



Architectural Review Board Meeting Agenda

Thursday, March 14, 2024 at 5:30 p.m.

City of Carpinteria, Council Chamber
5775 Carpinteria Avenue, Carpinteria, CA 93013

In-Person Meeting

Attendance:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave).

Public Comments:

- Provide a live public comment during the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item.
- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to the Architectural Review Board by **12:00 P.M. on the day of the meeting** by either submitting your comment via (1) email to PublicComment@carpinteriaca.gov, or (2) the **eComment** link on the City's agenda website (<https://carpinteriaca.gov/city-hall/agendas-meetings>). Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

Architectural Review Boardmembers:

Brad Stein, Chair
Amy Blakemore, Vice Chair
Richard E. Johnson
Richard Little
Patrick O'Connor

CALL TO ORDER

ROLL CALL

PUBLIC COMMENT

This is a time for public comments on matters not otherwise on the agenda but within the subject matter jurisdiction of the Architectural Review Board. Comments shall be limited to 15 minutes, divided among those persons desiring to speak, but no person shall speak longer than five minutes. Persons wishing to speak on a specific item will be recognized at the time the agenda item is considered.

The City is not responsible for the content of statements made during the public comment period, or the factual accuracy of any such statements.

PROJECT REVIEW

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of ex parte communications
- Staff presentation
- Applicant presentation
- Public comment
- Review by ARB
- Recommendation by ARB

1. Project: Lindamar Comprehensive Sign Program, Project 23-2266-ARB/SIGN
Address: 888-892 Linden Avenue
Applicant: Eric Newman, Dave's Signs, for Jaeger Partners, Owners
Planner: Brian Banks

Request of Eric Newman, agent, for Jaeger Partners, to consider Project 23-2266-ARB/CDP for final review of a comprehensive sign program for the existing multi-tenant commercial building located at 888-892 Linden Avenue. The property is a 6,970 square foot parcel zoned Central Business District (CB) with Visitor-serving Commercial Overlay (V) shown as APN 003-263-015, addressed 888-892 Linden Avenue.

2. Project: Cooper-Smith Addition/Remodel, Project 24-2274-CDP/ARB
Address: 1314 Sterling Avenue
Applicant: Susan Cooper-Smith, Trustee for the Cooper-Smith Family Trust
Planner: Brian Banks

Request of Susan Cooper-Smith to consider Project 24-2274-CDP/ARB for Preliminary and Final review of a request to construct a new 198 square-foot addition to the front of an existing single-family residence, along with

replacement of the existing cement board siding with new plaster finished siding, replacement and new doors and windows, and an interior remodel. The existing landscaping is proposed to remain. The maximum building height would reach 14 feet-4 inches. The resultant residence would be 2,016 square feet in size with an attached 456 square-foot two-car garage, for a total project size of 2,472 square feet. The property is a 10,456 square foot parcel zoned Single Family Residential (7-R-1) and shown as APN 003-542-015, addressed as 1314 Sterling Avenue.

OTHER BUSINESS

CONSENT CALENDAR

3. Action Minutes of the Architectural Review Board Meeting of February 15, 2024

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL

MATTERS PRESENTED BY STAFF

MATTERS PRESENTED BY BOARDMEMBERS

ATTENDANCE OF BOARDMEMBERS FOR THE NEXT MEETING

ADJOURNMENT

The next regular Architectural Review Board meeting will be held on Thursday, April 11, 2024.

NOTES

For those projects that do not require Planning Commission approval, recommendations for preliminary approval by the Architectural Review Board will be forwarded to the Community Development Director for a decision. Those Community Development Director decisions that are appealable pursuant to CMC §14.12.020(2) may be appealed to the Planning Commission. Appeals must be filed with the City Clerk within 10 calendar days of the Director's action.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community Development Department at (805) 755-4410 (LorenaE@carpinteriaca.gov) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Thursday, March 7, 2024 in the Community Development Department, on the City Hall Public Notices Board, and on the City Website.

CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of March 14, 2024

Agenda Item #1

COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW

Project: 23-2266-ARB/SIGN **Planner:** Brian Banks
Address: 888-892 Linden Avenue
APN: 003-263-015
Zoning: Central Business (“CB”) district
Visitor-serving Commercial (“V”) overlay district
Applicant: Eric Newman, Dave’s Signs, for Jaeger Partners, Owners

Project Review: ☐ Conceptual
☐ Preliminary
☒ Final

PROJECT DESCRIPTION

This is the final review of a proposed comprehensive sign program for the existing historic multi-tenant commercial building originally known as “The Town Hall” and proposed to be renamed as “THE LINDAMAR BUILDING” located at 888-892 Linden Avenue. The existing building is currently configured for five tenant spaces on the ground floor (situated on the building’s Linden Avenue and Wullbrandt Way frontages), and proposed to accommodate up to six smaller tenant spaces on the second floor (e.g., “LINDAMAR STUDIOS”). The proposed sign program provides specifications on the allowable sign types, locations, sizes and design for all current and future tenant signage. The sign program also includes specifications for building identification signage, wall, under canopy, projecting, and painted signs.

The final Planned Sign Program plans are included as Attachment A.

PROJECT HISTORY

On February 15, 2024, the Architectural Review Board (ARB) reviewed the proposed project at a preliminary level. The Board was supportive of the project and voted 4-0 to recommended preliminary approval to the Director, with the project to return for final approval with the following comments addressed: 1) provide an alternative lighting fixture for the tenant signs that is less modern and more compatible with the historic nature of the building; and 2) provide alternative light bulb with reduced lumens/wattage. No public comments were received for the project.

The Director approved the project on February 27, 2024.

PROJECT ANALYSIS

The following revisions have been made to the final plans in response to the ARB’s preliminary review comments:

- 1) A revised “gooseneck” style fixture is now proposed, with two fixtures per tenant sign on the northeast elevation facing Wullbrandt Way. Fixture locations and an image of the selected fixture are provided on page 7 of the final plans; and
- 2) Reduced output LED bulb with a maximum of 1600 lumens (18 watts) and a color temperature of 3500K (neutral white). Lighting details are provided on page 15 of the final plans.

With the proposed revisions to the light fixture to reflect a less modern and more historically compatible style, along with the reduced lighting wattage and color range balanced between “warm” and “soft” on the kelvin color temperature chart, staff believes that the revised project plans have satisfactorily addressed the ARB’s previous comments, and all necessary plan details for final ARB review have been provided.

The Board should comment on the revisions to the lighting details in response to their preliminary review comments.

SUMMARY OF ISSUES

- Proposed light fixture style; and
- Proposed light bulb output and color temperature.

RECOMMENDATION

The Board should receive public comment and provide feedback on the issues raised. If the Board finds the applicant has adequately responded to the Board’s previous comments and the plans are appropriately developed for final review, then the Board should recommend final approval to the Community Development Director.

ATTACHMENTS

Attachment A – Proposed Sign Program Final Plans

Attachment A
Final Sign Plans

Lindamar Building Planned Sign Program
Final ARB Review
March 14, 2024

THE LINDAMAR BUILDING

888 - 892 Linden Avenue
5025 - 5045 Wulbrandt Way
Carpinteria, CA 93013

COMPREHENSIVE SIGN PROGRAM

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Allowable Signs per Tenant	4
Site Plan	5
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Wulbrandt Way Elevation	7
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Building ID Graphics	9
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Lindamar Studios Tenant Directory	11
Lindamar Tenants Parking Lot Directory	12
TENANT SIGNS	
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GENERAL CRITERIA

Program Intent

The intent of the Comprehensive Sign Program is to provide the guidelines necessary to achieve visually coordinated designs for the Project Site and Tenant signage that are harmonious with the building architecture and color scheme.

Approvals and Permits

- A. Each Tenant or Lessees will be provided with a copy of the Master Sign Program and guidelines as their first step in obtaining signs on the property. Compliance with this sign program will be strictly enforced. Any non-conforming or unapproved sign installed by the Tenant must be brought into compliance at the Tenant's expense.
- B. All signs must be approved by the Landlord before permit submittal.
- C. This program shall not imply that any governmental approval will be automatically granted. The tenant is solely responsible for obtaining any and all required approvals from governmental agencies and shall obtain all permits from the City of Carpinteria Planning and Building Departments



4773 Orange St. Unit C - Ventura, CA 93003

THE LINDAMAR BLDG

890-892 LINDEN AVENUE, CARPINTERIA, CA 93013

JAEGER PARTNERS COMMERCIAL REAL ESTATE | 21 E. CARRILLO ST, SANTA BARBARA, CA 93101 | 805-845-9300

GENERAL CRITERIA

General Criteria

- A. All signs should meet or exceed all current applicable codes (i.e. electrical, mechanical, structural, etc).
- B. Signage should meet or exceed all requirements of the State of California and the City of Carpinteria.
- C. Acceptable Tenant sign types may be found on pages 13 - 17 of this document.
- D. All signs shall meet or exceed Underwriter's Laboratories construction specifications and be fabricated and installed by licensed U. L. sign contractors.
- E. The choice of type style and design shall be at discretion of the tenant, but design merit and content is at Landlord's discretion and will require approval prior to manufacture and installation.
- F. All exterior signs shall be secured by stainless steel, nickel, or cadmium plated fasteners.
- G. All exposed fasteners to be painted to match the background surface.
- H. All transformers, electrical boxes, wiring, conduit and access doors shall be concealed.
- I. All Tenants shall have their sign illumination connected to their own electrical panel.
- J. All penetrations of the building structure by Tenant's sign contractor required for installation shall be neatly sealed and water tight.
- K. All identification labels shall be concealed, except where required by code. An Underwriter's Label is required on all electrical signage verifying certification.
- L. Sign contractor shall repair any damage caused by their work. Damage to structure that is not repaired by the sign contractor shall become the Tenant's responsibility to correct.
- M. Tenant shall be fully responsible for the operation of their sign contractor, and shall indemnify, defend and hold the Landlord, Landlord's representative, and all parties harmless from damages or liabilities on account thereof.



THE LINDAMAR BLDG
890-892 LINDEN AVENUE, CARPINTERIA, CA 93013

JAEGER PARTNERS COMMERCIAL REAL ESTATE | 21 E. CARRILLO ST. SANTA BARBARA, CA 93101 | 805-845-9300

GENERAL CRITERIA

Sign Area Calculation

Tenants are allowed 1 square foot of sign area per linear foot of store frontage.

Allowable Signage For Each Tenant

888 Linden Avenue - 1 Tenant Panel on exterior directory near building entrance

890 Linden Avenue - 1 Painted Wall Sign around Entry Door on Linden Ave, 1 Painted Wall Sign on Side Elevation facing Parking Lot, 1 Painted or Dimensional Sign on Patio wall, 1 Tenant Panel on Parking Lot Directory

892 Linden Avenue - 1 Under Canopy Sign on Linden Ave, 1 Painted Wall Sign on Side Elevation facing Wullbrandt Way, 1 Tenant Panel on Parking Lot Directory

5025 Wullbrandt Way - 1 Dimensional Tenant Wall Sign on Wullbrandt Ave, 1 Blade Sign, 1 Tenant Panel on Parking Lot Directory

5035 Wullbrandt Way - 1 Dimensional Tenant Wall Sign on Wullbrandt Ave, 1 Blade Sign, 1 Rear Door Sign, 1 Tenant Panel on Parking Lot Directory

5045 Wullbrandt Way - 1 Dimensional Tenant Wall Sign on Wullbrandt Ave, 1 Dimensional Tenant Wall Sign on Rear Elevation, 1 Blade Sign, 1 Tenant Panel on Parking Lot Directory

Note: In the event this unit is subdivided, each shall be allowed one Dimensional Wall Sign, and 1 Blade Sign, 1 Tenant Panel on Parking Lot Directory

Refer to site map and building elevations for sign locations



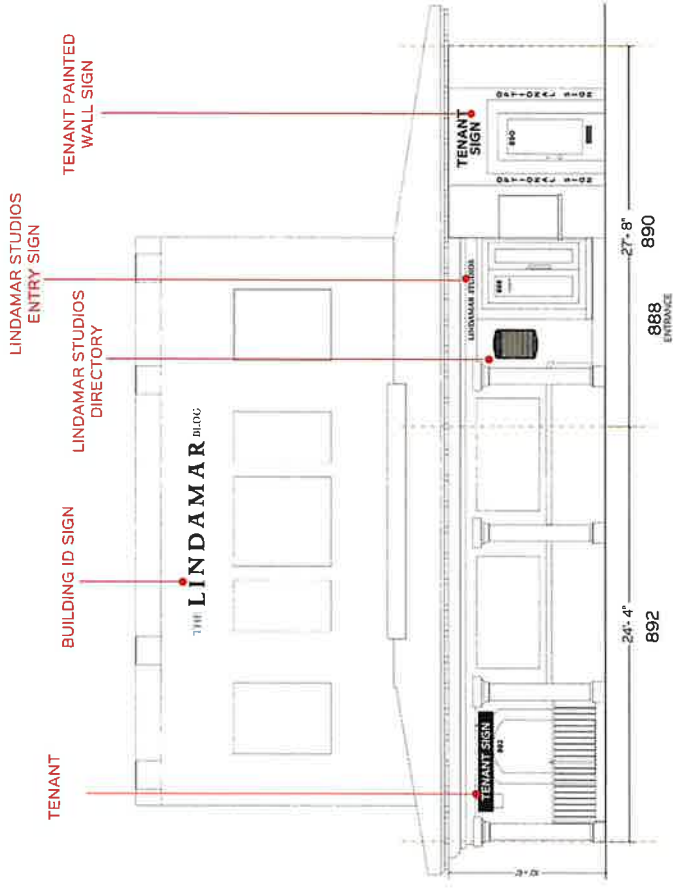
THE LINDAMAR BLDG
890-892 LINDEN AVENUE, CARPINTERIA, CA 93013

JAEGER PARTNERS COMMERCIAL REAL ESTATE | 21 E. CARRILLO ST. SANTA BARBARA, CA 93101 | 805-845-9300

BUILDING ELEVATIONS

LINDEN AVENUE

TOTAL SIGN AREA NOT TO EXCEED 52 SQ FT

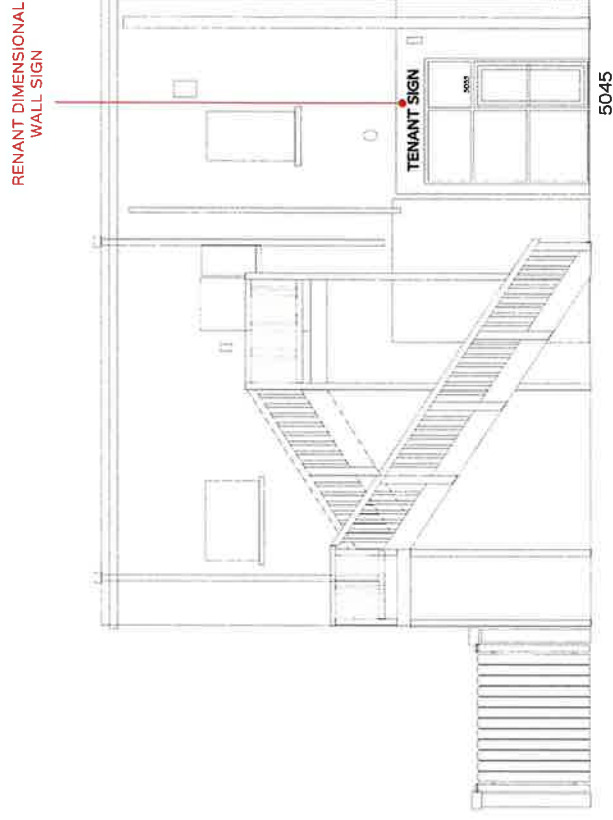


SCALE: 1/8" = 1'

NORTHWEST ELEVATION

BUILDING REAR

TOTAL SIGN AREA NOT TO EXCEED 42 SQ FT



SCALE: 1/8" = 1'

SOUTHEAST ELEVATION



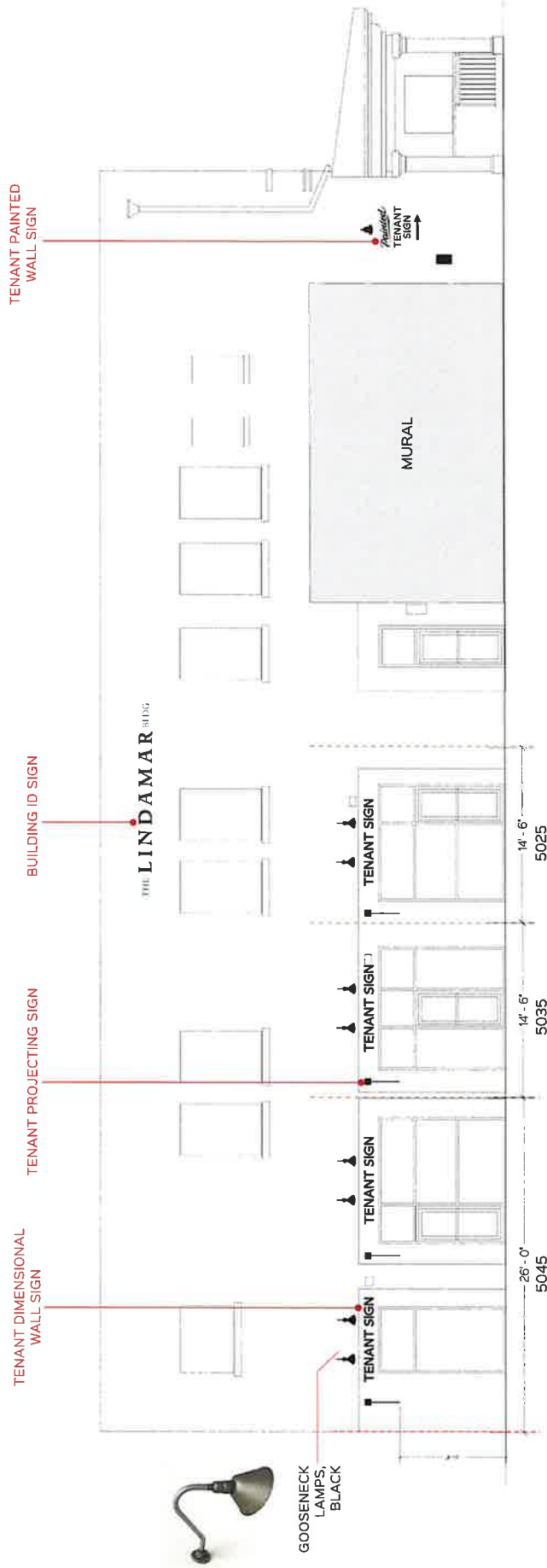
THE LINDEMAR BLDG

890-892 LINDEN AVENUE, CARPINTERIA, CA 93013

JAEGER PARTNERS COMMERCIAL REAL ESTATE | 21 E. CARRILLO ST. SANTA BARBARA, CA 93101 | 805-845-9300

BUILDING ELEVATIONS

WULBRANDT WAY
TOTAL SIGN AREA NOT TO EXCEED 80 SQ FT



SCALE: 1/8" = 1'

NORTHEAST ELEVATION



4773 Delgado St., Unit C - Westlake, CA 91391

THE LINDAMAR BLDG

890 - 892 LINDEN AVENUE, CARPINTERIA, CA 93013

JAEGER PARTNERS COMMERCIAL REAL ESTATE | 21 E. CARRILLO ST. SANTA BARBARA, CA 93101 | 805-845-9300

BUILDING ELEVATIONS

PARKING LOT (SIDE ELEVATION)
TOTAL SIGN AREA NOT TO EXCEED 80 SQ FT

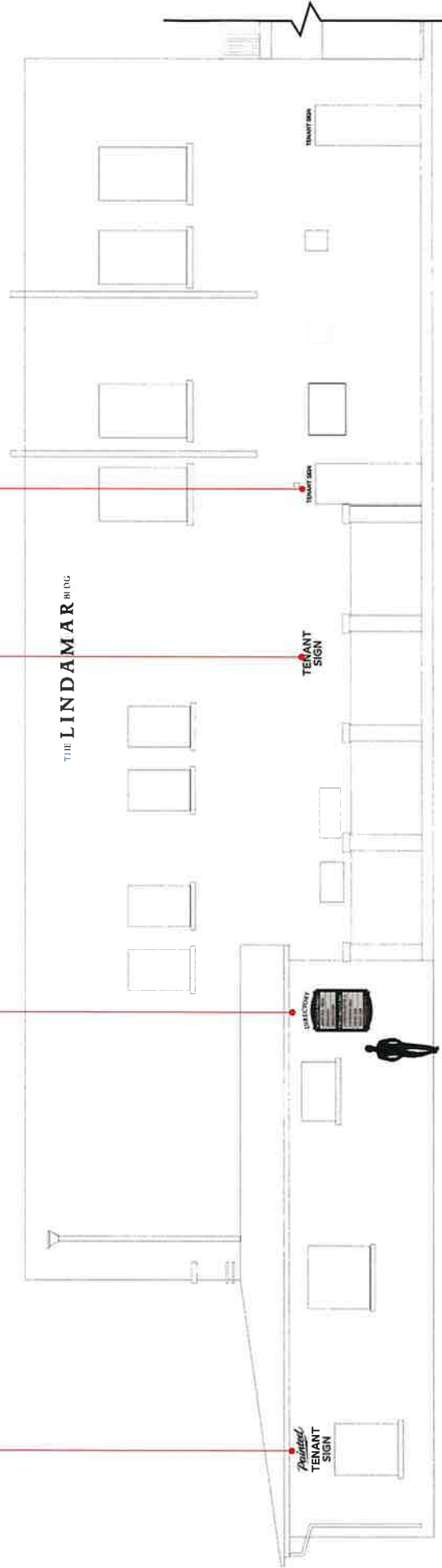
TENANT PAINTED
or DIMENSIONAL
WALL SIGN
SIGN AREA NOT TO EXCEED 15 SQ FT

REAR ENTRANCE
SIGN

TENANT PARKING LOT
DIRECTORY

TENANT PAINTED
WALL SIGN

THE LINDAMAR BLDG



SCALE: 1/8" = 1'

SOUTHWEST ELEVATION



THE LINDAMAR BLDG

890-892 LINDEN AVENUE, CARPINTERIA, CA 93013

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THE LINDAMAR BLDG

12" 182"

SCALE: 3/4" = 1'



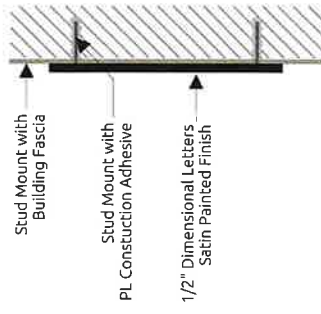
DESCRIPTION

- 1/2" Dimensional Letters w/ Satin Painted Finish
- Flush Mounted to Building
- Quantity: 3
- Total Square Feet: 15.16 ea

EXAMPLE OF DIMENSIONAL LETTERS



MOUNTING DETAILS



COLORS:



LINDAMAR STUDIOS

68"

SCALE: 2" = 1'



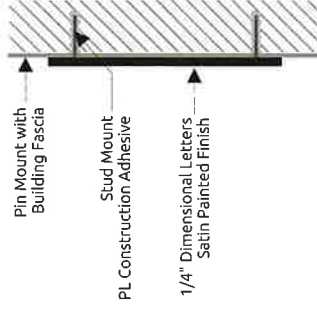
DESCRIPTION

- 1/2" Dimensional Letters w/ Satin Painted Finish
- Flush Mounted to Building
- Quantity: 1
- Total Square Feet: 1.88

EXAMPLE OF DIMENSIONAL LETTERS



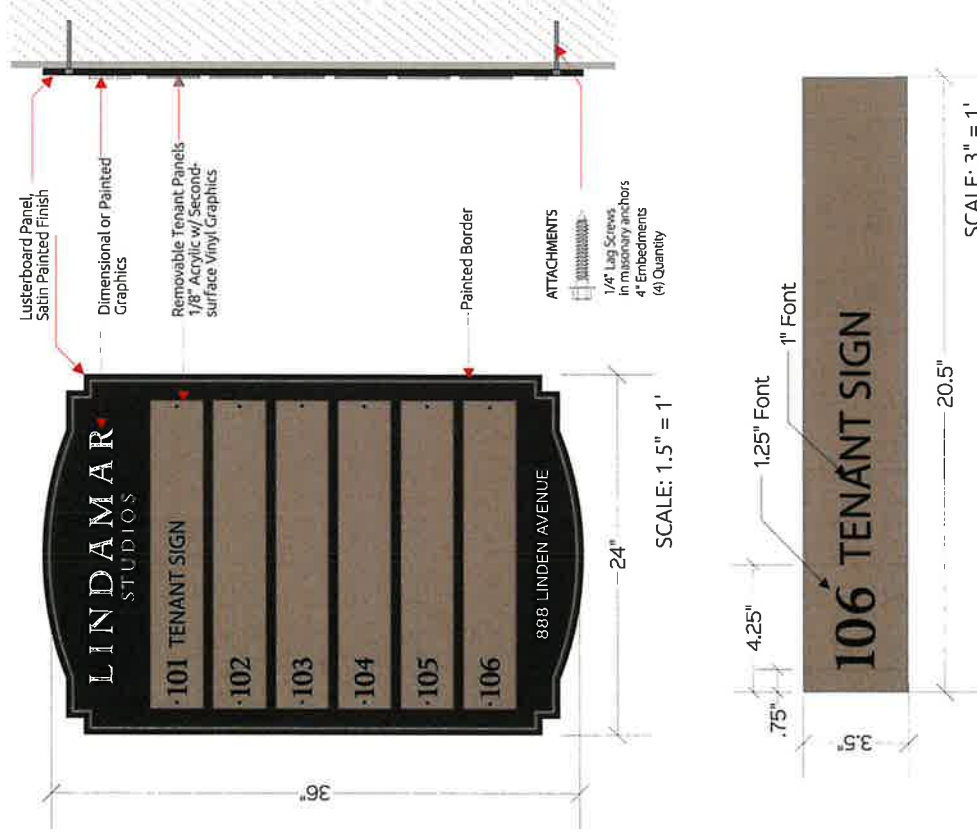
MOUNTING DETAILS



COLORS:



BUILDING IDENTIFICATION



DESCRIPTION

DIRECTORY PANEL

- Flush Mounted to Building
- Dibond panel
- Removable Acrylic Tenant Panels w/second-surface vinyl
- Fonts: Suite Numbers - Goudita Demi-bold
Tenant Names - Myriad Pro
- Quantity: 1
- Total Square Feet: 6

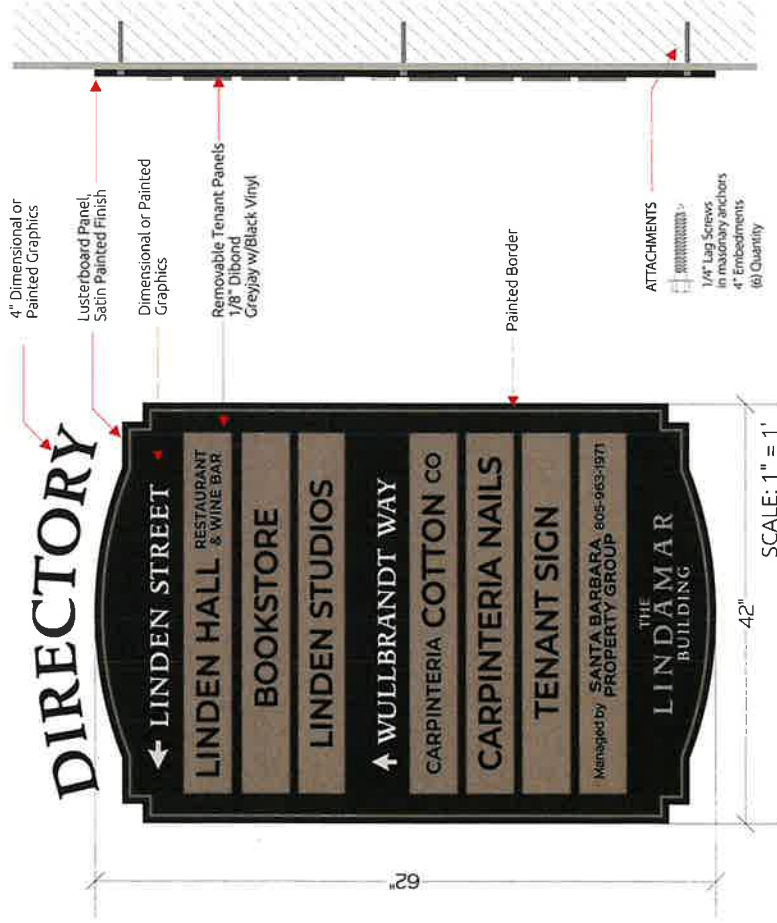
COLORS:



THE **LINDAMAR** BLDG
890-892 LINDEN AVENUE, CARPINTERIA, CA 93013

JAEGER PARTNERS COMMERCIAL REAL ESTATE | 21 E. CARRILLO ST, SANTA BARBARA, CA 93101 | 805-845-9300

BUILDING IDENTIFICATION



DESCRIPTION

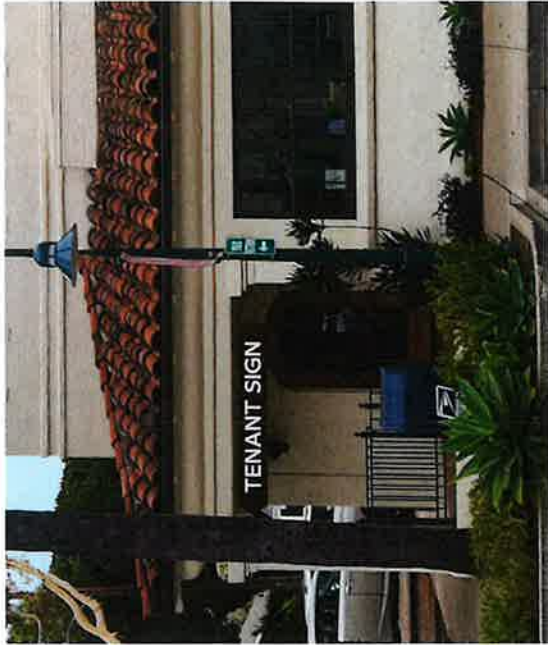
DIRECTORY PANEL

- Flush Mounted to Building
- Lusterboard
- Removable Dibond Tenant Panels w/ Vinyl Copy
- Fonts: Street Names - Goudita Demi-Bold Tenant Names - Montserrat Semi-Bold
- Quantity: 1
- Total Square Feet: 18
- Tenant Panel Square Feet: 1.2

COLORS:	
	BLACK
	MP14176 GREYJAY
	AVERY BEIGE SC 900-925



TENANT - UNDER EVE SIGN



DESCRIPTION

UNDER EVE HANGING SIGN

- 1/2" Lusterboard Panel
- Satin Painted Finish
- Vinyl Graphics
- Colors shall compliment the historical nature of the building.

Note: Sign hangs over fence railing and is not over a public right of way.



HANGING SIGN SIGN EXAMPLES



DESCRIPTION

PAINTED WALL SIGN

- Colors shall compliment the historical nature of the building.

PAINTED WALL SIGN EXAMPLES



890 Linden Ave, Front Elevation
SIGN AREA NOT TO EXCEED 20 SQ FT



890 Linden Ave, Side Elevation
SIGN AREA NOT TO EXCEED 15 SQ FT



892 Linden Ave, Side Elevation
SIGN AREA NOT TO EXCEED 15 SQ FT

NOTE: Business Names and Logos are for representational purposes only

MAX WIDTH SEE DESCRIPTION

LOGO
OPTIONAL
TENANT SIGN

13" MAX

EQ 9" MAX EQ

SCALE: 1" = 1'

DESCRIPTION

- 1/4" - 1/2" Thick Dimensional Graphics
- Stud Mounted to Wall
- Spacers Optional
- Satin Painted or Metal Finish
- Colors shall complement the historical nature of the building.
- Gooseneck Lamps, 2 Qty per sign
- 1600 Lumens, 3500K Warm LED bulbs
- Black Finish

Maximum Font Height: 9"
Maximum Logo Height : 13"
Maximum Width: 96"

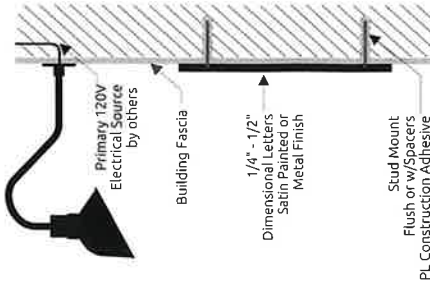
Maximum Square Feet: 8.66 per sign

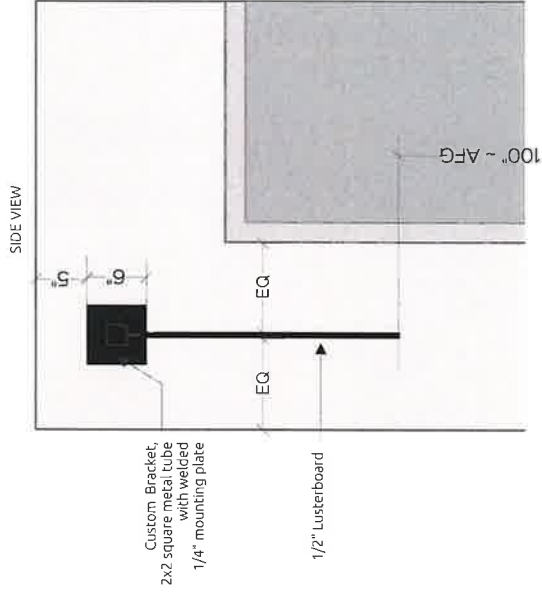
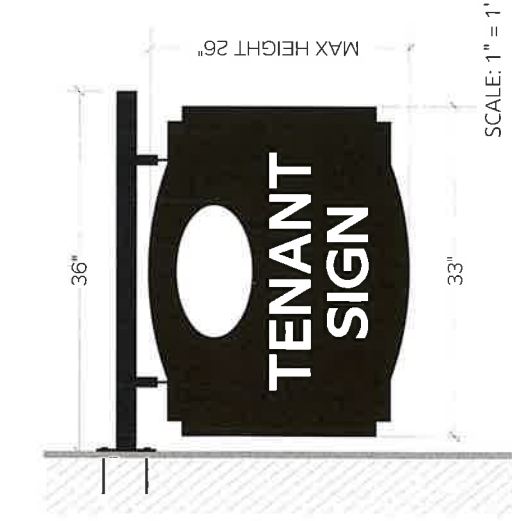


EXAMPLE OF DIMENSIONAL LETTER SIGNS



MOUNTING DETAILS





BLADE SIGN EXAMPLE



DESCRIPTION

BLADE SIGN

- Double-sided Lusterboard Panel
- Satin Painted Finish
- Vinyl Graphics
- 36" Custom Welded Metal Straight Bar Bracket, with black finish
- Custom-shaped panels are encouraged.
- Colors shall compliment the historical nature of the building.



DESCRIPTION

Dibond Panel

Vinyl Copy

Size 10" x 36"

Square Feet: 2.5

- Colors shall compliment the historical nature of the building.

ATTACHMENTS



1/4" Lag Screws
in masonry anchors
3" Embedments
(4) Quantity

5035

5045



**CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of March 14, 2024**

Agenda Item #2

**COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW**

Project: 24-2274-CDP/ARB **Planner:** Brian Banks
Address: 1314 Sterling Avenue
APN: 003-542-015
Zoning: Single Family Residential (7-R-1)
Applicant: Susan Cooper-Smith, Trustee, for the Cooper-Smith Family Trust

Project Review: ☐ Conceptual
☒ Preliminary/Final

PROJECT DESCRIPTION

This is the preliminary/final review of a proposal to construct a new 198 square-foot addition to the front of an existing single-family residence, along with replacement of the existing cement board siding with new plaster finished siding, replacement and new doors and windows, and an interior remodel. The existing landscaping is proposed to remain. The maximum building height would reach 14 feet-4 inches. The resultant residence would be 2,016 square feet in size with an attached 456 square-foot two-car garage, for a total project size of 2,472 square feet.

Preliminary/final architectural plans are attached as Exhibit A.

PROJECT SETTING

The project site is located at 1314 Sterling Avenue at the terminus of Sterling Avenue. The site is bordered by U.S. Highway 101 at the south, Franklin Creek to the east, and single-family residences to the north and west. The 10,456 square foot lot is presently improved with an 1,818 square-foot one-story single-family dwelling with an attached 456 square-foot two-car garage and a swimming pool. The original residence was constructed in 1962, with a covered patio addition in 1987, and family room, bedroom, and bath addition in 2001. A permit for construction of the swimming pool was also separately approved in 2001.

The project site is located in the Canalino/Santa Monica/El Carro Neighborhood ("Subarea 3"), which is primarily comprised of single-family residential subdivisions located north of U.S. Highway 101. The site is zoned Single Family Residential District ("7-R-1") and has a Low Density Residential ("LDR") land use designation. The subject property is located within the Coastal Appeal ("CA") Overlay due to its location adjacent to Franklin Creek. Site photographs are attached as Exhibit C.

PROJECT ANALYSIS

Carpinteria Municipal Code

An analysis of the project’s conformance with applicable requirements of Title 14, Zoning, of the Carpinteria Municipal Code is provided below.

Single Family Residential (R-1) District, CMC §14.12

Permissible uses in the 7-R-1 zone district include single family dwellings. The following table identifies the project’s conformance with Municipal Code requirements:

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	50 feet from centerline of street or 20 feet from property line, whichever is greater.	Existing: 80 feet from centerline, 43 feet from property line Proposed: No change
Sides	6 feet min. (10% of average lot width)	Existing West: 6 feet Existing South: 6 feet Proposed: No change
Rear	15 feet min.	Existing: 38 feet Proposed: No change
Height	30 feet max.	Existing: 13 feet-5 inches Proposed: 14 feet-4 inches
Building Coverage	35% max. (3,660 square feet)	24% (2,472 square feet)
Density	1 single family dwelling per lot	1 single family dwelling
Parking	2 spaces provided in a garage	2 spaces provided in a garage

Zoning Overlay Districts

As previously noted, the project is subject to the Coastal Appeals (“CA”) Overlay district. The CA overlay applies to properties located within the appeals jurisdiction of the California Coastal Commission (“CCC”). The subject property is located within the CA overlay due to its immediate adjacency to Franklin Creek. Properties located within the CA overlay are subject to special permit procedures, including but not limited to, the ability for the project’s final local action (by the Planning Commission or City Council, on appeal) to be appealed to the CCC by an aggrieved party or by the Commission itself. In the event an appeal is taken up by the CCC, the Commission would have the ability to take over permit authority for the project unless a determination of no substantial issue is made.

As designed, the proposed improvements comply with the applicable R-1 zone and CA overlay district development standards. Likewise, as the project involves a remodel of an existing residence and does not involve any new construction located closer to the creek than the existing

condition, the project is not anticipated to trigger any coastal resource protection concerns. With the inclusion of standard project conditions related to construction activities (e.g., erosion/sedimentation; spill prevention; etc.), the project would be consistent with the applicable regulations of the City's Creek Preservation Program.

Design Review

The most visible part of this proposal is the 198 square-foot entry addition at the front of the residence. The existing entry is located at the end of a long corridor between the attached garage and the northernmost portion of the residence. The proposed entry foyer addition would infill the existing entry corridor and would make the front entry more prominent, and allow more light into the residence.

The applicant has designed two options for the entry addition and related window/door changes for the ARB to consider. Each option would result in the same 198 square-foot area of addition and the same 5:12 roof pitch with composition shingles to match the existing roof form and material, but the options differ in maximum height and entry door design:

Option 1 – The first option is preferred by the owners. This option would result in an entry “tower” reaching a maximum height of 14 feet-4 inches, or approximately 1-foot taller than the existing residence. This option features a steel and glass entry door with transom windows above, and with a 11-foot plate height. As part of this option, the front-facing bedroom windows would be replaced with new window opening sized to mimic the proportions of the glass entry on the foyer addition.

Option 2 – The second option would feature the same steel and glass entry door, but removes the transom windows above the door, resulting in a 10-foot plate height and an overall height of 13 feet-4 inches.

The project also includes replacement of the existing windows with new aluminum clad windows, new patio doors at the rear of the residence, and removal of the existing cement board siding in favor of a smooth plaster finish. The proposed interior remodel would relocate the kitchen to the former living room area and reconfigure the existing kitchen area into a butler's pantry.

The existing residence has a mixed exterior with cement board siding and stucco in a tan color. The proposal will result in a mix of new smooth plaster and stucco finish in the same tan/sand color family. The existing stone veneer facing the garage is proposed to remain. The colors/material and proposed exterior lighting details are attached as Exhibit B.

The Board should comment on the proposed architectural style, materials, and exterior lighting, and indicate which entry option design is preferred.

General Plan/Coastal Plan Neighborhood Policies

The City's Community Design Element of the General Plan contains both general over-arching policies and specific subarea policies. The project site is located in Design Subarea 3 (Canalino/ Santa Monica/ El Carro Neighborhood).

Community Design Element- Citywide Objectives & Policies

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

The new front entry addition would have no impact on existing mountain views. Ocean views are not available from the project site.

Objective CD-5: *The streets of neighborhood interiors should be designed to be the "living rooms" of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

Objective CD-10: *Areas with attractive frontage designs should be maintained. New development should be carefully planned with frontage areas which maintain and enhance the quality of Carpinteria's streetscape.*

The proposed additions are intended to improve and update the residence and enhance the front entry. The proposed new entry element is consistent with the types of entry elements encouraged by Policy CD-5a and would provide a brighter, more inviting, and more prominent entrance to the residence as compared to the existing design. The new entry addition would not alter the established building setbacks of the property because the existing garage is already set considerably closer to the street. The residence would continue to generally align with nearby residences, and the perceived size/scale of the residence would not change significantly as viewed from the street or adjacent residences.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photo pollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

New exterior lights are proposed in the new front entry, at the sides of the garage door, and at the rear patio area. The fixtures feature an opaque lens that shields the bulb and appear to be consistent with the City's night sky-friendly policies. The fixture details are included in Exhibit B.

Community Design Element- Subarea 3 Objectives & Policies

Objective CDS3-2: *Preserve and enhance the existing residential neighborhood and ensure that new development enhances the neighborhood character.*

Objective CDS3-3: *Ensure that new development is sensitive to the scale and character of the existing neighborhoods, and consistent with the city's "small beach town" image.*

Policy CDS3-b: *Enhance the pedestrian character of the neighborhoods' streets, parks and lanes.*

The proposed project enhances the street frontage of the residence and helps draw attention to the entry while not materially altering the scale or character of the existing residence. Overall, the project can be found consistent with these Objectives and Policies as the proposed addition, window and exterior material changes would enhance the appearance of the existing residence without significantly impacting the existing residence's size, bulk or scale. The neighborhood is comprised of tract houses that have been individually altered over the years, and the proposed project would update the existing residence in a similar and sensitive way that doesn't alter the neighborhood character or "small beach town" image of the City.

Subarea 3 Residential Design Guidelines

DG 3: *Exterior architectural treatment and detail should be carried around all sides of the building.*

DG 4: *Elements such as windows and doors should be consistent in design with the existing theme of a house and when appropriate should draw from elements in the existing neighborhood.*

DG 5: *The use of bay windows, dormers, balconies, covered porches and other decorative elements are encouraged when appropriate to the architecture of a building, particularly when these elements would be oriented toward a public street or public space.*

DG 7: *Muted tones should be encouraged unless otherwise determined to be inappropriate by the Architectural Review Board.*

DG 8: *New additions should replicate or complement the existing structure or the entire structure should be remodeled as part of an overall architectural design.*

DG 9: *Materials should be high quality and durable (taking into consideration its use and climate), and authentic to the chosen architectural style.*

The proposed new addition will create a more welcoming and defined entry to the residence, while the proposed window and exterior material changes will create a consistent design theme for the residence as viewed from the street. The project proposes muted tan/sand exterior finishes in compliance with the Residential Design Guidelines.

Creekways & Riparian Habitats

Objective OSC-6: *Preserve the natural environmental qualities of creekways and protect riparian habitat.*

Policy OSC-6a: *Support the preservation of creeks and their corridors as open space, and maintain and restore riparian habitat to protect the community's water quality, wildlife diversity, aesthetic values, and recreation opportunities.*

OSC-6-Implementation Policy 25: *A setback of 50 feet from top of the upper bank of creeks or existing edge of riparian vegetation (dripline), whichever is further, shall be established and maintained for all development. This setback may be increased to account for site-specific conditions. The following factors shall be used to determine the extent of an increase in setback requirements:*

- a. Soil type and stability of the stream corridor*
- b. How surface water filters into the ground*
- c. Types and amount of riparian vegetation and how such vegetation contributes to soil stability and habitat value*
- d. Slopes of the land on either side of the stream*
- e. Location of the 100 year floodplain boundary, and*
- f. Consistency with other applicable adopted plans, conditions, regulations and/or policies concerning protection of resources.*

Where existing buildings and improvements, conforming as to use but nonconforming as to the minimum creek setback established herein, are damaged or destroyed by fire, flood, earthquake or other natural disaster, such buildings and improvements may be reconstructed to the same or lesser size and in the same general footprint location, provided that reconstruction shall be inaugurated by the submittal of a complete construction application within 24 months of the time of damage and be diligently carried to completion.

OSC-6-Implementation Policy 26: *Prior to issuance of a development permit, all projects shall conform with the applicable habitat protection policies including but not limited to the General Plan/Local Coastal Plan, Open Space Bluffs Master Program, Creek Preservation Ordinance, and the Zoning Ordinance.*

Consistent with the above policies and the City's Creeks Preservation Program, the proposed entry addition is located approximately 70 feet from Franklin Creek corridor and the proposed

project would not result in any impacts to water quality, wildlife diversity, aesthetic values, or recreational opportunities associated with the creek.

SUMMARY OF ISSUES

- Architectural style, materials, and color;
- Preferred entry design option, and
- Proposed exterior lighting.

RECOMMENDATION

The Board should provide comments on the issues raised. If the Board feels the project meets the applicable design criteria, the Board may recommend preliminary, or if warranted, final approval to the Community Development Director.

ATTACHMENTS

Exhibit A- Preliminary/Final Architectural Plans

Exhibit B- Proposed Colors, Materials, and Lighting Details

Exhibit C- Site Photographs

Attachment A
Preliminary & Final Architectural Plans

Cooper-Smith Addition
Preliminary ARB Review
March 14, 2024

WALL LEGEND

1. EXTERIOR WALLS - 12" CMU WITH EXTERIOR FINISHES AND INTERIOR FINISHES TO MATCH EXISTING.

2. INTERIOR WALLS - 5/8" GYP BOARD WITH FINISHES TO MATCH EXISTING.

3. PARTITION WALLS - 5/8" GYP BOARD WITH FINISHES TO MATCH EXISTING.

4. CEILING - 5/8" GYP BOARD WITH FINISHES TO MATCH EXISTING.

5. FLOOR - 4" CONCRETE WITH FINISHES TO MATCH EXISTING.

FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2. FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.

3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE.

5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE.

6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE.

7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA FIRE CODE.

8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SAFETY CODE.

9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ENVIRONMENTAL CODE.

10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA HISTORIC PRESERVATION CODE.

INSULATION NOTES

1. EXTERIOR WALLS - R-15 MINERAL WOOL INSULATION.

2. INTERIOR WALLS - R-5 FIBERGLASS INSULATION.

3. CEILING - R-19 FIBERGLASS INSULATION.

4. FLOOR - R-10 POLYSTYRENE INSULATION.

5. ROOF - R-30 POLYSTYRENE INSULATION.

6. ATTIC - R-30 POLYSTYRENE INSULATION.

7. BASEMENT - R-25 POLYSTYRENE INSULATION.

8. CRAWL SPACE - R-10 POLYSTYRENE INSULATION.

9. GARAGE - R-5 POLYSTYRENE INSULATION.

10. PORCH - R-5 POLYSTYRENE INSULATION.

CEILING GENERAL NOTES

1. ALL CEILING SHALL BE 5/8" GYP BOARD WITH FINISHES TO MATCH EXISTING.

2. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

3. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE.

4. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE.

5. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE.

6. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA FIRE CODE.

7. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SAFETY CODE.

8. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ENVIRONMENTAL CODE.

9. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA HISTORIC PRESERVATION CODE.

10. ALL CEILING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SOUND CODE.

DOOR NOTES

1. ALL DOORS SHALL BE 1 3/4" MINIMUM THICKNESS.

2. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

3. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE.

4. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE.

5. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE.

6. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA FIRE CODE.

7. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SAFETY CODE.

8. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ENVIRONMENTAL CODE.

9. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA HISTORIC PRESERVATION CODE.

10. ALL DOORS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SOUND CODE.

WINDOW NOTES

1. ALL WINDOWS SHALL BE 1/2" MINIMUM THICKNESS.

2. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

3. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE.

4. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE.

5. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE.

6. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA FIRE CODE.

7. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SAFETY CODE.

8. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ENVIRONMENTAL CODE.

9. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA HISTORIC PRESERVATION CODE.

10. ALL WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SOUND CODE.

DOOR + WINDOW GENERAL NOTES

1. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

2. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE.

3. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE.

4. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE.

5. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA FIRE CODE.

6. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SAFETY CODE.

7. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ENVIRONMENTAL CODE.

8. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA HISTORIC PRESERVATION CODE.

9. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SOUND CODE.

10. ALL DOORS AND WINDOWS SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ENERGY CODE.

SAFETY GLAZING NOTES

1. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA BUILDING CODE.

2. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE.

3. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA MECHANICAL CODE.

4. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE.

5. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA FIRE CODE.

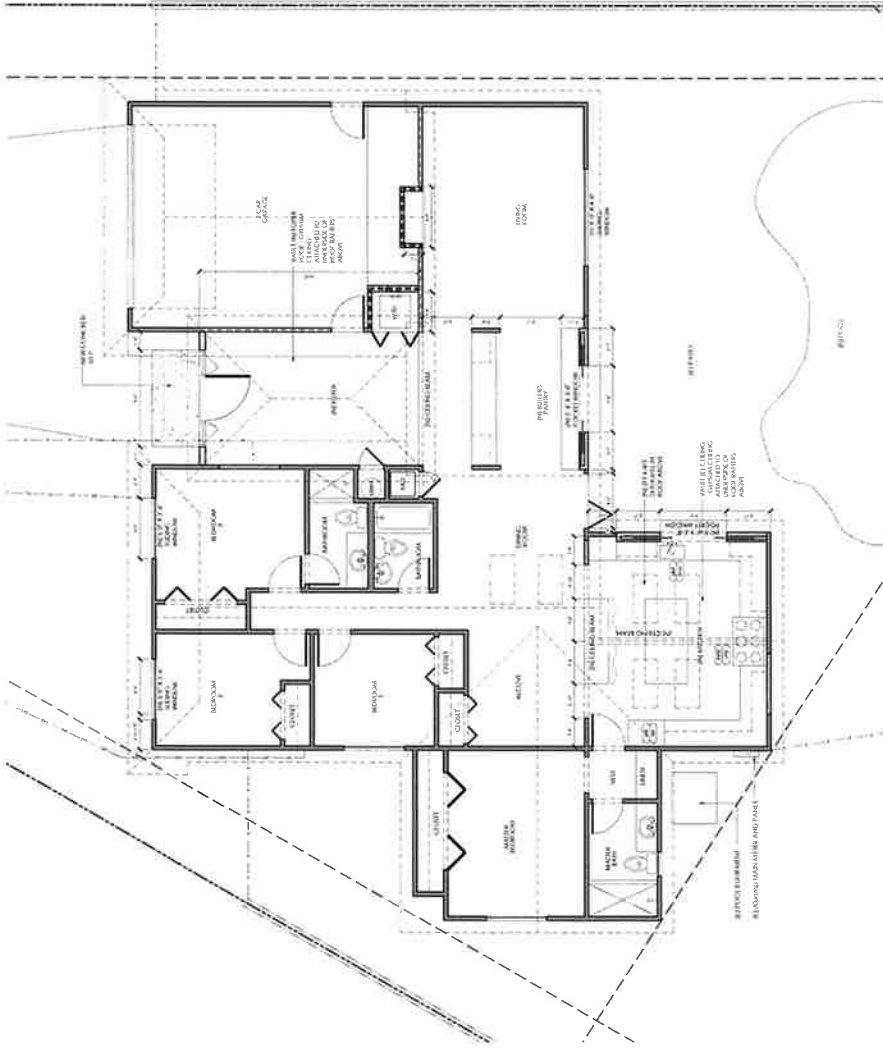
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8. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA HISTORIC PRESERVATION CODE.

9. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA SOUND CODE.

10. ALL SAFETY GLAZING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA ENERGY CODE.



PROPOSED FLOOR PLAN (1,818 S.F. RESIDENCE + 198 S.F. ADDITION + 456 S.F. GARAGE)

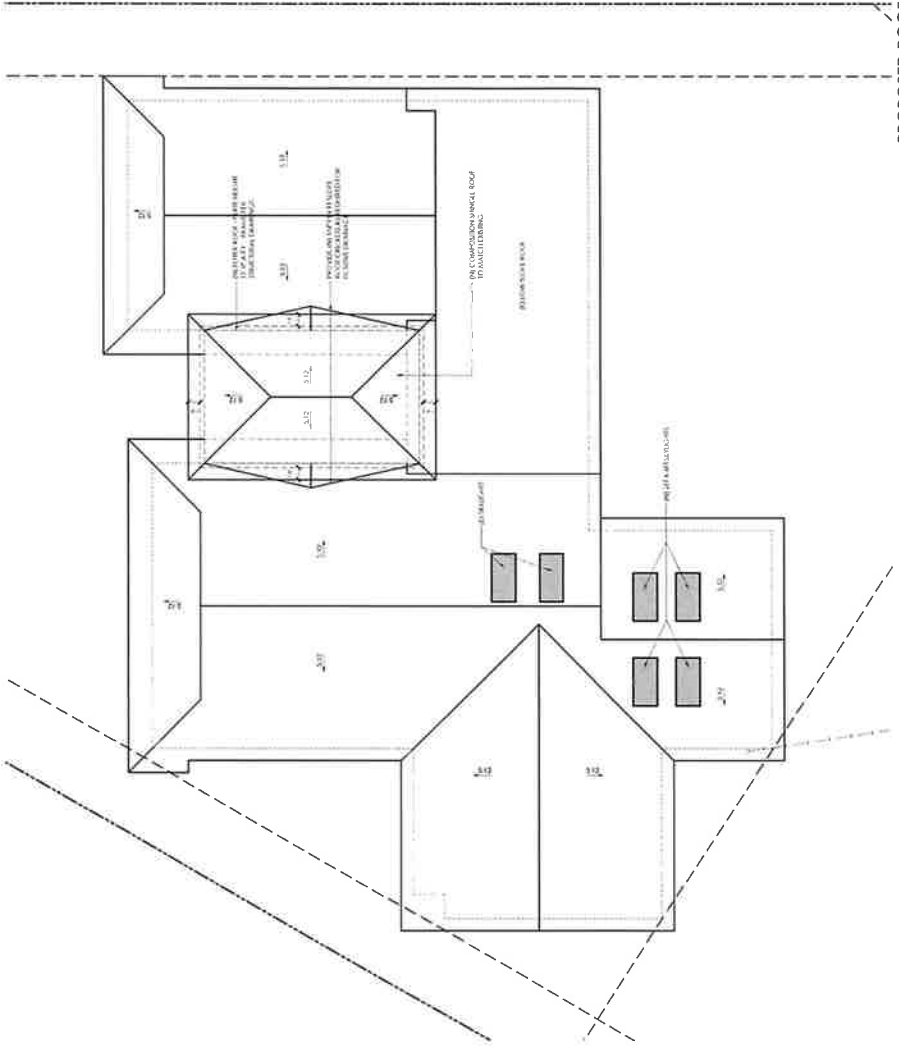


A2.0

FLOOR PLAN

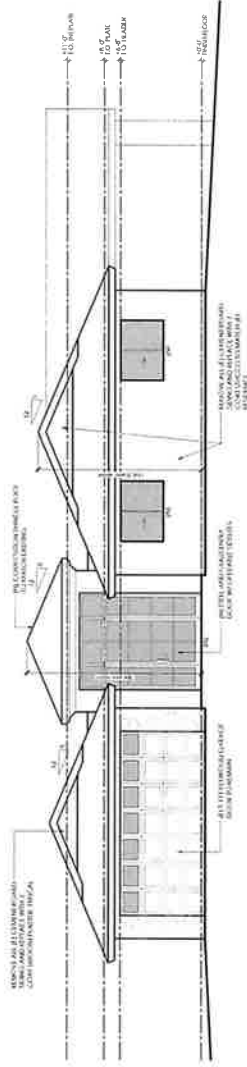
SCOTT SMITH AND SUSAN COOPER, SMITH RESIDENCE
CARPINTERIA, CALIFORNIA 93013
APN: 003-542-015

Date: 01.19.2024
Scale: As Noted
Drawn: [Signature]
Rev: [Signature]
Sheet: [Signature]

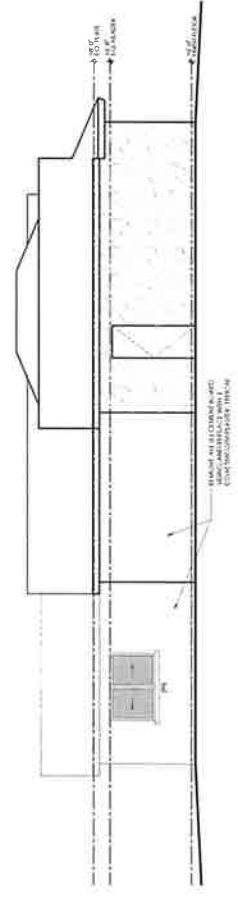


EXISTING CONDITIONS

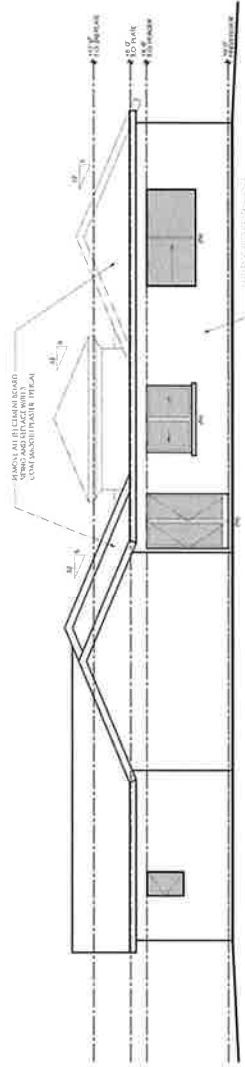
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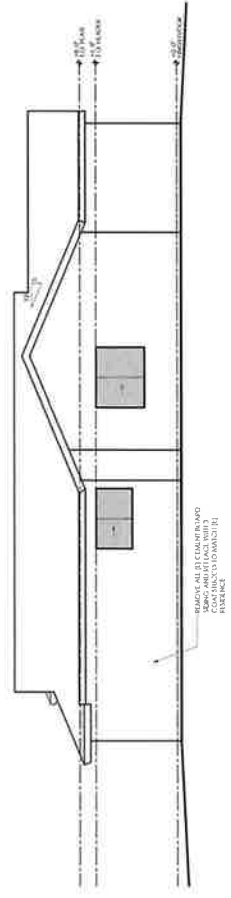
PROPOSED NORTH ELEVATION 01
SCALE 1/8" = 1'-0"



PROPOSED EAST ELEVATION 02
SCALE 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION 03
SCALE 1/8" = 1'-0"



PROPOSED WEST ELEVATION 04
SCALE 1/8" = 1'-0"

Option 1
(preferred)

A3.0

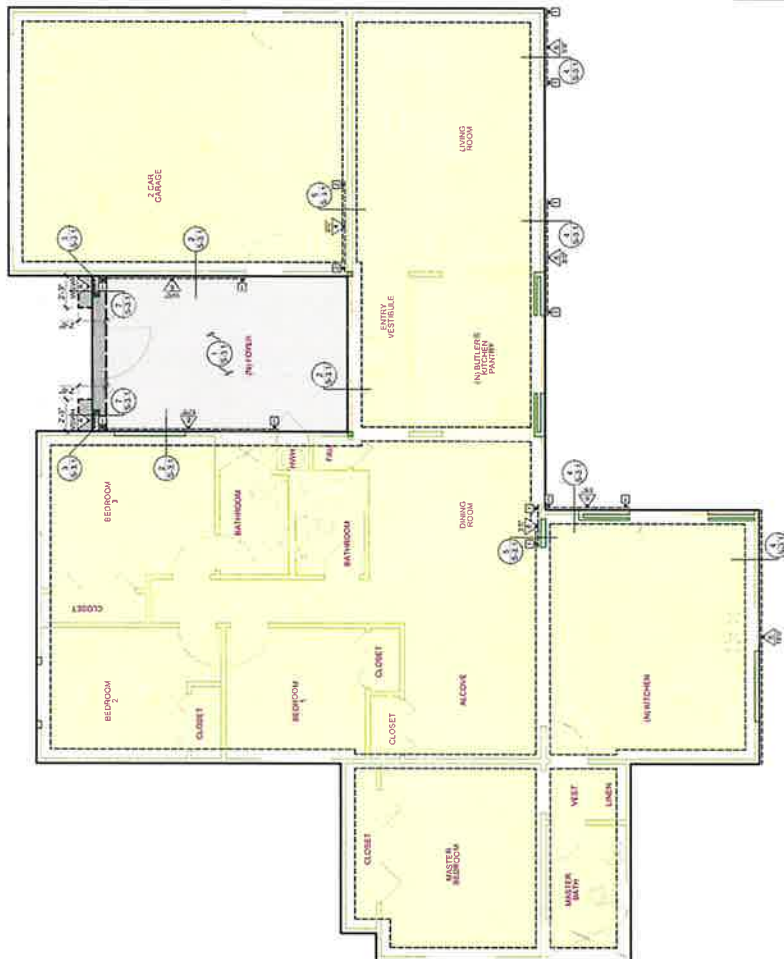
REVISIONS

PROJECT
RESIDENCE ADDITION
SCOTT SMITH AND SUSAN COOPER SMITH RESIDENCE
CARPINTERIA, CALIFORNIA 93013
APN: 003-542-015

RESIDENCE
ELEVATIONS

Date: 01/19/2024
Scale: As Noted
Drawn: JRM
Job No: 2023-001
Plan Name: 01
Sheet: 01

[illegible]



EXISTING BUILDING NOTES

A8 (As-Built Structural) Information Taken
From Archived Plans by Pace Brothers
Construction Company dated August 1962

Contractor Shall Verify Existing Conditions
Prior to Construction and Contact Engineer
and Architect Regarding Any Discrepancy

[illegible]

MANUFACTURED SHEAR WALLS

HOLDOWN SCHEDULE					
	TYPE	HOLDOWN*	MIN. POST	ANCHOR / EMBEDMENT	DETAILS
1	(A)	C514	(1) 2s	NA	#5-3/2
2	(B)	HQ44	(1) 2s	5" Ø SET-30 8" ALU	#5-3/2
3	(C)	HQ44	4s	7" Ø SET-30 8" ALU	#5-3/1
4	(D)	ELPHQ44	(1) 2s	(B)	NA

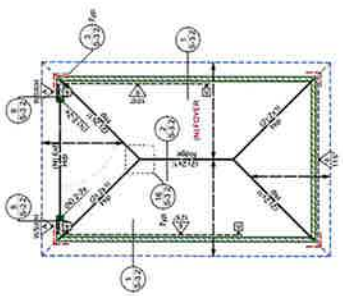
FOOTNOTES:
* Ground anchors to be installed per detail 108-A-1. Typical. Cleared.

[illegible][illegible]

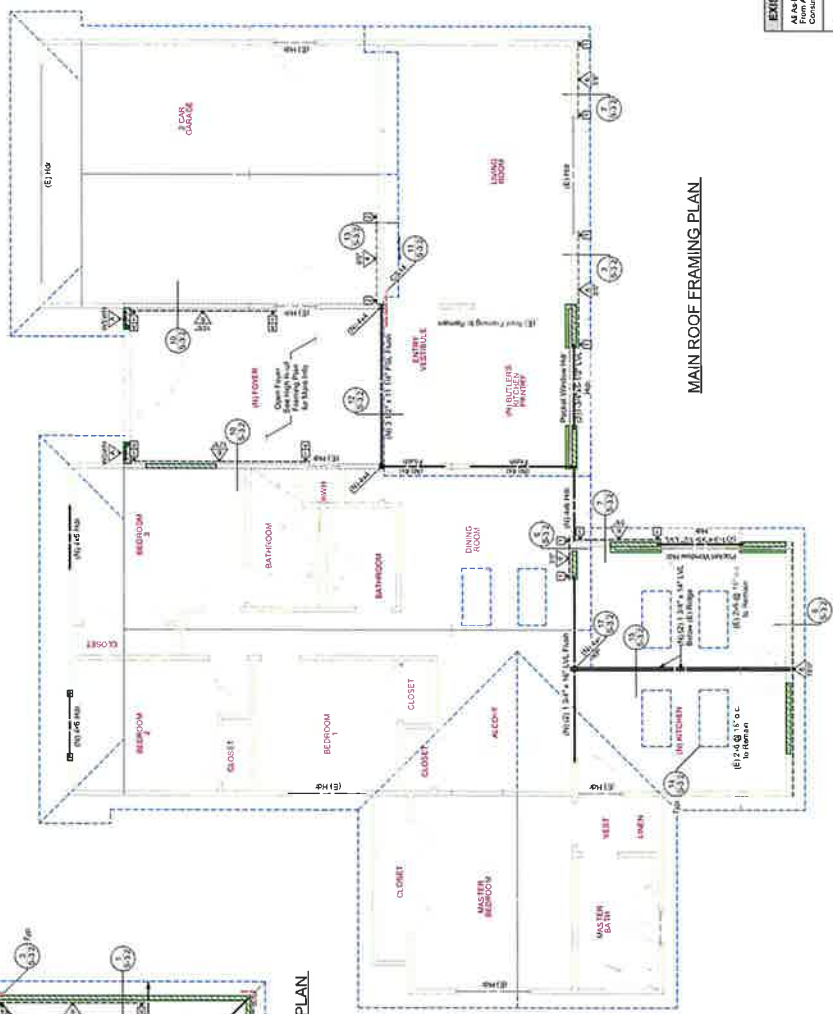


Cooper-Smith Remodel
1314 Sterling Ave.
Carpinteria, CA

ROOF FRAMING PLAN
S-2.2



HIGH ROOF FRAMING PLAN



MAIN ROOF FRAMING PLAN

EXISTING BUILDING NOTES:
All As-Built Structural Information Taken From Construction Documents, 1992.
Consultor: Don V. Vance, Civil Engineer
Prior to Construction and Contract Engineer
not indicated regarding any Occupancy

SHEARWALL SCHEDULE									
DESCRIPTION		MATERIALS		DIMENSIONS		FINISHES		TRANSFERS	
1	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
2	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
3	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
4	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
5	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
6	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
7	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
8	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
9	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"
10	15'0" C24 Plywood	N	24	24	100	6"	4"	11"	11"

MANUFACTURED SHEAR WALLS			
TYPE	DESCRIPTION	MIN. POST	MIN. POST
1	15'0" C24 Plywood	4"	4"
2	15'0" C24 Plywood	4"	4"
3	15'0" C24 Plywood	4"	4"
4	15'0" C24 Plywood	4"	4"
5	15'0" C24 Plywood	4"	4"
6	15'0" C24 Plywood	4"	4"
7	15'0" C24 Plywood	4"	4"
8	15'0" C24 Plywood	4"	4"
9	15'0" C24 Plywood	4"	4"
10	15'0" C24 Plywood	4"	4"

WALL SCHEDULE			
TYPE	DESCRIPTION	MIN. POST	MIN. POST
1	15'0" C24 Plywood	4"	4"
2	15'0" C24 Plywood	4"	4"
3	15'0" C24 Plywood	4"	4"
4	15'0" C24 Plywood	4"	4"
5	15'0" C24 Plywood	4"	4"
6	15'0" C24 Plywood	4"	4"
7	15'0" C24 Plywood	4"	4"
8	15'0" C24 Plywood	4"	4"
9	15'0" C24 Plywood	4"	4"
10	15'0" C24 Plywood	4"	4"

GENERAL FRAMING NOTES			
1	15'0" C24 Plywood	4"	4"
2	15'0" C24 Plywood	4"	4"
3	15'0" C24 Plywood	4"	4"
4	15'0" C24 Plywood	4"	4"
5	15'0" C24 Plywood	4"	4"
6	15'0" C24 Plywood	4"	4"
7	15'0" C24 Plywood	4"	4"
8	15'0" C24 Plywood	4"	4"
9	15'0" C24 Plywood	4"	4"
10	15'0" C24 Plywood	4"	4"



The seal of the State of California is hereby acknowledged as being a true and correct copy of the original seal of the State of California. The seal of the State of California is hereby acknowledged as being a true and correct copy of the original seal of the State of California. The seal of the State of California is hereby acknowledged as being a true and correct copy of the original seal of the State of California.

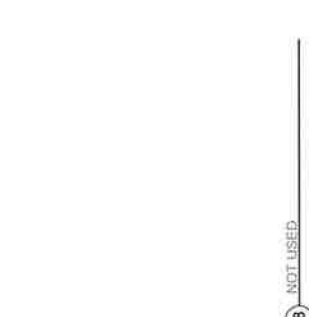
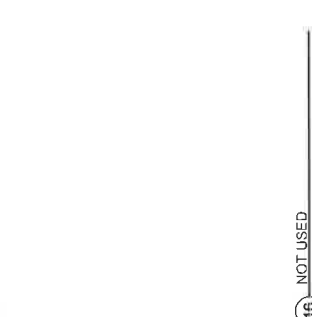
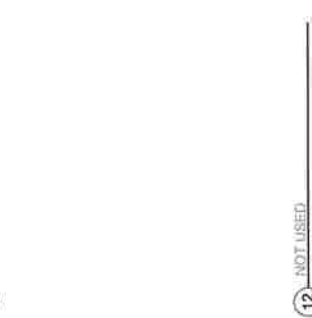
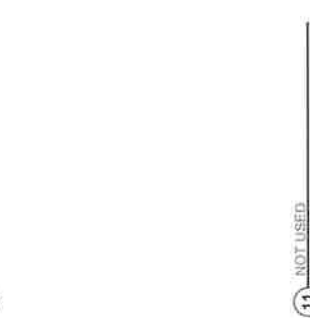
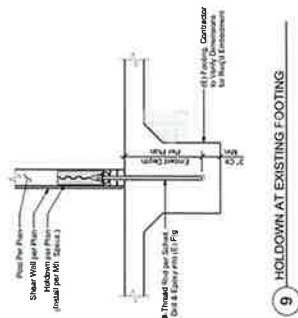
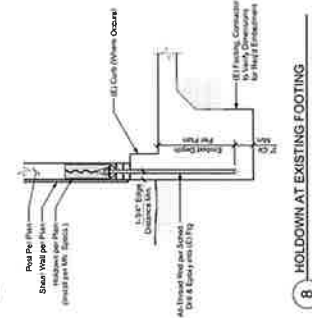
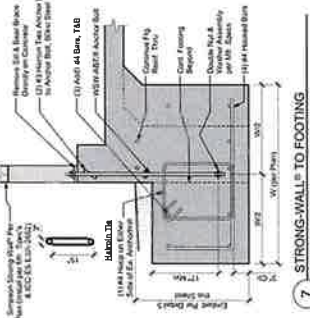
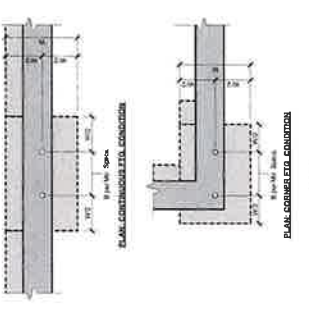
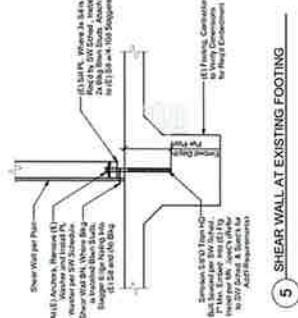
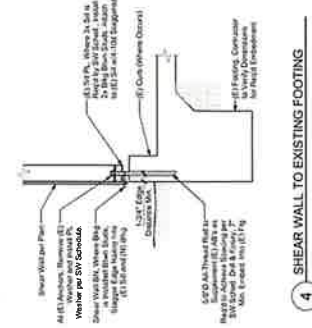
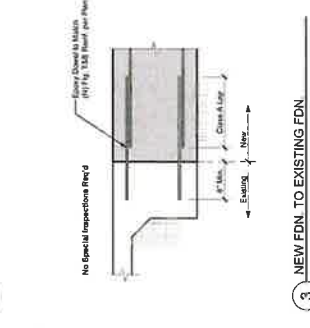
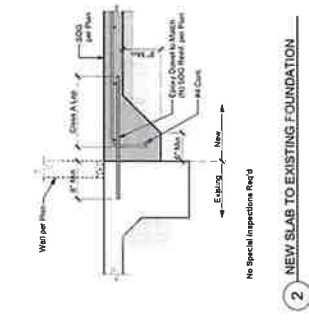
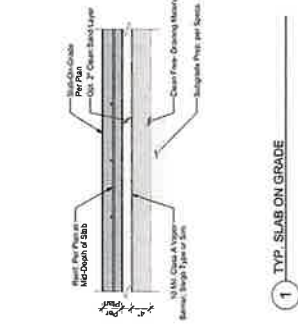


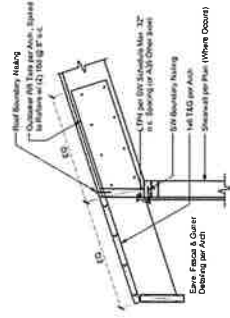
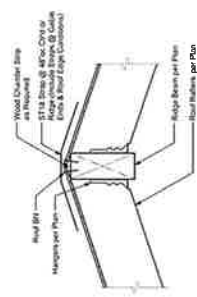
Cooper-Smith Remodel
1314 Sterling Ave.
Capitola, CA

Project No.	2020-001
Project Name	Cooper-Smith Remodel
Client	Cooper-Smith Remodel
Design Date	11/11/2020
Design By	Kevin S. Pham, EIT
Check By	Paul B. Smith, EIT
Scale	AS B
Sheet No.	2020-001

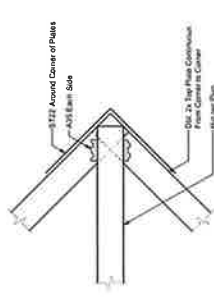
**STRUCTURAL
DETAILS**

S-3.1



 SHEAR TRANSFER AT ROOF EAVE

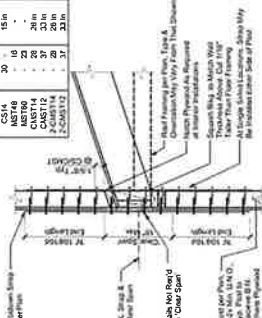
3 RAFTER TO RIDGE BEAM



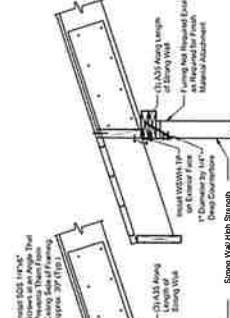
WIP BEAM TO WAIT

3 HIP BEAM TO WALL

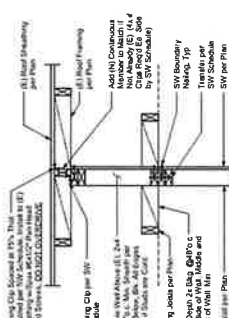
Beam	Wt. (lb/ft)	End Panel
C322	10	9 in.
C320	12	8 in.
C515	9	9 in.
C516	20	11 in.
C518	16	15 in.
C514	30	16
MS748		
MS760		
C517	23	20 in.
C517.1	23	20 in.
C517.2	37	33 in.
2-CMS112	37	33 in.
2-CMS112	37	33 in.



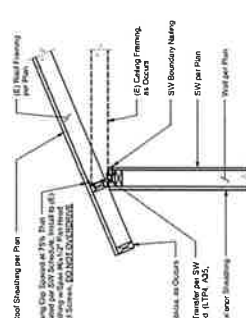
FLOOR-TO-FLOOR HOLDOWN



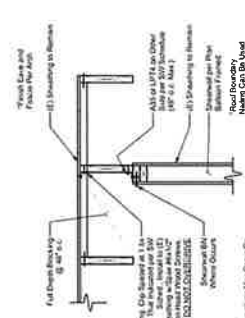
SECTION



② SHEAR TRANSFER AT EXISTING ROOF

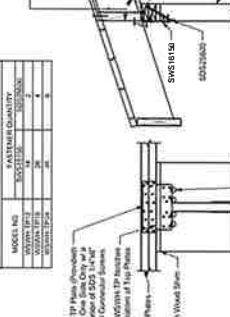


2000 CITIZENS & LEADERSHIP SURVEY

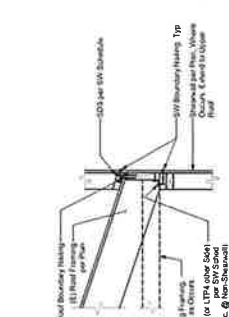


② SHEAR TRANSFER AT (E) GABLE END

MODEL NO	FASTENER QUANTITY	
	BRASS/ST-20	STAINLESS
WSWH-1P12	14	2
WSWH-1P18	20	4
WSWH-1P24	26	6

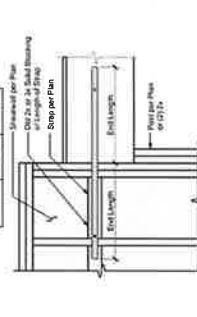


STANDARD TOP CONNECTION

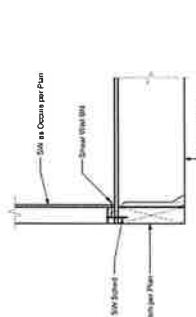


② SHEAR TRANSFER AT FOYER

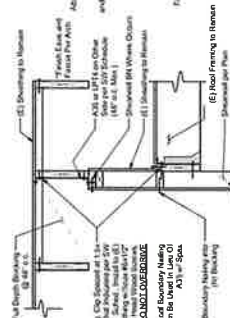
Group	No. of subjects	Final length
CS16	10 F	11.81
CS14	13 F	15.95
CMST16	25 F	20.45
CMST14	17 F	26.65
CMST12	12 F	32.25



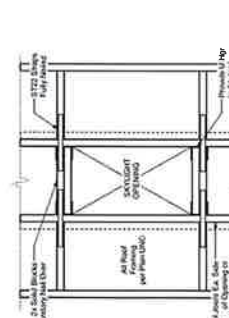
CONFIDENTIAL



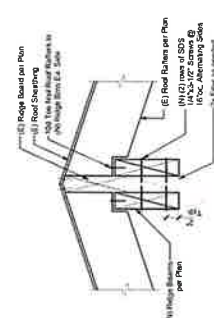
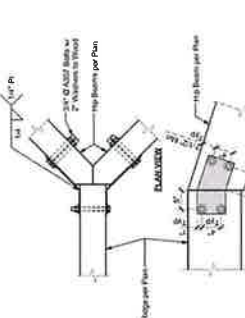
Ⓒ SHEAR TRANSFER: EDGE BEAM AT WALL



12 SHEAR TRANSFER AT (E) GABLE END



44 SKYLIGHT FRAMING

[illegible] HIPS TO RIDGES

47 KING POST TO BEAM

10 NOT USED

© 2001 Blackwell Science Ltd

NOT USED

Attachment B
Preliminary & Final
Color/Materials and Lighting Details

Cooper-Smith Addition
Preliminary ARB Review
March 14, 2024

MATERIALS BOARD

EXTERIOR WALL COLOR TO MATCH EXISTING STUCCO COLOR (tan)

EXTERIOR WALL FINISH TO MATCH EXISTING STUCCO FINISH (sand)

(Existing Stucco Wall)



EXTERIOR LIGHT FIXTURES

FRONT OF HOUSE:

LIFUN Outdoor Wall Light Fixtures Wall Mount, 1-Light
15.35"H Black Exterior Wall Sconce Porch Lantern with
Die-Casting Aluminum Frosted Glass for Outside House
Lighting(Large) for front; 12.2"H for back yard patio



Attachment C
Site Photographs

Cooper-Smith Addition
Preliminary ARB Review
March 14, 2024

PHOTOS

Sterling Avenue, #1314 behind street car on left



1314 Sterling Avenue



1314 Sterling Avenue



1322 Sterling Avenue (neighbor to east)



1313 Sterling Avenue (neighbor to west)



1314 Sterling Avenue back yard



ACTION MINUTES

The meeting was called to order at 5:31 p.m. by Chair Stein.

ROLL CALL

Boardmembers present: Brad Stein, Chair
Amy Blakemore, Vice Chair
Richard Johnson
Richard Little

Boardmembers absent: Patrick O'Connor

OTHERS PRESENT: Approximately 9 members of the public were in attendance.

PUBLIC COMMENT: Several members of the public were in attendance that were anticipating a meeting of the Tree Advisory Board and wanted to make public comments regarding trees. Staff and the Chair clarified that this meeting was for the ARB and provided direction for the interested members of the public to contact the City Clerk to determine when the next Tree Advisory Board meeting will be scheduled.

PROJECT REVIEW

- 1) Project: Lindamar Comprehensive Sign Program, Project 23-2266-ARB/SIGN
Address: 888-892 Linden Avenue
Applicant: Eric Newman, Dave's Signs, for Jaeger Partners, Owners
Planner: Brian Banks

Request of Eric Newman, agent, for Jaeger Partners, to consider Project 23-2266-ARB/CDP for preliminary review of a comprehensive sign program for the existing multi-tenant commercial building located at 888-892 Linden Avenue. The property is a 6,970 square foot parcel zoned Central Business District (CB) with Visitor-serving Commercial Overlay (V) shown as APN 003-263-015, addressed 888-892 Linden Avenue.

Ex Parte Communications Disclosure: None.

Staff Comments: Brian Banks provided a presentation and described the proposed planned sign program elements and plan images of each proposed sign. Mr. Banks described the CMC sign regulation development standards for each sign type and the required elements which must be included in a planned sign program project. Mr. Banks also provided a brief summary of the history of the building and noted that the building qualifies as a significant historic resource under CEQA and the City's General/Coastal Plan policies. Mr. Banks noted that the proposed sign program appears to meet all the required CMC standards and asked the ARB for their comments related to the architectural review standards in following issue areas:

- Proposed signage types, sizes, locations, design/constructions, materials, colors and lighting;
- Cumulative amount of signage allowed on individual tenant frontages and overall building;
- Relationship of proposed signage standards to individual building architecture/identity; and
- Overall clarity, usability and specificity of proposed sign program.

Applicant Comments: Eric Newman, agent for the project, did not provide a presentation but was available to answer questions from the ARB. Mr. Newman answered questions from the Board regarding the proposed bullet lighting wattage/lumens and color temperature.

Public Comments: None.

Boardmember Discussion:

Boardmember Johnson expressed his overall support for the project, indicating “it is a great proposal” and that the applicant did a good job of covering the different types of signs available to future tenants. He further related that the colors were “great” and that the proposed lighting is fine if it is directed towards the tenant signs and not directed to the parking lot or to create lighting “hot spots.” Boardmember Johnson also expressed support for the proposed painted wall signs.

Vice Chair Blakemore agreed with Boardmember Johnson’s comments and indicated the proposed sign plan is a “great addition to the building.” Vice Chair Blakemore’s only concern was that there be consistency with the proposed lighting and rather than the proposed light fixtures being optional, commenting to the applicant “if you are going to do the lights; do all the lights” and “if you are not going to do all the lights; don’t do the lights.” She further commented that the proposed lights are acceptable in the downtown setting since there are no impacts to nearby residents. Vice Chair Blakemore concluded with comments that the colors and scale are acceptable, and that she appreciates the improvements to the building that are taking place.

Boardmember Little commented that he liked the standardized signs and agreed with Vice Chair Blakemore’s comments that the lights should all be the same. He further commented that the proposed bullet style fixtures are “a little too modern” and that the applicant should propose a more traditional fixture considering the historic character of the building. Boardmember Little concluded his comments by stating that the proposed sign program is a “good addition” that “fits the building well.”

Chair Stein agreed with Boardmember Little’s comments and provided a brief history of his recollection of the building and changes over time. He expressed his overall support for the proposed sign plan; however, he expressed concern that the lighting should not be too bright and that it be just enough to “catch your eye from the sidewalk,” or from the back of the building.

ACTION: Motion by Chair Stein, seconded by Vice Chair Blakemore, to recommend preliminary approval with the condition that the light fixture be modified to be more historically compatible, and that the lighting wattage/lumens be reduced.

VOTE: 4-0 (Boardmember O’Connor Absent)

- 2) Project: Coeler New Duplex Concept, Project 23-2234-DP/CDP/ARB
Address: 4934 Dorrance Way
Applicant: Dylan Chappell, architect, for Peter and Barbara Coeler
Planner: Brian Banks

Request of Dylan Chappell, architect, for Peter and Barbara Coeler, to consider Project 23-2234-DP/CDP/ARB for preliminary review of a proposal for a new 2,120 square foot two-story duplex

with a maximum height of 23.25 feet and two attached garages totaling 533 square feet, for a total size of 2,772 square feet. The property is a 5,582 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-440-010, addressed as 4934 Dorrance Way.

Ex Parte Communications Disclosure: Chair Stein disclosed that his family used to own the property but he has no current financial interest in the property.

Staff Comments: Brian Banks provided a presentation and described the overall scope of work. Mr. Banks reminded the ARB members that they had reviewed this project, along with a project across the street at 4949 Dorrance Way and at 333 Linden Avenue, at a conceptual level on December 15, 2022. Mr. Banks reminded the ARB members that the subject site is located in the Beach Neighborhood that is vulnerable to future Sea Level Rise, although not within Zone 1 or Zone 2. Mr. Banks described the changes to the project in response to the ARB's conceptual review comments and noted that while the driveway has been reduced in width to no longer require a modification, the applicant is still seeking a modification to allow backing-out onto Dorrance Way and for encroachment of a portion of the residence entry into the required front setback. Mr. Banks noted that the design has changed from a Spanish/Mediterranean style to a Coastal Craftsman style in response to the ARB's previous concerns that all three of the previously-reviewed designs (333 Linden, 4934 Dorrance and 4949 Dorrance) in the Spanish/Mediterranean style may not be compatible with the Beach Neighborhood. He went on to describe the story pole installation and provided photographs of the installed poles from various viewing locations in the presentation. Mr. Banks also noted the updates to eliminate the balcony wall in favor of a more transparent railing design to reduce the apparent massing; noted the use of high windows on the west elevation to reduce potential privacy impacts; lowering of the second-floor plate height, and noted the revisions to the street facing garage design and side elevations to offset the second story massing. Mr. Banks advised that staff was less supportive of the requested front setback modification for this project as opposed to the project at 4949 Dorrance Way because the applicant is requesting habitable portions of the structure within the front setback as opposed to just the entry tower element. Finally, Mr. Banks presented the hardscape and landscape plan and noted the inclusion of a decomposed granite strip on the street shoulder to address pedestrian safety and line of site, and to provide additional room for street parking. Mr. Banks concluded his presentation and asked the ARB for their comments related to the architectural review standards in following issue areas:

- Proposed architectural style and overall design;
- Requested front setback and backout modifications as related to neighborhood compatibility;
- The architectural details and color scheme;
- The street frontage design;
- Compatibility with the beach neighborhood and "small beach town" character;
- Project exterior lighting; and
- Project landscape and hardscape design.

Applicant Comments: Mr. Chappell noted that he would return with a more detailed landscape plan for final review. He went on to explain the rationale for the siting of the duplex on the lot relative to the setbacks and in relation to the adjacent residences; and how the window locations and balcony were purposefully designed to respect neighbor privacy. Finally, Mr. Chappell discussed the landscape plan and the desire to create a larger private backyard area for the project and answered questions from the ARB members related to finish floor elevation, flood hazard/sea level rise, and the project plate heights and roof design.

Public Comments:

Mona Duarte, who resides immediately to the west at 4922 Dorrance Way expressed concerns with view and privacy impacts of the proposed project and questioned why duplexes cannot be designed as single-story with one in front of the other, rather than two stories, and that the neighborhood is made up of single-family homes. Ms. Duarte further expressed concerns with parking in the beach neighborhood and that the site cannot accommodate the number of cars that would result from the tenants that would reside in the duplex. Ms. Duarte questioned if the hedge would remain and why the duplex could not be sited farther back on the lot. She concluded her comments by requesting that the applicant team work with her to come to an agreement on how her concerns can be addressed.

Patty DeVally, who resides directly across the street at 4935 Dorrance Way, expressed similar concerns as Ms. Duarte. She commented that her property is surrounded by two-story duplexes and by approving a two-story duplex directly across the street, she would lose her mountain view and privacy. Ms. DeVally further expressed concern with the architectural style and that it is not “beachy.” She concluded that she doesn’t mind progress, just not this proposed design.

Theresa Simber, who resides across the street at 4921 Dorrance Way, expressed similar concerns as Ms. Duarte and Ms. DeVally. She specifically noted that the garage looks too close to the street; the story poles look too high; and that the structure should be moved back on the lot. She also expressed concerns about parking and pedestrian safety as a result of the project.

Boardmember Discussion:

Boardmember Little commented that the proposed design results in a large distance from the duplex to the back yard and that a patio door from the rear of the lower unit to the backyard would better integrate the backyard area into the project. Boardmember Little also commented that if the entry was moved further back to where the currently proposed covered patio is located on the west side, it would offer better use of the proposed entry area as an office or some additional space. He concluded his comments by noting that he liked the architectural style very much.

Vice Chair Blakemore commented that she could support the requested modification to allow backing out to Dorrance and to allow the entry tower to be located within the front setback. She agreed with Boardmember Little that a door to the backyard would allow for better integration with the backyard space. She encouraged the applicant to explore moving the duplex back on the lot to help offset the location with Ms. Duarte’s house and to lessen the view and privacy impacts for Ms. DeVally across the street. She further commented that the side entrance needed some additional visual cues from the landscape or hardscape to clarify where the first-floor unit entry is located. Vice Chair Blakemore concluded her comments by noting that the landscape plantings were “thin” and that additional plantings are needed, especially on the east side, to soften the architecture.

Boardmember Johnson agreed with Vice Chair Blakemore’s comments. He noted that the second story element is located an appropriate distance from the street and appreciated the high windows to help mitigate privacy concerns, and noted that the property line landscaping will help. He suggested that additional landscaping is needed on the east side since once the existing vegetation along the shared property line with The Spot is removed, the site will be very visible from Linden Avenue. He concluded that the colors, garage doors, and hardscape materials are all appropriate.

Chair Stein commented that there is room on the lot to move the duplex back, and asked the applicant to find a way to move the structure back 5 feet to help with the concerns of the neighbors. Chair Stein concluded his comments by noting that he appreciated the relatively low height, and that the overall design is acceptable.

ACTION: Motion by Boardmember Johnson, seconded by Boardmember Little, to recommend to recommend Preliminary approval with comments to the Planning Commission attached.

VOTE: 4-0 (Boardmember O'Connor Absent)

- 3) Project: Coeler New Duplex Concept, Project 23-2233-DP/CDP/ARB
Address: 4949 Dorrance Way
Applicant: Dylan Chappell, architect, for Peter and Barbara Coeler
Planner: Brian Banks

Request of Dylan Chappell, architect, for Peter and Barbara Coeler, to consider Project 23-2233-DP/CDP/ARB for preliminary review of a proposal for a new 1,970 square foot two-story duplex with a maximum height of 23.67 feet and two attached one-car garages totaling 341 square feet, for a total size of 2,311 square feet. The property is a 4,500 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-440-026, addressed as 4949 Dorrance Way.

Ex Parte Communications Disclosure: Chair Stein disclosed that his family used to own the property but he has no current financial interest in the property.

Staff Comments: Brian Banks provided a presentation and described the overall scope of work. Mr. Banks again reminded the ARB members that they had reviewed this project, along with a project across the street at 4934 Dorrance Way and at 333 Linden Avenue, at a conceptual level on December 15, 2022. Mr. Banks noted that unlike the project at 4934 Dorrance Way that was changed to a Craftsman style, this project has remained as a Spanish/Mediterranean style. Mr. Banks also reminded the ARB members that the subject site is located in the Beach Neighborhood that is vulnerable to future Sea Level Rise, although not within Zone 1 or Zone 2. Mr. Banks described the changes to the project in response to the ARB's conceptual review comments, especially related to lowering the entry tower, lowering of the second-floor plate height, and minimizing the visual presence of the garage doors. He noted that while the driveway has been reduced in width to no longer require a modification, the applicant is still seeking a modification to allow backing-out onto Dorrance Way and for encroachment of a portion of the residence and the entirety of the entry into the required front setback. He went on to describe the story pole installation and provided photographs of the installed poles from various viewing locations in the presentation. Mr. Banks also noted the updates to eliminate the balcony wall in favor of a more transparent railing design to reduce the apparent massing; noted the use of high windows on the east and south elevation to reduce potential privacy impacts, and noted the revisions to the street-facing garage design and side elevations to offset the second story massing. Finally, Mr. Banks presented the hardscape and landscape plan and noted the inclusion of a decomposed granite strip on the street shoulder to address pedestrian safety and line of site, and to provide additional room for street parking. Mr. Banks concluded his presentation and asked the ARB for their comments related to the architectural review standards in following issue areas:

- Proposed Spanish/Mediterranean architectural style and overall design;
- Requested front setback and backout modifications as related to neighborhood compatibility;
- The architectural details and color scheme;
- The street frontage design;
- Compatibility with the beach neighborhood and “small beach town” character;
- Project exterior lighting; and
- Project landscape and hardscape design.

Applicant Comments: The project architect, Dylan Chappell, provided a detailed explanation as to the request for the front setback modification in relation to other structures in the immediate neighborhood and how it is appropriate to line up all of the structures along the street so that the open rear yards are also aligned to create private outdoor spaces for everyone. He also noted that pushing the structure back increases the amount of paving for the driveway. He agreed that this project, like the 4934 Dorrance Way project, should have a door from the lower unit to the backyard.

Public Comments: The Chair asked if the previous public commentors for the 4934 Dorrance Way project (Mona Duarte, Patty DeVally, and Theresa Simber) had any additional or unique comments for this project. They indicated that their comments were the same for this project.

Boardmember Discussion:

Boardmember Johnson asked for clarification on the height calculation relative to finished floor and existing grade. Staff and the applicant confirmed that the overall height would be approximately 24 feet-6 inches from existing grade. He commented that he can support the requested setback modification and liked the offsetting projections along the street elevation with the entry set forward and garage doors set back. Boardmember Johnson noted that the proposed one-bedroom unit has more of a two-bedroom floor plan, but noted that is a planning issue rather than an ARB issue. He supported the Mediterranean design but noted the rear elevation could use some “help” and there is an opportunity to improve the look of the building from the backyard, along with providing a more developed landscape plan which would help soften the exterior appearance. Boardmember Johnson cautioned the applicant that the color should be muted and not “white-white,” and should have a lower light reflective value. Finally, he advised the applicant that the roof tiles should have a terra cotta color rather than a bright orange color.

Boardmember Little commented that he appreciated the applicant agreeing to provide a door from the lower unit directly to the backyard. He also appreciated the applicant providing the exhibit of the front setback alignment of neighboring structures and expressed support for the front setback modification rather than pushing the duplex further back on the lot. Boardmember Little commented that the architectural style and size of the duplex is acceptable, and agreed with Boardmember Johnson that the color should not be bright white.

Vice Chair Blakemore commented that the landscape plan should be more developed, and the number of olive trees should be reduced. She was supportive of the requested front setback modification since the structure meets the 20 ft. from property line requirement, although not the 50 ft. from street centerline requirement. She commented that the side entry to the lower unit should have more articulation and should be more clearly designed as the primary entry to the unit. Vice Chair Blakemore concluded that the front elevation was well executed and overall, it is a nice project.

Chair Stein agreed with Boardmember Johnson's comments regarding the color needing to be muted, and the roof tile being more of a terra cotta color as opposed to orange. He agreed with the applicant that it would be better to support the setback modification rather than pushing the structure back on the lot to preserve the alignment of the open back yards with the neighboring properties. Chair Stein concluded his comments by requesting that the applicant study the second-floor bedroom window on the west elevation to determine if it can be raised to reduce potential privacy impacts on the neighbor.

ACTION: Motion by Boardmember Johnson, seconded by Vice Chair Blakemore, to recommend Preliminary approval with comments to the Planning Commission attached.

VOTE: 4-0 (Boardmember O'Conner Absent)

OTHER BUSINESS: None.

CONSENT CALENDAR: None.

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None.

MATTERS PRESENTED BY BOARDMEMBERS/STAFF: Senior Planner Syndi Souter presented proposed revisions to the Story Pole Procedures to the ARB and requested their feedback and comments. Ms. Souter advised that the Story Pole Procedures are being revised to clarify that blue flags are no longer allowed and that contrasting colored ribbons, flags, or construction safety mesh (e.g. neon pink, orange or red) shall be required to ensure the installed poles are clearly visible. She further clarified that the type of flags should be noted on the story pole plan, and that any guywires required for the story pole installation shall not be anchored to trees or other vegetation. The Board did not have any comments and supported the requested revisions.

ADJOURNMENT

Chair Stein adjourned the meeting at 7:56 p.m. to the next scheduled meeting to be held at 5:30 pm on Thursday, February 29, 2024. All Boardmembers present indicated they expect to be in attendance.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board