appeal Hearing

4745 Carpinteria Avenue Mixed Use Development
Project 23-2221-DP/CDP/ARB
Final ARB Review
August 15, 2024

CITY of CARPINTERIA, CALIFORNIA

March 27, 2024

Michael Stroh, DMHA Architects
1 N Calle Cesar Chavez, Suite 102
Santa Barbara, CA 93103

Re: Notification of City Council Action
4745 Carpinteria Avenue Mixed Use Development, 23-2221-DP/CDP
4745 Carpinteria Avenue (APN 003-251-021)

Dear Mr. Stroh:

On March 26, 2024, the City Council took action on the following item:

Request for a Development Plan and Coastal Development Permit to allow redevelopment of the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development. The proposed mixed-use development would be comprised of a 24-unit 31,026 square foot apartment complex built around and atop a ground-level 22,198 square foot concrete parking podium, and a 4,044 square foot two-story commercial building fronting Carpinteria Avenue. All existing site improvements would be removed to facilitate the proposed development. Cumulative square footage for the proposed project would total approximately 64,053 square feet. Maximum building height to the top of the proposed three-story element would be approximately 35 feet, seven inches from finished grade.

The 24-unit apartment complex would be comprised of 4 one-bedroom units, 16 two-bedroom units, and 4 two-bedroom "townhouse" units facing Ninth Street. The 4 one-bedroom units would range in size from 996 – 1,163 square feet; the 16 two-bedroom units would range in size from 1,122 – 1,310 square feet; and the 4 two-bedroom "townhome" units would range in size from 1,472 – 1,486 square feet. The four "townhouse" units and one of the one-bedroom units (Unit 5) would be two-story units fronting on Ninth Street. Of the remaining units, Units 6 through 15 would be second floor flats and Units 16 through 24 would be third floor flats. The "townhouse" units would be provided with either a ground floor covered porch (Unit 1 and Unit 4) or both a ground floor covered porch and a second floor private deck (Units 2, 3 and 5). All other units would be provided with second- or third-level private decks oriented toward the perimeter of the property.

The proposed two-story commercial building would be located along the property's Carpinteria Avenue frontage and would contain a ground level commercial space of 1,303 square feet and an upper-level commercial space of 2,741 square feet. The commercial square footage is proposed to be divided into (up to) five tenant suites, with a single ground floor space and the remaining four spaces on the second floor. The ground floor commercial space would feature a covered patio area along the Carpinteria Avenue frontage.

The ground-level covered parking podium would provide a total of 53 parking spaces onsite to serve both the proposed commercial and residential elements of the project, and would rely upon a mix of "standard" and "compact" spaces. The applicant is requesting approval of a Development Plan Modification to allow eight of the total parking spaces provided onsite to be designated "compact" spaces (15% of the total number of spaces). Bicycle storage, trash enclosures, and utility/mechanical closets would be provided within the covered parking podium area. Vehicular access to the parking would be provided from a "primary" driveway on Carpinteria Avenue and a "secondary" driveway entrance from Ninth Street, at the rear of the project site. Room for six parallel spaces would be provided in the Ninth Street right-of-way for public on-street parking as part of the required project frontage improvements.

Open space and landscaping for the project would be provided along the west side of the property within the required 50-foot setback buffer from the adjacent Franklin Creek channel. The buffer area would feature bioretention swales that can doubly serve as part of the restored protective creek buffer and stormwater measures for the proposed development. A meandering walking path would lead through the buffer, connecting Ninth Street and Carpinteria Avenue. Spaces for ornamental landscaping would also be provided along the project's two street frontages and along the interior side property line. Additional open space and landscape areas for the use of apartment residents would be provided in centralized courtyard spaces on the second and third levels, in a "rooftop" deck space in the rear corner of the third level, and on a "green roof" space above the ground floor commercial space's covered patio.

The proposal calls for utilizing the state's Density Bonus Law (Gov. Code §§ 65915-65918) ("Density Bonus Law") to allow for the inclusion of additional dwelling units beyond what the City's maximum density would allow for under the current zoning designation in exchange for designating a certain number of the apartment units as income-restricted rentals. Specifically, the project calls for setting aside three units for households that fall within the low-income level (50% to 80% of the area median income ("AMI")) in exchange for a density bonus of six additional units. These additional granted units and the low-income restricted units are included the project figures described above. The three low-income restricted units are proposed as one-bedroom units (Units 5, 6 and 11).

Pursuant to Density Bonus Law, the proposal requests the use of incentives or concessions from the local jurisdiction's development standards to facilitate the construction of the project and/or to accommodate the increased density. Specifically, the project proposes to utilize the reduced required parking rates for residential developments subject to density bonus provisions, and to request the two following concessions/incentives and/or waivers or reductions in development standards to: 1.) Allow for increased building height beyond the 30-foot maximum allowed by the City; and 2.) Allow for building lot coverage in excess of the 50% maximum limit for the Planned Residential Development ("PRD-13") zoned portion of the property.

The City Council approved the project with the following revisions to the Conditions of Approval:

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit are based upon and limited to compliance with the project description, the hearing exhibits (Attachment A, Exhibit 2 to the staff report dated March 26, 2024) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

   The project description is as follows:

   Request for a Development Plan and Coastal Development Permit to allow redevelopment of the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development. The proposed mixed-use development would be comprised of a 24-unit 31,026 square foot apartment complex built around and atop a ground-level 22,198 square foot concrete parking podium, and a 4,044 square foot two-story commercial building fronting Carpinteria Avenue. All existing site improvements would be removed to facilitate the proposed development. Cumulative square footage for the proposed project would total approximately 64,053 square feet. Maximum building height to the top of the proposed three-story element would be approximately ~~35 feet, seven inches~~ 34 feet, 2 inches from finished grade.

   The 24-unit apartment complex would be comprised of 4 one-bedroom units, 16 two-bedroom units, and 4 two-bedroom "townhouse" units facing Ninth Street. The 4 one-bedroom units would range in size from 996 – 1,163 square feet; the 16 two-bedroom units would range in size from 1,122 – 1,310 square feet; and the 4 two-bedroom "townhome" units would range in size from 1,472 – 1,486 square feet. The four "townhouse" units and one of the one-bedroom units (Unit 5) would be two-story units

fronting on Ninth Street. Of the remaining units, Units 6 through 15 would be second floor flats and Units 16 through 24 would be third floor flats. The "townhouse" units would be provided with either a ground floor covered porch (Unit 1 and Unit 4) or both a ground floor covered porch and a second floor private deck (Units 2, 3 and 5). All other units would be provided with second- or third-level private decks oriented toward the perimeter of the property.

The proposed two-story commercial building would be located along the property's Carpinteria Avenue frontage and would contain a ground level commercial space of 1,303 square feet and an upper-level commercial space of 2,741 square feet. The commercial square footage is proposed to be divided into (up to) five tenant suites, with a single ground floor space and the remaining four spaces on the second floor. The ground floor commercial space would feature a covered patio area along the Carpinteria Avenue frontage.

The ground-level covered parking podium would provide a total of 53 parking spaces onsite to serve both the proposed commercial and residential elements of the project, and would rely upon a mix of "standard" and "compact" spaces. The applicant is requesting approval of a Development Plan Modification to allow eight of the total parking spaces provided onsite to be designated "compact" spaces (15% of the total number of spaces). Bicycle storage, trash enclosures, and utility/mechanical closets would be provided within the covered parking podium area. Vehicular access to the parking would be provided from a "primary" driveway on Carpinteria Avenue and a "secondary" driveway entrance from Ninth Street, at the rear of the project site. Room for six parallel spaces would be provided in the Ninth Street right-of-way for public on-street parking as part of the required project frontage improvements.

Open space and landscaping for the project would be provided along the west side of the property within the required 50-foot setback buffer from the adjacent Franklin Creek channel. The buffer area would feature bioretention swales that can doubly serve as part of the restored protective creek buffer and stormwater measures for the proposed development. A meandering walking path would lead through the buffer, connecting Ninth Street and Carpinteria Avenue. Spaces for ornamental landscaping would also be provided along the project's two street frontages and along the interior side property line. Additional open space and landscape areas for the use of apartment residents would be provided in centralized courtyard spaces on the second and third levels, in a "rooftop" deck space in the rear corner of the third level, and on a "green roof" space above the ground floor commercial space's covered patio.

The proposal calls for utilizing the state's Density Bonus Law (Gov. Code §§ 65915-65918) ("Density Bonus Law") to allow for the inclusion of additional dwelling units beyond what the City's maximum density would allow for under the current zoning designation in exchange for designating a certain number of the apartment units as income-restricted

rentals. Specifically, the project ~~calls for~~ would set~~ting~~ aside one unit for households that fall within the very low-income level (30% to 50% of the area median income ("AMI")), and ~~three~~ two units for households that fall within the low-income level (50% to 80% of the area median income ("AMI")) in exchange for a density bonus of six additional units. These additional granted units and the ~~low-~~income restricted units are included the project figures described above. The ~~three low-~~income restricted units are proposed as one-bedroom units (Units 5, 6 and 11).

Pursuant to Density Bonus Law, the proposal requests the use of incentives or concessions from the local jurisdiction's development standards to facilitate the construction of the project and/or to accommodate the increased density. Specifically, the project proposes to utilize the reduced required parking rates for residential developments subject to density bonus provisions, and to request the two following concessions/incentives and/or waivers or reductions in development standards to: 1.) Allow for increased building height beyond the 30-foot maximum allowed by the City; and 2.) Allow for building lot coverage in excess of the 50% maximum limit for the Planned Residential Development ("PRD-13") zoned portion of the property.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

PROJECT SPECIFIC CONDITIONS

2. The design, scale and character of the project architecture and landscape shall be compatible and blend harmoniously with vicinity development and consistent with the City's "small beach town" character. As agreed to by the applicant at the Planning Commission meeting on February 5, 2024, the applicant shall set back the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard dimensions. The applicant further shall study ~~revisions to the plans to reduce the overall height of the project, and~~ privacy considerations for the portions of the units facing the interior courtyards. *In addition, as offered and agreed to by the applicant at the City Council meeting on March 26, 2024, the applicant shall reduce the height of the three-story element of the project by 17 inches, resulting in a maximum building height of 34 feet, 2 inches from finished grade.* **Plan Requirement and Timing:** The applicant shall submit plans for the project for final review by the Architectural Review Board prior to approval of any Building Permit for physical development. **Monitoring:** Community Development Department staff (CDD) shall

review submitted plans, provide direction to the ARB regarding this condition, and site inspect during the construction phase.

37. The applicant shall provide Three (3) ~~low~~ income restricted dwelling units (16.67% of project units). ~~available for rent at prices affordable to households earning up to 80% of Area Median Income (AMI)~~ Specifically, as offered and agreed to by the applicant, the project would set aside one unit for households that fall within the very low-income level (30% to 50% of the area median income ("AMI")), and two units for households that fall within the low-income level (50% to 80% of the area median income ("AMI")) consistent with the provisions of Government Code §§ 65915-65918 (Density Bonus Law). **Requirements and Timing**: Prior to issuance of the building permit, the applicant shall execute and record an *Affordable Housing Regulatory Agreement* (Agreement), which shall include a Restrictive Covenant (Covenant). The Agreement and Covenant shall be based on the City's model documents and subject to the review and approval of CDD and the City Attorney. As agreed to by the applicant at the Planning Commission meeting on February 5, 2024, the units shall remain affordable for a period of 99 years, beginning upon date of issuance of the occupancy clearance for said units. The running of the covenant shall toll during any period of violation.

The Agreement shall include, but not be limited to, the following information about the project:

a. The total number of units approved for the housing development, including the number of affordable dwelling units and manager's unit;
b. A description of the household income group to be accommodated by the housing development and the standards and methodology for determining the corresponding affordable rent or affordable sales price and housing cost consistent with California Department of Housing and Community Development and Housing and Urban Development guidelines;
c. The marketing plan for the affordable units;
b. The location, unit sizes (square feet) and number of bedrooms of the affordable dwelling units;
c. Tenure of the use restrictions for affordable dwelling units for a period of 99 years;
d. A schedule for completion and occupancy of the affordable dwelling units;
e. A description of the additional incentives and concessions being provided by the City;
f. A description of the remedies for breach of the agreement by the owners, developers and/or successors in interest of the project;
g. Other provisions to ensure successful implementation and compliance with the City's Density Bonus ordinance, Government Code §§ 65915-65918 (Density Bonus Law), and California Department of Housing and Community Development and Housing and Urban Development guidelines; and

h. Other provisions to ensure compliance with applicable local, state, and federal tenant protection regulations.

In addition, the Agreement shall provide for the following conditions governing the use of affordable dwelling units during the applicable restriction period:

a. The rules and procedures for qualifying tenants, establishing affordable rent, filling vacancies and maintaining the affordable dwelling units for qualified tenants;
b. Provisions requiring owners to annually verify tenant incomes and maintain books and records to demonstrate compliance.
c. Provisions requiring owners to submit an annual report to the City, which includes the name, address and income of each person occupying the affordable dwelling unit and which identifies the bedroom size and monthly rent or cost of each unit; and
d. The applicable use restriction period shall comply with the time limits for continued availability as specified above.

44. No permits for development shall be issued except in conformance with the approved Development Plan and Coastal Development Permit. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Attachment A, Exhibit 2, dated March 26, 2024, and with the agreed upon modification to increase the setback the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard dimensions during the February 5, 2024 Planning Commission meeting. In addition, as offered and agreed to by the applicant at the City Council meeting on March 26, 2024, the applicant shall reduce the height of the three-story element by 17 inches, resulting in a maximum building height of 34 feet, 2 inches from finished grade. Substantial conformity shall be determined by the Community Development Department Director.

Because the project is within the Coastal Appeals Overlay, the project approval is also subject to a 10-working day California Coastal Commission ("CCC") appeal period which commences after receipt of the notice of final act by the CCC. (Pub. Res. Code, § 30603, subd. (c); Cal. Code Regs., tit. 14, § 13572.) No appeal fee is required for projects located within the Coastal Appeals Overlay. More information on the CCC appeal process is available here: https://www.coastal.ca.gov/cdp/cdp-forms.html.

In accordance with Chapter 15.80 of the Carpinteria Municipal Code ("CMC"), the applicant shall pay Development Impact Fees ("DIFs"). The amount of the fees as detailed in the staff report prepared for the Planning Commission hearing is estimated to be $397,933.41 with other fees estimated to be $ 123,145.97. CMC section 15.80.090 requires payment of DIFs for commercial projects prior to the issuance of a Building Permit; residential DIFs are allowed to

be collected consistent with Government Code section 66007(a), which states that DIFs for residential projects shall be collected on the date of final inspection or issuance of a certificate of occupancy, whichever occurs first, except as provided in Government Code section 66007(b)(1). Fee amounts are updated no less frequently than in July of each year; thus, when final fee calculations are made at the time the fees are paid, the fee amounts may vary from the estimate given at the initial development approval. Fees are always considered an estimate until the date of payment. The 90-day period during which you may file a protest regarding the imposition of these fees pursuant to Government Code section 66020(a) commenced on February 6, 2024.

Conditions of Approval for the project and City Council Resolution No. 6295 are attached to this letter for your records. **A separate copy of the last page of the Conditions of Approval is also attached. Please sign and return this page to the Community Development Department.** Should you have any questions or need further information regarding this action letter or the project, please contact Brian Banks at (805) 755-4414.

Sincerely,

Nick Bobroff, Director
Community Development Department

Attachment: City Council Resolution with Attachments

cc: Justin Klentner, Owner
Project file, 23-2221-DP/CDP/ARB

CITY COUNCIL HEARING
PROJECT 23-2221-DP/CDP/ARB
4745 CARPINTERIA AVE (APN 003-251-021)
MARCH 26, 2024

ATTACHMENT A, EXHIBIT 3: CONDITIONS OF APPROVAL
4745 CARPINTERIA AVE MIXED-USE PROJECT

The Conditions set forth in this permit affect the title and possession of the real property that is the subject of this permit and shall run with the real property or any portion thereof. All the terms, covenants, conditions and restrictions herein imposed shall be binding upon and inure to the benefit of the owner (applicant, developer), his or her heirs, administrators, executors, successors and assigns. Upon any sale, division or lease of real property, all the conditions of this permit shall apply separately to each portion of the real property and the owner (applicant, developer) and/or possessor of any such portion shall succeed to and be bound by the obligations imposed on the owner (applicant, developer) by this permit.

PROJECT DESCRIPTION

1. This Development Plan and Coastal Development Permit are based upon and limited to compliance with the project description, the hearing exhibits (Attachment A, Exhibit 2 to the staff report dated March 26, 2024) and conditions of approval set forth below. Any deviations from the project description, exhibits or conditions must be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit and/or further environmental review. Deviations without the above-described approval will constitute a violation of permit approval.

   The project description is as follows:

   Request for a Development Plan and Coastal Development Permit to allow redevelopment of the property at 4745 Carpinteria Avenue (currently occupied by Sun Coast Rentals) into a new three-story mixed-use (commercial / residential) development. The proposed mixed-use development would be comprised of a 24-unit 31,026 square foot apartment complex built around and atop a ground-level 22,198 square foot concrete parking podium, and a 4,044 square foot two-story commercial building fronting Carpinteria Avenue. All existing site improvements would be removed to facilitate the proposed development. Cumulative square footage for the proposed project would total approximately 64,053 square feet. Maximum building height to the top of the proposed three-story element would be approximately 34 feet, 2 inches from finished grade.

   The 24-unit apartment complex would be comprised of 4 one-bedroom units, 16 two-bedroom units, and 4 two-bedroom "townhouse" units facing Ninth Street. The 4 one-bedroom units would range in size from 996 – 1,163 square feet; the 16 two-bedroom units would range in size from 1,122 – 1,310 square feet; and the 4 two-bedroom "townhome" units would range in size from 1,472 – 1,486 square feet. The four "townhouse" units and one of the one-bedroom units (Unit 5) would be two-story units fronting on Ninth Street.

Of the remaining units, Units 6 through 15 would be second floor flats and Units 16 through 24 would be third floor flats. The "townhouse" units would be provided with either a ground floor covered porch (Unit 1 and Unit 4) or both a ground floor covered porch and a second floor private deck (Units 2, 3 and 5). All other units would be provided with second- or third-level private decks oriented toward the perimeter of the property.

The proposed two-story commercial building would be located along the property's Carpinteria Avenue frontage and would contain a ground level commercial space of 1,303 square feet and an upper-level commercial space of 2,741 square feet. The commercial square footage is proposed to be divided into (up to) five tenant suites, with a single ground floor space and the remaining four spaces on the second floor. The ground floor commercial space would feature a covered patio area along the Carpinteria Avenue frontage.

The ground-level covered parking podium would provide a total of 53 parking spaces onsite to serve both the proposed commercial and residential elements of the project, and would rely upon a mix of "standard" and "compact" spaces. The applicant is requesting approval of a Development Plan Modification to allow eight of the total parking spaces provided onsite to be designated "compact" spaces (15% of the total number of spaces). Bicycle storage, trash enclosures, and utility/mechanical closets would be provided within the covered parking podium area. Vehicular access to the parking would be provided from a "primary" driveway on Carpinteria Avenue and a "secondary" driveway entrance from Ninth Street, at the rear of the project site. Room for six parallel spaces would be provided in the Ninth Street right-of-way for public on-street parking as part of the required project frontage improvements.

Open space and landscaping for the project would be provided along the west side of the property within the required 50-foot setback buffer from the adjacent Franklin Creek channel. The buffer area would feature bioretention swales that can doubly serve as part of the restored protective creek buffer and stormwater measures for the proposed development. A meandering walking path would lead through the buffer, connecting Ninth Street and Carpinteria Avenue. Spaces for ornamental landscaping would also be provided along the project's two street frontages and along the interior side property line. Additional open space and landscape areas for the use of apartment residents would be provided in centralized courtyard spaces on the second and third levels, in a "rooftop" deck space in the rear corner of the third level, and on a "green roof" space above the ground floor commercial space's covered patio.

The proposal calls for utilizing the state's Density Bonus Law (Gov. Code §§ 65915-65918) ("Density Bonus Law") to allow for the inclusion of additional dwelling units beyond what the City's maximum density would allow for under the current zoning designation in exchange for designating a certain number of the apartment units as income-restricted rentals. Specifically, the project would aside one unit for households that fall within the very low-income level (30% to 50% of the area median income ("AMI")), and two units for households that fall within the low-income level (50% to 80% of the area median income ("AMI")) in exchange for a density bonus of six additional

units. These additional granted units and the income restricted units are included the project figures described above. The income restricted units are proposed as one-bedroom units (Units 5, 6 and 11).

Pursuant to Density Bonus Law, the proposal requests the use of incentives or concessions from the local jurisdiction's development standards to facilitate the construction of the project and/or to accommodate the increased density. Specifically, the project proposes to utilize the reduced required parking rates for residential developments subject to density bonus provisions, and to request the two following concessions/incentives and/or waivers or reductions in development standards to: 1.) Allow for increased building height beyond the 30-foot maximum allowed by the City; and 2.) Allow for building lot coverage in excess of the 50% maximum limit for the Planned Residential Development ("PRD-13") zoned portion of the property.

The grading, development, use, and maintenance of the property, the size, shape, arrangement, and location of structures, parking areas and landscape areas, and the protection and preservation of resources shall conform to the project description above and the hearing exhibits and conditions of approval below. The property and any portions thereof shall be sold, leased or financed in compliance with this project description and the approved hearing exhibits and conditions of approval hereto. All plans (such as Landscape Plans) must be submitted for review and approval and shall be implemented as approved by the City.

PROJECT SPECIFIC CONDITIONS

AESTHETICS

2. The design, scale and character of the project architecture and landscape shall be compatible and blend harmoniously with vicinity development and consistent with the City's "small beach town" character. As agreed to by the applicant at the Planning Commission meeting on February 5, 2024, the applicant shall set back the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard dimensions. The applicant further shall study privacy considerations for the portions of the units facing the interior courtyards. In addition, as offered and agreed to by the applicant at the City Council meeting on March 26, 2024, the applicant shall reduce the height of the three-story element of the project by 17 inches, resulting in a maximum building height of 34 feet, 2 inches from finished grade. **Plan Requirement and Timing:** The applicant shall submit plans for the project for final review by the Architectural Review Board prior to approval of any Building Permit for physical development. **Monitoring:** Community Development Department staff (CDD) shall review submitted plans, provide direction to the ARB regarding this condition, and site inspect during the construction phase.

3. All materials and colors used in construction and all landscape materials shall be as represented to the City and any deviation will require the express review and approval of the Community Development Department.

4. Any exterior night lighting installed on the project site shall be of low intensity, low glare design, minimum height, and shall be hooded to direct light downward onto the subject parcel and prevent spill-over onto adjacent parcels. **Plan Requirements:** The locations of all exterior lighting fixtures shall be reviewed and approved by CDD with input from the ARB. **Monitoring**: CDD and ARB shall review final plans for compliance with this measure prior to approval of a building permit for structures. Building Inspector shall inspect structures upon completion to ensure that exterior lighting fixtures have been installed consistent with their depiction on the final plans.

5. Interior building lighting shall be limited outside of business hours to that necessary for emergency or security purposes. Interior building lighting shall be outfitted with timers, motion sensors or similar technologies to ensure that the lighting is turned off when not in use. **Plan Requirements and Timing:** Specifications for automatic lighting controls and any interior security/emergency lighting shall be depicted on the plans submitted for Building Permit review, to be reviewed and approved by CDD prior to Building Permit Issuance. **Monitoring:** CDD shall review the construction plans for compliance with this measure prior to Building Permit issuance and shall inspect the project site prior to occupancy clearance.

6. All mechanical equipment including, but not limited to, heating and air conditioning units, and trash receptacle areas, shall be completely screened from surrounding properties and shall be either enclosed within a building or parapet, or located in a fenced rear yard area. **Plan Requirements**: The locations of all exterior mechanical equipment shall be depicted on a Roof and/or Mechanical Equipment Plan to be reviewed and approved by CDD with input from the ARB. **Monitoring:** CDD and ARB shall review the Roof and/or Mechanical Equipment Plan for compliance with this measure prior to approval of a Building Permit for the development. Building Inspector shall inspect structures upon completion to ensure that mechanical equipment has been installed consistent with the approved Plan.

7. Final plans shall include the location of all above ground and vaulted appurtenances including, but not limited to, utility vaults, utility meters, fire backflow prevention systems, and check valves. The location of such appurtenances shall be approved by CDD and may be required to be located and/or screened to as to minimize aesthetic impacts.

8. Owner shall not install any over-the-air reception devices (OTARD), such as satellite dishes, television or radio antenna or other communication or transmission devices, on the building, in common areas or on roofs located more than thirty (30) feet above finished grade. All other OTARD devices located on the building, in common areas, on roofs or on the property shall include reasonable screening to prevent impacts to surrounding properties consistent with applicable Federal Communication Commission regulations.

9. No signage is approved under this Development Plan. Applicants shall develop and submit for City review and approval, a comprehensive sign program for the development. **Plan Requirements**: The sign program shall depict the allowed sign types, materials, sizes and

locations for signage for all commercial tenant spaces, as well as any proposed identification signage for the development, and shall be consistent with the City's sign regulations as specified in CMC §14.58. **Timing:** The Sign Program shall be submitted to, and approved, by the Community Development Department prior to Occupancy Clearance. CDD may refer the program to the Architectural Review Board for review. **Monitoring:** CDD staff shall review all tenant signage applications for consistency with the approved sign program.

BIOLOGY

10. The applicant shall implement the recommended tree protection measures outlined in the arborist report prepared by Bill Spiewak dated August 10, 2023, and listed below, during demolition/construction activities within the project site. Such measures shall include, but not be limited to, the following:
    a. Fence off all trees from construction at the critical root zone or where practical with six-foot high chain link or orange construction fence with metal stakes;
    b. No activities or storage of construction materials shall be allowed within the fenced areas unless approved by CDD;
    c. Any root disturbance to any of the protected trees shall be done by hand and the project arborist alerted;
    d. All roots encountered shall be cut cleanly with a sharp saw to allow for new root regeneration, backfilled immediately or kept moist to prevent drying out and dying;
    e. Any tree affected by the construction process shall be deep-root fertilized to promote better health and vigor;
    f. Compaction of the root zone shall be avoided by spreading three to four inches of mulch. If necessary, plywood or equivalent shall be placed on top;
    g. During hot, dry periods, the foliage may need to be washed with high pressure water to remove construction dust;
    h. Project arborist shall be notified prior to any activities within the critical root zone;
    i. Leave existing hardscape (i.e., asphalt) in place as long as practicable to aid with the protection of the root system;
    j. Utilize caissons and grade beams for any foundation work close to the trees (stay at least 15 feet from the trunks of the trees); and
    k. Final landscaping around trees shall be compatible in water demand to these specific trees' needs with minimal trenching for lighting and irrigation.

    Plan Requirements/Timing: This condition shall be printed on all final building and grading plans. Tree protection measures shall be implemented prior to- and during construction as applicable. **Monitoring:** CDD shall coordinate with the project arborist prior to initiation of construction to ensure tree protection measures are in place. CDD shall spot check in the field to ensure ongoing compliance with this measure.

11. All ground disturbances and vegetation removal within the 50-foot setback of Franklin Creek shall be limited to the demolition, grading for site preparation, landscaping and

storm water improvements depicted on the approved project plans. **Plan Requirements:** The 50-foot setback area shall be shown on all grading plans. **Timing:** Protective fencing shall be installed along the 50-foot setback prior to any earth movement. **Monitoring:** CDD shall perform site inspections throughout all grading and construction activities.

12. The applicant shall implement a creek buffer restoration plan. The plan shall include, but not be limited to, the following measures:
    a. Landscaping shall be with native and non-invasive plantings only.
    b. Only low voltage lighting shall be installed. Lighting shall be directed away from the creek corridor.
    c. Only wildlife permeable fencing shall be installed within the creek buffer area.
    d. Non-native species shall be removed from the creek buffer area.
    e. The plantings shall be in place and any non-natives removed prior to issuance of occupancy clearance.

    Plan Requirements: Prior to issuance of a Grading or Building Permit, the applicant shall submit a creek buffer restoration plan, prepared by a CDD approved biologist, to CDD for review and approval. **Timing:** Restoration work shall commence prior to issuance of occupancy clearance. **Monitoring:** CDD staff shall site inspect the restoration area. Maintenance shall be confirmed through site inspections.

13. To minimize construction impacts, the applicant shall prepare and submit a Construction Mitigation Plan to Community Development for review and approval. Such plans, which must be prepared by a City-approved professional biologist, arborist or landscape architect, shall include, but not be limited to, the following required measures:

    Pre-Construction:
    a. The limits of the construction area shall be clearly shown on the plans and fenced or flagged on the construction site. All construction activities shall stay within these limits;
    b. Prior to commencement of construction activities, protective fencing shall be erected around the outermost limits of the protected zones of native trees and adjacent to the construction area. Such fencing shall remain in place until all construction is complete. For the purposes of this project, the protected zone of a native tree shall extend five feet from the tree dripline or 15 feet from the trunk of the tree, whichever is greater;
    c. No construction, grading, staging or materials storage shall be allowed within the fenced exclusion areas or within the protected zones of any onsite or adjacent native trees;
    d. Construction activities shall be scheduled to avoid the breeding seasons of sensitive wildlife species located within 300 feet of the proposed improvements;
    e. Construction Phase Requirements from the City's Water Quality Protection Regulations shall be implemented to minimize impacts related to runoff, erosion and water quality;

f. The use of herbicides shall be minimized by using manual removal methods to eliminate undesired vegetation whenever possible.

Post-Construction:

g. Permanent native landscaping shall be provided to developed areas;

h. The planting of any landscape plants listed on the California Exotic Pest Plant Council's Lists of Exotic Pest Plants of Greatest Ecological Concern in California is prohibited in any environmentally sensitive habitat areas ("ESHA") or creek setback area;

i. Project applicant and any and all successors shall provide informational materials to future occupants that ensure protective standards/conditions of approval are recognized and complied with throughout the life of the project;

j. Post-Construction Requirements from the City's Water Quality Protection Regulations will be implemented to minimize impacts to runoff, erosion, and water quality;

k. All new fencing shall be wildlife permeable as defined by the following criteria:
    a. Fences shall have a wooden (not wire) rail at the top;
    b. Fences shall be less than 40 inches high; and,
    c. Fences shall have a space greater than 14 inches between the ground and the bottom rail.

l. All exterior lighting shall be minimized, restricted to low intensity features, shielded and directed away from creek ESHA to minimize impacts to wildlife. Permitted lighting shall conform to the following standards:
    i. The minimum necessary to light walkways used for entry and exit to the structure, including parking areas on the site. This lighting shall be limited to fixtures that do not exceed 60 watts, or the equivalent, unless a higher wattage is authorized by the Community Development Director;
    ii. Security lighting attached to the residence that is controlled by motion detectors and is limited to 60 watts, or the equivalent;
    iii. The minimum lighting necessary for safe vehicular use of the driveway. The lighting shall be limited to 60 watts, or the equivalent;
    iv. A light, not to exceed 60 watts or the equivalent, at the entrance to any non-residential accessory structures; and,
    v. No lighting around the perimeter of the site, no lighting for sports courts or other private recreational facilities and no lighting for aesthetic purposes is allowed.

Plan Requirements and Timing: Prior to issuance of a Grading or Building Permit, the applicant shall submit a Construction Mitigation Plan, prepared by a CDD approved biologist, arborist or landscape architect to CDD for review and approval. All requirements shall be specified on grading and building plans and graphically depicted if feasible. Protective fencing shall be installed prior to start of grading or construction. **Monitoring:** CDD shall site inspect throughout grading and construction activities.

LANDSCAPE

14. Prior to the issuance of any Building Permits, the applicant shall post a landscape security bond of $500.00 and comply with the following requirements:
    a. All landscaping and irrigation plans shall be prepared by a State licensed landscape architect or similar professional as determined appropriate by CDD.
    b. The landscaping shall be maintained in good condition for the life of the project. After landscaping has become established at three years and found to be in good condition, the security will be released.
    c. Landscaping shall be drought resistant, low water species.
    d. Where feasible, locally adapted native plants shall be required.
    e. Prior to Occupancy Clearance, all landscaping and planting shall be installed; and,
    f. Specimen trees shall be appropriate to the site and shall be maintained in good condition so as to attain a full and healthy mature appearance.

15. The project landscaping outside of the creek buffer area shall consist of drought-tolerant, native and/or Mediterranean type species. Landscaping shall be compatible with the character of the surroundings and the architectural style of the structural development. **Plan Requirements:** Prior to issuance of a Grading or Building Permit, the applicant shall enter into an agreement with the City to install required landscaping and water-conserving irrigation systems and maintain required landscaping for the life of the project. The applicant shall also submit the final landscape and irrigation plan to CDD for review and approval. **Timing:** Prior to occupancy clearance, landscape and irrigation shall be installed. **Monitoring:** Prior to occupancy clearance, CDD shall verify installation and check maintenance as needed. Release of performance security requires CDD approval.

16. In compliance with the Water Conservation in Landscaping Act of 2006 (Assembly Bill 1881, Laird)) as amended by the May 29, 2015 Information Bulletin 2015-03 from the Department of Housing and Community Development and Chapter 15.90 of the City's Municipal Code: Water Efficient Landscaping, a Landscape Documentation Package containing the following elements shall be prepared by a design professional: PROJECT INFORMATION; WATER EFFICIENT LANDSCAPE WORKSHEET; SOIL MANAGEMENT REPORT; LANDSCAPE DESIGN PLAN; IRRIGATION DESIGN PLAN; and GRADING DESIGN PLAN. The preparation of a Certificate of Completion containing the following elements shall also be prepared by a design professional: CERTIFICATION OF INSTALLATION (per the approved plan); FINAL SOILS INFORMATION; IRRIGATION SCHEDULING PARAMETERS; MAINTENANCE SCHEDULES; and IRRIGATION AUDIT REPORT. **Plan Requirements and Timing:** Prior to approval of a Building Permit, the applicant shall submit a Landscape Documentation Package to the CDD for review and approval. The CDD shall send a copy of the Documentation Package the Carpinteria Valley Water District. The applicant shall enter into an agreement with the City to install required landscaping and irrigation and maintain required landscaping for the life of the project. Subsequent to installation of the approved Grading, Landscape and Irrigation Plans, the applicant shall submit a Certificate of

Completion to CDD for review and approval. The Landscape Documentation Package and Certificate of Completion forms are available at the CDD, and are required to be approved by the CDD prior to Occupancy Clearance. **Monitoring:** CDD shall conduct site visits to ensure installation and maintenance of landscape and irrigation.

CULTURAL RESOURCES

17. In the event archaeological remains are encountered during grading, work shall be stopped immediately or redirected until a CDD-qualified archaeologist and Native American representative are retained by the applicant to evaluate the significance of the find pursuant to Phase 2 investigations of the City Archaeological Guidelines. If remains are found to be significant, they shall be subject to a Phase 3 mitigation program consistent with City Archaeological Guidelines and funded by the applicant. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and shall spot check in the field for compliance.

18. If human remains are uncovered during ground disturbing activities, the applicant shall immediately halt work and contact the Santa Barbara County Coroner to evaluate the remains. CDD shall be contacted immediately after contact or attempted contact with the County Coroner and all excavation activities on the project site shall cease. If the County Coroner determines that the remains are Native American, the Native American Heritage Commission shall be notified and no further excavation activity shall occur on the site until consultation is complete with the most likely descendant, the Coroner and the CDD staff. Authorization to resume construction shall only be given by the City after consultation with the most likely descendent and shall include implementation of all appropriate measures to protect any possible burial sites or human remains. **Plan Requirements/Timing:** This condition shall be printed on all building and grading plans. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and shall spot check in the field.

GRADING

19. Grading and erosion and sediment control plans shall be designed to minimize erosion and shall include the following:
    a. Methods such as geotextile fabrics, erosion control blankets, retention basins, drainage diversion structures, siltation basins and spot grading shall be used to reduce erosion and siltation during grading and construction activities.
    b. All entrances/exits to the construction site shall be stabilized (e.g., using rumble plates, gravel beds or other best available technology) to reduce transport of sediment offsite. Any sediment or other materials tracked offsite shall be removed the same day as they are tracked using dry cleaning methods.

c. Storm drain inlets shall be protected from sediment-laden waters by the use of inlet protection devices such as gravel bag barriers, filter fabric fences, block and gravel filters and excavated inlet sediment traps.

d. Graded areas shall be revegetated within three weeks of grading activities with deep rooted, native, drought-tolerant species to minimize slope failure and erosion potential. Geotextile binding fabrics shall be used if necessary to hold slope soils until vegetation is established.

Plan Requirements: The grading and erosion and sediment control plan shall be submitted for review and approved by CDD and Public Works ("PW") prior to issuance of a Grading Permit. The plan shall be designed to address erosion and sediment control during all phases of development of the site. The applicant shall notify CDD and PW prior to commencement of grading. **Timing:** Components of the grading plan shall be implemented prior to occupancy clearance. Erosion and sediment control measures shall be in place throughout grading and development of the site until all disturbed areas are permanently stabilized. **Monitoring:** CDD shall inspect revegetation and ensure compliance with plan. Grading inspector shall monitor installation and maintenance of erosion control measure throughout all grading and construction activities.

20. Drainage shall be consistent with approved drainage plans. **Plan Requirements:** Prior to issuance of a Grading Permit, a drainage plan shall be submitted to CDD and Public Works for review and approval. The plan shall include the location(s) of all proposed pipelines, the entire length of all proposed pipelines, trees located within 15 feet of the pipeline, pipe diameters, locations where the pipe(s) would surface in the creek and amount of water that would flow from each pipeline. **Timing:** The components of the drainage plan shall be implemented prior to commencement of construction of structures. **Monitoring:** CDD shall site inspect during grading.

GEOLOGY

21. The recommendations outlined in the project specific geotechnical investigation shall be followed in the construction of the subject project and the applicants shall be required to have the project engineering geologist onsite to observe all excavations prior to placement of compacted soil, gravel backfill, or rebar and concrete. **Plan Requirements/Timing:** Two copies of the preliminary foundation investigation shall be submitted with the building plans for building permit plan check. Applicable plan sheets (i.e., grading, foundation, etc.) shall be in substantial compliance with the recommendations outlined in the soils report. The project engineering geologist shall be onsite during excavation, recompaction and foundation preparation work, as applicable. **Monitoring:** Building Inspector shall review and approve building plans and shall site inspect during construction, prior to occupancy clearance.

NOISE

22. All noise attenuation measures specified in the Acoustical and Construction Noise Study prepared by Rincon Consultants, dated August 1, 2023, shall be implemented to ensure that interior noise levels do not exceed 45 CNEL in habitable rooms. The measures shall include, but not be limited to, the following noise attenuation features:
    a. Provide mechanical ventilation so that windows may be left closed by occupants. This can be achieved passively with z-ducts, fresh air ducts or approved equal.
    b. All exterior walls shall meet a Sound Transmission Class (STC) rating of at least 46.
    c. All windows and sliding glass doors shall be rated STC 26 (assumed to be standard dual pane windows required per Title 24 energy standards) or higher.
    d. All entry doors shall be insulated against weather and sound with non-porous seals. Caulk entry door thresholds as they are placed.
    e. Use permanently non-hardening sealant around perimeter of window frames.
    f. Window assemblies shall be constructed with effective non-porous gaskets or weatherstripping to minimize air infiltration and sound leakage.
    g. Provide airtight construction at all exterior walls with acoustical or other non-hardening sealant at floor plates.
    h. Use door jamb and head gasketing and door bottom gasketing at entry doors to seal the solid core doors against weather and sound.

    Plan Requirements/Timing: All sound attenuation measures shall be incorporated into the building plans submitted for building permit plan check. Applicable plan sheets (i.e., mechanical, windows and doors, etc.) shall be in substantial compliance with the measures outlined in the acoustical study. **Monitoring:** Building Inspector shall review and approve building plans and shall site inspect during construction, prior to occupancy clearance.

23. Construction activity shall be limited to the hours between 7:00 a.m. and 5:00 p.m., Monday through Friday. No construction shall occur on weekends or State holidays (e.g., Thanksgiving, Labor Day). Construction equipment maintenance shall be limited to the same hours. Non-noise generating construction activities such as interior painting are not subject to these restrictions. **Plan Requirements:** A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits and/or citations. **Monitoring:** Building Inspector shall spot check and respond to complaints.

24. In addition to the construction hour limitations, all construction noise reduction measures specified in the Acoustical and Construction Noise Study prepared by Rincon Consultants, dated August 1, 2023, shall be implemented to limit short-term noise impacts during construction, including, but not limited to:
    a. **Mufflers.** During all phases of demolition and construction, all construction equipment, fixed or mobile, shall be operated with closed engine doors and shall be equipped with properly operating and maintained mufflers consistent with manufacturers' standards.

b. **Stationary Equipment.** All stationary construction equipment shall be placed so that emitted noise is directed away from the nearest sensitive receptors.

c. **Equipment Staging Areas.** Equipment staging shall be located in areas that will create the greatest distance feasible between construction-related noise sources and noise-sensitive receptors.

d. **Smart Back-up Alarms.** Mobile construction equipment shall have smart back-up alarms that automatically adjust the sound level of the alarm in response to ambient noise levels. Alternatively, back-up alarms shall be disabled and replaced with human spotters to ensure safety when mobile construction equipment is moving in the reverse direction in compliance with applicable safety laws and regulations.

e. **Electrically- and Hydraulically-Powered Tools and Facilities**. Electrical power shall be used to run air compressors and similar power tools and to power any temporary structures, such as construction trailers or caretaker facilities, where feasible. To the extent feasible, hydraulic equipment shall be used instead of pneumatic impact tools.

f. **Noise Disturbance Coordinator**. The project applicant shall designate a "noise disturbance coordinator" responsible for responding to any local complaints about construction noise. The disturbance coordinator shall determine the cause of any noise complaint and shall require that reasonable measures be implemented to correct the problem. A telephone number for the disturbance coordinator and the City shall be posted at the construction site.

Plan Requirements: A sign stating this restriction shall be provided to the applicant and posted onsite. **Timing:** The sign shall be in place prior to the beginning of and throughout all construction activities. Violations may result in suspension of permits. **Monitoring:** Building Inspector shall spot check and respond to complaints.

25. The use of amplified sound equipment in the outdoor courtyard areas and unit deck or porch areas shall be limited so as to not constitute a public nuisance or violate any applicable City noise ordinances. **Monitoring:** CDD shall periodically inspect to ensure compliance. CDD and/or Sheriff Office deputies shall respond to any filed noise complaints.

SOLID WASTE

26. The permittee shall develop and implement a Solid Waste Management Program. The program shall include, but is not limited to, the following measures:
    a. Provision of *One (1) Four-cubic yard* bin for storage of recyclable materials within the project site.
    b. Development of a Source Reduction Plan (SRP) describing the recommended program(s) and the estimated reduction of solid waste disposed by the project.
    c. Implementation of a program to purchase materials that have recycled content for project construction and/or operation (i.e., plastic lumber, office supplies, etc.). To ensure compliance, the applicant shall develop an integrated solid waste management program, including recommended source reduction, recycling,

composting programs, and/or a combination of such programs, subject to CDD review and approval.

Plan Requirement: The applicant shall submit a Solid Waste Management Program to CDD for review and approval prior to issuance of a Building Permit. **Timing:** Program components shall be implemented prior to occupancy clearance and throughout the life of the project. **Monitoring:** CDD shall site inspect during construction, prior to occupancy, and after occupancy to ensure solid waste management components are established and implemented.

27. Sixty-five percent (65%) or more of all construction and demolition debris generated shall be diverted from the landfill, as mandated by Carpinteria Municipal Code. Demolition and/or excess construction materials shall be separated onsite for reuse/recycling or proper disposal (e.g., concrete asphalt). During demolition and grading, separate bins for recycling of construction materials and brush shall be provided onsite. **Plan Requirements:** This requirement shall be printed on demolition plans. Applicant shall submit a Waste Management Plan (WMP) prior to demolition and provide Public Works with a completed WMP, including receipts for recycled materials to demonstrate compliance with the City's Construction and Demolition Program's 65% mandatory diversion rates. **Timing:** Materials shall be recycled as necessary throughout demolition and grading activities. **Monitoring:** Public Works shall review and approve a completed WMP prior to issuance of a Building Permit.

28. To prevent construction and/or employee trash from blowing offsite, covered receptacles shall be provided onsite prior to commencement of grading or construction activities. Waste shall be picked up weekly or more frequently as directed by CDD staff. **Plan Requirements and Timing:** Prior to Building Permit issuance, applicant shall designate and provide to CDD the name and phone number of a contact person to monitor trash/waste and organize a clean-up crew. Trash control shall occur throughout all grading and construction activities. **Monitoring:** CDD shall inspect periodically throughout grading and construction activities.

AIR QUALITY

29. Dust generated by the development activities shall be kept to a minimum with a goal of retaining dust on the site by following the dust control measures listed below. During clearing, grading, earth moving, excavation or transportation of cut or fill materials, water trucks or sprinkler systems shall be used to prevent dust from leaving the site and to create a crust after each day's activities cease.
    a. During construction, use water trucks or sprinkler systems to keep all areas of vehicle movement damp enough to prevent dust from leaving the site. At a minimum, this shall include wetting down such areas in the late morning and after work is completed for the day. Increased watering frequency shall be required whenever the wind speed exceeds 15 miles per hour. Reclaimed water should be used whenever possible.
    b. Minimize amount of disturbed area and reduce on site vehicle speeds to 15 miles per hour or less.

c. If importation, exportation and stockpiling of fill material is involved, soil stockpiled for more than two days shall be covered, kept moist or treated with soil binders to prevent dust generation. Trucks transporting fill material to and from the site shall be tarped form the point of origin.

d. After clearing, grading, earth moving or excavation is completed, treat the disturbed area by watering, or revegetating, or by spreading soil binders until the area is paved or otherwise developed so that dust generation will not occur.

Plan Requirements: All requirements shall be shown on the grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction activities. **Monitoring:** CDD shall ensure measures are on plans. Grading and Building Inspectors shall spot check and ensure compliance onsite. APCD inspectors shall respond to nuisance complaints.

30. The contractor or builder shall designate a person or persons to monitor the dust control program and to order increased watering as necessary to prevent transport of dust off-site. Their duties shall include holiday and weekend periods when work may not be in progress. **Plan Requirements:** The name and telephone number of such persons shall be provided to the APCD and the Community Development Department. **Timing:** The dust monitor shall be designated prior to issuance of a Grading or Building Permit. **Monitoring:** CDD shall contact the designated monitor as necessary to ensure compliance with dust control measures.

31. The following Diesel Exhaust Control Measures should be implemented during construction activities:

    a. Diesel construction equipment meeting the California Air Resources Board's current emission standards for off-road heavy-duty diesel engines shall be used.

    b. The engine size of construction equipment shall be the minimum practical size.

    c. The number of construction equipment operation simultaneously shall be minimized through efficient management practices to ensure that the smallest practical number is operating at any one time.

    d. Construction equipment shall be maintained in tune per the manufacturer's specifications.

    e. Construction equipment operating onsite shall be equipped with two-to-four-degree engine timing retard or pre-combustion chamber engines.

    f. Catalytic converters shall be installed on gasoline-powered equipment, if feasible.

    g. Catalytic converters, diesel oxidation catalysts and diesel particulate filters as certified and/or verified by EPA or California shall be installed on equipment operating onsite.

    h. Diesel powered equipment should be replaced by electric equipment whenever feasible.

    i. State law requires that idling of heavy-duty diesel trucks during loading and unloading shall be limited to five minutes; auxiliary power units should be used whenever possible.

Plan Requirements: All requirements shall be shown on grading and building plans. **Timing:** Condition shall be adhered to throughout all grading and construction activities. **Monitoring:** CDD shall ensure measures are on plans. Grading and Building Inspectors shall spot check and ensure compliance onsite. APCD shall respond to complaints, as applicable.

WATER QUALITY

32. Construction materials and waste such as paint, mortar, concrete slurry, fuels, etc. shall be stored, handled, and disposed of in a manner which minimizes the potential for storm water contamination. **Plan Requirements and Timing:** Bulk storage locations for construction materials and any measures proposed to contain the materials shall be shown on the plans submitted to the Community Development Department for review prior to issuance of a Building Permit. **Monitoring:** CDD staff shall site inspect prior to the commencement and as needed during all grading and construction activities.

33. During construction, washing of concrete trucks, paint, equipment or similar activities shall occur only in areas where polluted water and materials can be contained for subsequent removal from the site. Wash water shall not be discharged to the storm drains, street, drainage ditches, creeks or wetlands. The location of the washout area shall be clearly noted at the construction site with signs. **Plan Requirements:** The applicant shall designate a washout area, acceptable to CDD, and this area shall be shown on the construction and/or grading and building plans. **Timing:** The wash off area shall be designated on all plans prior to issuance of a Grading or Building Permit. The washout area shall be in place and maintained throughout construction. **Monitoring:** CDD shall check plans prior to issuance of a Grading or Building Permit and staff shall site inspect throughout the construction period to ensure proper use and maintenance of the washout area.

STORM WATER

34. The project shall provide for onsite retention of storm water runoff, infiltration, and recharge where feasible. Feasibility shall be determined by CDD and Public Works. Retention basin(s) shall be maintained for the life of the project by the landowner. Recharge systems shall be developed in conjunction with Public Works and CDD. **Plan Requirements:** A drainage plan showing the location and design of the retention basins shall be submitted to CDD and Public Works for review and approval. Long term maintenance requirements shall be specified in a maintenance program submitted by the landowner. **Timing:** Retention and/or recharge basins shall be installed (landscaped and irrigated subject to CDD and Public Works approval) prior to occupancy clearance. **Monitoring:** CDD shall site inspect for installation and maintenance of landscaping. Public Works approval is required on final grading/drainage plans, and CDD approval is required for release of the performance security.

35. The applicant shall follow the County of Santa Barbara Stormwater Technical Guide to implement Post-Construction Runoff Control Measures (PCRs) to effectively prevent the entry of pollutants from the project site into the storm drain system during and after development. **Plan Requirements**: The applicant shall implement a Storm Water Control Plan (SWCP) that includes the following elements: identification of potential pollutant sources that may affect the quality of the storm water discharges; the proposed design and placement of structural and non-structural PCRs to address identified pollutants; a proposed Operation and Maintenance Plan; a method for ensuring maintenance of all PCRs over the life of the project; and certification by a licensed civil engineer, architect, or landscape architect. The approved measures shall be shown on all building plans. **Timing:** Prior to issuance of a Grading or Building Permit, the SWCP shall be submitted to Public Works. All measures specified in the plan shall be constructed and operational prior to occupancy clearance. The terms of the Operation and Maintenance Plan shall be followed to maintain facilities. **Monitoring:** Public Works shall site inspect prior to occupancy clearance to ensure measures are constructed in accordance with the approved plan and periodically thereafter to ensure proper maintenance.

UTILITIES

36. This Development Plan and Coastal Development Permit does not constitute approval for the installation of new and/or repair of existing underground utilities. All modifications to, or installations of new utilities shall be under separate permit(s) from the appropriate utility providers and the Public Works Department for any work within the public right-of-way. Utility provider permission for excavation shall precede issuance of any permits for construction within the public right-of-way.

HOUSING

37. The applicant shall provide Three (3) income restricted dwelling units (16.67% of project units). Specifically, as offered and agreed to by the applicant, the project would set aside one unit for households that fall within the very low-income level (30% to 50% of the area median income ("AMI")), and two units for households that fall within the low-income level (50% to 80% of the area median income ("AMI")) consistent with the provisions of Government Code §§ 65915-65918 (Density Bonus Law). **Requirements and Timing**: Prior to issuance of the building permit, the applicant shall execute and record an *Affordable Housing Regulatory Agreement* (Agreement), which shall include a Restrictive Covenant (Covenant). The Agreement and Covenant shall be based on the City's model documents and subject to the review and approval of CDD and the City Attorney. As agreed to by the applicant at the Planning Commission meeting on February 5, 2024, the units shall remain affordable for a period of 99 years, beginning upon date of issuance of the occupancy clearance for said units. The running of the covenant shall toll during any period of violation.

    The Agreement shall include, but not be limited to, the following information about the project:

a. The total number of units approved for the housing development, including the number of affordable dwelling units and manager's unit;
b. A description of the household income group to be accommodated by the housing development and the standards and methodology for determining the corresponding affordable rent or affordable sales price and housing cost consistent with California Department of Housing and Community Development and Housing and Urban Development guidelines;
c. The marketing plan for the affordable units;
b. The location, unit sizes (square feet) and number of bedrooms of the affordable dwelling units;
c. Tenure of the use restrictions for affordable dwelling units for a period of 99 years;
d. A schedule for completion and occupancy of the affordable dwelling units;
e. A description of the additional incentives and concessions being provided by the City;
f. A description of the remedies for breach of the agreement by the owners, developers and/or successors in interest of the project;
g. Other provisions to ensure successful implementation and compliance with the City's Density Bonus ordinance, Government Code §§ 65915-65918 (Density Bonus Law), and California Department of Housing and Community Development and Housing and Urban Development guidelines; and
h. Other provisions to ensure compliance with applicable local, state, and federal tenant protection regulations.

In addition, the Agreement shall provide for the following conditions governing the use of affordable dwelling units during the applicable restriction period:

a. The rules and procedures for qualifying tenants, establishing affordable rent, filling vacancies and maintaining the affordable dwelling units for qualified tenants;
b. Provisions requiring owners to annually verify tenant incomes and maintain books and records to demonstrate compliance.
c. Provisions requiring owners to submit an annual report to the City, which includes the name, address and income of each person occupying the affordable dwelling unit and which identifies the bedroom size and monthly rent or cost of each unit; and
d. The applicable use restriction period shall comply with the time limits for continued availability as specified above.

38. Owner shall provide direct connections to high-speed internet service, including wireless access (e.g., Wi-Fi), to each residential unit and all residential tenants at no charge. The City acknowledges that Owner does not operate a high-speed internet service and thus is not responsible to configure a tenant's personal computer or other similar devices and temporary internet services outages may occur outside the control of the Owner. Owner may require residential tenants to comply with reasonable restrictions on the use of the internet service consistent with applicable federal, state and local laws and regulations. Tenants shall have the right to alternative internet service at the tenant's own expense.

39. Owner shall designate at least One (1) on-site manager that resides in the project consistent with applicable California Department of Housing and Community Development and Housing and Urban Development guidelines.

40. None of the dwelling units shall be operated as short-term vacation rentals or otherwise leased for a period of less than 30 days.

PARKING

A minimum of 53 parking spaces (45 standard spaces and 8 "compact" spaces) shall be maintained onsite for the life of the project. Parking spaces shall remain available for the use of residents and customers only. In addition, bicycle parking for a minimum of 12 bicycles shall be provided onsite and maintained for the life of the project. Additional bicycle parking shall be provided in the public right-of-way in a manner generally consistent with that depicted on the approved site, civil, and landscape plans, subject to final approval of the design and layout by the Public Works Department. **Plan Requirements:** Parking spaces and bicycle racks shall be shown on the plans submitted for Building Permit and Engineering Permit review. **Timing:** Parking spaces shall be striped and maintained (as needed) and bicycle racks installed prior to Final Occupancy clearance. **Monitoring:** CDD and PW shall periodically inspect the site for ongoing compliance.

41. The applicant shall develop and implement a Construction Parking, Staging and Traffic Management Plan. The purpose of the Plan is to minimize parking and traffic impacts to the surrounding residential neighborhood during construction of the project. The plan shall include, but is not limited to, the following measures:
    a. Development of a construction vehicle parking plan depicting the location of on-site construction vehicle parking. If all construction vehicle parking on-site is not feasible throughout the construction phase, the applicant shall implement a construction employee shuttle program documenting the location of offsite construction employee parking and shuttle schedule.
    b. Development of a construction equipment, material staging and storage plan confirming that all construction equipment and materials will be located on-site and not within any City right-of-way.
    c. Development of a construction traffic management plan accounting for the temporary location and movement of construction delivery trucks, large equipment, cranes, and similar construction related activities.

    Plan Requirement: The applicant shall submit a Construction Parking, Staging and Traffic Management Plan to CDD and Public Works for review and approval prior to issuance of a Building Permit. **Timing:** Program components shall be implemented prior to issuance of a Building Permit. **Monitoring:** CDD shall site inspect during construction to ensure compliance with all aspects of the Plan.

DEVELOPMENT PLAN CONDITIONS

42. Approval of the Development Plan and Coastal Development Permit shall expire two (2) years after approval by the City Council unless prior to the expiration date, substantial physical construction has been completed on the development or a time extension has been applied for by the applicant. The decision-maker with jurisdiction over the project may, upon good cause shown, grant a time extension.

43. If the applicant requests a time extension for this permit, the permit may be revised to include updated language to standard conditions and/or mitigation measures and additional conditions and/or mitigation measures which reflect changed circumstances or additional identified project impacts. Mitigation fees shall be those in effect at the time of issuance of a Building Permit.

44. No permits for development shall be issued except in conformance with the approved Development Plan and Coastal Development Permit. The size, shape, arrangement, use and location of buildings, walkways, parking areas and landscaped areas shall be developed in conformity with the approved Development Plan marked Attachment A, Exhibit 2, dated March 26, 2024, and with the agreed upon modification to increase the setback the western edge of the western third floor units (Units 21-24) toward the center of the project by Three (3) feet while maintaining the interior courtyard dimensions during the February 5, 2024 Planning Commission meeting. In addition, as offered and agreed to by the applicant at the City Council meeting on March 26, 2024, the applicant shall reduce the height of the three-story element by 17 inches, resulting in a maximum building height of 34 feet, 2 inches from finished grade. Substantial conformity shall be determined by the Community Development Department Director.

45. On the date a subsequent Development Plan is approved for this site, any previously approved but unbuilt plans shall become null and void.

46. To allow time for the utility companies to locate and mark their facilities for the contractor, the applicant shall telephone Underground Service Alert (USA) toll free at 1-800-227-2600 a minimum of 48 hours prior to the start of construction. For best response, provide as much notice as possible, up to 10 working days.

47. Existing and proposed easements for all utilities shall be located and described on the engineering plans or the architectural drawings prior to issuance of building permits.

CITY RULES & REGULATIONS/LEGAL REQUIREMENTS

48. Future commercial uses of all tenant spaces shall be consistent with project zoning, including, but not limited to, the base zone district requirements and any applicable overlay districts, including Visitor-serving Commercial allowed uses. Approval of a Building Permit for all future tenant improvements within the commercial spaces is required. In addition, issuance of a Carpinteria Business License and Occupancy Clearance shall be obtained for all future tenants to confirm respective uses are consistent with allowed uses under zoning prior to initiating business. Individual uses may be conditioned for hours of

operation, noise, or similar measures, as needed, to address potential nuisance issues and land use compatibility.

49. No provision of alcohol service, live entertainment or dancing are permitted as part of this approval. Should the applicant or any future tenant(s) choose to provide any of these services or activities, the proper licenses and approvals must first be obtained from the City. **Plan Requirements/Timing:** Prior to initiating alcohol service, live entertainment or dancing, applicant and/or tenant shall apply to the City (and/or respective State agency) for all necessary licenses and approvals. **Monitoring:** CDD staff shall ensure all necessary licenses/permits are obtained prior to initiating any of the enumerated ancillary uses.

50. All future food and beverage tenants shall comply with the City's ban on food dispenser containers made entirely or in part from non-recyclable plastic (including but not limited to expanded polystyrene (eps) containers), including the annual self-reporting requirements as outlined in CMC §8.50, and the City's ban on single use plastic and paper bags as outlined in CMC §8.51.

51. Before using any land or structure, or commencing any work pertaining to the erection, moving, alteration, enlarging, or rebuilding of any building, structure, or improvement, the applicant shall obtain a Building Permit. These Permits are required by ordinance and are necessary to ensure implementation of the conditions required by the City Council. Before any Permits will be issued by the Community Development Department, the applicant must obtain written clearance from all departments having conditions; such clearance shall indicate that the applicant has satisfied all pre-construction conditions. A form for such clearance is available from Community Development.

52. All Conditions of Approval and mitigation measures shall be printed in their entirety on applicable pages of construction or building plans submitted to CDD. The approved set of plans shall be retained at the construction site for review by the Building Inspector during the course of construction.

53. Prior to issuance of a Building Permit, the applicant shall provide a signed copy of the Conditions or Approval on a form acceptable to Community Development. Such form may be obtained from the CDD office.

54. Prior to issuance of a Building Permit, the applicant shall pay all applicable CDD permit processing fees in full. Any outstanding plan check or inspection fees incurred during construction shall be paid in full prior to occupancy clearance.

55. The applicant shall pay the statutory school fees in effect at the time of issuance of Building Permits to the Carpinteria Unified School District. **Plan Requirements and Timing:** The applicant shall submit final square footage calculations and the required fee payment to the School District prior to issuance of Building Permits. **Monitoring:** CDD shall ensure payment is made prior to issuance of a Building Permit.

56. In accordance with Chapter 15.80 of the Carpinteria Municipal Code, the applicant shall pay Development Impact Fees to the City prior to Building Permit issuance. The amount of the fees will be determined at the time permits are issued.

57. Any change of use in the proposed buildings or structures shall be subject to environmental analysis and appropriate review by the City, including Building Code compliance.

58. The conditions of this approval supersede all conflicting notations, specifications, dimensions, and the like which may be shown on submitted plans.

59. Any and all damage or injury to public property resulting from this development, including without limitation, City streets, shall be corrected or result in being repaired and restored to its original or better condition.

60. All requirements of the City (including but not limited to public improvements as defined in the City Municipal Code (CMC), Section 15.16.110) and any other applicable requirements of any law or agency of the State and/or any government entity or District shall be met.

61. The standards defined within the City's adopted model Building Codes (UBC; NEC; UMC; UFC; UPC; UHC) relative to the building and occupancy shall apply to this project.

62. Any minor changes may be approved by the City Manager and/or Community Development Director. Any major changes will require the filing of a modification application to be considered by the City Council.

63. No building permits shall be issued for this project prior to meeting all required terms and conditions listed herein. When not specified herein, all conditions shall be satisfied prior to issuance of a building permit or prior to occupancy when allowed by the Community Development Director.

64. If, at any time, the City determines that there has been, or may be, a violation of the findings or conditions of this Development Plan and Coastal Development Plan, or of the Municipal Code regulations, a public hearing may be held before the City Council to review this permit. At said hearing, the City Council may add additional conditions, or recommend enforcement actions, or revoke the permit entirely, as necessary to ensure compliance with the Municipal Code, and to provide for the health, safety, and general welfare of the City. The applicant shall reimburse the City for all costs associated with gaining compliance with the original conditions of approval.

65. In the event that any Condition of Approval imposing a fee, exaction, dedication or other mitigation measure is challenged by Applicant/Owner/Permittee in an action filed in a court of law or threatened to be filed therein which action is brought within the time period provided by law, this approval shall be suspended pending dismissal of such action, the expiration of the limitation period applicable to such action, or final resolution of such

action. If any Condition of Approval is invalidated by a court of law, the entire project shall be reviewed by the City and substitute Conditions of Approval may be imposed.

66. The owner/applicant ("Owner") hereby agrees to defend, indemnify and hold harmless the City, its officers, employees, agents, consultants and independent contractors ("City's Agents") from any claim, action or proceeding ("Claims") against the City and the City's Agents to attack, review, set aside, void or annul, in whole or in part, the City's approval of the Development Plan and Coastal Development Permit (the "Project"), or any condition attached thereto, or any proceedings, acts or determinations taken, done or made prior to the approval that were part of the approval process. Owner further agrees to indemnify and hold harmless the City and the City's Agents from any award of attorneys' fees or court costs made in connection with any Claim. Owner further agrees to pay any and all City costs, permits, attorneys' fees, engineering fees, license fees and taxes arising out of or concerning the Project, whether incurred prior to or subsequent to the date of approval and that the City's costs shall be reimbursed prior to this approval becoming valid. These commitments of defense and indemnification are material conditions of the approval of the Project. Nothing contained in this condition shall prevent the City or the City's Agents from independently defending any Claim. If the City or the City's Agents decide to independently defend a Claim, the City and the City's Agents shall bear their own attorneys' fees, expenses and costs of that independent defense.

67. Written authorization to proceed and consent to conditions of approval by the legal owner of the property shall be provided to the City prior to building permit issuance.

SPECIAL DISTRICT CONDITION LETTERS

68. Compliance with the attached Departmental and District letters is required as follows:
    a. Carpinteria Sanitary District, dated May 3, 2023.
    b. City of Carpinteria Public Works Department, dated November 27, 2023.
    c. Carpinteria Valley Water District Intent to Serve Letter, dated November 10, 2023.
    d. Carpinteria Valley Water District Condition Letter, dated November 10, 2023.
    e. Carpinteria-Summerland Fire Protection District, dated July 29, 2023.

Approved by the City Council on March 26, 2024.

I HAVE READ AND UNDERSTOOD, AND I WILL COMPLY WITH ALL ABOVE STATED CONDITIONS OF THIS PERMIT.

_____

Applicant/Property Owner Date

Attachment E

Plans Considered at the March 26, 2024

City Council Appeal Hearing (Superseded)

4745 Carpinteria Avenue Mixed Use Development
Project 23-2221-DP/CDP/ARB
Final ARB Review
August 15, 2024

4745 CARPINTERIA AVE

PROPOSED MIXED USE DEVELOPMENT

GENERAL NOTES

A GENERAL NOTES

1. Architect makes no warranty, either express or implied, as to his findings, recommendations, specifications or professional advice or services except that they were prepared or rendered in accordance with generally accepted architectural practices and under the direction of professional registered architects. As instruments of service, the architect's drawings and specifications are not 100% complete of themselves, and architect's continued services and construction administration/observation are required for complete interpretation and application to a specific project. Owner and contractor hereby acknowledge use of the drawings and/or specifications without architect's involvement in construction administration/observation, and prior approval of all changes and/or modifications shall thereby relieve architect of all liability associated with changes or modifications to the project made during the construction process. Owner and contractor hereby further warrants that architect shall not be held responsible for the subsequent use of the drawings and/or specifications or advice of others during construction work which was not performed under architect's scope of administrative services.
2. Interpretation of drawings and documents: each contractor shall check and verify all dimensions and conditions at the project site before executing any work and shall notify the owner and the architect of any discrepancies before proceeding. The architect shall be notified of any unusual or unforeseen conditions or situations which may affect the structural integrity or safety of the project.
3. Adherence to plans: strict adherence to the construction documents must be maintained. No changes shall be made in the project which deviate from the plans and specifications without the written consent of the owner. No structural changes shall be made without the written consent of the architect.
4. Working drawing: Figured dimensions and detailed drawings shall be followed in preference to scale measurements. In case of any doubt on the part of the contractor as to the exact meaning of the drawings and these specifications, he shall apply to the architect for an interpretation before proceeding with his work.
5. Shop drawings: contractor shall submit copies of all shop drawings for review by architect prior to contractor's approval for construction.
6. The contractor shall provide all shoring and bracing required to protect personnel and adjacent property and to insure safety of the project work.
7. Wherever in these drawings any material or process is indicated, it is for the purpose of facilitating description of the material or process desired. The contractor may offer any material or process which shall be deemed equivalent by the engineer and the architect to that material or process indicated or specified.
8. Unless otherwise specified, all materials shall be new and best workmanship and materials shall be the best of their respective kinds. The contractor shall if required, furnish satisfactory evidence as the kind and quality of materials.
9. It shall be the duty of the general contractor to see that all sub-contractors are fully informed in regard to the general conditions and preliminary specifications.

B PERMITS AND REGULATIONS

1. Each contractor shall pay for and obtain all permits required by local authorities before proceeding with his respective installation and shall arrange and pay for any inspections and examinations required by these authorities.
2. All workmanship and materials shall conform to the current edition of the codes, and laws, ordinances and regulations of all governmental bodies with jurisdiction over the project.
3. If the drawings and specifications are at variance with any federal, state and local or municipal law, ordinance, rules or departmental regulations, the contractor shall notify the architect in writing before proceeding with that work. If any of the contractor's work shall be done contrary thereto without such notice he shall bear all cost arising therefrom.

C PROTECTION OF WORK & PROPERTY

1. The contractor shall be responsible for all violations of city ordinances and state laws involved in the performance of his work. He shall provide, during the progress of his work, every and all safeguards and protection against accidents, injury and damage to persons and property including adjoining property. The contractor shall be responsible for his work and every part thereof, and for all materials, tools, appliances and property of every description used in connection therewith.
2. The contractor assumes all risks, hazards and conditions in connection with the performance of the contract, and even if the performance of the contract involves a greater expenditure of money than the contractor expected at the time of bidding, no allowance will be made on account thereof, and the contractor shall continue with and complete the work.

D SUPERVISION

1. The contractor shall give personal supervision to the work, using his best skill and attention, and shall keep a competent foreman and necessary assistants on plants on the site. The foreman shall be the personal representative of the contractor and all directions given by him shall be as binding as if given by the contractor. Communication delivered to the foreman by the architect shall be as binding as if delivered to the contractor.

E DAMAGES TO THE WORK

1. The owner, without invalidating the contract, may alter its adding to or deducting from the work covered in the contract. All such work shall be executed under the conditions of the original contract except that any extra work or changes shall be done without written order from the architect. Such orders shall cover the agreed price and terms of extra work of changes, if work is to be omitted, then proper credit for such omitted work shall be given the owner.

F CLEANING BUILDING AND PREMISES

1. Prior to the completion of the work, the contractor shall thoroughly clean the exterior and interior of the building, including fixtures, equipment, floors and hardware, removing all plaster spots, fixtures, paint spots and accumulated dust and dirt. This shall include thorough cleaning of all ducts, window sills and ledges, horizontal projections, steps, rails, sidewalks or other surfaces where debris may have collected wash and polish all glass.

G GUARANTEES

1. Except as otherwise specified, all work shall be guaranteed in writing by the contractor against defects resulting from defective materials, poor workmanship or faulty equipment, for a period of one year from the date of filing the notice of completion and the acceptance of the building by the owner. If within the guarantee period correction of faulty materials or workmanship is necessary in the opinion of the owner, the contractor shall permanently, upon receipt of notice from the owner and without expense to the owner, correct faulty materials of workmanship.

H VERIFICATION OF UNDERGROUND UTILITY IMPROVEMENTS

1. The general contractor shall provide the owner with an as built drawing showing and describing all underground utilities located on the site, including but not limited to the following gas lines, water lines, sanitary sewers, telephone lines, and electric lines.

I TRANSPORTATION OF EXCAVATED MATERIAL

1. The contractor shall transport all excavated material not required for re-compaction to an approved landfill site outside the coastal zone. Provide tire tickets for all excavated material removed from the project.

CODE COMPLIANCE

GOVERNING AGENCY:
5775 Carpinteria Avenue
Carpinteria, CA 93013

APPLICABLE CODES:

All work & material shall be performed & installed in compliance with the current editions of the following codes as adopted by the local governing authorities. Nothing in these plans is to be construed to permit work not conforming to these codes.

- California Building Code, 2022 Edition (CBC)
- California Residential Code, 2022 Edition (CRC)
- California Electrical Code, 2022 Edition (CEC)
- California Mechanical Code, 2022 Edition (CMC)
- California Plumbing Code, 2022 Edition (CPC)
- California Energy Code, 2022 Edition
- California Fire Code, 2022 Edition
- California Green Building Standards Code, 2022 Edition
- ADA Standards for Accessible Design, 2010 Edition
- Best Management Practices listed on sheet G002.

VICINITY MAP

PROJECT SCOPE

Project Scope includes

- Proposal is a redevelop 4745 Carpinteria Ave into a new mixed use development. Per density bonus law this project sets aside 17% of the 18 base units for low-income households, which would equate to three income restricted units, and would grant the project up to a 30.50% density bonus (six additional units), which would equal 24 units.
- The project consists of 31,018 Residential Gross SF consisting of
  - 16 Two bedroom units 20,708 SF
  - 4 Two bedroom townhouses facing 9th St 8,915 SF
  - 3 One bedroom units 6,455 SF
- 1 Commercial/Retail Unit 4 044 SF
- and 33,198 SF concrete podium covered parking with 53 proposed parking spaces
  - 18 parking spaces for commercial
  - 35 spaces for residential units

PROJECT INFORMATION

Owner: Justin Kleninger 133 N Almont Dr, West Hollywood, CA 90048	310 917 4201 justin@modernbuildconstruction.com
A.P.N.#	001-250-021
Zoning designation	MU-1 (CN)
Land use designation	CN/MU
Existing use	Commercial - Retail
Proposed use	Residential - Retail/Commercial
High fire	No
Fire sprinklers required	Yes
Flood hazard	Yes, X2
Construction type	V-A
Occupancy group	R-2 & A-2, B, S-2
Lot size	12,051 S.F. (0.27 ACRES)
Required setbacks	Front = 5 Other = 10
Maximum height limit	35'
Required open yard area	25% of Lot = 3,012 S.F. ; Proposed 4,245 S.F.
Required opening in Garage	40% of Total Perimeter Linear Feet= 248 S.F. = Provided: 313 S.F.
Required number of Low income units	17% of base units: 3 units Proposed: (3 units) unit 5, unit 6, unit 11
Grading	Earthwork Cuts: 200 CY Earthwork Fills: 100 CY Earth Work Import = 150 CY
SWMP compliance	Site Impervious surface = 3,478 SF Required Treatment surface: 3,126 SF
Number of parking spaces	Existing = 0 Provided = 53 Residential = 35 Required = Commercial: 1 Per 250 SF= 4,044 gross SF/250=17 Residential: 1 Covered space Per 1 Bedroom Unit = 8 (Under Density Bonus Law Details) 1.5 Covered Space Per 2 Bedroom Unit = 30 TOTAL= 55
Landscape	Existing = 386 SF Proposed Common Open yard =4,245 SF Proposed Decorative Landscape: 2,189 SF TOTAL= 6,434 SF

PROJECT DIRECTORY

ARCHITECT:	
DMHA Architecture & Interiors 1 N. Calle Cesar Chavez #102 Santa Barbara, CA 93103	Edward Delvecchio CPHC AIA Ph: 805.965.7777 edl@dmha.com
CIVIL:	
Ashley & Vance Engineering 310 E Gutierrez St Santa Barbara CA 93101	Bruce Jones Ph: 703 755 9762 Bruce@ashleyvance.com
GEOTECHNICAL:	
Pacific Materials Lab 35-A Sowah La Patera Lane P.O. Box 95 Goleta CA 93116	Ph: 805 968 9669 gmilligan@pacificmat.com
LANDSCAPE:	
Parrot Landscape 820 E Haxton St, Suite B Santa Barbara, CA 93103	Katie Klein Ph: 805 242-8317 katie@parrot.com

SHEET INDEX

GENERAL	
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G002	GENERAL NOTES
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CIVIL	
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L1.1	PRELIMINARY PLANTING PLAN
L1.2	PRELIMINARY LANDSCAPE PLAN - 2ND STORY
L1.3	PRELIMINARY LANDSCAPE PLAN - 3RD STORY
L1.4	PRELIMINARY PLANTING PLAN - 3RD STORY
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A1.1	FIRST FLOOR PLAN
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A5.15	UNIT PLANS

LOOKING FROM CARPINTERIA AVE

LOOKING FROM WEST SIDE OF 6TH ST

LOOKING TO WEST SIDE OF CARPINTERIA AVE

LOOKING NORTH TOWARDS THE SITE FROM 9TH ST

LOOKING SOUTH TOWARDS THE FRANKLIN CREEK

EXISTING STRUCTURE AT SITE

LOOKING SOUTH TOWARDS THE SITE FROM CARPINTERIA AVE

LOOKING SOUTH TOWARDS THE SITE FROM ACROSS THE CARPINTERIA AVE

LOOKING EAST FROM CARPINTERIA AVE

LOOKING AT FRANKLIN CREEK

LOOKING TO 6TH ST FROM WALL AVE

LOOKING SOUTH FROM 9TH ST

LOOKING NORTH EAST TO NORTH WEST FROM CARPINTERIA AVE

LOOKING WEST FROM 9TH ST

LOOKING SOUTH WEST FROM 8TH ST

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	08/04/2023

G011

SITE PHOTOS

COMMON OPEN AREA: METAL STAIRS AND RAILING

EXTERIOR MASSING AND MATERIAL

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	[illegible]

G012

ARCHITECTURAL LOOK AND FEEL

COMMERCIAL AREA- EXTERIOR

COMMERCIAL AREA- SEATING AND DOOR SYSTEM

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023

G013

ARCHITECTURAL LOOK AND FEEL

Lot Coverage At Prd Zone:
4,847 SF /7,085 SF = 69%
Incentive Used= Prd Zone Lot Coverage

Per State Density Bonus Law:
This Project Set Aside 17% of the 18 Base Units for Low-Income Households, Which Would Equate to 3 Income-Restricted Units, & Would Grant the Project Up to A 30.50% Density Bonus (8 Additional Units), Which Would Equal 26 Units. Incentive Used: Height (3rd Story) + Prd Zone Lot Coverage

2ND FLOOR PLAN EXHIBIT 02
1" = 20'-0"

Common Open Area
Required: 20% of Lot: 6,082 SF
Provided: 6,285 SF

3RD FLOOR PLAN EXHIBIT 03
1" = 20'-0"

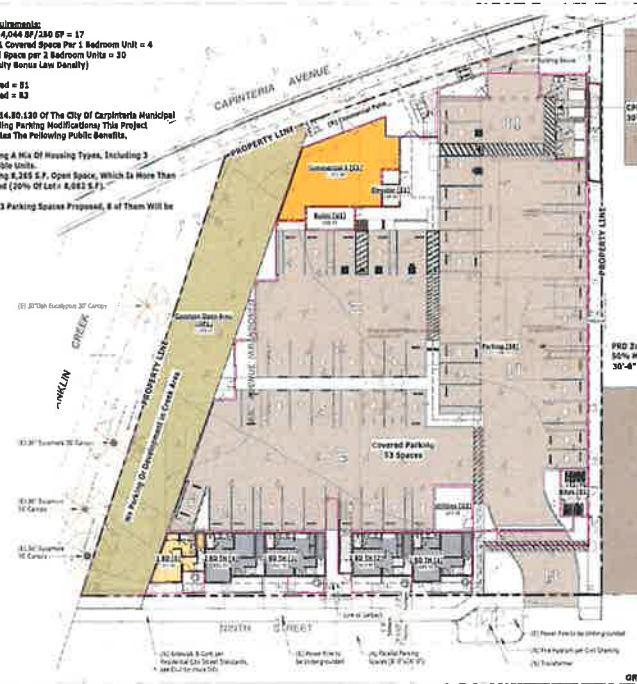
Parking Requirements:
Commercial 4,044 SF/330 SF = 17
Residential 1 Covered Space Per 1 Bedroom Unit = 4
1.5 Covered Space per 2 Bedroom Units = 30
(Under Density Bonus Law Density)

Total Required = 51
Total Provided = 53

Per Section 14.80.120 Of The City Of Carpinteria Municipal Code Regarding Parking Modifications; This Project Accommodates The Following Public Benefits.

- **Providing A Mix Of Housing Types, Including 3 Affordable Units.**
- **Providing 6,285 S.F. Open Space, Which Is More Than Required (20% Of Lot= 6,082 S.F).**

Out of The 53 Parking Spaces Proposed, 8 of Them Will be Compact.



CPD Zoning 30,988 SF
30'-0" Height

PRD Zoning 7,085 SF
50% Max. Lot Coverage
30'-0" Height

GROUND FLOOR PLAN EXHIBIT 01
1" = 20'-0"

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023
	Incompleteness Response	06/28/2023
	2nd Incompleteness Resp	09/22/2023

G101

PLANNING EXHIBIT

TOPOGRAPHIC MAP

for 4745 CARPINTERIA AVE./APN 003-251-008
~ CITY OF CARPINTERIA ~
~ COUNTY OF SANTA BARBARA ~
~ STATE OF CALIFORNIA ~

~MAY 2023~

WATERS CARDENAS LAND SURVEYING, LLP
JOSE V. CARDENAS & BARRY J. WATERS
LICENSED LAND SURVEYORS
5553 HOLLISTER AVE.-STE. 7A8 - GOLETA, CALIFORNIA 93117
PHONE (805) 967-4418

SCALE: 1" = 10'

W/O W.O. #22-1186

NOTES:

(1) HORIZONTAL BASIS OF COORDINATES ARE NAD83, EPOCH 2017.5, STATIONS 8 AND 59, OF RECORD OF SURVEY BOOK 212, PAGES 48-52

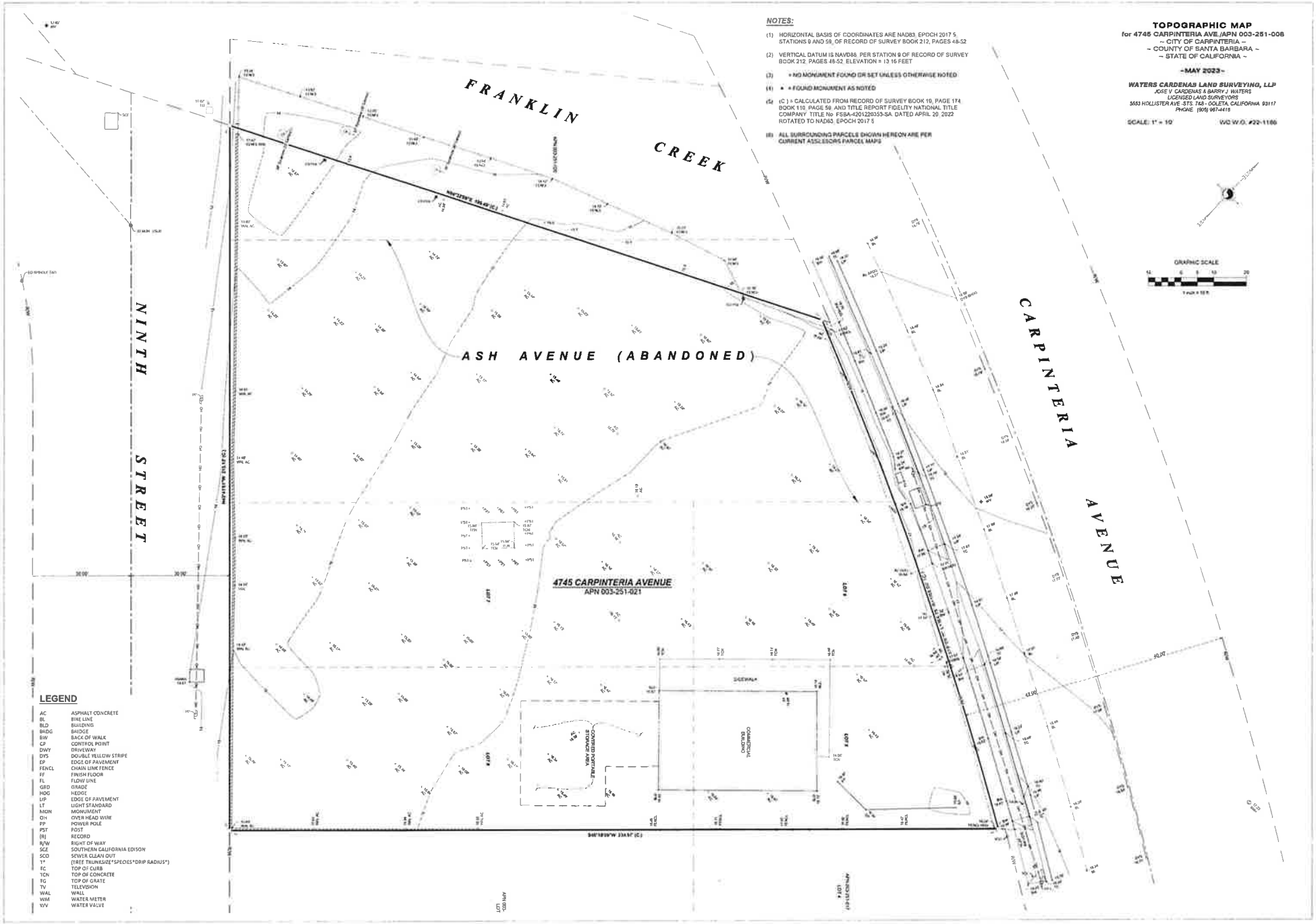
(2) VERTICAL DATUM IS NAVD88, PER STATION 9 OF RECORD OF SURVEY BOOK 212, PAGES 48-52. ELEVATION = 13.16 FEET

(3) ○ = NO MONUMENT FOUND OR SET UNLESS OTHERWISE NOTED

(4) ● = FOUND MONUMENT AS NOTED

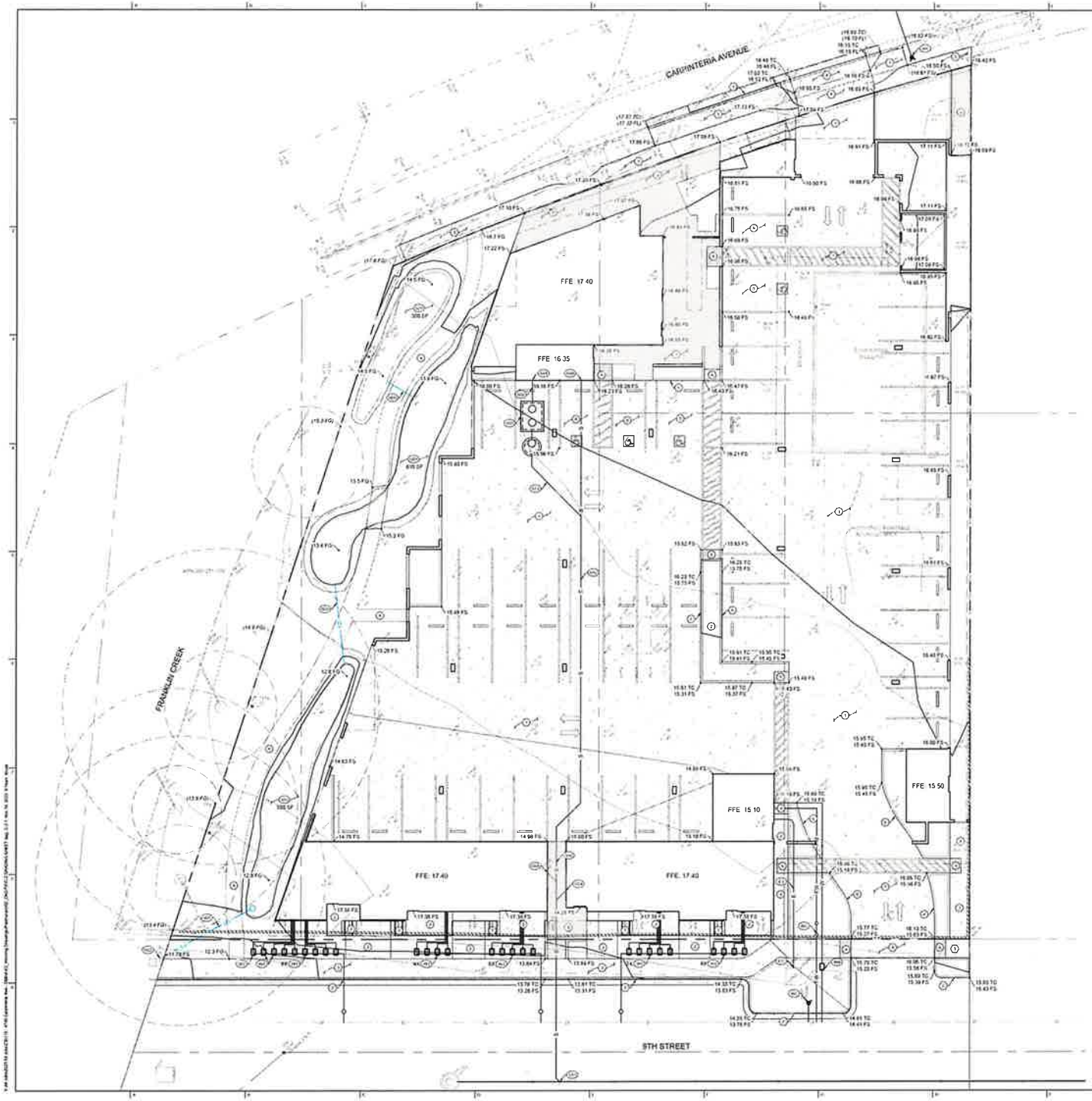
(5) (C) = CALCULATED FROM RECORD OF SURVEY BOOK 19, PAGE 174 BOOK 110, PAGE 59, AND TITLE REPORT FIDELITY NATIONAL TITLE COMPANY TITLE No. FSBA-4201220353-SA, DATED APRIL 20, 2022 ROTATED TO NAD83, EPOCH 2017.5

(6) ALL SURROUNDING PARCELS SHOWN HEREON ARE PER CURRENT ASSESSORS PARCEL MAPS



LEGEND

AC	ASPHALT CONCRETE
BL	BIKE LINE
BLD	BUILDING
BRDG	BRIDGE
BW	BACK OF WALK
CP	CONTROL POINT
DWY	DRIVEWAY
DYS	DOUBLE YELLOW STRIPE
EP	EDGE OF PAVEMENT
FENCL	CHAIN LINK FENCE
FF	FINISH FLOOR
FL	FLOW LINE
GRD	GRADE
HDG	HEDGE
LIP	EDGE OF PAVEMENT
LT	LIGHT STANDARD
MON	MONUMENT
OH	OVER HEAD WIRE
PP	POWER POLE
PST	POST
(R)	RECORD
R/W	RIGHT OF WAY
SCE	SOUTHERN CALIFORNIA EDISON
SCO	SEWER CLEAN OUT
T*	(TREE TRUNKSIZE*SPECIES*DRIP RADIUS*)
TC	TOP OF CURB
TCN	TOP OF CONCRETE
TG	TOP OF GRATE
TV	TELEVISION
WAL	WALL
WM	WATER METER
WV	WATER VALVE



GENERAL NOTES:

ALL EXISTING UTILITIES SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR TO POTHOLE ALL POINTS OF CONNECTION AND VERIFY ALL CLEARANCES. MATERIAL DEPTH AND LOCATION SHALL BE IDENTIFIED BY CONTRACTOR. IF THERE ARE ANY DIFFERENCES FROM PLAN WITH ANY OF THESE ITEMS, ENGINEER OF WORK SHALL BE NOTIFIED IMMEDIATELY.

RIGHT OF WAY CONSTRUCTION NOTES:

1. CONSTRUCT CONCRETE CURB AND GUTTER PER SPPWC STANDARD PLAN 120-1 TYPE A2-6
2. CONSTRUCT CONCRETE CURB PER SPPWC STANDARD PLAN 120-3 TYPE A1-6
3. CONSTRUCT CONCRETE SIDEWALK PER SPPWC STANDARD PLAN 113-3
4. CONSTRUCT CONCRETE DRIVEWAY APRON PER SPPWC STANDARD PLAN 113-2

SITE CONSTRUCTION NOTES:

1. CONSTRUCT CONCRETE DRIVEWAY SECTION
2. CONSTRUCT CONCRETE WALKWAY SECTION
3. CONSTRUCT PAVER WALKWAY SECTION
4. CONSTRUCT GRAVEL WALKWAY SECTION
5. CONSTRUCT 6-INCH CONCRETE CURB
6. CONSTRUCT 6-INCH CONCRETE CURB
7. CONSTRUCT CONCRETE STAIRS
8. CONSTRUCT ACCESSIBLE PARKING STALL
9. INSTALL TRUNCATED DOME WARNING STRIP

STORM DRAIN CONSTRUCTION NOTES:

- (S1) CONSTRUCT BIO-RETENTION BASIN
- (S2) CONSTRUCT STABILIZED ROCK RIP-RAP OUTLET
- (S3) CONSTRUCT 12" CLASS 160 PVC CULVERT

ELECTRICAL NOTES:

- (E1) ELECTRICAL SERVICE CONDUIT PER ELECTRICAL PLANS
- (E2) CONNECT TO EXISTING TRANSFORMER

SANITARY SEWER CONSTRUCTION NOTES:

- (SS1) INSTALL SEWER WYE AND CONNECT 6" LATERAL TO EXISTING MAIN PER CARPINTERIA SEWER DISTRICT PLATE 109
- (SS2) INSTALL 6" SDR 35 SANITARY SEWER LATERAL PER CARPINTERIA SEWER DISTRICT PLATES 104 AND 108
- (SS3) INSTALL SEWER CLEANOUT PER CARPINTERIA SEWER DISTRICT PLATE 110
- (SS4) SEWER POINT OF CONNECTION AT BUILDING. SEE MECHANICAL PLANS
- (SS5) INSTALL GREASE INTERCEPTOR AND OBSERVATION MANHOLE

WATER CONSTRUCTION NOTES:

- (W1) INSTALL METER AND SERVICE LINE FOR RESIDENTIAL SERVICE ON METER MANIFOLD PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-101, W-111, AND W-120
- (W2) INSTALL 3/4-INCH METER AND SERVICE LINE FOR COMMERCIAL SERVICE ON METER MANIFOLD PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-101, W-111, AND W-120
- (W3) INSTALL 3/4-INCH METER AND SERVICE LINE FOR HOUSE SERVICE ON METER MANIFOLD PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-101, W-111, AND W-120
- (W4) INSTALL 3/4-INCH METER, REDUCED PRESSURE BACKFLOW PREVENTER AND SERVICE LINE FOR LANDSCAPE SERVICE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAILS W-101, W-111, AND W-115
- (W5) INSTALL 4-INCH FIRE LINE SERVICE PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAIL W-114
- (W6) INSTALL FIRE HYDRANT AND CONNECTION PER CARPINTERIA VALLEY WATER DISTRICT STANDARD DETAIL W-112

EARTHWORK INFORMATION:

SITE AREA	0.87 AC
AREA DISTURBED	0.65 AC
CUT QUANTITY	200 CUBIC YARDS
FILL QUANTITY	550 CUBIC YARDS
NET QUANTITY	350 CUBIC YARDS IMPORT

NOTE: THE ABOVE QUANTITIES ARE FOR PLANNING AND PERMITTING PURPOSES ONLY. SHRINKAGE, CONSOLIDATION AND SUBSIDENCE FACTORS LOSSES DUE TO CLEARING AND DEMOLITION OPERATIONS, AND TRENCHING FOR UTILITIES AND FOUNDATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED ON THE APPROXIMATE DIFFERENCE BETWEEN EXISTING GRADES AND PROPOSED FINISHED GRADES OR PAVEMENT SUBGRADES AS INDICATED ON THE PLANS AND SHOULD VARY ACCORDING TO THESE FACTORS AND LOSSES. THE CONTRACTOR SHALL PERFORM AN EARTHWORK ESTIMATE FOR THE PURPOSE OF PREPARING A LUMP SUM BID PRICE FOR EARTHWORK. THE BID PRICE SHALL INCLUDE COSTS FOR ANY NECESSARY IMPORT AND PLACEMENT OF EARTH MATERIALS OR THE EXPORT AND PROPER DISPOSAL OF EXCESS EARTH MATERIALS.

DIGALERT
UNDERGROUND SERVICE ALERT

HORIZONTAL SCALE: 1" = 10'
10 5 10 20

Ashley&Vance ENGINEERING, INC.
CIVIL • STRUCTURAL

Prepared By

Engineer of Record

PLANS NOT FOR CONSTRUCTION REVISED SET

4745 CARPINTERIA
4745 CARPINTERIA AVENUE
CARPINTERIA, CA 93013

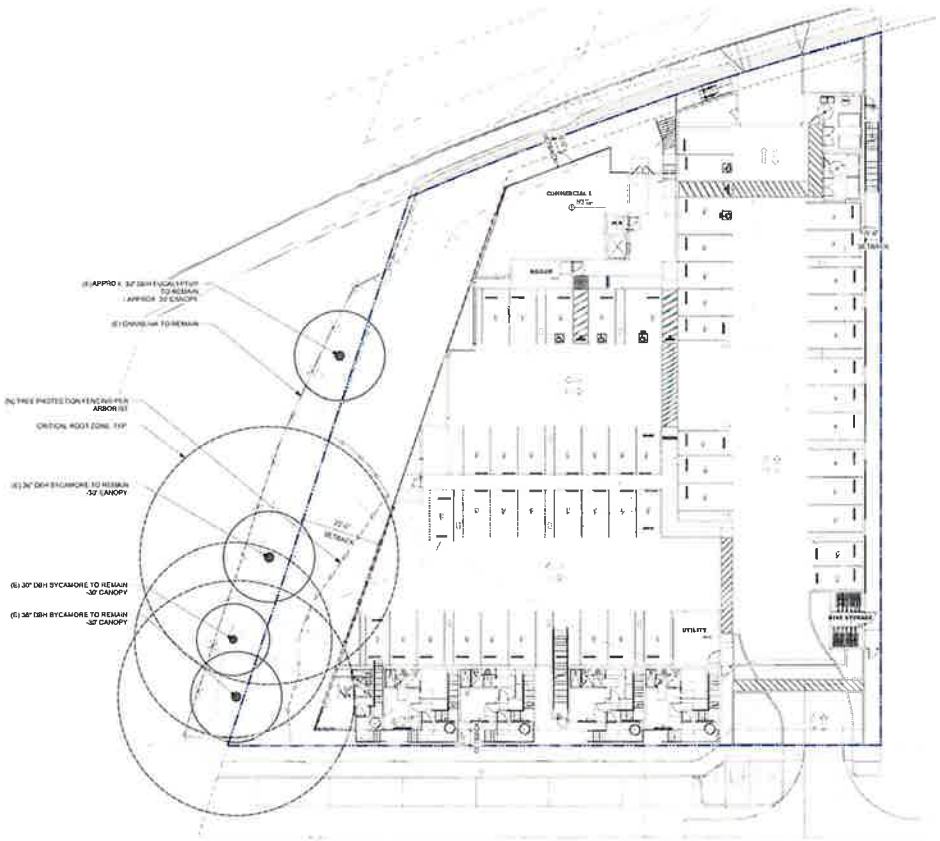
Revisions
1.
2.
3.
4.
5.

Project Engineer: GRJ
Project Manager: JJS
Date: 10.14.2021
Scale: PER PLAN
A+V Job No: 200115
Sheet Size: 36" x 42"

PRELIMINARY PLANS - NOT FOR CONSTRUCTION

GRADING AND DRAINAGE PLAN

C-2.1



TREE PROTECTION NOTES:

THE OBJECTIVES OF TREE PROTECTION MEASURES INCLUDE

- AVOIDING OR MINIMIZING PHYSICAL LOSS OF SOIL AND ROOTS THAT CAN AFFECT THE HEALTH AND STABILITY OF TREES
- AVOIDING COMPACTION OF SOIL IN ROOT ZONES THAT DAMAGES SOIL STRUCTURE AND CAN IMPACT THE GROWTH OF ROOTS
- AVOIDING PHYSICAL DAMAGE TO THE TRUNK AND CROWN OF TREES
- MINIMIZING CHANGES IN WATER FLOW TO ROOT ZONES
- DIRECTING ROOTS AND LIMBS AWAY FROM INFRASTRUCTURE AND POTENTIAL CONFLICTS
- DEFER TO THE PROJECT ARBORIST FOR MORE SPECIFIC TREE PROTECTION MEASURES
- TREE PROTECTION MEASURES WILL USUALLY REQUIRE THE FORMATION OF A TREE PROTECTION ZONE FOR THE TREES TO BE PROTECTED THIS IS NORMALLY DONE WITH FENCING THAT RESTRICTS UNNECESSARY ROOT CUTTING STOCKPILING OF SOIL OR DEBRIS AND STORAGE OF EQUIPMENT OR VEHICLES
- IT IS NOT UNCOMMON FOR TREE CONFLICTS TO EVOLVE ON A CONSTRUCTION SITE BEYOND WHAT WAS ANTICIPATED THE PROJECT ARBORIST SHOULD MANAGE THESE ISSUES TO THE BEST EXTENT FEASIBLE FOR THE SITUATION ADDITIONAL MITIGATION MAY BE NECESSARY

TREE TOTALS:

WITHIN LIMIT OF WORK	
TOTAL TREES TO REMAIN	X
TOTAL TREES TO REMOVE	X
TOTAL TREES	X

NOTE ALL EXISTING TREES OUTSIDE OF THE LIMIT OF WORK TO REMAIN

ABBREVIATIONS:

abbreviation	description
(E)	EXISTING
(N)	NEW
PA	PLANTING AREA
GG	DECOMPOSED GRANITE
TYP	TYPICAL
LA	LANDSCAPE ARCHITECT
LF	LINEAL FEET
SF	SQUARE FEET

PARRYI

Project Manager:
Kelsie Elton
805 242 5317
kelsie@parryi.com

4745 Carpinteria Ave
Carpinteria, CA

SHEET CONTENTS:
Tree Disposition + Demolition Plan

L0.1

ARBORIST'S DISCLOSURE AND CERTIFICATION OF PERFORMANCE

Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist, or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments, like any medicine, cannot be guaranteed.

Trimming, pruning and removal of trees may evoke considerations beyond the scope of the arborist's services such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near a tree is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

I Bill Spiewak, certify:
That I have personally inspected the trees on the property referred to in this report and have stated my findings accurately.
The analysis, opinions and conclusions stated herein are my own and are based on current scientific procedures and commonly accepted arboricultural practices.

Signed Bill Spiewak
Bill Spiewak
Registered Consulting Arborist #381
American Society of Consulting Arborists

Board Certified Master Arborist #0108
International Society of Arboriculture
Qualified Tree Risk Assessor

CONCLUSIONS

1. Installation of the riparian planter buffer and detention basins should not impact the surrounding sycamores or eucalyptus trees provided tree protection measures are followed.
2. This riparian buffer appears to provide a better rootzone environment for tree roots than the existing asphalt covered parking lot.
3. Tree Protection Measures must be followed when building the riparian buffer planter.
4. The area around the trees in the vacant strip should be cleaned up. Competitive plants and soil and debris around the base of trees should be removed. Apply 2" to 4" of fresh wood chips over the vacant strip to improve soil conditions.

TREE PROTECTION MEASURES

1. Prior to any work on the subject property, be sure that limbs of trees are not in conflict with workers or equipment. Prune as needed.
2. Demolition of the asphalt parking lot must be done with care so as not to damage underlying roots of adjacent trees when working within the critical root zone of the sycamores.
3. Avoid using riggers that damage the fine root of underlying sycamore roots.
4. After removing asphalt within the critical root zone of the sycamore trees, install fencing at the edge of the work area as shown in the site plan. Only remove existing the riparian buffer use within the protection zone.
5. Unnecessary excavation in the current area adjacent the creek and within TPZs should be replaced with manual tools.
6. Stumps in close proximity to the protected trees should be cut close to ground or turned to specialist with a stump grinder. Do not pull out the stumps.
7. When excavating for the detention basins, arborist should monitor the work. If the western side of the basin requires a cofferdam, place the side of the trench rather than acting down to the tree.
8. If roots are encountered, cut roots, 1"2" and greater with a sharp tool perpendicular to the root growth. Use a hand pruner, hand saw, lopping pruner or reciprocating saw to cut roots cleanly.
9. Root sealers have been determined to not be effective in preventing decay and should not be used.
10. When roots are cut, the newly exposed root profile must be kept moist to encourage an area conducive to new root growth and also to prevent the loss of water from the root.
11. Use smaller plants in sensitive root areas to avoid damage to roots of the sycamores.

REFERENCES

- ANSI (American National Standards Institute) A300 Part 5 - *Management of Tree and Shrubs During Site Planning, Site Development, and Construction*, 2012
- *Best Management Practices: Managing Trees During Construction, Second Edition* International Society of Arboriculture, Champaign, Illinois, 2016
- Harris, R. W., and Matheny, N. P., and Clark, J. R., 2004. *Arboriculture: Integrated Management of Landscape Trees, Shrubs, and Vines*, Fourth Edition. Prentice Hall
- Matheny and Clark, *Trees and Development: A Technical Guide To Preservation of Trees During Land Development*, ISA, 1998

SITE PLAN

OBSERVATIONS

1. There is a vacant strip of land along that runs between the northwest property line of the subject property (to the southeast) and Franklin Creek (to the northwest). The strip varies from 15' to 25' wide and is lined with chain link fence on both sides.
2. Franklin Creek, is a concrete lined, open channel, that moves water from the Carpinteria foothills through multiple agricultural properties and residential neighborhoods, then out to the salt marsh and finally the Pacific Ocean.
3. The portion to be developed, southeast of the vacant strip, is an equipment yard that is completely paved (mostly asphalt), including a couple of structures. To my knowledge, this has been the situation of the property for more than forty five years.
4. The vacant strip appears unmanaged except for minimal seasonal weeding. Currently, there lines the ground including rocks, plastic bags, and plastic pipes. An old 4" high dead tree stump also remains.
5. There are four mature trees are growing within the vacant strip of land including three native California Sycamores (Platanus racemosa) and one non-native Silver Dollar Eucalyptus (Eucalyptus gomphocephala). See table on next page for details on each tree.
6. The sycamores are all infected with a seasonal leaf pathogen (sycamore anthracnose). This infection generally defoliates sycamores in the spring. Trees usually recover in the another dry weather with a new flush of healthy leaves.
7. I did observed downward in some of the trees, and concerns a understory plants including small myoporum trees and a small oak sapling.
8. The project calls for creation of a narrow riparian buffer sycamore within the northwestern property line, inside of the subject property.
9. The riparian corridor includes native riparian plants, a pathway, and two retention basins. To construct the basins, excavation will be required to 8' deep. As a result, their locations will move further to the east to minimize impacts to the trees.
10. In addition, pervious gravel paths will be laid out alongside the trees.
11. It is likely that excavation for the basins will encounter roots, although the distance from the trunks and the underlying condition of the asphalt covered areas suggests that impacts will be insignificant.

TREE INVENTORY

#	Type	Diam	Ht	Canopy Spread	Comment	Approximate root TPZ	Project Impact	Recommendations
1	syc	47"	47'	dense	[illegible]	approx 30% to drip line	none significant	[illegible]
2	syc	31"	31'	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]
3	syc	47"	47'	dense	[illegible]	approx 30% to drip line	none significant	[illegible]
4	eug	17"	30'	[illegible]	[illegible]	[illegible]	none	[illegible]

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August 10 2023

TREE ASSESSMENT AND PROTECTION PLAN for 4745 Carpinteria Ave,Carpinteria, CA 93013

Prepared for
Western Bluff Construction
c/o Justin Kramer
132 S Anacapa St.
West Hollywood, CA 90048
310 327 4211 / justin@westernbluffconstruction.com

BACKGROUND

The subject property owner is proposing to develop this parcel into residential units. Adjacent to the north property line is a strip of vacant land that runs between Franklin Creek and the property to be developed. There are four trees in this area. I was retained to inspect the trees and provide a report with my assessment of potential impacts to them from the proposed landscape created. I was on the site during May 25, 2023 and prepared a report soon afterwards. Since my initial report in May 2023, the location of the detention basins adjacent to the trees were relocated further from the trees. This report reflects those changes. See my conclusions on page 4.

TABLE OF CONTENTS

Silver Dollar Eucalyptus #4 - looking south, note path along area.

Sycamore #1 - note how trunk splits into three leaders. Monitor weight of leader that will overhang the subject property. May need pruning in future.

Sycamore #2 - note underlying debris, and oak sapling

Sycamore #3 - note underlying debris, sycamore suckers and myoporum trees

PHOTOS

Google image of the site. Trees #1 to #4 are identified

PARRYI

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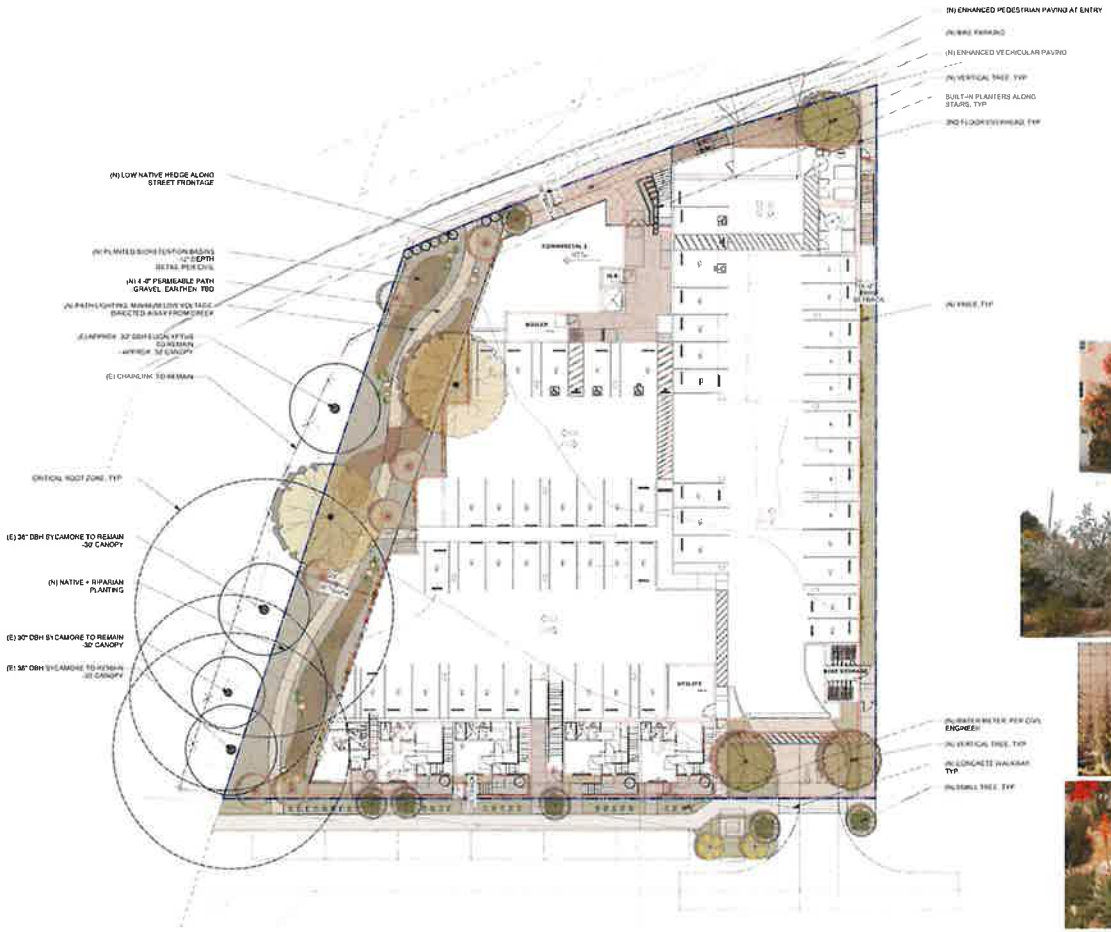
4745 Carpintera Ave
Carpinteria, CA

PROJECT

SHEET CONTENTS
Arborist Report

L0.2



ABBREVIATIONS:

abbreviation	description
(E)	EXISTING
(N)	NEW
PA	PLANTING AREA
DG	DECOMPOSED GRANITE
TYP	TYPICAL
LA	LANDSCAPE ARCHITECT
LF	LINEAL FEET
SF	SQUARE FEET

LANDSCAPE AREA:

GROUND FLOOR	8 947 SF
SECOND FLOOR	1 493 SF
THIRD FLOOR	472 SF
TOTAL LANDSCAPE AREA	10 912 SF

CREEK SETBACK NOTE:
PER CITY OF CARPINTERIA PRESERVATION PROGRAM FINAL DOCUMENT SEPT 2008 THERE SHALL BE NO INVASIVES PLANTED. LOW VOLTAGE LIGHTING SHALL SHINE AWAY FROM CREEK AND WILDLIFE PERMEABLE FENCING SHALL BE IMPLEMENTED. ADDITIONALLY THE BUFFER AREA SHALL BE PLANTED/RESTORED WITH APPROPRIATE RIPARIAN NATIVE PLANTINGS

PRELIMINARY PLANT PALETTE

BOTANIC NAME	COMMON NAME
VERTICAL TREES	
Archontophoenix cunninghamiana	King Palm
Ligustrum confertum	Wheelers Box
Metrosideros excelsa	New Zealand Christmas Tree
Stenocarpus sinuatus	Firewheel Tree
Syagrus romanzoffiana	Queen Palm
SMALL UPRIGHT TREES	
Agonis flexuosa	Peppermint Tree
Citrus spp	Citrus
Olea europaea 'Fruitless'	Fruitless Olive
Strelitzia nicolai	Bird of Paradise
SMALL TREES / LARGE SHRUBS	
Acacia podalyriifolia	Pearl Acacia
Dodonaea viscosa 'Purpurea'	Purple-leafed Hop-bush
Grevillea 'Moonlight'	Moonlight Grevillea
NATIVE TREES	
Cercis occidentalis	Western Redbud
Platanus racemosa	Western Sycamore
Umbellularia californica	California Bay
NATIVE SHRUBS	
Asclepias speciosa	Showy Milkweed
Carpenteria californica	Bush Anemone
Carex praegracilis	California Field Sedge
Epilobium canum	California Fuschia
Leymus 'Canyon Prince'	Canyon Prince Wild Rye
Mimulus aurantiacus	Sticky Monkey Flower
Muhlenbergia rigens	Deer Grass
Salvia clevelandii	Cleveland Sage
Rhamnus californica 'Mound San Bruno'	Coffeeberry
Solphanum xanatianum	Blue-eyed Grass
Ceanothus 'Yankee Point'	Yankee Point California Lilac
SHRUBS	
Acanthus mollis	Bear's Breech
Achillea spp	Yarrow
Agave spp	Agave
Aloe spp	Aloe
Carex divulsa	European Grey Sedge
Senecio Cineraria 'Silver Dust'	Cineraria Silver Dust
Ceanothus 'Ramona'	Ramona Ceanothus
Leucadendron 'Safari Sunset'	Leucadendron Safari Sunset
Lomandra longifolia 'Breeze'	Dwarf Mat Rush
Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive
Pittosporum tenuifolia	Pittosporum
Pittosporum 'Silver Sheen'	Silver Sheen Kohuhu
Photinia x fraseri	Chinese Photinia
Salvia spp	Sage
Senecio spp	Groundsel
Westringia 'Morning Light'	Coast Rosemary
Wuchenia tristicha	Giant Chain Fern
GROUNDCOVERS	
Convolvulus sabatius	Ground Morning Glory
Dichondra repens	Ponyfoot
Dymondia margaretae	Silver Carpet
Erigeronka	Erigeronka
Sedum spp	Sedum
Senecio mandraliscae	Blue Chalksticks
VINES	
Distichlis spp	Trumpet vine

PARRYI

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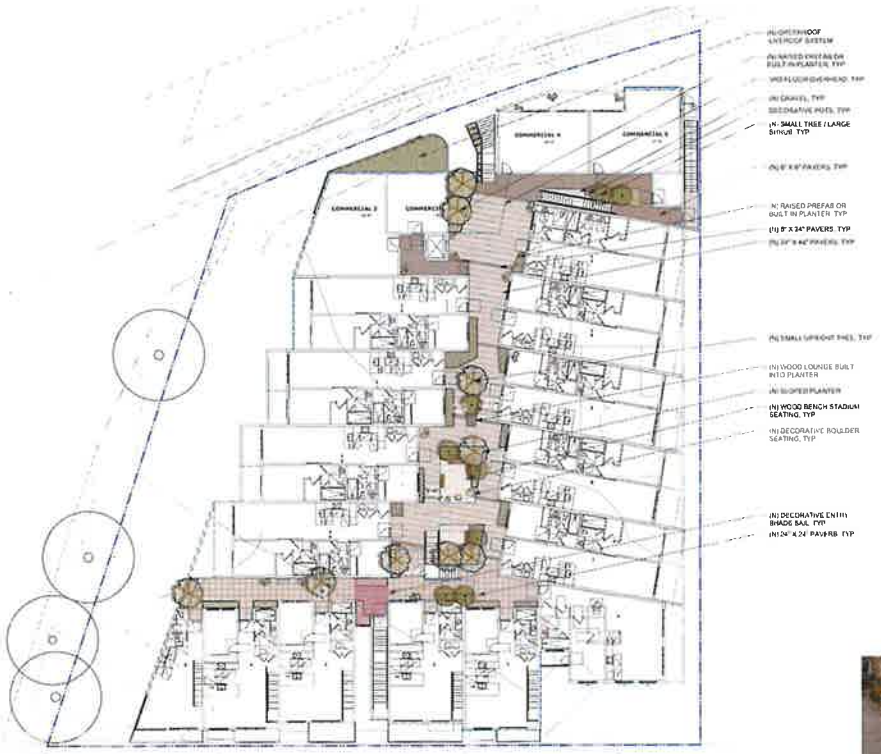
4745 Carpinteria Ave
Carpinteria, CA

PROJECT

Preliminary Landscape Plan - Ground Floor

SHEET CONTENTS

L1



PRELIMINARY PLANT PALETTE

BOTANIC NAME	COMMON NAME
VERTICAL TREES	
Archontophoenix cunninghamiana	King Palm
Cupaniopsis anacardioides	Brisbane Box
Metrosideros excelsa	New Zealand Christmas Tree
Syncarpia glomulifera	Turpentine Tree
Syagrus romanzoffiana	Queen Palm
SMALL UPRIGHT TREES	
Agonis flexuosa	Peppermint Tree
Citrus spp	Citrus
Quercus agrifolia	Coast Live Oak
Umbellularia californica	Bay Laurel
SMALL TREES / LARGE SHRUBS	
Arecastrum romanzoffianum	Queen Palm
Dodonaea viscosa 'Purpurea'	Purple Hopseed Bush
Cercis occidentalis	Western Redbud
NATIVE TREES	
Cercis occidentalis	Western Redbud
Platanus racemosa	Western Sycamore
Umbellularia californica	California Bay
NATIVE SHRUBS	
Arctostaphylos spp	Manzanita
Carpinteria californica	Bush Anemone
Carex praegracilis	California Field Sedge
Eriogonum fasciculatum	California Buckwheat
Leymus 'Canyon Prince'	Canyon Prince Wild Rye
Mimulus aurantiacus	Sticky Monkey Flower
Muhlenbergia rigens	Deer Grass
Salvia clevelandii	Cleveland Sage
Thamnosma californica 'Mount San Bruno'	California Rue
Stipa pulchra	Purple Needle Grass
Ceanothus 'Yankee Point'	Yankee Point California Lilac
SHRUBS	
Acanthus mollis	Bear's Breech
Achillea spp	Yarrow
Agave spp	Agave
Aloe spp	Aloe
Carex divulsa	European Grey Sedge
Dianella 'Cassa Blue'	Cassa Blue Flax Lily
Leucophyllum 'Heavenly Magic'	Magic Royal Hawaiian Cone Bush
Leucospermum 'Sunrise'	Early Sunrise Pincushion
Lomandra longifolia 'Breeze'	Dwarf Mat Rush
Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive
Philodendron selloum	Winterbourne
Pittosporum 'Silver Sheen'	Silver Sheen Kohuhu
Pittosporum 'Wren'	Dwarf Pittosporum
Salvia spp	Sage
Senecio mandraliscae	Blue Chalksticks
Westringia 'Mommy Light'	Coast Rosemary
Wodyetia bifurcata	Giant Dwarf Fern
GROUNDCOVERS	
Chrysothamnus nauseosus	Ground Hugging Rabbitbrush
Cotyledon orbiculata	Pungwhat
Dymondia margaretae	Silver Carpet
Kalanchoe spp	Kalanchoe
Sedum spp	Sedum
Senecio mandraliscae	Blue Chalksticks
VINES	
Distichlis spp	Inland Grass

ABBREVIATIONS:

abbreviation	description
(E)	EXISTING
(N)	NEW
PA	PLANTING AREA
DG	DECOMPOSED GRANITE
TYP	TYPICAL
LA	LANDSCAPE ARCHITECT
LF	LINEAR FEET
SF	SQUARE FEET

PARRYI

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4745 Carpinteria Ave.
Carpinteria, CA

NOT FOR CONSTRUCTION

PROJECT

SHEET CONTENTS

Preliminary Landscape Plan - 2nd Floor

L1.1

ABBREVIATIONS:

abbreviation	description
(E)	EXISTING
(N)	NEW
PA	PLANTING AREA
DG	DECOMPOSED GRANITE
TYP	TYPICAL
LA	LANDSCAPE ARCHITECT
LF	LINEAL FEET
SF	SQUARE FEET

PRELIMINARY PLANT PALETTE

BOTANIC NAME	COMMON NAME
VERTICAL TREES	
Archontophoenix cunninghamiana	King Palm
Lophostemon confertus	Brisbane Box
Metrosideros excelsa	New Zealand Christmas Tree
Stenocarpus sinuatus	Firewheel Tree
Syagrus romanzoffiana	Queen Palm
SMALL UPRIGHT TREES	
Agonis flexuosa	Peppermint Tree
Citrus spp	Citrus
Olea europaea 'Fruitless'	Fruitless Olive
Schefflera pueckleri	Mallet Flower
SMALL TREES / LARGE SHRUBS	
Acacia podalyriifolia	Pearl Acacia
Dodonaea viscosa 'Purpurea'	Purple-leafed Hop Bush
Grevillea 'Moonlight'	Moonlight Grevillea
NATIVE TREES	
Cercis occidentalis	Western Redbud
Platanus racemosa	Western Sycamore
Umbellularia californica	California Bay
NATIVE SHRUBS	
Asclepias speciosa	Showy Milkweed
Carpenteria californica	Bush Anemone
Carex praegracilis	California Field Sedge
Epilobium canum	California Fuschia
Leymus 'Canyon Prince'	Canyon Prince Wild Rye
Mimulus aurantiacus	Sticky Monkey Flower
Muhlenbergia rigens	Deer Grass
Salvia clevelandii	Cleveland Sage
Rhamnus californica 'Mound San Bruno'	Coffeeberry
Sisyrinchium angustifolium	Blue-eyed Grass
Ceanothus 'Yankee Point'	Yankee Point California Lilac
SHRUBS	
Acanthus mollis	Bear's Breech
Achillea spp	Yarrow
Agave spp	Agave
Aloe spp	Aloe
Carex divulsa	European Grey Sedge
Dianella 'Cassa Blue'	Cassa Blue Flax Lily
Leucadendron 'Hawaii Magic'	Magic Royal Hawaiian Cone Bush
Leucospermum 'Sunrise'	Early Salmon Pincushion
Lomandra longifolia 'Breeze'	Dwarf Mat Rush
Olea europaea 'Little Ollie'	Little Ollie Dwarf Olive
Philodendron xanadu	Winterbourne
Pittosporum 'Silver Sheen'	Silver Sheen Kohuhu
Podocarpus 'Maki'	Chinese Podocarpus
Salvia spp	Sage
Sansevieria spp	Snakeplant
Westringia 'Morning Light'	Coast Rosemary
Woodwardia fimbriata	Giant Chain Fern
GROUNDCOVERS	
Convolvulus sabatius	Ground Morning Glory
Dichondra argentea	Ponyfoot
Dymondia margaretae	Silver Carpet
x Graptoveria	Graptoveria
Sedum spp	Sedum
Senecio mandraliscae	Blue Chalksticks
VINES	
Distictis spp	Trumpet Vine

PARRYI

August 2024

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4745 Carpinteria Ave.
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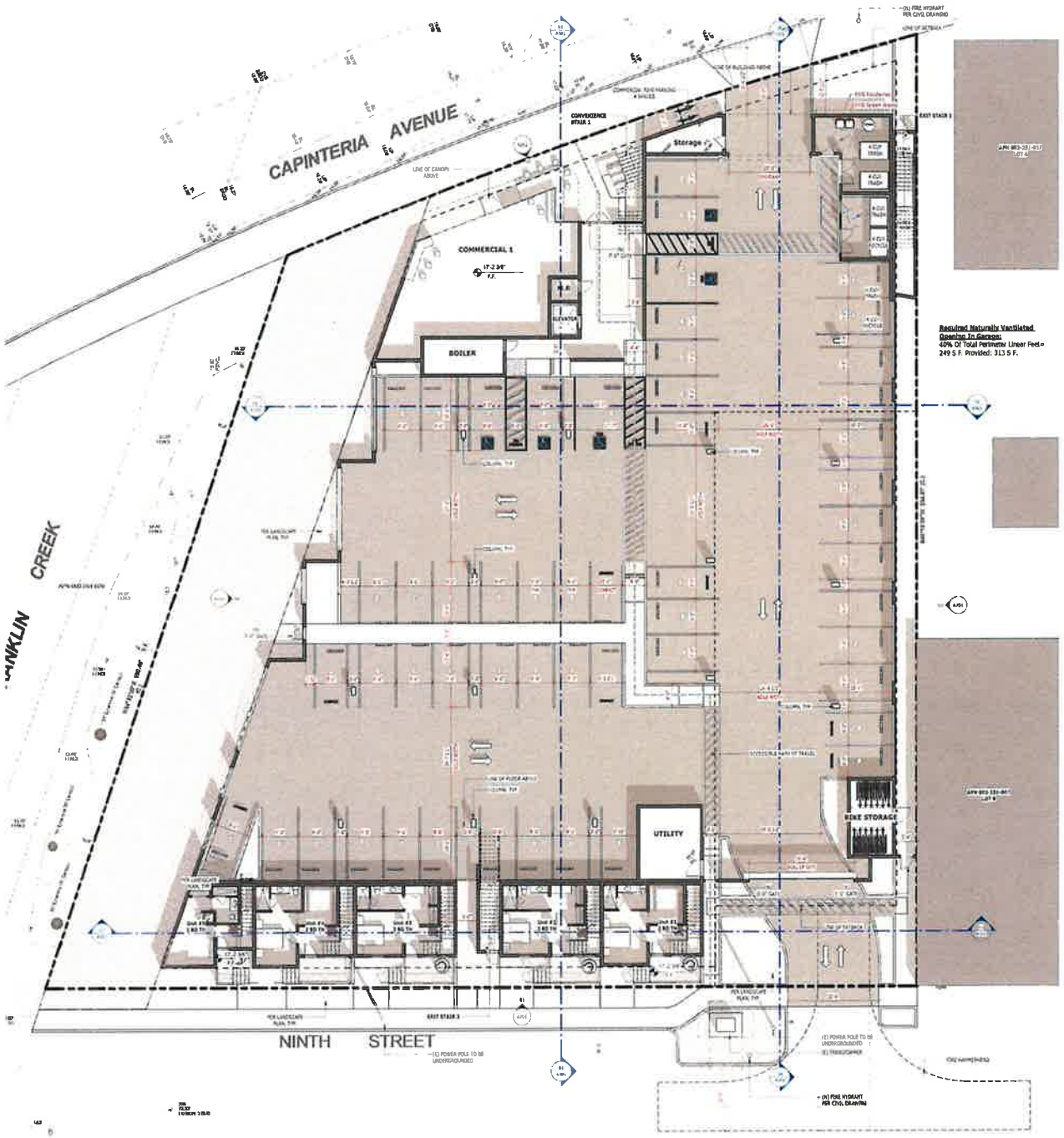
NOT FOR CONSTRUCTION

PROJECT

SHEET CONTENTS

Preliminary Landscape Plan - 3rd Floor

L1.2



DMHA
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NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

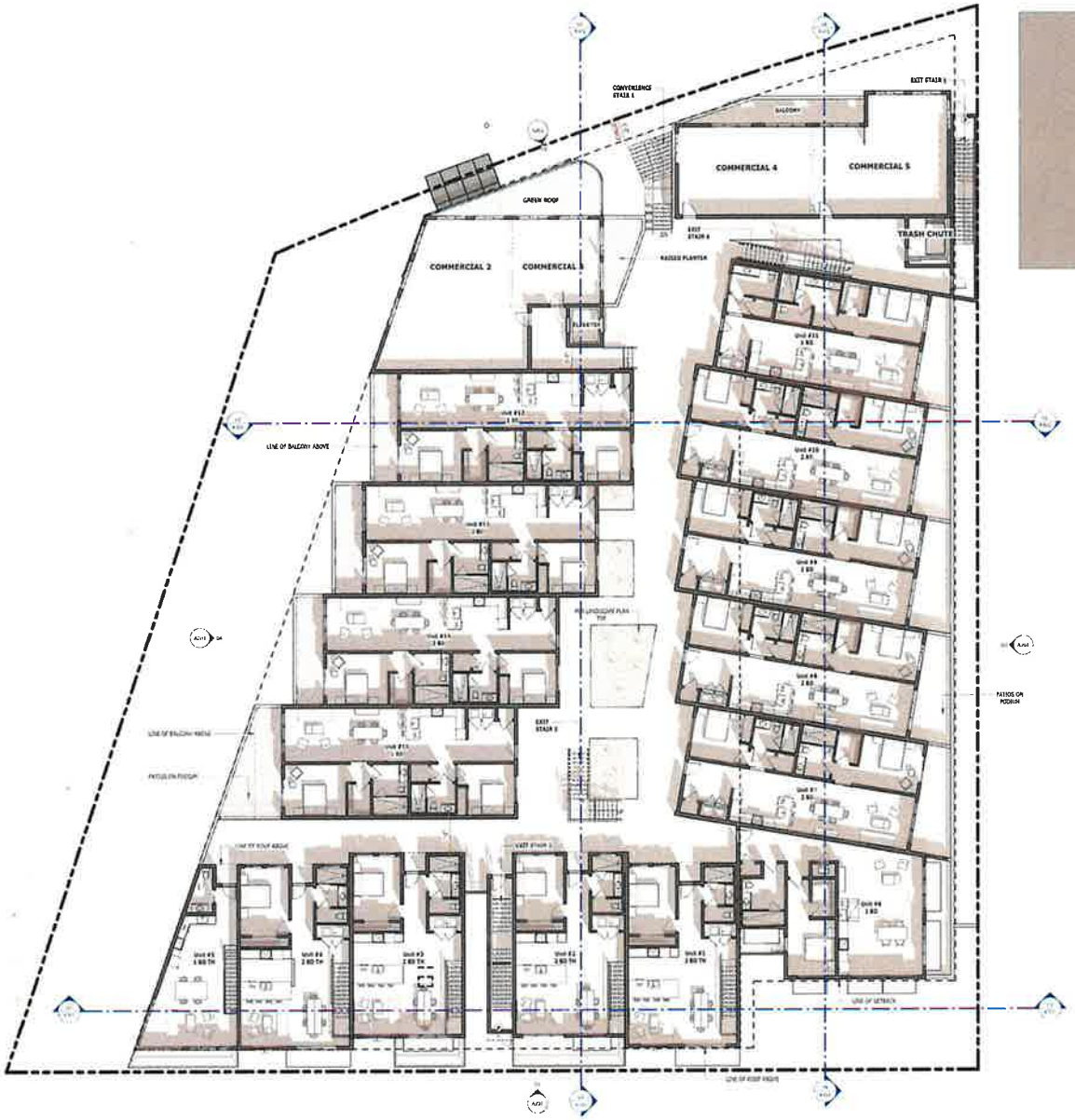
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023
	Incompletness Responses	08/22/2023

A101

OVERALL 1ST FLOOR PLAN



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NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

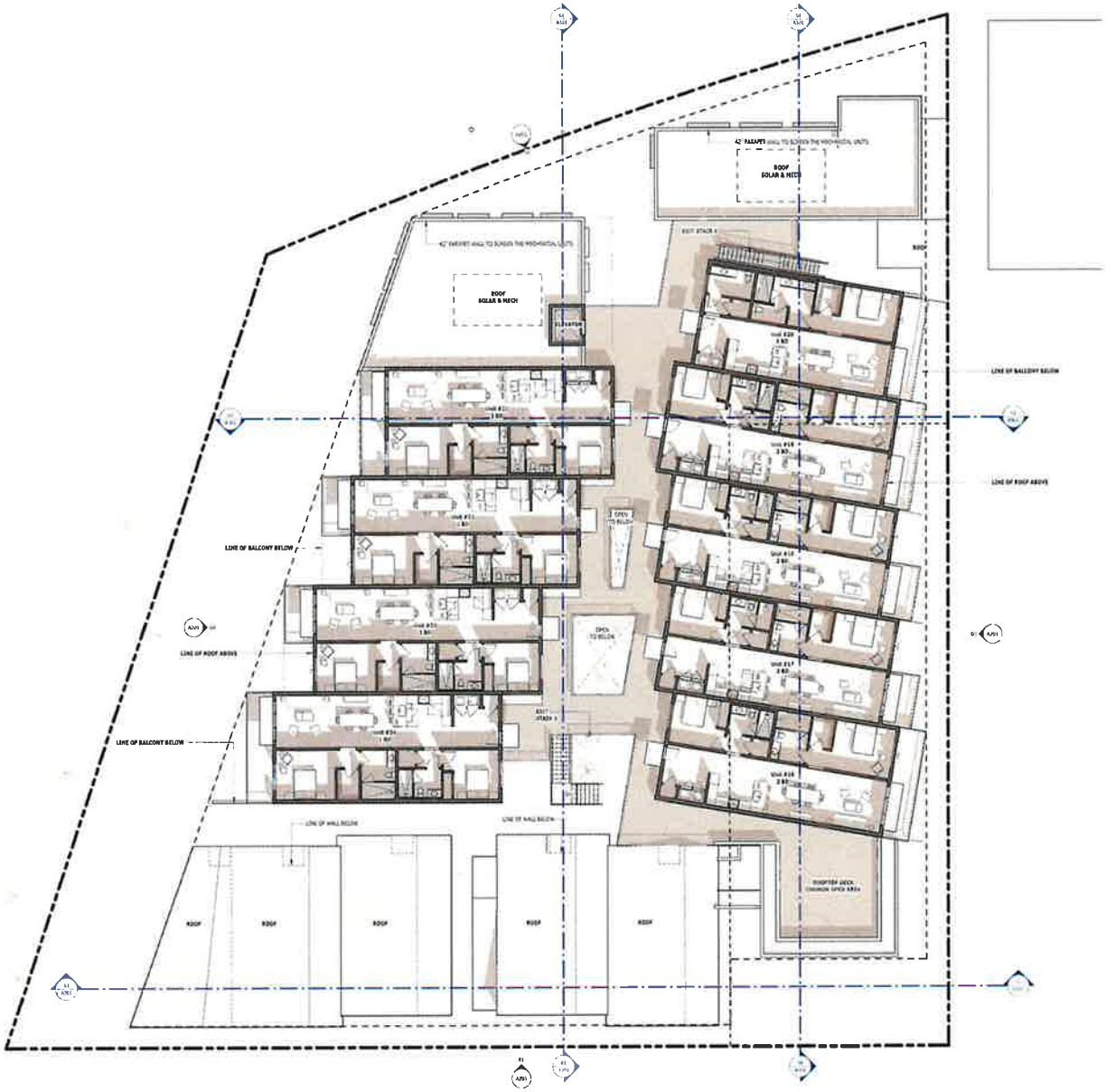
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/08/2019
	Conceptual Approval	06/12/2019
	Final Conceptual Plan	08/12/2019

A102

OVERALL 2ND FLOOR PLAN



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NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

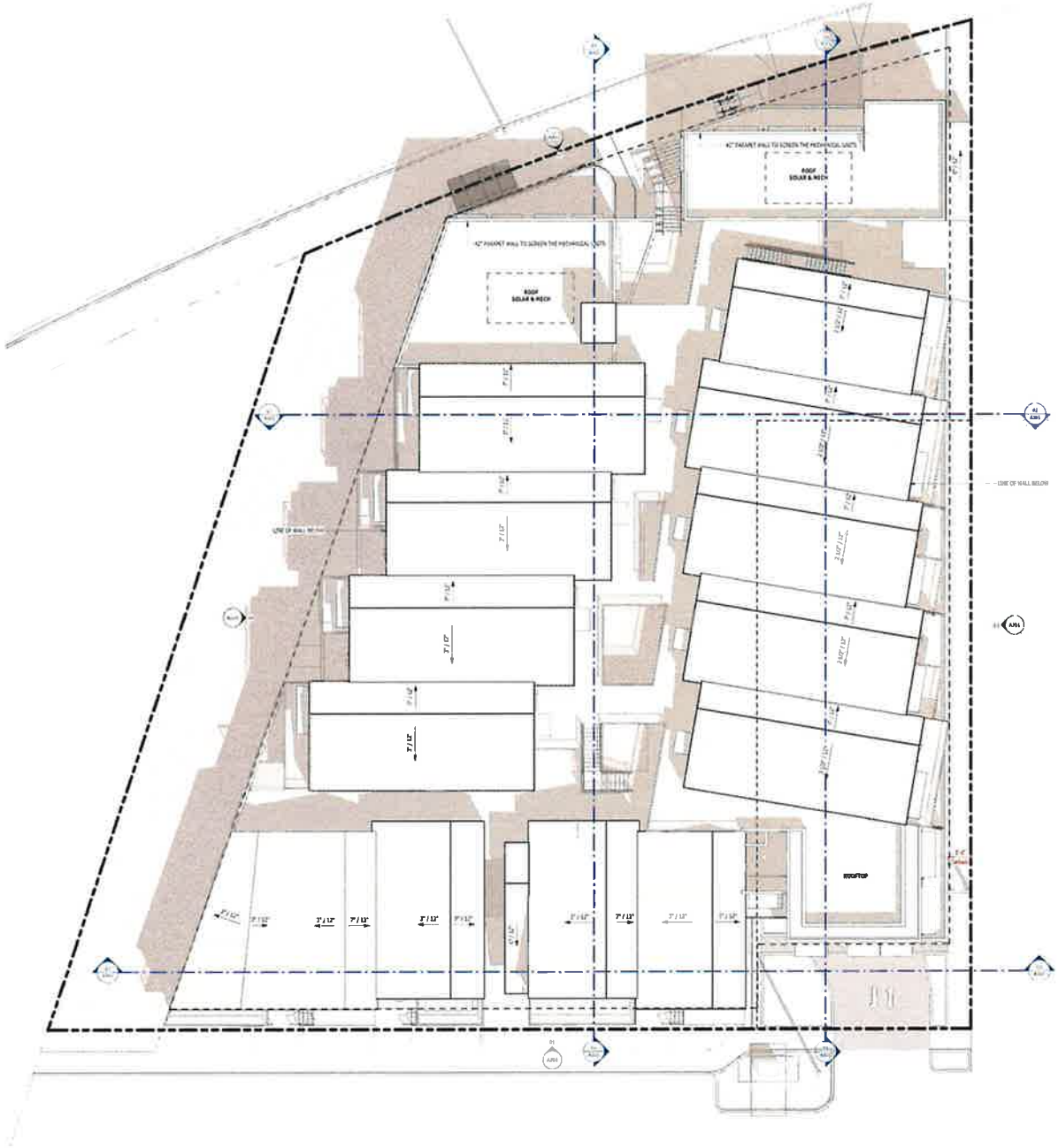
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023
	Incompleteness Response	06/12/2023

A103

OVERALL 3RD FLOOR PLAN



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ARCHITECTURE + INTERIOR DESIGN

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116 Calle Cesar Chavez #102
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NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023
	Incompleteness Responses	06/22/2023

A104

OVERALL ROOF PLAN

OVERALL WEST ELEVATION 04
1" = 10'-0"

OVERALL EAST ELEVATION 03
1" = 10'-0"

HYDRAULIC- SINGLE SWING DOOR SYSTEM

WIRE MESH AT PATKING

OVERALL NORTH ELEVATION- CARPINTERIA AVE 02
1" = 10'-0"

UNIT DOOR CANOPY

OVERALL SOUTH ELEVATION- 8TH STREET 01
1" = 10'-0"

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4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

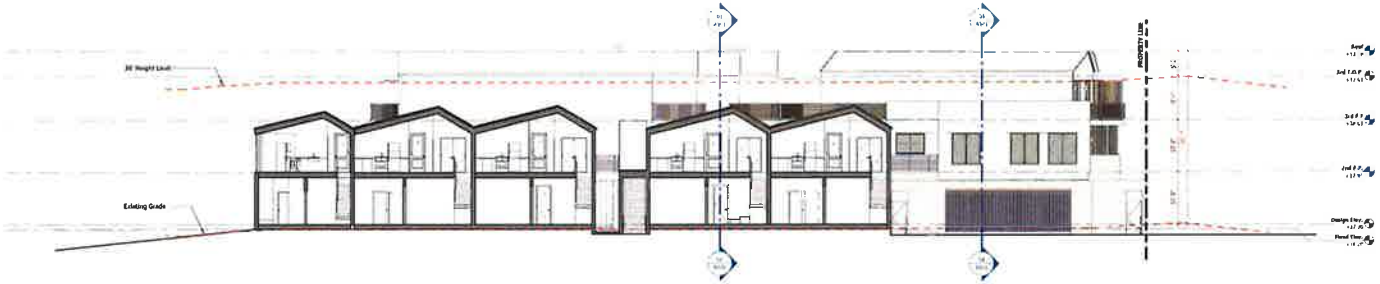
PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/18/2023
	Pre-Engineering Resubmittal	06/12/2023

A201

OVERALL EXTERIOR ELEVATIONS

N/S SECTION 04
1" = 10'-0"



E/W SECTION 03
1" = 10'-0"

E/W SECTION 02
1" = 10'-0"

N/S SECTION 01
1" = 10'-0"

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NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	08/04/2023

A301

OVERALL BUILDING SECTIONS

MANUFACTURER: RAYNOR
STYLE: ROLLING SECURITY GRILLE DOOR
MODEL: DURAGRILLE
FINISH: BRONZE ANODIZED

GARAGE ROOL UP- GRILLE DOOR 1/2" = 1'-0" **18**

GUARDRAIL:
1 1/2" O.D . 1.5" SCH. 40 STEEL PIPE AS ASTIR GUARD RAIL/RAILING WITH WIRE MESH INFILL
FINISH: BLACK

HANDRAIL:
1 1/2" O.D . 1.5" SCH. 40 STEEL PIPE AS ASTIR GUARD RAIL/RAILING WITH WIRE MESH INFILL
FINISH: BLACK

METAL RAILING/GAURDRAIL WITH WIRE MESH INFILL 1/2" = 1'-0" **12**

MANUFACTURER: STEP STONE INC
MODEL: WEDGE PROFILE
ANDBLAST- 1804
FINISH: FRENCH GRAY

PRECAST CONCRETE STAIR TREAD 1/2" = 1'-0" **08**

STANDING SEAM METAL ROOF
MANUFACTURER: MS METAL
MODEL: SMAGE II
COLOR: MATT BLACK 100
NUMBER: NA
FINISH: BONDERIZED

STANDING STEAM ROOF 1/2" = 1'-0" **04**

WALL 432/LED 15W
TYPE: WALL DOWN LIGHT
REFLECTOR: ANODIZED ALUMINUM
LIGHT BULB: LED- 3000K
FINISH: POWER COATED IN BLACK

EXTERIOR DOWNLIGHTS 1/2" = 1'-0" **17**

MANUFACTURER: EQUITONE
STYLE: LT 60

MANUFACTURER: EQUITONE
STYLE: LT 90

EXTERIOR WALL- FIBER CEMENT BOARD 1/2" = 1'-0" **15**

CLAD ALUMINUM SIDING DOOR AND WINDOW
MANUFACTURER: SIERRA PACIFIC
FINISH: BLACK
GLASS FINISH: TEMPERED- CLEAR

EXTERIOR SIDING DOOR AND WINDOW 1/2" = 1'-0" **11**

PERFORATED METAL RISER
STYLE: NA
NUMBER: NA
FINISH: BLACK STEEL

EXTERIOR STAIR AT COMMERCIAL- RISER 1/2" = 1'-0" **07**

METAL CANOPY
- UNIT'S ENTRY AT LEVEL 3
- 8TH ST WINDOWS AT 2ND FLOOR

FINISH: POWDER COATED BLACK

EXTERIOR METAL DOOR AND WINDOW CANOPY 1/2" = 1'-0" **03**

MANUFACTURER: TBD
STYLE:TBD
FINISH: BLUE

MANUFACTURER: TBD
STYLE:TBD
FINISH: BLUE

MANUFACTURER: TBD
STYLE:TBD
FINISH: WHITE OAK

WOOD SIDING AT 8TH ST AND WEST SIDE UNITS 1/2" = 1'-0" **14**

MANUFACTURER: CROWN
STYLE: HYDRAULIC SINGLE SWING
FINISH: BLACK
GLASS FINISH: TEMPERED- CLEAR

COMMERCIAL- HYDRAULIC SINGLE SWING DOOR 1/2" = 1'-0" **10**

MANUFACTURER: STEPSTONE INC
STYLE: LIGHT SANDBLAST
NUMBER: 1804
FINISH: FRENCH GRAY - 504

EXTERIOR PAVER 1/2" = 1'-0" **06**

BOARD FORMED CONCRETE WALL

EXTERIOR BOARD FOMED CONCRETE 1/2" = 1'-0" **02**

CONCRETE STAIRS

CONCRETE STAIR 1/2" = 1'-0" **16**

METAL SIDING

EXTERIOR METAL SIDING AT COMMERCIAL 1/2" = 1'-0" **13**

MANUFACTURER: TILE TECH PAVER
STYLE: PEDESTALSYSTEM- PORCELAIN
FINISH: GRAY

COMMON OPEN AREA- ROOF DECK- PEDESTAL PAVER 1/2" = 1'-0" **09**

MANUFACTURER: 1X4 DOLLY VERDEN T&G
FINISH: CLEAR CEDAR

UNDER EAVE- CEDAR T&G 1/2" = 1'-0" **05**

MANUFACTURER: LA HARBA
NUMBER: HACIENDA X-82
FINISH: SMOOTH- TROWEL FINISH

EXTERIOR WALLS - ELEVATOR TOWER EXTERIOR STUCCO 1/2" = 1'-0" **01**

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Incomplete/Incomplete Resubmittal	04/22/2023
	Full Incomplete Resubmittal	04/27/2023

A801

MATERIAL BOARD

KEYPLAN 1" = 20' 0" **02**

9TH ST VIEW- FROM SOUTH EAST NOT TO SCALE **01**

DMHA
ARCHITECTURE + INTERIOR DESIGN
[illegible]
[illegible]
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	[illegible]
	Incompleteness Responses	[illegible]

A901

9TH ST VIEW

KEYPLAN 02
1" = 50'-0"

9TH ST VIEW- ACROSS THE STREET 01
NOT TO SCALE

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	09/14/2023
	Incompleteness Response	06/12/2024

A902

9TH ST VIEW

KEYPLAN 02

9TH ST VIEW- FROM SOUTH WEST
NOT TO SCALE 01

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
11 N. Calle Cesar Chavez #102
Santa Barbara CA 93103

NOT FOR CONSTRUCTION

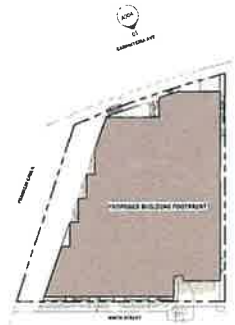
4745 Carpinteria Avenue Mixed Use Development
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	08.04.2023
	Development Approvals	[illegible]

A903

9TH ST VIEW



KEYPLAN 1" = 50' 02

COMMERCIAL VIEW- FROM CARPINTERIA AVE
NOT TO SCALE 01

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	06/14/2023
	Incompleteness Responses	06/26/2023

A904

COMMERCIAL VIEW

KEYPLAN 1" = 50' 0" 02

COMMERCIAL VIEW- FROM CARPINTERIA AVE
NOT TO SCALE 01

DMHA
ARCHITECTURE + INTERIOR DESIGN
505 845 7777
11 E. Carrillo Street #102
Santa Barbara, CA 93103

NO C 37301

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	[illegible]
	Incompleteness Response	[illegible]
	2nd Incompleteness Resp	[illegible]

A905

COMMERCIAL VIEW

KEYPLAN 1" = 50'-0" 02

COMMERCIAL VIEW- FROM CARPINTERIA AVE 1/2" = 1'-0" 01

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965 7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 23C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	[illegible]
	Incompleteness Response	[illegible]

A906

COMMERCIAL VIEW

KEYPLAN 1" = 50'-0" 02

COMMERCIAL VIEW- FROM CARPINTERIA AVE
NOT TO SCALE 01

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 966 7777
1 N. Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	[illegible]
	Incomplete Response	[illegible]

A907

EAST SIDE VIEW

KEYPLAN 02

WEST SIDE VIEW 1

DMHA
ARCHITECTURE • INTERIOR DESIGN

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Sentinment Approval Submittal Carpinteria Resubmit	[illegible] [illegible]

A908

WEST SIDE VIEW

KEYPLAN 1" = 50'-0" **02**

OVERALL SOUTH WEST- TOP VIEW 12" = 1'-0" **01**

DMHA
ARCHITECTURE + INTERIOR DESIGN
805.965.7777
115 Calle Cesar Chavez #100
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development

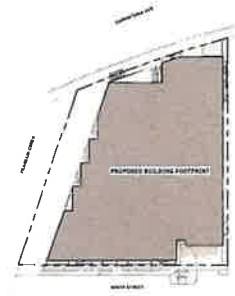
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023
	Planning Resubmittal	06/12/2023

A909

SOUTH WEST VIEW



KEYPLAN 02
1" = 50'-0"

OVERALL SOUTH WEST- TOP VIEW 01
1/8" = 1'-0"

DMHA
ARCHITECTURE + INTERIOR DESIGN
805 965.7777
11 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103

NOT FOR CONSTRUCTION

4745 Carpinteria Avenue Mixed Use Development
4745 Carpinteria Ave, Carpinteria CA 93013

PROJECT #: 22C108

NO.	DESCRIPTION	DATE
	Development Application Submittal	04/14/2023
	Development Plan Review	06/22/2023

A910

SOUTH EAST VIEW

CITY OF CARPINTERIA
5775 Carpinteria Avenue
Carpinteria California 93013

DRAFT

ARCHITECTURAL REVIEW BOARD
Meeting Date July 11, 2024

ACTION MINUTES

The meeting was called to order at 5:32 p.m. by Vice Chair Blakemore

ROLL CALL

Boardmembers present: Amy Blakemore, Vice Chair
Richard Johnson
Richard Little
Patrick O'Connor

Boardmembers absent: Brad Stein, Chair

OTHERS PRESENT: Approximately 8 members of the public were in attendance.

PUBLIC COMMENT: None

PROJECT REVIEW

1) Project: Bono Duplex Addition & Remodel, Project 23-2237-CUP/CDP/ARB
Address: 4818 Dorrance Way
Applicant: Dylan Chappell, architect, for John Howard
Planner: Syndi Souter

Request of Dylan Chappell, architect for Brandon Bono, to consider Project 23-2237-CUP/CDP/ARB for final review of a proposal to construct a new 371 square-foot second-story addition to the existing 1,781 square-foot single-story duplex and to convert the existing 354 square-foot carport into a two-car garage. The resultant duplex would be 1,798 square feet in size with an attached 354 square-foot two-car garage, for a total size of 2,152 square feet. The maximum height of the duplex would be 21.5 feet above existing grade. The property is a 4,400 square-foot parcel zoned Planned Residential Development (PRD-20), and shown as APN 003-435-006, addressed as 4788 and 4792 Dorrance Way.

Ex Parte Communications Disclosure: None

Staff Comments:
Syndi Souter provided a presentation and described the updates to the project in response to the ARB's preliminary review comments, including: studying the addition of plantings along the Dorrance Way and Holly Avenue frontages, and studying the addition of vines, planter pockets, or potted plants along the northern property line fence. She noted the required items needed for final approval including the proposed colors, materials, exterior lighting, architectural details, and final landscape, fencing, and hardscape details. Syndi concluded her presentation by requesting the Board's comments on:

- Architectural style and detailing;
- Compatibility with the neighborhood and the "small beach town" character;
- Views from street frontages, including the proposed garage doors;
- Proposed exterior light fixture and "night-sky" compliance; and
- Fencing, landscaping, and hardscape improvements.

Applicant Comments:
George Manuras, agent for the property owner, commented that the biggest issue to address was the landscaping along the street frontages to address the ARB's preliminary review comments while still keeping space for parking along the street. He indicated that the design team studied the options to add planter space at the rear, but with only 4 feet to work with, it was just too tight to add plantings.

Public Comments: None

Boardmember Discussion:

Boardmember O'Connor commented that he missed the previous ARB meeting but did attend the Planning Commission meeting for the project, so he is familiar with the project. His only concern is that having the enclosed garage between the units can be a safety issue even with the one-hour fire rated walls between the units and the garage, and recommends the garage have CO2 protection as well.

Boardmember Little commented that he likes the architectural style and encouraged the applicant to get started with construction.

Boardmember Johnson still thinks there should be vertical landscaping on the north side, but had no new comments.

Vice Chair Blakemore appreciated the addition of the jasmine vine plantings along the fencing, and understands the restrictions with adding planting on the north side considering the tight space and lack of sunlight.

ACTION: Motion by Vice Chair Blakemore, seconded by Boardmember O'Connor, to recommend final approval as submitted.

VOTE: 4-0

2) Project: Pfaff New Residence, Project 23-2209-ARB/CDP
Address: 5559 Calle Arena
Applicant: Jon Starr, designer, for Mark and Megan Pfaff
Planner: Syndi Souter

Request of Jon Starr, designer, for Mark and Megan Pfaff, to consider Project 23-2209-ARB/CDP for continued preliminary review of a proposal for a new 2,631 square-foot two-story single-family residence with an attached 401 square-foot two-car garage on a vacant lot, for a total size of 3,032 square feet. The height would reach a maximum of 20.7-feet above finished grade. The proposal also includes new landscaping, hardscape, fencing, and walls. The property is a 7,583 square foot parcel zoned Single Family Residential (6-R-1) and shown as APN 003-382-012, addressed as 5559 Calle Arena.

Ex Parte Communications Disclosure: None

Staff Comments:
Syndi Souter provided a presentation and described the updates to the project in response to the ARB's preliminary review comments, including: overall lowering of project height from 25 ft to 20.7 ft, plate height reductions, finish floor reduction, lowered roof pitch, front entry redesign, the addition of hedges to both sides of property, gravel cut outs for olive tree plantings, and the addition of an outdoor lighting plan. Syndi noted that the up lights included in the staff report plans have been removed and provided an updated lighting plan sheet to the ARB members. Syndi noted that staff still has concerns about the "lantern effect" that may result from light spillover onto adjacent properties considering the extent of glazing proposed. Syndi concluded her presentation by requesting the Board's comments on:

- Revised height and massing of the proposed residence;
- Second story prominence, placement, and design;
- Windows sizes and locations;
- Night lighting and proposed lighting plan;
- Architectural style and materials; and
- Neighborhood compatibility

Applicant Comments:
Mark Pfaff, owner, addressed the Board. He commented that the overall changes were intended to address as many of the ARB's comments as possible while keeping the second story in the same location. He indicated that he tried to minimize the impact of the second story from a width standpoint so neighbors have as much of a view over the property as possible. He noted that the front (north) windows are just as important as the rear considering the available mountain views. He further related that the house will be his primary residence.

George Manuras, agent for the property owner, commented that the reason for the glazing at the rear is because of the beautiful ocean view and reminded the Board that landscaping will help minimize the impact of the windows. He further related that the second story element is the primary bedroom and therefore will not have lights on all the time as opposed to the first floor living areas.

Public Comments:
Mark DiRado, the owner of 5560 Calle Arena across the street, commented that he "100% supports" the project, and wished the applicant luck with the project.

An electronic comment letter was received from Steve McMahon, who resides at 5591 Canalino Drive. Mr. McMahon expressed his opposition to the project on several levels, including: that the project looks similar to the 5567 Calle Arena project that was highly disputed and is rarely used; that the project looks like something from Manhattan Beach and shares no commonality with the existing neighborhood; that the large windows will spill light out to the street and the campground; and that given the RHNA mandates from the State, he would be more supportive if the project was a one-story design and used as a full time residence.

Boardmember Discussion:
Boardmember Johnson commented that he likes the way the project presents to the street and is nicely modulated. He expressed concern with the dark (black) color of the walls and indicated a dark gray would be better, even though it has wood siding, and the project does not present itself as residential. He expressed similar concerns that the windows look more commercial than residential in scale, and is not sure the window frames can be so small considering the structural requirements. He supports the

roof material and stone siding material, but commented that there could be more variety on the side elevations considering the length of the structure to provide more variety, and also on the second story so that it doesn't look like "stacked" repeated modules/containers. On a similar note, he commented that the lower roof could be changed over the recessed area on the east elevation to a gable to break up the length of that elevation. He added that the south elevation roof overhang could be extended on the first floor to break up mass and create a shadow line.

Boardmember Little appreciated the reduction in height and elimination of the uplighting. He also thought the change to a permeable entry walkway and driveway were a good idea. However, he still doesn't like the idea of the offset second story. He further commented that the front windows are still too large and contemporary in style, and agreed with Boardmember Johnson that the siding color is too dark and that a gray color would fit the neighborhood better. He expressed concern with the covered patio element at the rear of the project because it may create noise impacts for the neighbor by being roofed and more light would be available for the patio use if unroofed. Boardmember Little concluded his comments by advising the owner that with all the proposed windows, the interior of the house will be "on display" to neighbors and passing trains.

Boardmember O'Connor began his comments by stating that the major issue related to height has been addressed in addition to the changes that add animation, but agreed with the other Boardmembers that the color is too dark. He asked for clarification on the window sill height of the front windows, which the project architect confirmed is 42 inches. Boardmember O'Connor commented that "the elephant in the room" is the CC&Rs and Concha Loma Design Guidelines with respect to second story residences. He related that the CC&Rs exist and that while the City permit process may not be the forum to address enforcement of the CC&Rs, there are mechanisms for interested neighbors to pursue enforcement as a civil matter. Finally, Boardmember O'Connor noted that Concha Loma Design Guideline 9 is the important guideline to consider when reviewing this project.

Vice Chair Blakemore agreed with the comments from Boardmember Johnson and Little regarding the amount of glazing still being a concern both with respect to privacy and light spillover, but that the changes to the front windows help with neighborhood compatibility. She commented that the one olive tree in the rear is not sufficient to help with light spillover and privacy. Additionally, she commented that taller ground plantings rather than just the proposed grasses at the rear could help "ground" the structure and prevent the appearance of the windows "floating" above the land. She further commented that the bollard lights appear too commercial and another more residential option would be preferred, and that the planting strips along the side of the garage could be eliminated since the space between the garage and property line is so tight. Vice Chair Blakemore concluded her comments by indicating that the second story still feels like it just "sits on top" rather than being integrated, that the materials are nice but the wood color is too dark, the site design is nice, and that while the overall project is looking good, she encouraged the applicant to lean more residential and pull up the landscaping a bit more.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Little, to recommend preliminary approval with comments attached to Director.

VOTE: 3-1 (O'Connor opposed)

3) Project: Johnson Garage, Project 24-2285-CDP/ARB
Address: 4975 Sawyer Avenue
Applicant: Briana Rios, Sherry & Associates, Architects
Planner: Brian Banks

Request of Briana Rios, Sherry & Associates, for Aaron Johnson, to consider Project 24-2285-CDP/ARB for preliminary and final review of a request to demolish all unpermitted accessory structures and to construct a new 471 square-foot two-car garage and 64 square foot spa. The existing driveway and landscaping are proposed to remain. The maximum building height would reach 13 feet-3 inches. The property is a 6,970 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-153-017, addressed as 4975 Sawyer Avenue.

Ex Parte Communications Disclosure: None

Staff Comments:
Brian Banks provided a presentation and described the proposed project and background related to the unpermitted structures and proposal to remedy to existing violations as part of the project. Brian provided an analysis of the relevant municipal code regulations related to the garage location relative to the rear setback, key lot accessory structure setback, allowances for accessory structures within the rear setback and overall compliance of the proposed garage with City regulations and design guidelines. Apart from the proposed garage, Brian highlighted code issues related to the existing fencing, hedge height and corner vision clearance requirements, and the allowed number of driveways for corner lots. He concluded his presentation by requesting the Board's comments on:

Proposed garage architectural style;

- Architectural Details and Colors;
- Street frontage design including fence, gates and hedge location/height;
- Reduction of driveways from three to two; and
- Compatibility with the neighborhood and "small beach town" character.

Applicant Comments:
Brian Rios, designer and agent for the owner, addressed the Board and related that the owner understands the issues related to safety regarding the hedge height and requested that the ARB consider the privacy benefits of the hedge and to allow the hedge to be as tall as possible outside of the vision clearance area and at a minimum, allow the hedge to reach 42 inches. She further requested that the Board consider allowing the existing gate at the middle of the property to remain to allow the owner to have access for maintenance of the property and spa.

Public Comments: None

Boardmember Discussion:
Boardmember O'Connor commented that the hedge at the corner vision clearance area could be pulled back closer to the residence to meet the vision clearance requirement and still provide some privacy considering the busy intersection and proximity to the street. Boardmember O'Connor also commented that this project presents a good opportunity to remove the overhead power line.

Vice Chair Blakemore commented that there still could be a hedge or other landscape plantings at the corner of the residence that would meet the vision clearance requirement and provide privacy, and that a hedge of 5 - 6 feet along the property, outside of the vision clearance area at the corner, is appropriate for this property. She concluded her comments by indicating that the proposed garage design is fine and that the middle gate should be removed.

Boardmember Johnson commented that there are no issues with the proposed garage and rear driveway. He concluded his comments by indicating that the middle gate is not needed and the fence should be 42" in height where required for safety.

Boardmember Little commented that he is not opposed to a higher hedge on Linden Avenue outside of the vision triangle for privacy and that the middle gate be removed or reduced in width for pedestrian use.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember O'Connor, to recommend preliminary and final approval to Director with comments that the fence be 42 inches, the middle vehicle gate be removed, and 5-6 ft hedge height where allowed outside of vision clearance triangle.

VOTE: 4-0

OTHER BUSINESS: Staff announced that the July 25, 2024 ARB meeting is cancelled, and the next meeting will be August 15, 2024.

CONSENT CALENDAR:

4) Action Minutes of the Architectural Review Board Meeting of May 30, 2024.

ACTION: Motion by Vice Chair Blakemore, seconded by Boardmember O'Connor, to approve the minutes as presented.

VOTE: 4-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

Villas of Carpinteria, 1250-1272 Cravens Lane - Paint Colors: The Villas of Carpinteria HOA requests review of new paint colors for the condominium complex. The colors were chosen based on the "Santa Barbara Colors" as approved by the City of Santa Barbara's Historic Landmark Commission to mimic the Spanish Revival style of the complex. Colors will be:
Buildings: 50% Anacapa White Biltmore (AS 9500); Raised Stucco: Nomadic Desert (SW 6107); Fascia/Gutters: Muddled Basil (SW 7745); Trellis/Pergola/Beams: Library Pewter (SW 0038); Deck Railings/Window Railings/ Pool Fence/Mailboxes/Light Poles: Sealskin (SW 7675); Deck French Doors: Pure White (WS 7005); and Garage Doors: Reflective White (SW 7757).

The ARB provided the following comments:

- Paint colors acceptable as presented

- Better to leave garage doors and light fixtures as finished from manufacturer rather than try to paint.

Sunburst Wines, 5080 Carpinteria Ave - Private Parklet (Project 24-2297-DPR/CDP). The project would replace the existing temporary outdoor decomposed granite patio seating area allowed during the COVID-19 Emergency with a permanent brick paver patio surface, 42" fence/railing matching the existing deck fence/railing, and landscape boarder plantings matching the existing landscape palette.

The ARB provided the following comments:

- Call out location of Bay Laurel and increase size to 15 gal. instead of 5 gal. if proposed in parklet area landscaping.
- Acceptable as presented with above plant size comment.

ADJOURNMENT

Vice-Chair Blakemore adjourned the meeting at 7:42p.m. to the next scheduled meeting to be held at 5:30 pm on Thursday, August 15, 2024. All Boardmembers present indicated they expect to be in attendance.

_____
Chair, Architectural Review Board

ATTEST:

_____
Secretary, Architectural Review Board