



Architectural Review Board Meeting Agenda

Thursday, January 26, 2023 at 5:30 p.m.
City of Carpinteria, Council Chamber
5775 Carpinteria Avenue, Carpinteria, CA 93013

In-Person Meeting

Attendance:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave).

Public Comments:

- Provide a live public comment during the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item.
- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to the Architectural Review Board by **12:00 P.M. on the day of the meeting** by either submitting your comment via (1) email to PublicComment@carpinteriaca.gov, or (2) the **eComment** link on the City's agenda website (<https://carpinteriaca.gov/city-hall/agendas-meetings>). Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

As the situation with COVID-19 continues to evolve, the City will provide updates on any changes to this policy as soon as possible. The public is referred to the City's website at www.carpinteriaca.gov for the latest COVID-19 policies and information. The City of Carpinteria thanks you in advance for taking all precautions to prevent spreading the COVID-19 virus.

Architectural Review Boardmembers:

Brad Stein, Chair
Amy Blakemore, Vice Chair
Richard E. Johnson
Patrick O'Connor
Jim Reginato

CALL TO ORDER

ROLL CALL

PUBLIC COMMENT

This is a time for public comments on matters not otherwise on the agenda but within the subject matter jurisdiction of the Architectural Review Board. Comments shall be limited to 15 minutes, divided among those persons desiring to speak, but no person shall speak longer than five minutes. Persons wishing to speak on a specific item will be recognized at the time the agenda item is considered.

The City is not responsible for the content of statements made during the public comment period, or the factual accuracy of any such statements.

PROJECT REVIEW

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of ex parte communications
- Staff presentation
- Applicant presentation
- Public comment
- Review by ARB
- Recommendation by ARB

1. Project: City of Carpinteria Storage Building, Project 22-2194-DP/CDP
Address: 5775 Carpinteria Avenue
Applicant: Matt Roberts, Director of Parks, Recreation, and Public Facilities
Planner: Syndi Souter

Request of Matt Roberts, Director of Parks, Recreation, and Public Facilities, agent for the City of Carpinteria, to consider project 22-2194-DP/CDP for preliminary review of a request to construct a new 1,500 square-foot storage building with a maximum height of 15-feet on the city hall campus. The property is a 4.81-acre parcel zoned Community Facility (CF) and shown as APN 001-170-018, addressed as 5775 Carpinteria Avenue.

OTHER BUSINESS

CONSENT CALENDAR

2. Action Minutes of the Architectural Review Board Meeting of December 15, 2022

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL

MATTERS PRESENTED BY STAFF

MATTERS PRESENTED BY BOARDMEMBERS

ATTENDANCE OF BOARDMEMBERS FOR THE NEXT MEETING

ADJOURNMENT

The next regular Architectural Review Board meeting will be held on Thursday, February 16, 2023.

NOTES

For those projects that do not require Planning Commission approval, recommendations for preliminary approval by the Architectural Review Board will be forwarded to the Community Development Director for a decision. Those Community Development Director decisions that are appealable pursuant to CMC §14.12.020(2) may be appealed to the Planning Commission. Appeals must be filed with the City Clerk within 10 calendar days of the Director's action.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community Development Department at (805) 755-4410 (LorenaE@carpinteriaca.gov) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on Thursday, January 19, 2023 in the Community Development Department, on the City Hall Public Notices Board, and on the Internet.

**CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of January 26, 2023**

Agenda Item #1

**COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW**

Project: 22-2194-DP/CDP **Planner:** Syndi Souter
Address: 5775 Carpinteria Avenue
APN: 001-170-018
Zoning: Community Facility (CF)
Applicant: Matt Roberts, Director of Parks, Recreation, and Public Facilities

Project Review: ☐ Conceptual
☒ Preliminary
☐ Final

PROJECT DESCRIPTION

This is the preliminary review of a request to construct a new 1,500 square-foot storage building with a maximum height of 15-feet on the City Hall property. The project would include new landscaping and hardscape in the vicinity of the proposed structure.

Proposed preliminary plans are attached as Exhibit A.

PROJECT SETTING

The project site is located on the west end of the City Hall campus in an open area between the western parking lot and the existing Public Works building/yard. The project will encompass approximately 3,500 square feet of the 4.81-acre City Hall property. An existing lawn area and four trees are presently located on the project site and would be removed/relocated to accommodate the project: a persimmon tree, a pepper tree, and two small lemon trees. An avocado tree located north of the project site would need to be trimmed back by approximately five feet on the south side to accommodate the proposed structure.

The project site is located in the Bluffs Area 0 Neighborhood, which is approximately 62 acres in size and is developed with the City Hall campus and the neighboring (former) Carpinteria oil and gas plant. Immediately adjacent to the subject property is the Tee Time driving range to the east, a storage yard and industrial uses to the west, the Chevron property to the south, and Carpinteria Avenue and U.S. Highway 101 to the north.

The site is zoned Community Facility (CF) District and has a Public Facility (PF) land use designation. The project site is subject to the Coastal Appeals (CA) overlay.

PROJECT ANALYSIS

Carpinteria Municipal Code (CMC)

Title 14, Zoning

The project site is located in the CF zone district (CMC §14.34). Permitted uses in the CF zone district include governmental buildings and structures, such as the proposed storage building, subject to approval of a Development Plan and Coastal Development Permit. The following table identifies the project's conformance with the applicable Municipal Code requirements:

Standard	Requirement/Allowance	Proposal
Setbacks		
Front	45 feet from centerline of street or 15 feet from property line, whichever is greater.	235 feet from the centerline; 190 feet from the front property line
Side & Rear	Half the height of such portion of the building. (7.5 feet min.)	10 feet
Height	30 feet max.	15 feet
Building Coverage	40% max. (83,809 square feet)	11% (~22,770 square feet, including existing City Hall buildings)
Landscaping	20% min. (41,905square feet)	~34% (~71,833 square feet)
Distance between Buildings	½ the height of the tallest of the two buildings (10 feet)	10 feet
Parking	0 spaces*	0 spaces*

*See Parking Discussion below.

Parking Discussion

The proposed storage building would be used solely for storage, and would not contain any new office or work space areas. As such, the structure is considered an accessory structure on the City Hall campus and would not generate demand for new parking spaces. Therefore, no new parking spaces are proposed to serve the storage building.

Design Review

The proposed storage building would be a pre-manufactured steel structure assembled on-site. The building would have an open-gable metal roof with the roof ridge running in an east-west direction. The walls and doors are proposed to be dark brown and the roof would be green with skylights (see Sheet 2.2A). The walls would have a plate height of 10.5 feet. The wall panels

would have vertical creases every 12-inches, and the roof panels would appear to be standing seam with creases every 12-inches. The north elevation, facing Carpinteria Avenue, would be a solid wall with no windows or doors. Two roll-up doors would be located on the south elevation, and a man-door would be located on the east elevation.

New landscaping is proposed in the vicinity of the structure. Groundcover would be provided by wood chips and Silver Carpet (*Dymondia margaretae*), with Hummingbird Sage (*Salvia spathacea*) in new planters on the north and east sides of the building. Three new Western Red Bud (*Cercis occidentalis*) trees would be located on the east side of the building along the driveway. A new concrete sidewalk would be constructed along the east side of the building, with two new driveways on the south side of the building in front of the roll-up doors. The proposed landscaping plan can be found on Sheet 2B in the attached plan set.

The Board's comments on the proposed architectural style, detailing, colors, and landscaping/hardscape would be appreciated.

General Plan/Coastal Plan Policies

The project site has a General Plan/Local Coastal Plan designation of Public Facility (PF). The City's Community Design Element of the General Plan contains both general over-arching policies and specific subarea policies. The project site is in Design Subarea 6 (The Bluffs area 0).

Citywide Community Design Element Objectives & Policies

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the city.*

The proposed storage building would be utilitarian in nature, and the prefabricated metal building materials would visually identify the building's use. The structure would be located adjacent to the existing Public Works building, which is approximately 20-feet tall with vertical wooden siding and a brown roof. With the exception of the main City Hall building, other structures in the vicinity, both on the property and on surrounding adjacent properties, have exterior finishes of stucco, wood, metal, or CMU block. The proposed metal storage building would be architecturally consistent with other buildings in the vicinity.

Objective CD-11: *Existing public spaces should be maintained, and new public spaces should be incorporated into neighborhoods and districts as an important aspect of their design.*

Policy CD-11c. *All public spaces and facilities should reflect quality design.*

The design of the proposed storage building is very simple, with minimal details or architectural features. The proposed colors, comprised of a brown body and doors with a green roof, are classic colors for an outbuilding. The design of the storage building is suitable for the location and purpose.

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photo-pollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

The proposed exterior light fixtures would be the black “goose-neck” design that is popular throughout Carpinteria. The building would have a total of five exterior lights: three on the south side by the garage doors, one by the man-door on the east side, and one at the northwest corner for security. The proposed fixture is shown on Sheet E-1 of the plans.

The Board should comment on the proposed exterior light fixtures.

Objective CD-14: *Protect and preserve natural resources by reducing energy consumption.*

Policy CD-14a: *To ensure the effective utilization of energy resources, design measures shall be incorporated into project design that allow for development projects to comply with and exceed the minimum energy requirements of the City’s Uniform Codes.*

CD-14-Implementation Policy 7: *Building orientation shall be designed to maximize natural lighting and passive solar heating and cooling.*

CD-14-Implementation Policy 8: *Landscaping shall be designed to maximize the use of native drought-tolerant species and deciduous trees to shade buildings in summer and allow for passive solar heating in winter.*

The proposed storage building would need to comply with the 2022 California Building Codes, including Title 24 and other energy conservation requirements. The skylights, located along the east-west roof ridge, would allow sunlight into the storage building during the day when it would be used the most by City Staff, which could help to eliminate the need to turn on the interior lights. The landscaping consists of a palette of drought-tolerant plants that would conserve water, and the proposed Western Red Bud trees are deciduous.

Community Design Element Subarea 6 Objectives & Policies

Objective CDS6-2: *Ensure that development is controlled to avoid impacts to significant viewsheds, vistas, and view corridors.*

Policy CDS6-b: *Development on the Bluffs shall not obstruct existing view corridors of the ocean and bluff top edge. In addition, views of the ocean and mountains for users of the*

Carpinteria Bluffs Nature Park and coastal trail(s), for bluffs area property owners and visitors, and for passing motorists, shall be maintained.

CDS6-Implementation Policy 57: *New structures shall be low intensity, and reflect the low-rise, small-town feel of the surrounding area. New structures shall be designed to blend into the site and the rest of the city.*

CDS6-Implementation Policy 58: *All structures, including ancillary structures, shall be appropriately placed so as to minimize their obtrusiveness, and to maintain existing view corridors. Existing views from Bailard Avenue, Carpinteria Avenue, and U.S. 101 to the ocean shall be preserved.*

CDS6-Implementation Policy 61: *Buildings should not turn their backs completely to the freeway, Carpinteria Avenue, or other adjacent street(s). Regardless of their orientation, buildings that are visible from the freeway, Carpinteria Avenue, the Bluffs Nature Park, Bluffs area trails, or bluff top view points, are to be designed to provide the same level of architectural detail on elevations visible from these areas as on other elevations of the building.*

The proposed storage building would not impact public views of the ocean or bluffs due to its location in an area far back from the street and that is surrounded by tall trees and other vegetation. The structure would blend in to the rest of the Public Works portion of the City Hall campus. The rear of the structure would face Carpinteria Avenue, which would consist of a solid wall with a landscaped planter in front. The purpose of the building is for storage, so additional windows or doors could interfere with the security of the structure. As such, staff feels that the storage building as proposed is adequate for the building's purpose and location, although larger and/or additional landscaping along this elevation could help to further soften views of the building from elsewhere on the city hall campus and from Carpinteria Avenue.

Policy CDS6-e. *Exterior and interior lighting of development projects shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers, and to minimize halo and spillover effects.*

As discussed previously, the proposed exterior light fixtures appear to be hooded, shielded, oriented downward and night-sky friendly.

Policy CDS6-f: *To ensure the efficient utilization of energy resources, design measures shall be incorporated into project design that allow for development projects to exceed the minimum energy requirements of the city's Uniform Codes:*

- 1. Building orientation shall be designed to maximize natural lighting, passive solar heating, and cooling;*
- 2. Landscaping shall be designed to maximize the use of native drought tolerant species and deciduous trees to shade buildings in summer and allow for passive solar heating in winter;*
- 3. Energy efficient street lighting shall be used, with consideration of safety, visual impacts, and impacts to wildlife and sensitive habitat;*

4. *Design of parking facilities shall take into consideration the layout of entrances and exits so as to avoid concentrations of cars or excessive idling.*
5. *Alternatively fueled vehicles are to be used in construction and as fleet vehicles, if feasible and available.*

As discussed above, the proposed storage building would need to comply with the 2022 California Building Codes, including the Title 24 and other energy conservation requirements. The skylights would allow natural light into the storage building during the hours of primary use, which could help to eliminate the need to turn on the interior lights. The landscaping consists of a palette of drought-tolerant plants that would conserve water, and the proposed Western Red Bud trees are deciduous.

SUMMARY OF ISSUES

The Board should comment on the following issue areas:

- Architectural style;
- Colors and materials; and
- Landscaping/hardscape design.

RECOMMENDATION

The Board should comment on the proposal. If the Board feels the project adequately meets the applicable design criteria, the Board should recommend preliminary approval to the Planning Commission.

ATTACHMENTS

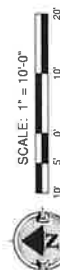
Exhibit A – Preliminary Project Plans

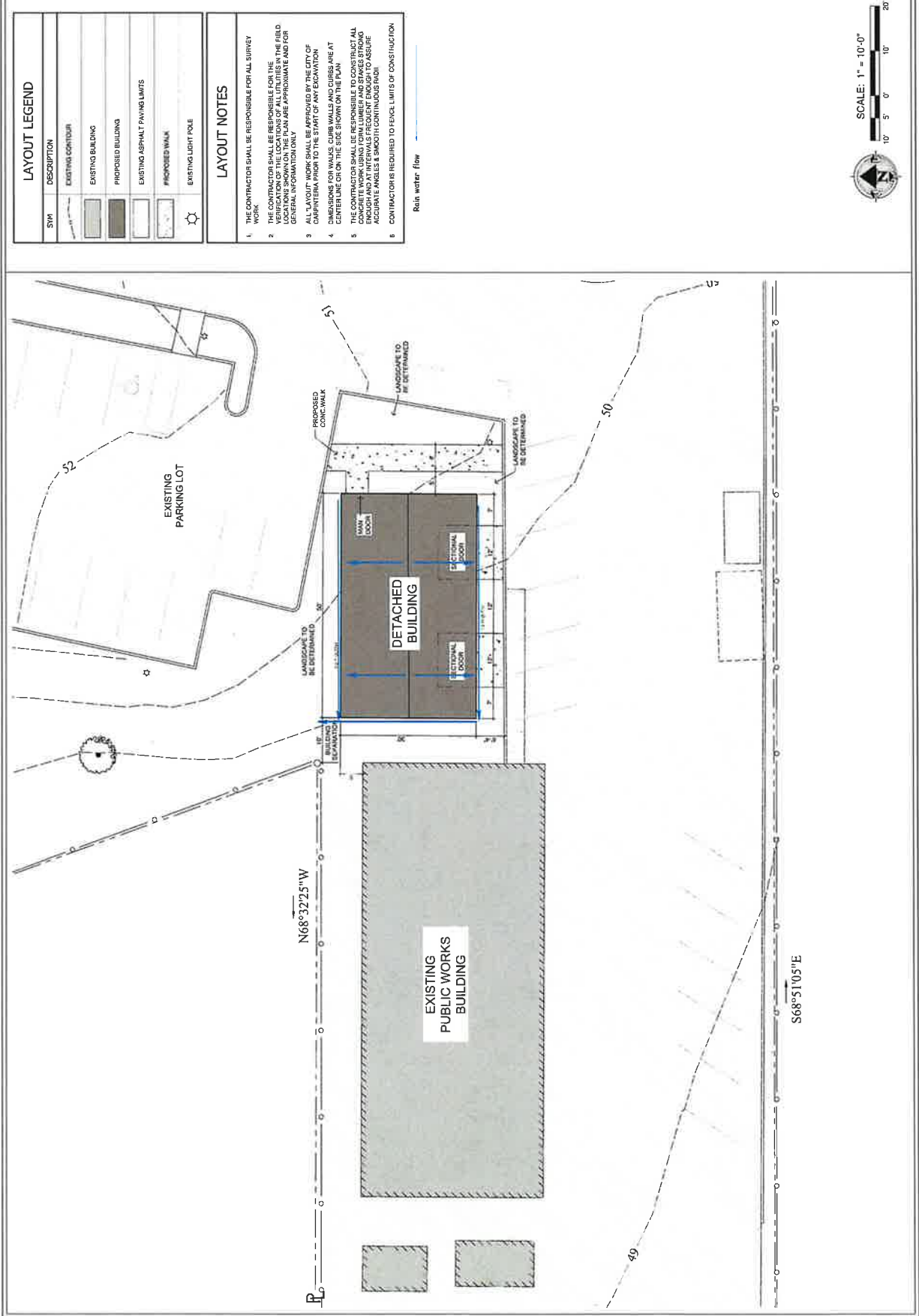
Exhibit A
Preliminary Project Plans

City Hall Storage Building
Preliminary ARB Review
January 26, 2023

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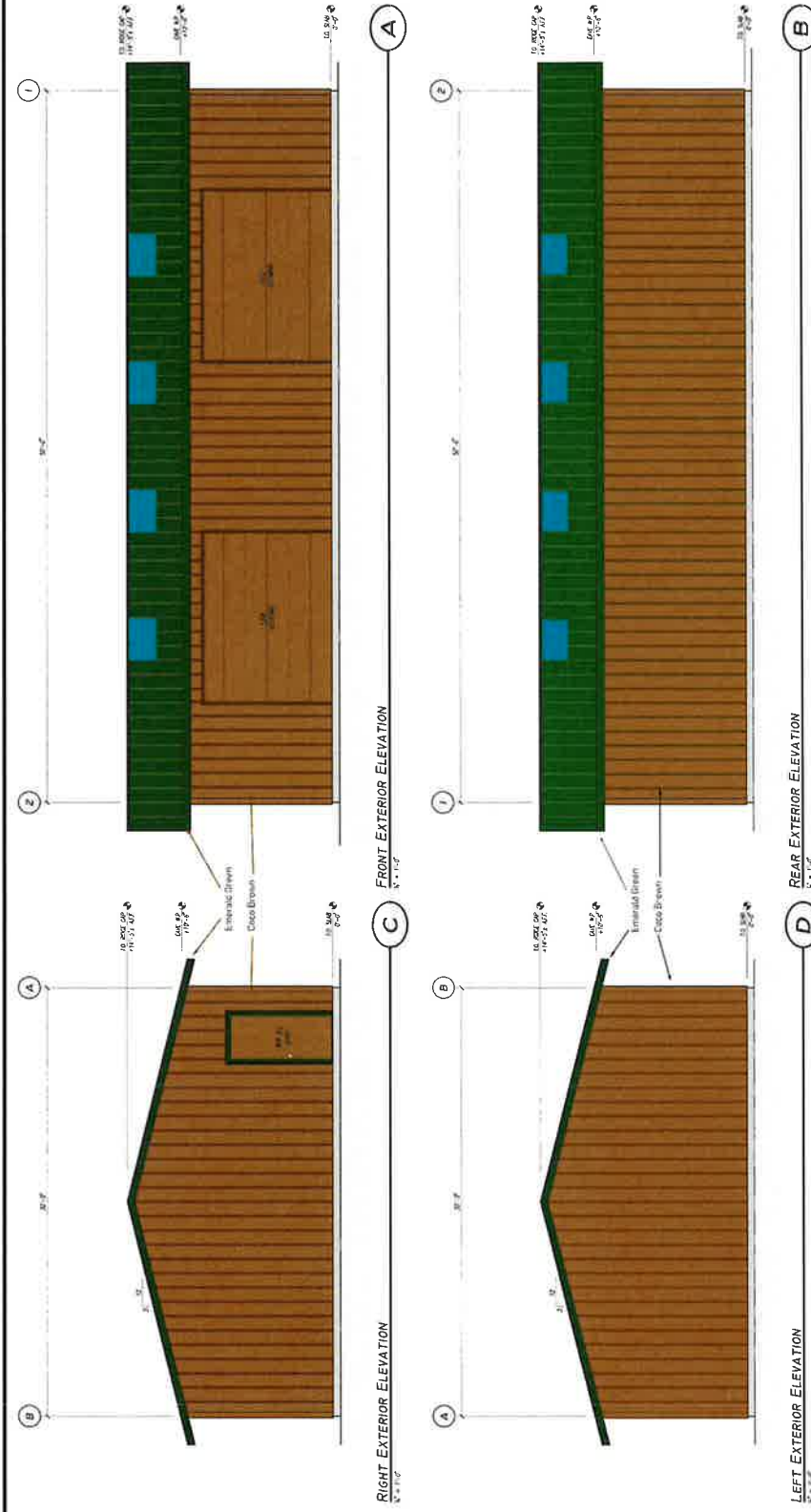




LAYOUT LEGEND	
SYN	DESCRIPTION
	EXISTING CONTOUR
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING ASPHALT PAVING LIMITS
	PROPOSED WALK
	EXISTING LIGHT POLE

LAYOUT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FIELD LOCATIONS SHOWN ON THE PLAN ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL "LAYOUT" WORK SHALL BE APPROVED BY THE CITY OF CARPINTERIA PRIOR TO THE START OF ANY CONSTRUCTION.
4. DIMENSIONS FOR WALLS, CURBS, WALKS AND CURBS ARE AT CENTERLINE UNLESS OTHERWISE SHOWN ON THE PLAN.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF CARPINTERIA PRIOR TO THE START OF ANY CONSTRUCTION.
6. CONTRACTOR IS REQUIRED TO FENCE LIMITS OF CONSTRUCTION.



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SAN JOSE, CA 95126
408.281.0000
www.artisaneengineering.com

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MECHANICAL
LICENSE NO. 5550
EXPIRATION DATE 12/31/2022

PROJECT
CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

APN:
OWNER:
CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

CONTRACTOR
P.W.S. INC.
5000 COUNTRY BLVD.
SAN LUIS OBISPO, CA 93101
PHONE: 805.547.8797
WWW.PWSSTEELBUILDINGS.COM

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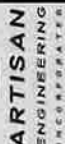
REVISIONS

NO.	DESCRIPTION	DATE
1	PRELIMINARY	2021.12.13
2	SUBMITTAL FOR P.C.	2021.12.13

SUBMITTAL FOR PLAN CHECK

DESIGNED BY	CF
DATE	2021.12.13
PROJECT NO.	
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PROJECT
CARPINTERIA
3775 Carpinteria Avenue
Carpinteria, CA

CITY OF CARPINTERIA
7775 CARPINTERIA AVENUE
CARPINTERIA, CA

CONTRACTOR
B W S INC
8-850705
2290 ORCUTT ROAD
SAN LUIS OBISPO, CA 93101
PHONE 805 547 8797
WWW.PWSSTEELBUILDINGS.COM

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FLOOR PLAN

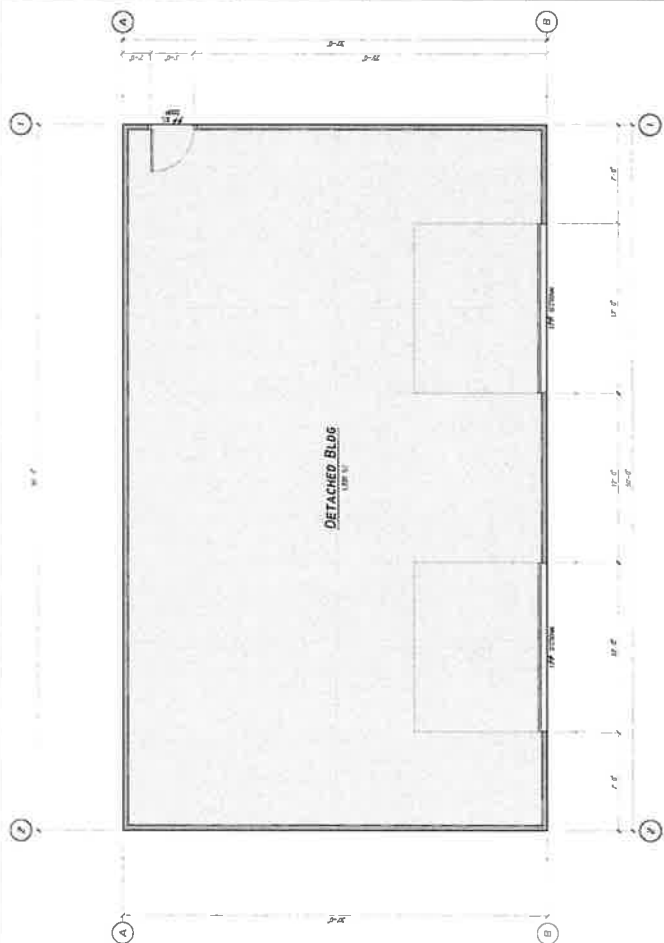
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FLOOR PLAN

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FLOOR PLAN NOTES

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PROJECT
CARPINTERIA
8775 CARPINTERIA AVENUE
CARPINTERIA, CA
94701

OWNER
CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA
94701

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PHONE 805 547 8797
WWW.PHYSSTEELBUILDINGS.COM

DESIGNER
P. H. & S. INC. B-450705
5750 ORCHARD ROAD
SAN LUIS OBISPO, CA 93401
PHONE 805 547 8797
WWW.PHYSSTEELBUILDINGS.COM

DATE
2007.12.13
SUBMITTAL FOR P.C.

REVISIONS
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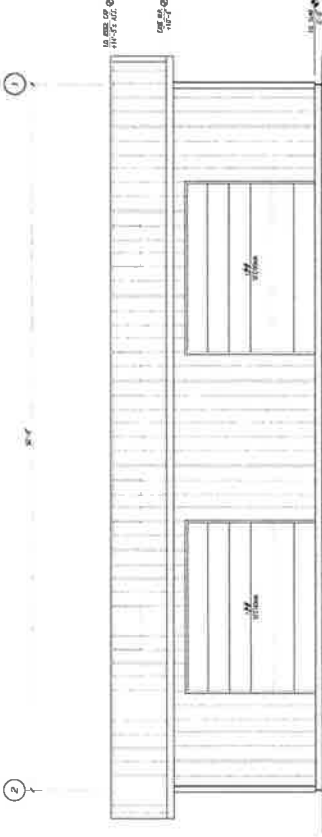
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2. 01/12/08
3. 01/12/08

REVISIONS
1. 01/12/08
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3. 01/12/08

REVISIONS
1. 01/12/08
2. 01/12/08
3. 01/12/08

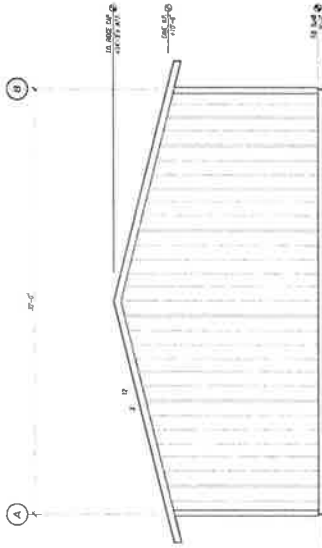
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2. 01/12/08
3. 01/12/08

REVISIONS
1. 01/12/08
2. 01/12/08
3. 01/12/08



RIGHT EXTERIOR ELEVATION
N = 112°

FRONT EXTERIOR ELEVATION
N = 117°



LEFT EXTERIOR ELEVATION
N = 112°



REAR EXTERIOR ELEVATION
N = 112°

**SUBMITTAL FOR
PLAN CHECK**

Drawn By:
Print Date:
Project No.:
Sheet No.:

2.2



**ARTISAN
ENGINEERING
INCORPORATED**

ARTISAN ENGINEERING
INCORPORATED
1000 10TH AVENUE
SUITE 100
DENVER, CO 80202
PHONE: 303.733.1111
WWW.ARTISANENGINEERING.COM



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3. THE USER OF THESE DRAWINGS AGREES TO HOLD ARTISAN ENGINEERING, INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY ARTISAN ENGINEERING, INC. AS A RESULT OF THE USER'S NEGLIGENCE OR MISUSE OF THESE DRAWINGS.

4. THE USER OF THESE DRAWINGS AGREES TO HOLD ARTISAN ENGINEERING, INC. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY ARTISAN ENGINEERING, INC. AS A RESULT OF THE USER'S NEGLIGENCE OR MISUSE OF THESE DRAWINGS.

PROJECT
CARPINTERIA
1775 CARPINTERIA AVENUE
CARPINTERIA, CA

OWNER
CITY OF CARPINTERIA
1775 CARPINTERIA AVENUE
CARPINTERIA, CA

DESIGNER
ARTISAN ENGINEERING, INC.
1000 10TH AVENUE
SUITE 100
DENVER, CO 80202
PHONE: 303.733.1111
WWW.ARTISANENGINEERING.COM

DATE
8-25-2021
500 DOWNTOWN
SAN LUIS OBISPO, CA 95020
PHONE: 805.547.8777
WWW.PHYSSTEELBUILDINGS.COM

REVISIONS
1. SUBMITTAL FOR PERMITS
2. SUBMITTAL FOR PERMITS

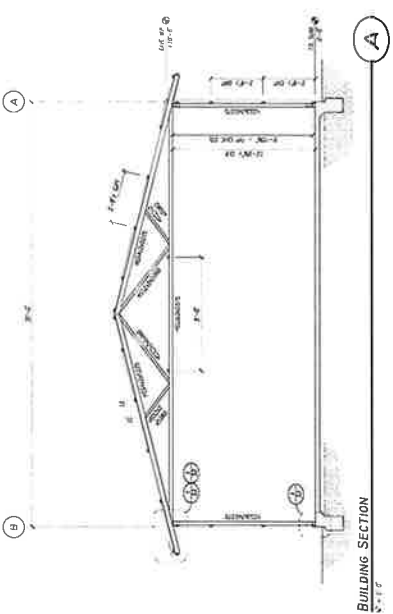
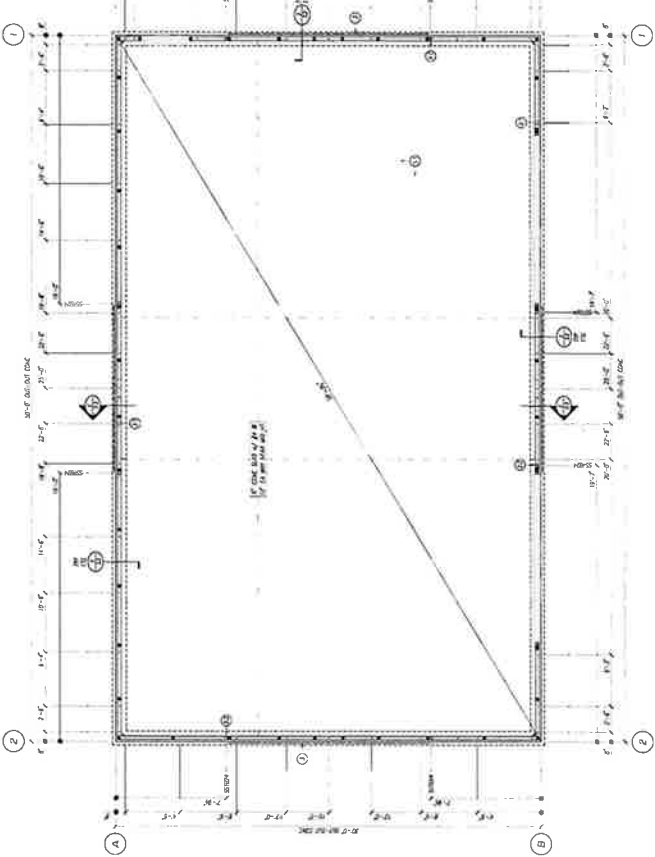
DATE
8-25-2021
500 DOWNTOWN
SAN LUIS OBISPO, CA 95020
PHONE: 805.547.8777
WWW.PHYSSTEELBUILDINGS.COM

DATE
8-25-2021
500 DOWNTOWN
SAN LUIS OBISPO, CA 95020
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500 DOWNTOWN
SAN LUIS OBISPO, CA 95020
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WWW.PHYSSTEELBUILDINGS.COM

REVISION	DATE	BY	CHK
1	8-25-2021	ART	ART
2	8-25-2021	ART	ART
3	8-25-2021	ART	ART
4	8-25-2021	ART	ART
5	8-25-2021	ART	ART
6	8-25-2021	ART	ART
7	8-25-2021	ART	ART
8	8-25-2021	ART	ART
9	8-25-2021	ART	ART
10	8-25-2021	ART	ART



FOUNDATION PLAN

FOUNDATION PLAN KEY NOTES

1. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
2. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
3. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
4. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
5. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
6. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
7. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
8. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
9. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.
10. FOUNDATION SHALL BE 12" MIN. THICK CONCRETE ON 4" MIN. SAND. SEE (A) FOR DETAILS.



1. *What is the purpose of the study?*
 2. *What are the research objectives?*
 3. *What is the research methodology?*
 4. *What are the results of the study?*
 5. *What are the conclusions of the study?*
 6. *What are the limitations of the study?*
 7. *What are the implications of the study?*
 8. *What are the future research directions?*
 9. *What are the contributions of the study?*
 10. *What are the key findings of the study?*

PROJECT
CARPINTERIA
9778 CARPINTERIA AVENUE

ALMA
GARCIA
CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

CONTRACTOR
P W S INC B-050705
5290 DREYFUS ROAD
SAN LUIS OBISPO, CA 93401
PHONE 823.567.8707
WWW.PWSSTEELBUILDINGS.COM

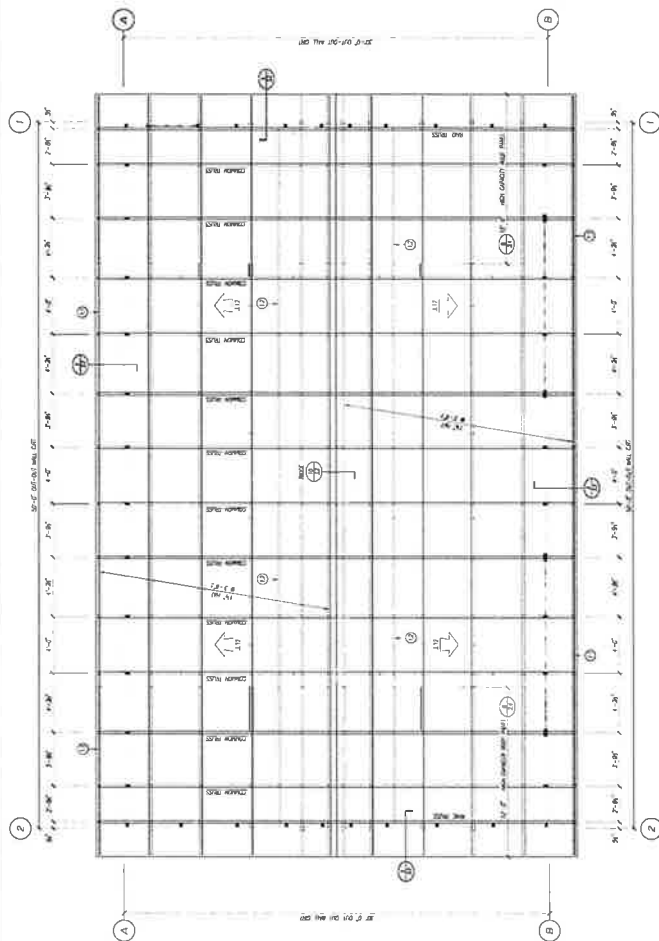
DRAWING TITLE
FOUNDATION PLAN

Q7111415 PMS R100

SUBMITTAL FOR
PLAN CHECK

DRAWN BY	CR
PRINT DATE	2021/12/15
PERMIT NO	
451 N3	

2.4



ROOF FRAMING NOTES

REF: 10 SMITHS 11 A 11 - 11 FOR GENERAL MOUNTS & PAPER DETAILS

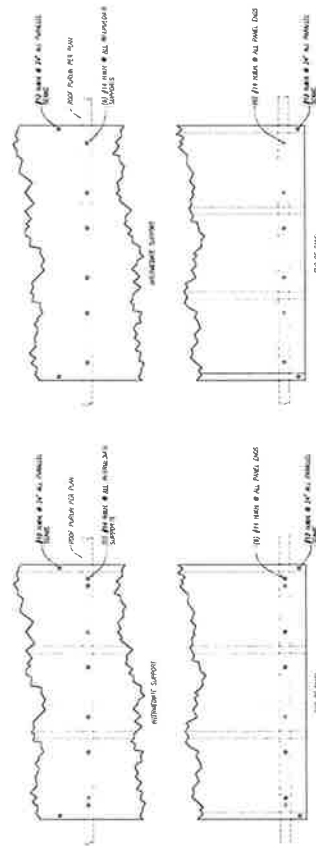
* 442 1965 (2) 60 7/72

1. **SOX SPLITTING & STRUCTURING** IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL. THE PLAN FOR SOX SPLITTING INCLUDES THE FOLLOWING:

- **8-BIT/16-BIT SPLIT** - 16-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **16-BIT/32-BIT SPLIT** - 32-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **32-BIT/64-BIT SPLIT** - 64-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **64-BIT/128-BIT SPLIT** - 128-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **128-BIT/256-BIT SPLIT** - 256-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **256-BIT/512-BIT SPLIT** - 512-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **512-BIT/1024-BIT SPLIT** - 1024-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **1024-BIT/2048-BIT SPLIT** - 2048-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **2048-BIT/4096-BIT SPLIT** - 4096-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **4096-BIT/8192-BIT SPLIT** - 8192-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **8192-BIT/16384-BIT SPLIT** - 16384-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **16384-BIT/32768-BIT SPLIT** - 32768-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **32768-BIT/65536-BIT SPLIT** - 65536-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **65536-BIT/131072-BIT SPLIT** - 131072-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **131072-BIT/262144-BIT SPLIT** - 262144-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **262144-BIT/524288-BIT SPLIT** - 524288-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **524288-BIT/1048576-BIT SPLIT** - 1048576-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **1048576-BIT/2097152-BIT SPLIT** - 2097152-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **2097152-BIT/4194304-BIT SPLIT** - 4194304-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **4194304-BIT/8388608-BIT SPLIT** - 8388608-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **8388608-BIT/16777216-BIT SPLIT** - 16777216-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **16777216-BIT/33554432-BIT SPLIT** - 33554432-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **33554432-BIT/67108864-BIT SPLIT** - 67108864-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **67108864-BIT/134217728-BIT SPLIT** - 134217728-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **134217728-BIT/268435456-BIT SPLIT** - 268435456-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **268435456-BIT/536870912-BIT SPLIT** - 536870912-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **536870912-BIT/1073741824-BIT SPLIT** - 1073741824-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **1073741824-BIT/2147483648-BIT SPLIT** - 2147483648-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **2147483648-BIT/4294967296-BIT SPLIT** - 4294967296-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
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- **8589934592-BIT/17179869184-BIT SPLIT** - 17179869184-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **17179869184-BIT/34359738368-BIT SPLIT** - 34359738368-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **34359738368-BIT/68719476736-BIT SPLIT** - 68719476736-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **68719476736-BIT/137438953472-BIT SPLIT** - 137438953472-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **137438953472-BIT/274877906944-BIT SPLIT** - 274877906944-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
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- **1099511627776-BIT/2199023255552-BIT SPLIT** - 2199023255552-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
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- **9007199254740992-BIT/18014398509481984-BIT SPLIT** - 18014398509481984-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
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- **36028797018963968-BIT/72057594037927936-BIT SPLIT** - 72057594037927936-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **72057594037927936-BIT/144115188075855872-BIT SPLIT** - 144115188075855872-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **144115188075855872-BIT/288230376151711744-BIT SPLIT** - 288230376151711744-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **288230376151711744-BIT/576460752303423488-BIT SPLIT** - 576460752303423488-BIT SPLIT IS REQUIRED TO REDUCE THE RISK OF A FUTURE SOX SCANDAL.
- **576460752303423488-B**

ROOF FRAMING PLAN KEY NOTES

Cover of booklet at US SWS Old (4) / = Garco (10-27-61) @ 90%
A/E/C old cover for US SWS Old (8) / = Davis journal. 1
TODAY



HIGH CAPACITY R-PANEL FASTENER LAYOUT

STANDARD R-PANEL FASTENER LAYOUT



**ARTISAN
ENGINEERING
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PROJECT

CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

OWNER
COWI CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

DATE
8-25-2025
5000 DOWNTOWN ROAD
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www.pmssteelbuildings.com

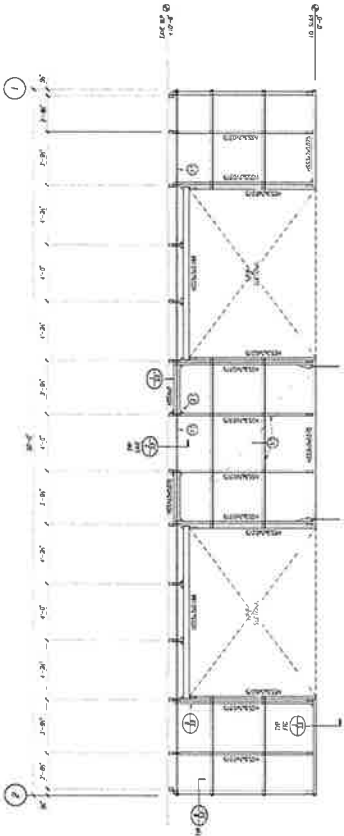
DRAWING TITLE
WALL FRAMING
ELEVATIONS

REVISIONS
1. Initial
2. Revisions

**SUBMITTAL FOR
PLAN CHECK**

DATE
2021.12.13
PRINT NO
21.001

2.5



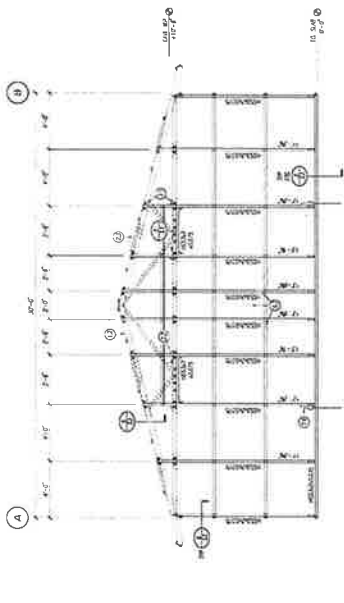
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WALL FRAMING ELEVATION - LINE A



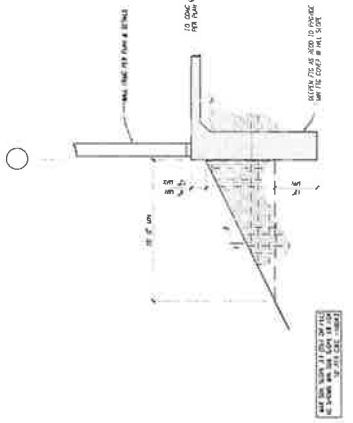
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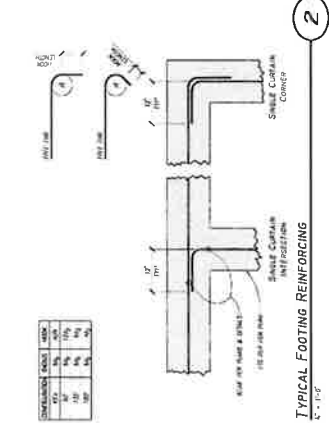
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WALL FRAMING ELEVATION KEY NOTES

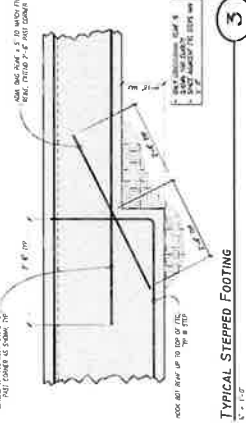
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- 2. ALL WALLS TO BE CONSTRUCTED WITH 2x6 STUDS AND 2x8 JOISTS.
- 3. ALL WALLS TO BE CONSTRUCTED WITH 2x6 STUDS AND 2x8 JOISTS.
- 4. ALL WALLS TO BE CONSTRUCTED WITH 2x6 STUDS AND 2x8 JOISTS.
- 5. ALL WALLS TO BE CONSTRUCTED WITH 2x6 STUDS AND 2x8 JOISTS.
- 6. ALL WALLS TO BE CONSTRUCTED WITH 2x6 STUDS AND 2x8 JOISTS.



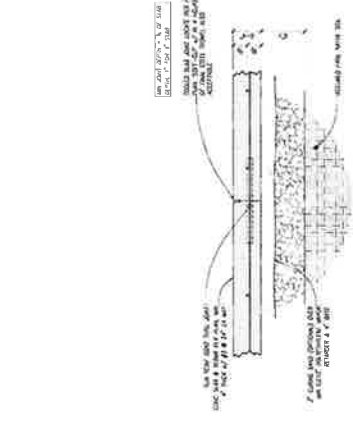
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MINIMUM FOOTING PENETRATION
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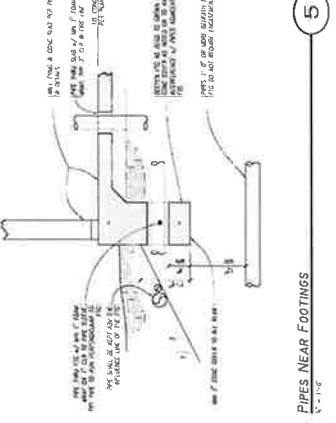
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18" x 18"



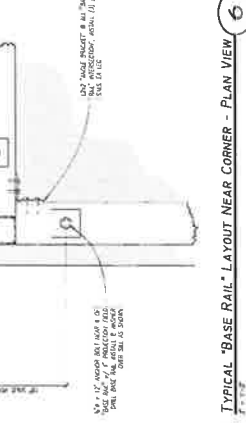
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TYPICAL STEPPED FOOTING
18" x 18"



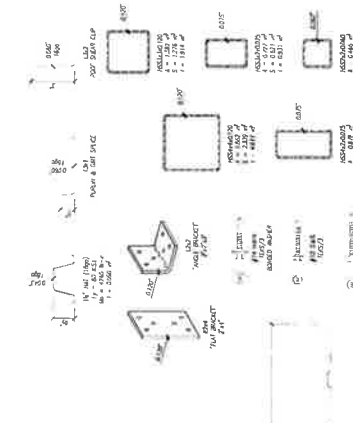
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TYPICAL SLAB SECTION & SLAB JOINT
18" x 18"



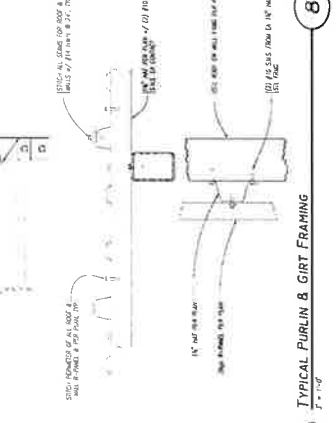
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PIPES NEAR FOOTINGS
18" x 18"



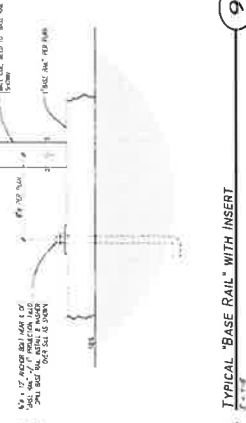
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TYPICAL 'BASE RAIL' LAYOUT NEAR CORNER
18" x 18"



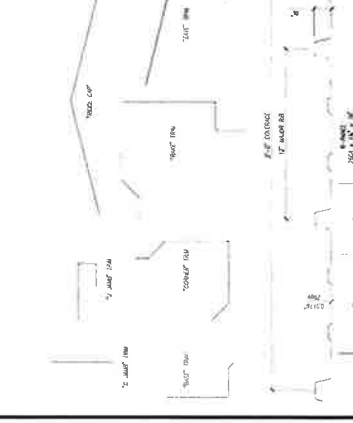
7
TYPICAL MEMBERS
18" x 18"



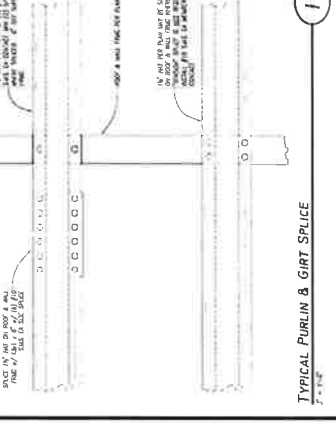
8
TYPICAL PURLIN & GIRT FRAMING
18" x 18"



9
TYPICAL 'BASE RAIL' WITH INSERT
18" x 18"



10
TYPICAL HOLD DOWN
18" x 18"



11
TYPICAL PURLIN & GIRT SPLICE
18" x 18"



12
TYPICAL HOLD DOWN
18" x 18"



**ARTISAN
ENGINEERING
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www.artisaneengineering.com



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PROJECT
CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA
ASR

OWNER
CHURCH CARPENTERIES
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

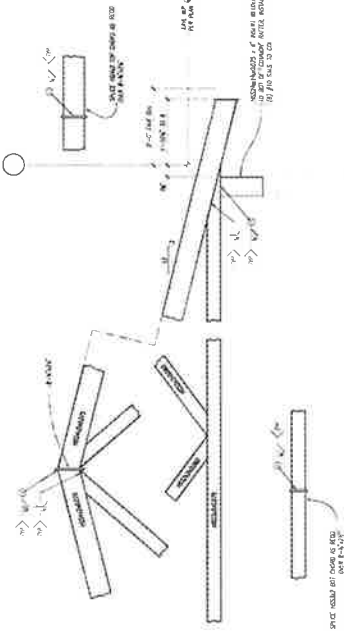
CONTRACTOR
P. J. S. INC.
8-850705
1000 N. 1st Street
San Jose, CA 95131
Phone: 408.547.8197
www.pjsteelbuilding.com

DRAWING TYPE
METAL BUILDING DETAILS

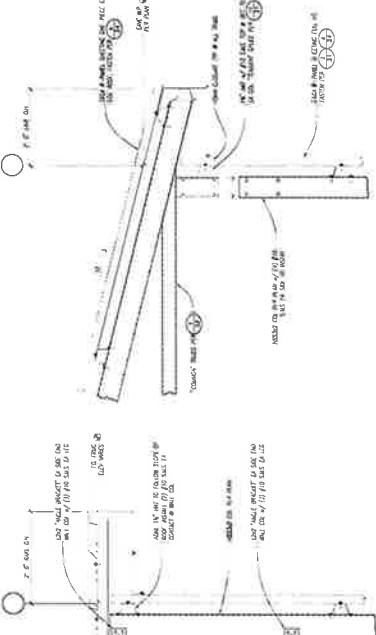
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2021.11.2
2021.11.13
PJS: WMS
Submitted for P.C.

**SUBMITTAL FOR
PLAN CHECK**

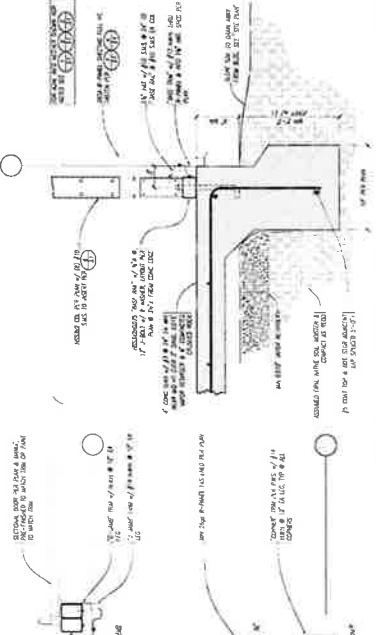
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2021.12.13
PERMIT NO.
21-038
3.2



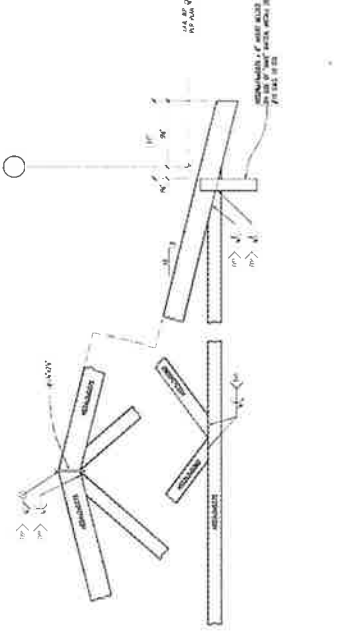
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N.E. 1/4 E



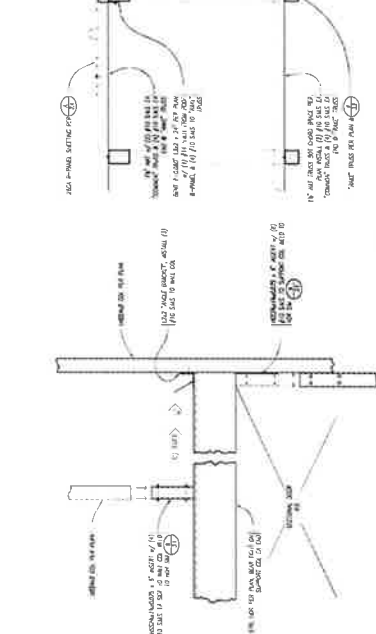
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N.E. 1/4 E



3
TYPICAL PERIMETER FOOTING
N.E. 1/4 E



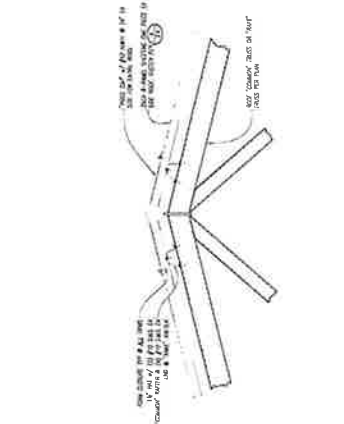
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N.E. 1/4 E



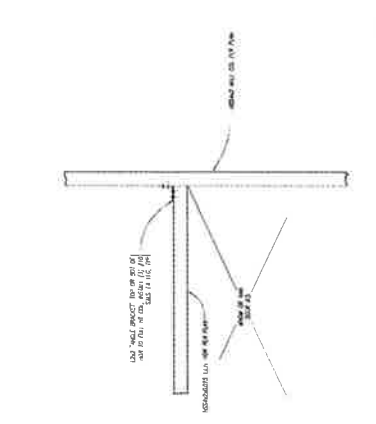
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TYPICAL RAKE FRAMING - HIGH ROOF
N.E. 1/4 E



6
TYPICAL PERIMETER FOOTING
N.E. 1/4 E



10
TYPICAL FRAMING AT RIDGE
N.E. 1/4 E



11
TYPICAL NON-LOAD BEARING HEADER & SILL
N.E. 1/4 E



6
TRIM INSTALLATION - PLAN
N.E. 1/4 E



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PROJECT
CARPINTERIA
5775 CARMICHAEL AVENUE
CARPINTERIA, CA

OWNER
CITY OF CARPINTERIA
5775 CARMICHAEL AVENUE
CARPINTERIA, CA

CONTRACTOR
J. M. S. INC.
8450705
5775 CARMICHAEL AVENUE
SANTA LUIS OBISPO, CA 93109
PHONE: 805.547.8177
WWW.PHOTOSHOP-ARCHITECT.COM

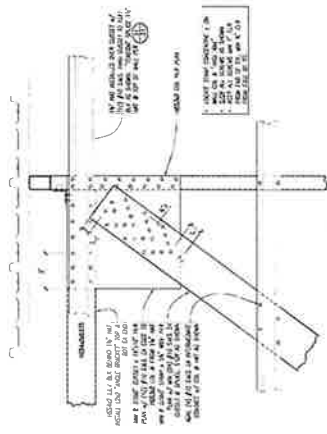
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METAL BUILDING DETAILS

REVISIONS
1. P. S. REVIEW
2. SUBMIT FOR P.E.

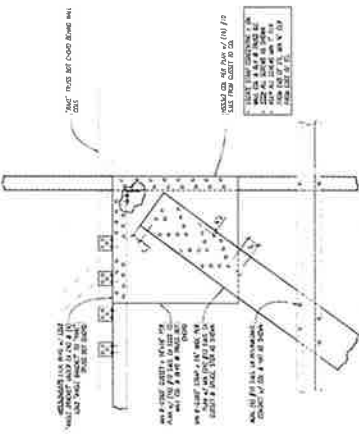
**SUBMITTAL FOR
PLAN CHECK**

DESIGN NO.
21-088

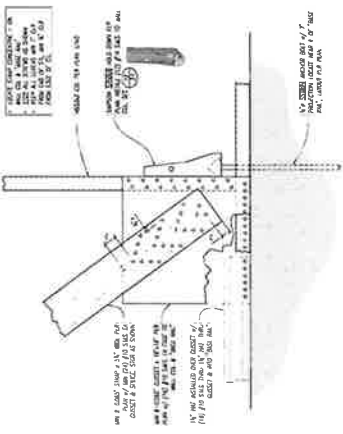
3.3



1
DIAGONAL STRAP BRACING AT 'EAVE'
N = 1/2"



2
DIAGONAL STRAP BRACING AT 'RAKE' TRUSS
N = 1/2"



3
DIAGONAL STRAP BRACING AT FOUNDATION
N = 1/2"



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INCORPORATED**

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PROJECT
CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

OWNER
CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CA

CONSULTANT
P.O. Box 1000
5000 El Camino Real
San Luis Obispo, CA 93401
Phone: 805.547.8777
www.pwssteelbuildings.com

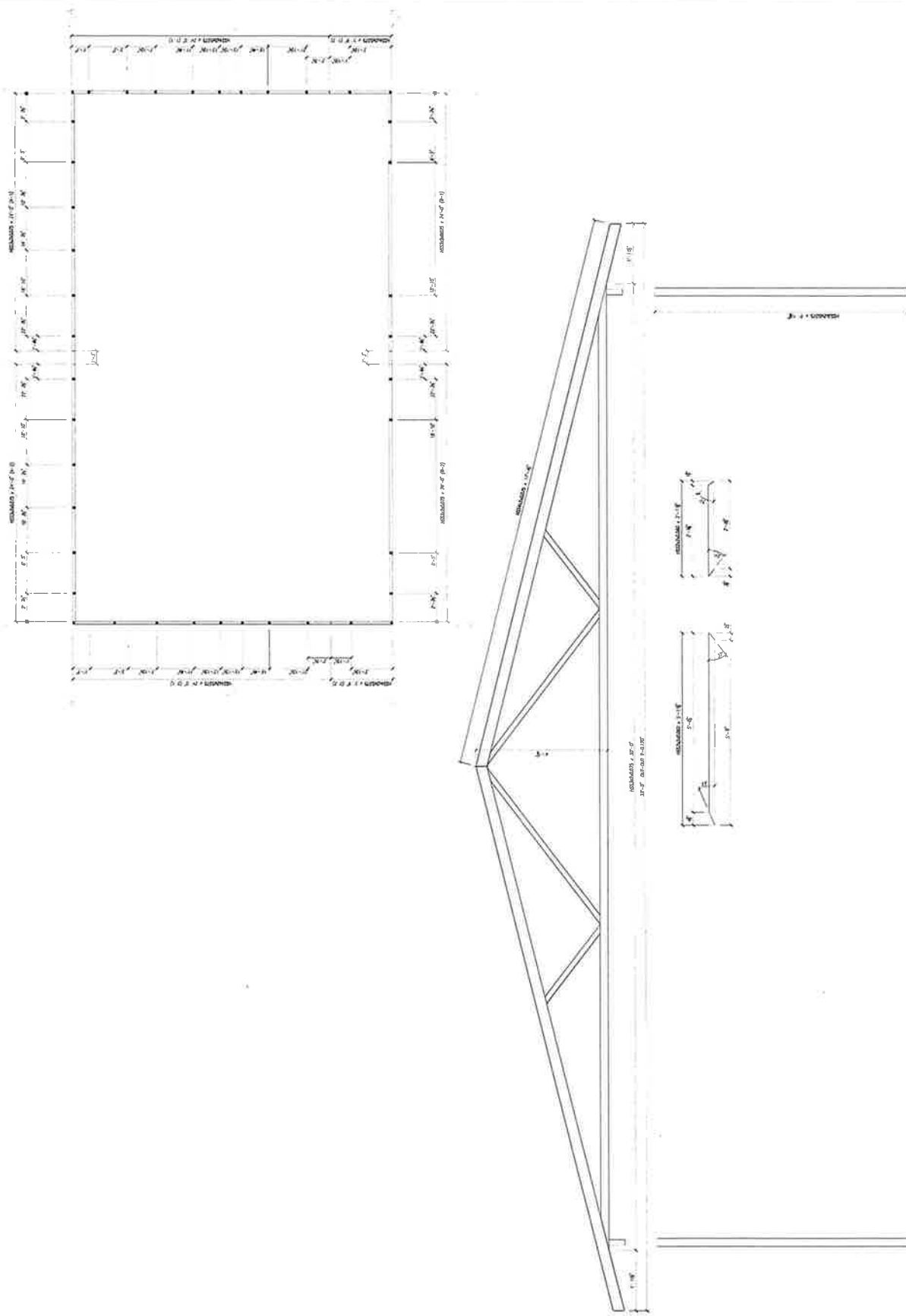
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**BASE RAIL & TRUSS
CUT LENGTHS**

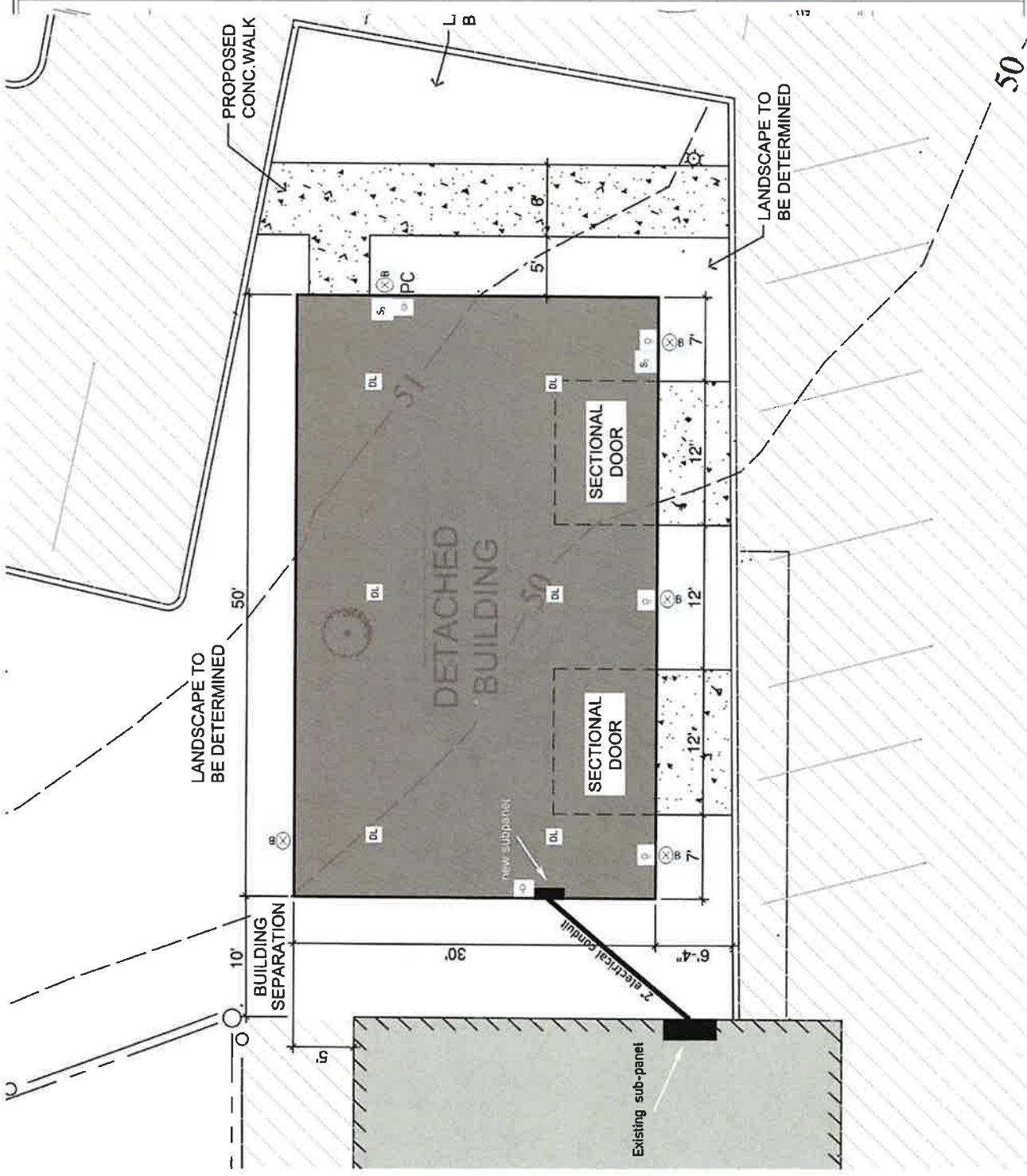
REVISIONS
1. PWS Steel Buildings
2. Submittal for P.C.

**SUBMITTAL FOR
PLAN CHECK**

Drawn By: CS
Print Date: 10/17/03
Project No: 21008

4.1





LAYOUT LEGEND	
SYM	DESCRIPTION
PC	Photo cell
	Existing panel 225 Amp 3 Phase
	General Electric
PROPOSED BUILDING	
	5 Quantity E-WIDOWA-CIDUK-A14
	6 Quantity E-SCATTA-W50Z-105
	Econlight
	DL
	EXISTING LIGHT POLE

LAYOUT NOTES	



DETACHED BUILDING - CITY HALL
CITY OF CARPINTERIA
5775 CARPINTERIA AVENUE
CARPINTERIA, CALIFORNIA

NAVIGATION	
DATE	
BY	

SHEET PAGE	
LAYOUT PLAN	

DRAWING	
DATE	
BY	

SHEET	
E-1	

ACTION MINUTES

The meeting was called to order at 5:30 p.m. by Vice Chair Blakemore.

ROLL CALL

Boardmembers present: Amy Blakemore, Vice Chair
Richard Johnson
Patrick O'Connor
Jim Reginato

Boardmembers absent: Brad Stein, Chair

OTHERS PRESENT: 8 members of the public were in attendance.

PUBLIC COMMENT: None.

PROJECT REVIEW

- 1) Project: Flourish Pool and Trellis, Project 22-2172-ARB/CDP
Address: 5637 Calle Pacific
Applicant: C.J. Bonura, contractor, for Lauren Kasmer
Planner: Syndi Souter

Request of C.J. Bonura, contractor, for Lauren Kasmer, to consider Project 22-2172-ARB/CDP for final review of a request to construct a new swimming pool, louvered wall and 471 square-foot shade trellis, fire pit, hammock, new flatwork, and new landscaping. An existing swimming pool would be demolished as part of the project. The property is a 6,710 square foot parcel zoned Single Family Residential (6-R-1) and shown as APN 003-351-037, addressed as 5637 Calle Pacific.

Staff presented the updated project and explained the ways the applicant revised the plan to respond to previous comments from the ARB. Staff noted that all or most of the ARB comments appeared to have been addressed and was recommending approval to the ARB.

C.J. Bonura provided additional details about some of the changes made to the project. He noted the shared property line fence is proposed to be placed on the property line and would run up to the palm tree(s), leave a gap for the tree(s) and then pick up on the other side so as to provide a continuous enclosed property line fence while also leaving the tree(s) in place.

Public Comment:

Sue Boynton, 5632 Calle Pacific, shared her frustration with the years-long duration of construction occurring at this house and the associated noise, dust, and visual impacts. She inquired as to how debris removal for demolition of the existing pool would be accomplished. Staff responded that construction hours can be conditioned to provide neighbors with a break from construction noise on evenings and weekends. Likewise, dust control measures are required to be employed during construction and neighbors may call the building inspector or APCD if dust control measures are not being adhered to. Finally, staff acknowledged that demolition and debris removal is likely to be staged and transported through the front yard, and asked that the applicant reach out to affected neighbors to coordinate on timing and possible "good neighbor" efforts to mitigate impacts.

David Ledig, 5641 Calle Pacific, noted he was mainly concerned with the shared property line fence between his family's property and the subject property. He noted the neighbor's existing palms interfere with the proposed fence placement on the property line and the palms encroach into his family's property. He noted as the trees continue to grow, they will continue to become a maintenance issue for the upkeep of the property line fence and also create maintenance issues for his family's property and access to/upkeep of their detached garage located in close proximity to the proposed fence. He expressed his preference to see the trees relocated or removed, and a continuous fence or wall constructed on the property line between the two properties.

Julie Songer-Ledig, 5641 Calle Pacific, noted there was a continuous shared property line fence between these two properties previously. She also noted that one of the existing palms is already only four inches from the garage on her family's property and during wind events, the tree hits their garage.

Boardmember Discussion:

Boardmember Johnson inquired about various construction details like for the fence construction design and how the trellis beam would be boxed in. He also inquired about pool and decking colors. He observed that the applicant is proposing to maintain the existing rear gate which opens mid-run onto the existing stairs without the benefit of a landing. He noted that if the Building Inspector requires this to be corrected or brought up to Code, that the ARB will want to see the revised solution. Finally, he noted that he did not see any security issues with integrating the existing palms into the new property line fence.

Boardmember Reginato shared his preference for the fire pit to use a cleaner alternative fuel source (rather than natural gas). He was skeptical of the fence's security and stability if gaps are left in the fence line for the existing palms to pass through. He expressed his preference for the palms to be relocated or removed. He urged the applicant to work with the neighbors to develop a solution to the encroaching trees and the new property line fence that both parties could agree to.

Boardmember O'Connor commented on the apparent size of the fire pit and the anticipated natural gas consumption. He echoed Boardmember Reginato's encouragement to consider alternative cleaner fuel sources. He agreed with the other Boardmembers that now is the right time to broker a mutually agreed upon solution to the encroaching trees and property line fence, and that the rear gate opening mid-stair run is awkward. Finally, he noted that the views of the property from the park lands behind have been addressed and the aesthetics are good.

She reiterated that the encroaching trees are an issue for the neighbors and urged the applicant to work with the neighbors to find a mutually agreeable solution. Boardmember Blakemore suggested the applicant consider a smaller evergreen tree species in lieu of the proposed Sycamore, noting that the Sycamore was too large of a tree for the provided space and the maintenance issues with planting of a deciduous tree near the pool. She suggested swapping it out for a Santa Cruz Ironwood or an arbutus tree. She also thought the California Bay was too large for the space provided. She reminded the applicant that SCE will top any trees that grow too near the overhead power lines.

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Blakemore to recommend final approval to the Director with the following comments:

- Provide construction details for the fence;

- Address Boardmember recommended changes to the landscape plan (i.e., Sycamore and Bay);
- Resolve property line fence issues with neighbor in a mutually agreeable manner and show the solution on the building plans;
- Revised plans to be reviewed and approved by Boardmember Reginato prior to building permit issuance.

VOTE: 4-0

2) Project: Coeler New Duplex Concept, Project 22-2177-CON
 Address: 333 Linden Avenue
 Applicant: Dylan Chappell, architect, for Peter and Barbara Coeler
 Planner: Syndi Souter

Request of Dylan Chappell, architect, for Peter and Barbara Coeler, to consider Project 22-2177-CON for conceptual review of a proposal for a new 2,307 square foot two-story duplex with a maximum height of 24 feet and two attached one-car garages totaling 352 square feet, for a total size of 2,659 square feet. The site is 5,287 square feet in size and is zoned Planned Residential Development (PRD-20) shown as APN 003-440-028, addressed as 333 Linden Avenue.

Staff presented the conceptual plans for the three contemplated duplexes together (333 Linden Ave; 4949 Dorrance Way; and 4934 Dorrance Way), describing the particular details of each and some of the issue areas that staff wished for the Board and applicant to consider. These included various Zoning Code Modification requests needed for the concept designs as shown (driveway width; driveway exiting; front setback encroachments); architectural style, variety and neighborhood compatibility; and flood hazards / sea level rise considerations.

Architect Dylan Chappell described the three duplexes. He noted the chosen architectural style was intended to complement the main residence on the corner of Linden Avenue and Dorrance Way, but that the architectural styles could be changed or made more varied. He explained that the building layouts and floor plans was intended to make the buildings read like single family dwellings rather than duplexes in terms of entry placement and garage design. The buildings were placed forward on the lot to provide large usable rear yard spaces for the tenants and upper floor decks were oriented towards the street to avoid privacy impacts. He clarified that the driveways could be narrowed to meet City standards.

George Manuras, representing the owners, reiterated many of Dylan's comments. He noted the emphasis on provide usable rear yards was to give residents a respite from the busy streets of the Beach Neighborhood.

Public Comment:

Leah Dabney explained further the design rationale for the new duplexes and the desire to relate to, and complement, the main residence on the corner of Linden Ave and Dorrance Way. She explained when the property was for sale, the community was very fond of the existing residence and its style.

Boardmember Discussion:

Boardmember Johnson asked if the site plans for the two lots on Dorrance Way can be organized in such a way to only impact the minimum number of existing on-street parking spaces. He also asked whether the proposed duplexes on Dorrance Way could be pushed back farther into the lot to meet

required setbacks. He asked if there were many other examples of Spanish style architecture in the neighborhood, noting he thought of it as mostly a “cottage” or “bungalow” neighborhood. Introduce more variety into architecture; maybe trend more towards a bungalow style or soften the Spanish style architecture to something more Monterey in style. He commented that 10’ plates on the front elevation are not very friendly to neighborhood. He recommended restudying to bring the massing down as viewed from street through lowering the scale (lower 2nd floor plate heights) of the building, stepping in the second floor massing, similar measures. He also recommended moving the buildings back to the front setback line and narrowing the driveway widths. Toning down colors/shades to better fit the neighborhood was also suggested.

Boardmember O’Connor inquired about the historic lotting patterns of the area and whether there was development potential of additional surrounding lots. He described the architecture as “muscular” and said it was very Santa Barbara in style. He related to the layout and organization of the surrounding properties and how that should influence the design of these duplexes. He thought the similar style and detailing of the duplexes was too uniform amongst the three, giving the impression of a gated or planned community. He agreed that backing out of the driveways raises safety concerns but seems somewhat inevitable.

Boardmember Reginato asked if the projects would require a full redesign if the structures were required to be elevated due to flood zone or sea level rise considerations. He described the architecture as beautiful but not the right fit for the neighborhood. At minimum, he thought the architecture could be toned down and some more colors/shades introduced. He noted his disagreement with the need for multiple zoning modifications and felt the projects could be revised to not need as many or perhaps any modifications.

Boardmember Blakemore overall noted she was in agreement with the others. She reiterated the need for more variety in style/appearance amongst the buildings. She also recommended building massing be reduced and setbacks increased.

The Boardmembers clarified that while they generally preferred the buildings to be set back farther into the lot and the driveways made narrower, they were not opposed to the garages facing the street.

ACTION: Public comment received and conceptual feedback provided.

VOTE: N/A

- 3) Project: Coeler New Duplex Concept, Project 22-2178-CON
 Address: 4949 Dorrance Way
 Applicant: Dylan Chappell, architect, for Peter and Barbara Coeler
 Planner: Syndi Souter

Request of Dylan Chappell, architect, for Peter and Barbara Coeler, to consider Project 22-2178-CON for conceptual review of a proposal for a new 1,970 square foot two-story duplex with a maximum height of 26.17 feet and two attached one-car garages totaling 341 square feet, for a total size of 2,311 square feet. The property is a 4,500 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-440-026, addressed as 4949 Dorrance Way.

NOTE: This item was presented and discussed in conjunction with item no. 2, above. See Action Minutes for item no. 2.

- 4) Project: Coeler New Duplex Concept, Project 22-2179-CON
 Address: 4934 Dorrance Way
 Applicant: Dylan Chappell, architect, for Peter and Barbara Coeler
 Planner: Syndi Souter

Request of Dylan Chappell, architect, for Peter and Barbara Coeler, to consider Project 22-2179-CON for conceptual review of a proposal for a new 2,221 square foot two-story duplex with a maximum height of 26.17 feet and two attached garages totaling 527 square feet, for a total size of 2,748 square feet. The property is a 5,582 square foot parcel zoned Planned Residential Development (PRD-20) and shown as APN 003-440-010, addressed as 4934 Dorrance Way.

NOTE: This item was presented and discussed in conjunction with item no. 2, above. See Action Minutes for item no. 2.

OTHER BUSINESS:

CONSENT CALENDAR:

5. Action Minutes of the Architectural Review Board Meeting of October 27, 2022

ACTION: Motion by Boardmember Reginato, seconded by Boardmember Blakemore to approve the Minutes as presented.

VOTE: 4-0

MATTERS REFERRED BY THE PLANNING COMMISSION/CITY COUNCIL: None

MATTERS PRESENTED BY BOARDMEMBERS/STAFF:

- 1215 Vallecito Road shed: As a follow-up to an inquiry from Boardmember Blakemore at the last meeting, staff explained that contact had been made with the property owner about the highly visible shed in the rear yard and that the owner was working with CDD staff to determine what could be permitted.
- St Joseph's Church Fencing Project: Following up on an inquiry from the Board, staff explained that the landscaping would begin to be installed in early 2023 following the holiday season.
- 4772 Third Street Condominiums Paint Colors & Driveway Replacements: Staff shared the proposed new paint color scheme for the condominiums and replacing the turfblock driveways with standard concrete. The Board did not object to the change to the driveway materials. With respect to paint colors, they suggested the gray body color go a little darker to provide more contrast from the trim color. They also suggested the trim color should correlate to the window colors (or paint the windows to match the trim, if feasible).

ADJOURNMENT

Vice Chair Blakemore adjourned the meeting at 7:20 p.m. to the next regularly scheduled meeting to be held at 5:30 pm on Thursday, January 12, 2023. Boardmember Blakemore indicated she would be absent. All other Boardmembers indicated they expected to be present.

Chair, Architectural Review Board

ATTEST:

Secretary, Architectural Review Board