



City of Carpinteria
Architectural Review Board Agenda
Thursday, March 26, 2026
Council Chamber, 5775 Carpinteria Avenue,
Carpinteria, CA 93013

5:30 PM Regular Meeting
In-Person and Virtual Participation Options

Attendance/Viewing Options:

- Attend the in-person meeting in City Council Chambers at City Hall (5775 Carpinteria Ave.)
- View the meeting live through the City's website (<https://carpinteriaca.gov/city-hall/agendas-meetings/>).
- View the meeting on Government Access Television Channel 21 (broadcast live).
- Call 669-900-9128 (and enter Webinar ID 847 8623 3577) to listen to the meeting.
- [Join the City's Zoom webinar by clicking here.](#) Alternatively, you can join the Zoom webinar by logging on to www.zoom.us, downloading the application, selecting "Join Meeting", and entering Webinar ID 847 8623 3577.

How to Provide Public Comments

- Provide a live public comment in City Council Chambers at City Hall (5775 Carpinteria Ave.). Please note the City has the discretion to limit the speaker's time for any meeting or agenda matter. Typically, the practice has been three minutes per speaker on each item.
- Provide a live comment through the City's Zoom webinar platform (through the link provided above). To make public comments through this platform, please use the "raise your hand" feature to notify staff that you would like to make a public comment during designated public comment times. Once it is your turn to provide a public comment, staff will unmute your microphone, and you will be given a designated amount of time to provide your comment. At the end of your comment, staff will once again mute your microphone.
- Submit a written comment (as either a general public comment or on a specific agenda item) to be distributed to Architectural Review Board by 12:00 P.M. on the day of the meeting by either submitting your comment via (1) email to PublicComment@carpinteriaca.gov, or (2) follow this link (<https://carpinteriaca.gov/city-hall/agendas-meetings>), select the meeting you want to provide a comment on, and click the Submit Comments button located on the left-hand side of the agenda portal. Please reference the agenda item to which your comment pertains. Note that written comments will not be read into the record during the meeting.

Architectural Review Board Members

Amy Blakemore
Richard E. Johnson
Richard Little
Patrick O'Connor
Lisa Woolf

Call to Order

Roll Call

Public Comment

This is a time for public comments on matters not otherwise on the agenda but within the subject matter jurisdiction of the Architectural Review Board. Comments shall be limited to 15 minutes, divided among those persons desiring to speak, but no person shall speak longer than five minutes. Persons wishing to speak on a specific item will be recognized at the time the agenda item is considered.

The City is not responsible for the content of statements made during the public comment period, or the factual accuracy of any such statements.

Project Review

If you have questions regarding any project listed below, please contact the Community Development Department at (805) 755-4410.

Review Procedure:

- Disclosure of ex parte communications
- Staff presentation
- Applicant presentation
- Public comment
- Review by ARB
- Recommendation by ARB

1. Project: Marvin Residential Remodel & Addition, Project # 25-2372-CDP/ARB
Address: 5538 Canalino Drive
Applicant: Robert Materian for Keith and Lesley Marvin
Planner: Bret McNulty

Request of Robert Materian, architect, for Keith and Lesley Marvin, to consider Project 25-2372-CDP/ARB for preliminary review of a proposal to construct a new 738 square-foot first floor master bedroom with a “pop-out” bathroom, a 330 square-foot kitchen expansion into an existing breezeway and a dining room expansion into the back patio of an existing 2,023 square-foot single-family residence. The resulting single family residence would be 3,230 square-feet. The maximum height of the residence would be 15 feet 8.5 inches above grade. The property is a 11,326 square-foot parcel zoned Single Family Residential (6-R-1) in the Community Design Subarea 5, Concha Loma Neighborhood, shown as APN 003-340-031, and addressed as 5538 Canalino Drive.

Other Business

Consent Calendar

Items on the consent calendar are considered to be routine and are normally enacted by one unanimous vote of the Architectural Review Board. If you wish to speak on a consent calendar item, please do so during the public comment period provided at the beginning of this item.

2. None.

Matters Referred by the Planning Commission / City Council

Matters Presented by Staff

Matters Presented by Boardmembers

Attendance of Boardmembers for the Next Meeting

Adjournment

Notes

For those projects that do not require Planning Commission approval, recommendations for preliminary approval by the Architectural Review Board will be forwarded to the Community Development Director for a decision. Those Community Development Director decisions that are appealable pursuant to CMC §14.12.020(2) may be appealed to the Planning Commission. Appeals must be filed with the City Clerk within 10 calendar days of the Director's action.

In compliance with the Americans with Disabilities Act, if you need assistance to participate in this meeting, please contact Lorena Esparza in the Community Development Department at (805) 755-4410 (LorenaE@carpinteriaca.gov) or the California Relay Service at (866) 735-2929. Notification 2 business days prior to the meeting will enable the City to make reasonable arrangements for accessibility to this meeting.

This agenda was posted on March 20, 2026 in the Community Development Department, on the City Hall Public Notices Board, and on the City Website.

**CITY OF CARPINTERIA
ARCHITECTURAL REVIEW BOARD
Meeting of March 26, 2026**

Agenda Item #1

**COMMUNITY DEVELOPMENT DEPARTMENT
PROJECT REVIEW**

Project: 25-2372-CDP/ARB **Planner:** Bret McNulty
Address: 5538 Canalino Drive
APN: 003-382-012
Zoning: Single Family Residential (6-R-1)
Applicant: Robert Mahterian, architect, for Keith and Lesley Marvin

Project Review: ☐ Conceptual
☒ Preliminary
☐ Final

PROJECT DESCRIPTION

This is a preliminary review of a proposal to remodel an existing single family residence and construct additions totaling 1,207 square feet. The proposed additions include a new 738 square-foot first floor master bedroom with a “pop-out” bathroom, a 330 square-foot kitchen expansion into an existing breezeway and a dining room expansion into the back patio of an existing 2,023 square-foot single-family residence. The resulting single family residence would be 3,230 square-feet. The maximum height of the residence would be 15 feet-8.5 inches above grade. The proposal also includes new landscaping, hardscape, fencing, and walls.

Preliminary plans and photographs are included as Attachment A,

PROJECT BACKGROUND

Project Setting

The project site is a 11,326 square-foot parcel located at 5583 Canalino Drive in the Concha Loma subdivision. The property is surrounded on the north, south, east, and west sides by a mix of one- and two-story single-family residences. The topography of the parcel slopes down approximately five and a half feet between the rear property line and Canalino Drive. The residence was constructed under building permit number A0371 that was issued on December 14, 1972.

The site is zoned Single Family Residential (6-R-1) and has a Low Density Residential (LDR) land use designation. The property is not subject to any overlay districts. The property is located in the Concha Loma Neighborhood (Community Design subarea 5).

The project site is also located in an area known to contain sensitive cultural resources. As such, any future ground disturbances would be required to be monitored by both an archeologist and a Native

American representative to determine the presence and/or significance of any onsite cultural resources that could potentially be impacted by development. Depending upon the presence of any sensitive cultural resources onsite, project revisions and/or mitigation measures may be required.

PROJECT ANALYSIS

Carpinteria Municipal Code

The project is located in the 6-R-1 Single Family Residential zoning district and is subject to the requirements of Carpinteria Municipal Code (CMC) §14.12. Single family residences are a permitted use in this zone district, subject to approval of a Coastal Development Permit. The following table and discussion identifies the project's conformance with the applicable Municipal Code requirements:

Standard	Requirement/Allowance	Proposal
Setbacks		
Front (South/Canalino Drive)	50 feet from centerline of street or 20 feet from the property line, whichever is greater. (50 feet from CL)	50 feet from the centerline of the street and 25 feet from the property line
Sides (East and West)	10% of lot width (8 feet)	8 feet
Rear (North)	15 feet	34.5 feet
Height	30 feet max.	15.8 feet max.
Building Coverage	35% max. (3,964 square feet)	28.5% (3,230 square feet)
Floor Area Ratio	40% max. (4,530 square feet)	28.5% (3,230 square feet)
Density	1 single family residence per legal lot	1 single family residence
Parking	2 spaces provided in a garage	2 spaces in a garage
Driveway Width	16 feet	16.25 feet*
Driveway Area	324 square feet of impervious area	466 square feet*

*See driveway design discussion below.

Driveway Design

The preliminary plans show the proposed new aggregate concrete driveway off of Canalino Drive as having a width of 16-feet 1 ¼ inches with an area of 466 square feet. The existing driveway is approximately 21 feet wide with an area of 600 square feet. In other words, the proposed driveway would result in an overall reduction of front yard paving. CMC §2.36.050.C and §2.36.130.D strive

to limit driveways to no more than 324 square feet of contiguous paved area within a front yard to avoid “excessive paving.” In this case, most of the excess paving appears to be a result of the larger than normal front setback, resulting in a longer than usual driveway. The Board should review the proposed driveway dimensions and consider whether the proposed driveway should be redesigned to: 1) reduce the width to 16-feet or less, and/or 2) reduce the impervious square footage of the driveway by incorporating permeable pavers and/or a landscaped “ribbon” to reduce the amount of paved area to 324 square-feet or less. Alternatively, if the Board is supportive of the driveway as shown, they may recommend approval to the Director.

Design Review

The proposal would add a new 738 square-foot attached first floor master bedroom with a “pop-out” bathroom, a 330 square-foot kitchen expansion into the existing breezeway, a 56 square-foot dining room expansion into the back patio, and a 47 square-foot addition to the 3rd bedroom on the west side of the residence. The existing roof would be removed and replaced with a standing seam metal roof. The roofing plan calls for the addition of gabled roof extensions from the existing roof lines over the living room/dining room toward the backyard. Gabled roof extensions would also be added over the new master bedroom and the existing front bedroom window facing south towards Canalino Drive. New sloped roof extensions would cover the expansion of the existing middle bedroom/bathroom and a new sloped roof would cover the new kitchen and replace the existing breezeway. The existing front room chimney would be demolished. The exterior walls would be refinished with stucco, cedar planks, and natural stone. New windows with dark anodized bronze frames would be installed throughout the residence.

In the front yard, the proposal includes the removal of both the existing 790 square-foot concrete driveway and 150 square-foot concrete walkway which would be replaced with a new 466 square-foot exposed aggregate concrete driveway and a new 159 square-foot walkway. The existing 117 square-foot covered front porch would be expanded to 208 square feet. New permeable pea gravel pathways would be installed along the front and sides of the residence.

In the backyard, the proposal includes removal of an existing 334 square-foot concrete patio, to be replaced with a new 839 square-foot patio adjacent to the living room/dining room. The project also includes removal of an existing storage shed and pad, a pergola type shade structure, decorative railroad ties, a concrete stepping stone path, and a patio located at the north end of the backyard. Pea gravel would be installed at the base of the sliding glass doorway exiting to the backyard from the new master bedroom and stepping stones would be added to connect the side yards to the back patio area.

A new stone fire pit, barbeque, and spa with a stucco water fall would be added adjacent to the new patio. A new spa equipment enclosure would be installed in the northwest corner of the backyard. Onsite drainage would be directed toward the street and existing storm drains. Low stone walls would be added surrounding the new spa and flank either side of the new front walkway running parallel to the street and the front of the residence.

The Board should comment on the preliminary design of the residential remodel, including the proposed colors and materials.

General Plan/Coastal Plan Neighborhood Policies

The City's Community Design Element of the General Plan/Coastal Plan contains both general over-arching policies and specific subarea policies. The project site is in Design Subarea 5 ("Concha Loma Neighborhood"). Residential design guidelines have also been developed and adopted by the City Council for this neighborhood. A summary and analysis of key Community Design Element policies and neighborhood design guidelines that are relevant to this project are provided below.

Citywide Community Design Objectives and Policies

Objective CD-1: *The size, scale and form of buildings, and their placement on a parcel should be compatible with adjacent and nearby properties, and with the dominant neighborhood or district development pattern.*

Objective CD-2: *Architectural designs based on historic regional building types should be encouraged to preserve and enhance the unique character of the City.*

The proposed project would add a considerable amount of square footage to an existing original Concha Loma residence. Nonetheless, the proposed project would remain well below the maximum allowed lot coverage and building height, and remain within the allowed setbacks. Overall, the resultant residence is not expected to be grossly out of scale with other newer constructed or remodeled residences on similarly-sized lots in the neighborhood. The modernized style of the proposed residence would be a slight departure from the typical architecture found in the neighborhood. The neighborhood contains a variety of homes of different ages and styles, but the general architectural themes trend more toward variations of ranch or cottage styles.

Objective CD-3: *The design of the community should be consistent with the desire to protect views of the mountains and the sea (California Coastal Act of 1976 §30251).*

Objective CD-5: *The streets of neighborhood interiors should be designed to be the "living rooms" of the neighborhood, where children and adults can safely play or walk. The design and details of streets, frontages and buildings should support this objective.*

Policy CD-5a: *Main entrances to homes should be oriented to the street. Entry elements such as porches, stoops, patios and forecourts are encouraged. Such entry elements should be selected for their compatibility with the adjacent houses and the general neighborhood pattern.*

The proposed additions would preserve the existing residence's single story character and not significantly change the existing residence's height, such that the project is not expected to have any material impact on public mountain views. As viewed from the street, the proposed remodel/addition would add architectural interest to the existing facade. The remodeled residence will retain its centralized location on the property like other homes in the neighborhood. The front yard will be re-landscaped and include new pathways which will enhance the street frontage.

Policy CD-5c: *Low walls, low fences and hedges should be encouraged along the frontages to define the edge of the private yard area, where appropriate.*

Two new two foot-tall, one foot-wide, and 12 foot-long low natural stone walls would be added to the front landscaping and would be setback approximately 11 feet from the property line. The walls would flank either side of the new front walkway and create a subtle terracing feature running parallel to the front of the residence. No other front yard fencing or walls are proposed at this time. As shown, the project would be consistent with encouraged yard designs.

Policy CD-5d: *Houses within a neighborhood may vary in materials and style, but strong contrasts in scale, color and roof forms should generally be avoided.*

Objective CD-13: *Ensure that lighting of new development is sensitive to the character and natural resources of the City and minimizes photopollution to the maximum extent feasible.*

Policy CD-13b: *Lighting shall be low intensity and located and designed so as to minimize direct view of light sources and diffusers and to minimize halo and spillover effects.*

The proposed exterior lighting sconce is a deep bronze color with a low intensity 2-watt bulb that would be placed adjacent to either side of the front and back entry doors and the garage door. While the proposed fixture is hooded, the clear glass encasement may not meet the intent of the City's night sky-friendly lighting policies.

The ARB members should comment on the design of the front walls and walkways, and the intensity and appropriateness of the proposed exterior lighting, including night-sky compatibility.

Subarea 5 Objectives and Policies

Objective CDS5-2: *Preserve the existing residential neighborhoods and their unique characteristics, and ensure that new development enhances the neighborhood character.*

Objective CDS5-3: *Ensure that new development is sensitive to the scale and character of the existing neighborhoods and consistent with the City's "small beach town" image.*

The proposal has a lot coverage of 28.5%, which is 11.5% lower than the 40% maximum allowed by the CMC in the R-1 zone district. The "U-shaped" layout pushes the building mass toward the rear (north) interior of the property. The proposed roofline would be approximately a half foot higher than the existing composite roof. The layout of the additions and subtle roof line additions blend into and are largely hidden from views from Canalino Drive and would appear to retain the existing building's compatibility with adjacent residences.

Implementation Policy 53: *The existing pattern of setbacks should be preserved. Additions to existing houses, or new houses, should match the front yard setbacks of the houses on adjacent lots, or the "stringline" between them in the case of differing setbacks.*

Implementation Policy 54: *The existing one-story scale of buildings in the subarea should be preserved. Second floors, where permitted by zoning, should be set back from the first-floor facade with extensions of one-story roof elements, or other suitable architectural elements that reinforce the one-story scale of the facade.*

The proposed residence with the expanded porch would remain set back 25-feet from the street, which follows the pattern of other residences along the street. The new bedroom and bathroom “pop-outs” on the sides of the residence would be set back from the street, and are outside of the required setbacks. As discussed above the new layout pushes the building mass toward the rear of the property.

The ARB members should comment on the proposed massing, height, architectural style, consistency with the sub area objectives.

Concha Loma Neighborhood Residential Design Guidelines

DG 6: *Entrances should be oriented toward the street through the use of porches, walkways, and forward-facing front doors. Hedges and structures in front yards should be low in height and adequately set back to allow visibility of homes from the street. Front yard outdoor living spaces are encouraged.*

DG 7: *Where unique or varied architectural styles are proposed, design review should ensure compatibility with the neighborhood. Variation in architecture is not discouraged in the Concha Loma Neighborhood, but should be compatible with the established mass and scale.*

DG 8: *The size, scale and form of buildings, and their placement on a parcel, should be sensitive to the scale and character of the predominantly one-story character of the Concha Loma neighborhood.*

DG 9: *Existing one-story buildings should be preserved. Where second floors are proposed, they should be set back from the first-floor façade and should include extensions of one-story roof elements or other suitable architectural elements that reinforce the one-story scale of the façade. Architectural components should feature articulated roof and wall planes as appropriate.*

The existing residence would gain a more modern look while retaining some elements of the current ranch-style with a covered front porch extending across the front of building. The addition of the new attached bedroom creates an overall “U-shaped” floor plan with a patio courtyard in the center. The addition of the pitched gable roof extending out toward the north and the rear patio would open up the existing living room, dining room, and kitchen to create a low vaulted “great room” living area. The layout of the new gables and subtle roof line additions at the front, sides, and rear of the residence would appear to blend into the massing and are largely hidden from views from Canalino Drive and a retain the existing building’s compatibility with adjacent residences.

DG 11: *Windows and doors should be consistent in design with the theme of a house and when appropriate should draw from elements in the existing neighborhood.*

DG 12: *The use of bay windows, dormers, balconies, covered porches and other decorative elements providing building articulation is encouraged when appropriate to the architecture, particularly when these elements are oriented toward a public street or break up a façade of more than 20 feet.*

The proposed residence contains several large windows, most of which face toward the north, mountain side, and are primarily focused into the proposed inner rear courtyard. The back yard slopes up from the back patio to the rear property line. These conditions and alignments ensure the placement of these windows would not interfere with the privacy of the adjacent residences.

DG 13: *Muted or earth tones should be used to achieve consistency with surrounding residences.*

DG 15: *A cohesive mixture of materials is welcomed.*

DG 16: *Roofing materials and colors should be compatible with those in the existing neighborhood and with the architectural style of the residence.*

The proposed materials are typical for a modern house, such as cedar wood siding and light colored stucco with a darker metal roof. The proposed materials would impart a contrast with a darker brown siding and dark bronze window frames that are tied together by the use of lighter (stone and rust) colors. The use of these materials in concert with the chosen architectural style lends the home a mix of earthen tones impart a character that is unique and compatible with the colors and architectural designs and one-story residences in this neighborhood.

DG 19: *Main entrances should be oriented to the street. Porches, landings and walkways should be incorporated into the frontage design.*

DG 22: *Open fences, including split rail and picket types, are appropriate on frontage lines. Solid fences and walls should be limited to side and rear lot lines.*

The front entry would be improved by a new expanded covered porch, with a new low stone wall along each side of the front walkway. In the side yards, the existing cross fencing and gates would be removed and replaced with redwood fencing and gates matching the existing redwood fencing which extends from the side of the house and garage and extends around the rear perimeter of the property and would remain. Additionally, new landscaping would enhance the frontage design.

DG 25: *Landscaping that is drought tolerant or native to the region is preferred. Invasive plants should be avoided.*

DG 26: *Attractive landscape frontage designs should be maintained. New development should be carefully planned with landscaping that maintains and enhances the quality of the streetscape.*

DG 27: *Hardscape materials should complement the building and be distinguishable from materials used in the public realm. Hardscape that incorporates varied materials, textures and designs is encouraged.*

DG 28: *Permeable materials are encouraged for all driveways and parking areas and other hardscape areas to reduce runoff.*

The existing landscaping is proposed to be removed from the entire site and replaced with new landscaping and irrigation, with the exception of the existing hedges along the north and east property lines and the two fruit trees in the back yard which will be retained.

As discussed above, two new two-foot high low natural stone walls would be added to the landscaping in the front yard. Low profile corten steel strips and pea gravel would line the front entry walkway and gravel walkways would be installed along the sides and rear of the house.

The Board should comment on neighborhood compatibility, and the proposed fencing, landscaping, hardscape, and materials.

SUMMARY OF ISSUES

- Driveway dimensions and design/materials;
- Massing and articulation of the proposed additions;
- Window sizes and locations;
- Exterior light fixture and night-sky compatibility;
- Architectural style and materials;
- Landscaping and hardscape plans; and
- Neighborhood compatibility.

RECOMMENDATION

The Board should receive public testimony and provide comments to the applicant and staff. If the Board feels the project meets the applicable design criteria, the Board may recommend preliminary approval to the Community Development Director.

ATTACHMENTS

Attachment A- Preliminary Plans and Materials

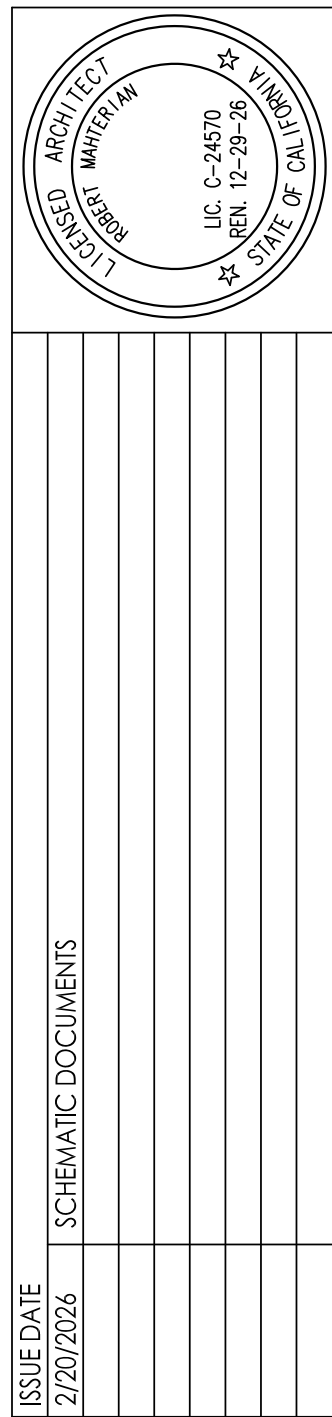
Attachment B- Site Photos -Aerial and Views from Canalino Drive

Attachment A
Site Plans and Materials

Existing Single Family Residence Remodel
5583 Canalino Drive
Project #25-2372-CDP/ARB
Preliminary ARB Review
March 26, 2026

MARVIN RESIDENCE

5538 CANALINO DRIVE
CARPINTERIA, CALIFORNIA 93013



GENERAL NOTES

- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO REMODEL AND ADD ONTO AN EXISTING 1 STORY SINGLE FAMILY RESIDENCE IN ACCORDANCE WITH APPLICABLE CODES. SHOULD ANY CONDITION DEVELOP NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE WORK WILL NOT COMPLY WITH SUD CODES, A CHANGE ORDER DETAILED AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER & ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL CONFORM TO THE CURRENT EDITIONS OF CODES LISTED.
- ALL WORK LISTED, SHOWN, OR IMPLIED ON ANY CONTRACT DOCUMENT SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR EXCEPT WHERE OTHERWISE NOTED. THE CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF OTHER SUBCONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND ALL WORK IS DONE IN CONFORMANCE TO THE MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS. INCLUDED IN THE PROJECT IS ALL WORK NECESSARY TO COMPLY WITH ALL REQUIREMENTS OF GOVERNING AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR SHALL VISIT THE JOBSITE AND VERIFY ALL DIMENSIONS THEREON BEFORE COMMENCING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF EXISTING CONDITIONS AND COORDINATION OF ALL WORK TO ENSURE COMPLETE COMPLIANCE WITH DRAWINGS AND SPECIFICATIONS. REPORT ANY DISCREPANCIES OR POTENTIAL PROBLEMS TO THE OWNER IN WRITING PRIOR TO PROCEEDING WITH WORK. FAILURE TO DO SO SHALL CONSTITUTE ACCEPTANCE OF EXISTING CONDITIONS. IN THE EVENT THAT THERE ARE DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, OR SHOULD THERE BE DOUBT AS TO THEIR MEANING AND INTENT, THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED TO PROVIDE A WRITTEN CLARIFICATION. ANY WORK REQUIRED TO CORRECT THE DISCREPANCY SHALL BE ACCOMPLISHED TO THE SATISFACTION OF OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
- ALL WORK UNDER THE CONTRACT IS TO BE PERFORMED TO PROVIDE A COMPLETE AND FINISHED PRODUCT, AND SHALL BE WARRANTED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE AGAINST ANY DEFECTS OR DEFICIENCIES.
- ALL DIMENSIONS ON FLOOR PLANS ARE TO FACE OF STUD, UNLESS OTHERWISE NOTED OR DETAILED. ELEVATIONS ARE TO TOP OF FINISHED SURFACE, UNLESS OTHERWISE NOTED. DIMENSIONS ON LARGE SCALE DRAWINGS AND DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. FOR CONSTRUCTION PURPOSES USE NOTED DIMENSIONS ONLY. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND FIELD CONDITIONS.
- WHERE GYPSUM BOARD LAYERS DIFFER, STUDS ARE TO BE OFFSET TO PERMIT A CONTINUOUS SMOOTH FINISH LINE UNLESS OTHERWISE NOTED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SUPERVISE ALL CUTTING AND PATCHING OF EXISTING WORK, AND ALL REPLACEMENT WORK SHALL MATCH ADJACENT SURFACES.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE EXECUTION OF WORK. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY BARRIERS, LIGHTING, COVERINGS, FIRE PROTECTION, AND OTHER EQUIPMENT TO PROTECT THE SAFETY OF ALL PERSONS AND THE PROPERTY THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD, CLEAN CONDITION AND SHALL BE RESPONSIBLE FOR CONTINUOUS CLEAN UP OF ALL DEBRIS.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF STUDS WHICH ARE TO RECEIVE WALL HUNG MILLWORK AND PLUMBING FIXTURES.
- THE CONTRACTOR SHALL NOT PERMIT ANY PART OF THE STRUCTURE TO BE LOADED WITH WEIGHTS OR EQUIPMENT THAT WILL ENDANGER SAFETY.
- THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING ANY BRACING, SHORING, OR TEMPORARY SUPPORTS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF FINISH MATERIALS. OBSERVATION VISITS SHALL NOT INCLUDE INSPECTION OR APPROVAL OF THESE DEVICES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES, AND SEQUENCES OF THE PROJECT.
- THE CONTRACTOR SHALL RETAIN A CURRENT AND COMPLETE SET OF THE CONTRACT DOCUMENTS AT THE JOB SITE DURING ALL PHASES OF THE WORK. ALL REVISIONS SHALL BE RECORDED BY THE CONTRACTOR TO ESTABLISH A RECORD SET OF DOCUMENTS FOR THE PROJECT.
- THE CONTRACTOR SHALL CONFINES HIS APPARATUS, MATERIAL STORAGE, AND OPERATIONS OF WORKERS TO THE LIMITS INDICATED BY OWNER'S REPRESENTATIVE AND PERTINENT CODES AND ORDINANCES.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH, WASTE, DEBRIS, SURPLUS MATERIALS, AND TOOLS ON A REGULAR BASIS AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION INCLUDING FINAL CLEAN UP. SALVAGE MATERIALS NOT SCHEDULED OR REUSED SHALL BE STORED OR DEPOSED OF AS INSTRUCTED BY OWNER'S REPRESENTATIVE.

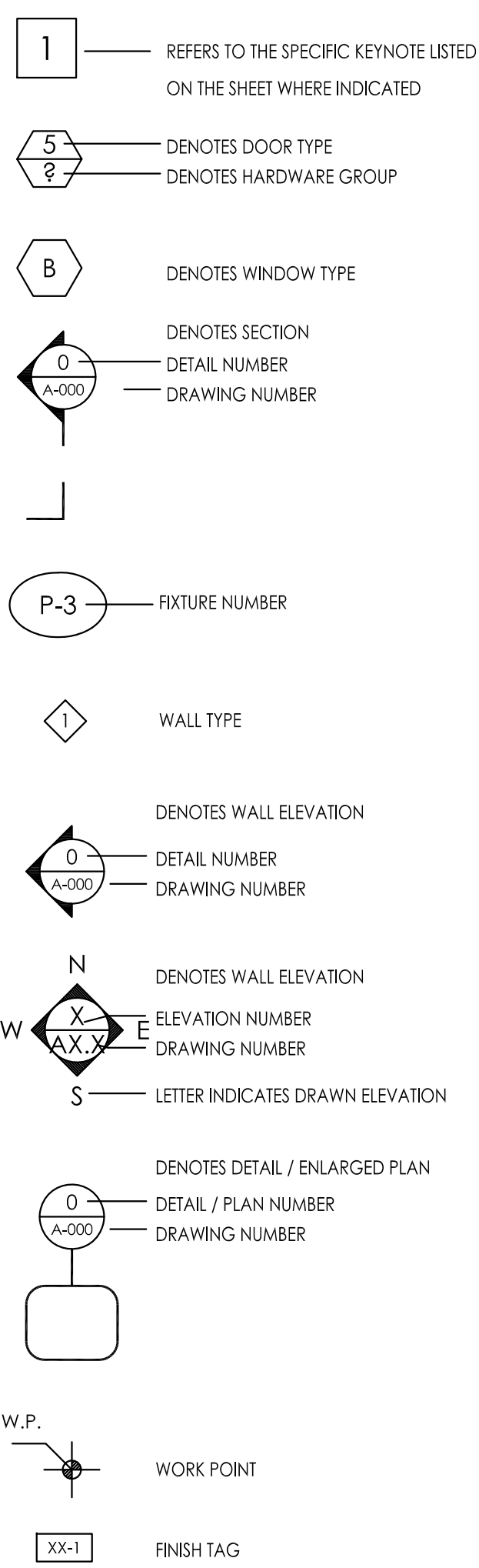
OWNER-PURCHASED ITEMS

- OWNER TO PROVIDE THE FOLLOWING GENERAL ITEMS TO BE INSTALLED BY CONTRACTOR. CONTRACTOR WILL GIVE THE OWNER A SCHEDULE AT THE BEGINNING OF THE PROJECT TO INDICATE WHEN THESE MATERIALS ARE NEEDED ON SITE SO AS TO RESULT IN UNINTERRUPTED CONSTRUCTION WORK.
- ALL CABINETS INCLUDING CABINET HARDWARE
 - ALL TILE AND CUT STONE FOR BATHROOMS AND KITCHEN (INCLUDING SLAB MATERIAL)
 - WALL-MOUNTED ELECTRICAL JOCKS—INTERIOR AND EXTERIOR
 - CHANDLIER & CEILING MOUNT FIXTURES—INTERIOR AND EXTERIOR
 - PLUMBING FIXTURES, FITTINGS, AND FRAMED BATHROOM MIRRORS
 - KITCHEN APPLIANCES
 - ALL FLOORING MATERIALS
 - ALL BATHROOM MIRRORS
- CONTRACTOR TO REVIEW ALL DRAWING SHEETS FOR ADDITIONAL INFORMATION REGARDING MODIFICATION OR CLARIFICATION TO THIS LIST.

ABBREVIATIONS

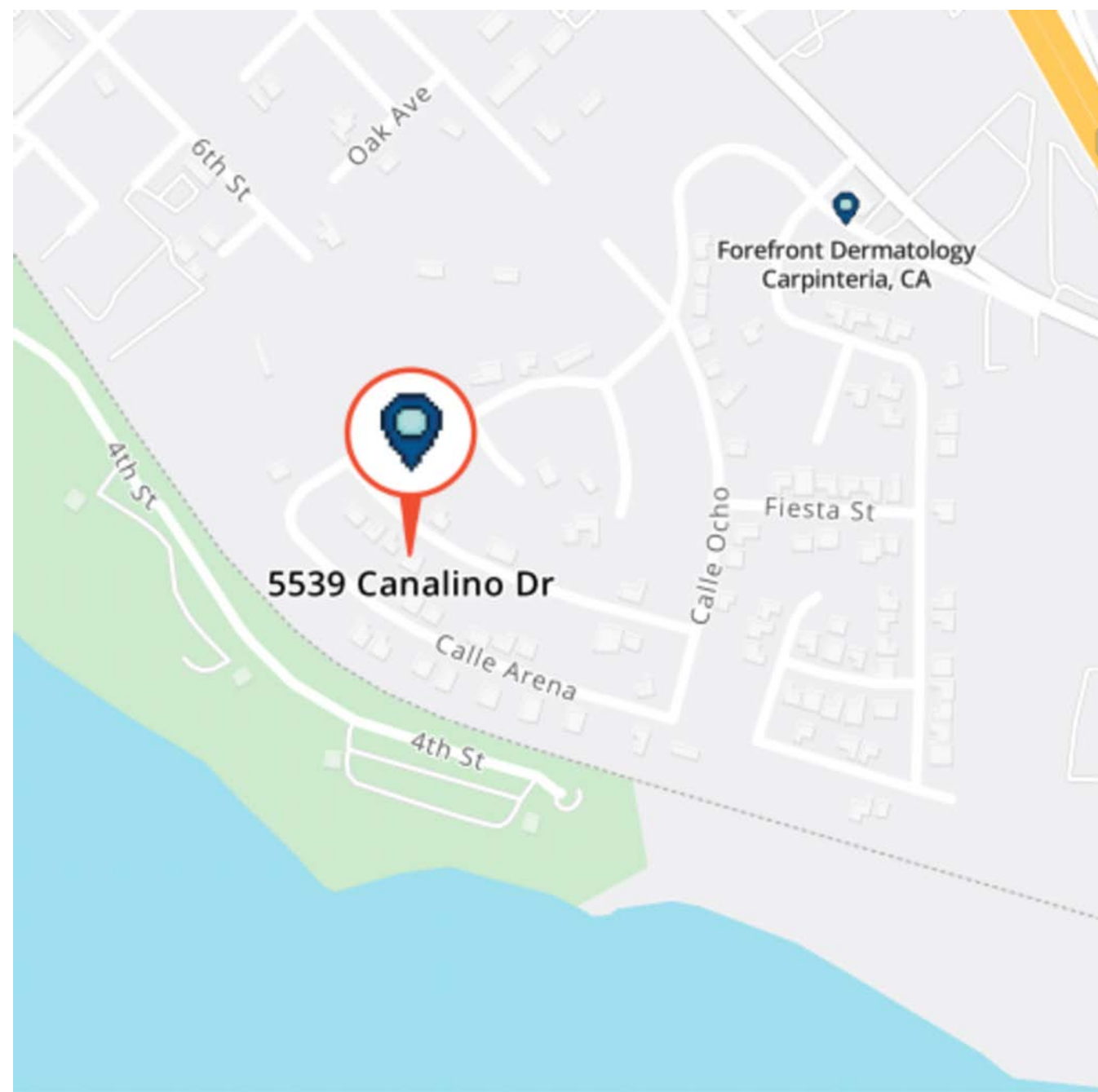
A.H.U.	AIR HANDLING UNIT	GALV.	GALVANIZE	S.A.M.	SHEET APPLIED MEMBRANE
ALUM.	ALUMINUM	GA.	GAUGE	SH.	SIMILAR
ARCH'L	ARCHITECTURAL	GL.	GLASS	SF.	SQUARE FOOTAGE
@	AT	GYP. BD.	GYPSUM BOARD	STD.	STANDARD
BD.	BOARD	HI	HIGH	STL.	STEEL
CLG.	CEILING	HORIZ.	HORIZONTAL	STOR.	STORAGE
CEM.	CEMENT	HR.	HOUR	T.	TREAD(S)
COL.	COLUMN	H / HT.	HEIGHT	T&B	TOP AND BOTTOM
CONC.	CONCRETE	INFO.	INFORMATION	TEL.	TELEPHONE
CONT.	CONTINUOUS	INSUL.	INSULATION	TEMP.	TEMPERED
		JOINT	JOINT	T.O.W.	TOP OF WALL
DEPT.	DEPARTMENT	J.T.	JAVATORY	T.O.P.C.	TOP OF PRE CAST CONC.
DET.	DETAIL	LN.	LOAD FACTOR	TYP.	TYPICAL
DIA.	DIAMETER	MAX.	MAXIMUM	U.O.N.	UNLESS OTHERWISE NOTED
DN.	DOWN	MEM.	MEMBRANE	VEST.	VESTRIBLE
DWG(S)	DRAWING(S)	M.O.	MASONRY OPENING	W	WIDTH
EA.	EACH	(N)	NEW	W.C.	WATER CLOSET
E.O.S.	EDGE OF SLAB	#/No.	NUMBER	W.P.	WATER PROOF
EL.	ELEVATION	O /	ON/OVER	W /	WITH
ELEV.	ELEVATOR	O.H.	OPPOSITE HAND	B.W.P.	BUILDING WORK POINT
(E)	EXISTING	P.S.	PARKING STRUCTURE		
EXPAN.	EXPANSION	PLAST.	PLASTER		
F.O.B.	FACE OF BRICK	R.	RIBBER(S)		
F.O.C.W.	FACE OF CONC. WALL	REIN.	REINFORCED		
F.O.S.	FACE OF HEATING	R.O.	ROUGH OPENING		
F.V.	FIELD VERIFY	S.C.	CORE		
			ROUGH OPENING		

ARCHITECTURAL & LIGHTING SYMBOLS



- THERMOSTAT
- STANDARD DUPLEX RECEPTACLE, +15" AFF
- STANDARD DUPLEX RECEPTACLE, WATER PROOF, +15" AFF
- STANDARD FOURPLEX RECEPTACLE, +15" AFF
- GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE OUTLET, +44" ALL OUTLETS AT KITCHEN COUNTERS AND BATHROOMS SHALL BE G.F.C.I.
- ARC FAULT CIRCUIT INTERRUPTER
- FLOOR OUTLET
- TELEPHONE OUTLET
- DATA OUTLET, CAT 5 INSIDE 1" CONDUIT
- INTERCOM
- CABLE TELEVISION OUTLET
- WATER PROOF, GFCI OUTLET, +15" AFF
- SPEAKER
- FLOOR OUTLET & ARC FAULT CIRCUIT INTERRUPTER
- WALL SWITCH, TOGGLE SINGLE POLE, +46" AFF
- DIMMER SWITCH, +46" AFF
- WALL SWITCH, THREE WAY, +46" AFF
- FAN SWITCH, +46" AFF
- ALL ELECTRICAL RECEPTACLES, SWITCHES, AND OTHER DEVICES TO BE LUTRON, DIVA SERIES. COLOR TO BE WHITE. WALL PLATES FOR ALL DEVICES TO BE CLARO.

VICINITY MAP



PROJECT TEAM

ARCHITECT:
ROBERT MAHTERIAN, ARCHITECT
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302
TEL: (310) 418-5615
EMAIL: mahterian@gmail.com

STRUCTURAL ENGINEER:

TO BE DETERMINED

FAX (661) 297-2331

TITLE 24 CONSULTANT:
TITLE 24-DATA, CORP.
635 MONTEREY TRAIL
PO BOX 2199
FRAZER PARK, CA 93225-2199

CONTRACTOR:
TO BE DETERMINED

SHEET INDEX

ARCHITECTURAL DRAWINGS

- A0.1 COVER SHEET
- A1.1 SURVEY
- A1.2 DEMO SITE & FLOOR PLAN
- A1.3 EXISTING ROOF PLAN
- A1.4 PHOTOS OF SITE AND ADJACENT PROPERTIES
- A2.1 NEW SITE PLAN
- A2.2 NEW FLOOR PLAN
- A2.4 NEW ROOF PLAN
- A2.5 NEW SITE DRAINAGE PLAN
- A2.6 NEW FENCE PLAN
- A4.1 EXISTING EXTERIOR ELEVATIONS
- A4.2 PROPOSED EXTERIOR ELEVATIONS
- A4.3 PROPOSED EXTERIOR ELEVATIONS WITH COLOR
- A5.1 NEW SITE SECTIONS
- A9.1 MATERIAL BOARD
- L1.1 LANDSCAPE PLAN

PROJECT DESCRIPTION

- RENOVATION AND ADDITION TO AN EXISTING ONE-STORY, SINGLE FAMILY RESIDENCE.
- ELECTRICAL, PLUMBING, MECHANICAL WORK TO SUPPORT RECONFIGURATION OF SPACE.
- NEW HARDSCAPE, LANDSCAPE, AND SPA.

LOT COVERAGE

SQUARE FOOTAGE	EXISTING	DEMO	PROPOSED ADDITION	TOTAL
RESIDENCE	1,500			
BEDROOM 3 EXPANSION			47	
DINING ROOM EXPANSION			56	
KITCHEN EXPANSION IN BREEZEWAY			274	
MASTER BEDROOM ADDITION			738	
TOTALS		0	1,115	2,615
TWO-CAR GARAGE	406	0	0	406
EXPANDED PORCH (COVERED)	117	0	91	208
TOTAL EXISTING:	2,023			
TOTAL PROPOSED:				3,230

MAX. SQUARE FOOTAGE ALLOWED CALCULATION:
11.326 X .35% = 3,964 SQUARE FEET

HARDSCAPE COVERAGE

EXISTING CONDITIONS:	IMPERVIOUS	PERVIOUS
DRIVEWAY	790	
FRONT WALKWAY	150	
BREEZEWAY	199	
PATIO IN BACK YARD	334	
CONCRETE PAVERS IN BACKYARD		106
TOTAL IN SQUARE FEET	1,473	106
PROPOSED PROJECT:	IMPERVIOUS	PERVIOUS
DRIVEWAY	466	
FRONT WALKWAY	159	
PATIO IN BACKYARD	839	
POOL EQUIPMENT	70	
TOTAL IN SQUARE FEET	1,534	

PERCENT COVERAGE EXISTING/PROPOSED

	Square Feet		Percent of Site	
	Existing	Proposed	Existing	Proposed
Lot coverage (area covered by buildings, including garage)	2,023 sf	3,230 sf	17.80%	28.50%
Area paved or used for parking, including walkways, patios, etc.	1473 sf	1461 sf	13.10%	12.90%
Area landscaped	7830 sf	6632 sf	69.10%	58.60%
TOTAL			100%	100%

PROJECT INFORMATION

ACCESSOR PARCEL NO:	003-340-031
SITE ADDRESS:	5538 CANALINO DRIVE CARPINTERIA, CA 93013
COUNTY:	SANTA BARBARA COUNTY
LOT SIZE SQ.FT.: (BY ASSESSOR)	11,326 S.F.
MAP NUMBER:	
ZONE:	6-R-1
TYPE OF CONSTRUCTION	VB - FULLY SPRINKLERED
USE OF BUILDING	R-3
DESCRIPTION OF USE	SINGLE FAMILY DWELLING
FIRE HAZARD SEVERITY ZONE	MODERATE FIRE HAZARD SEVERITY ZONE
YEAR BUILT:	1957
NUMBER OF STORIES:	1
NUMBER OF BEDROOMS:	3
NUMBER OF BATHROOMS:	3
EXISTING 1ST FLOOR LIVING SPACE:	1,500 SQ.FT.
EXISTING GARAGE:	406 SQ.FT.

APPLICABLE BUILDING CODES

ALL WORKS SHALL COMPLY TO THE FOLLOWING CODES:

2022 CALIFORNIA BUILDING CODE (TITLE 24, 2022 EDITION, WITH 2023 UPDATES)
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING CODE

FIRE SPRINKLERS: NFPA 13D FIRE SPRINKLER SYSTEM TO BE RECONFIGURED THROUGHOUT RESIDENCE AND NON-INHABITED STRUCTURES IN COMPLIANCE WITH CARPINTERIA-SUMMERLAND FIRE DEPARTMENT REGULATIONS. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

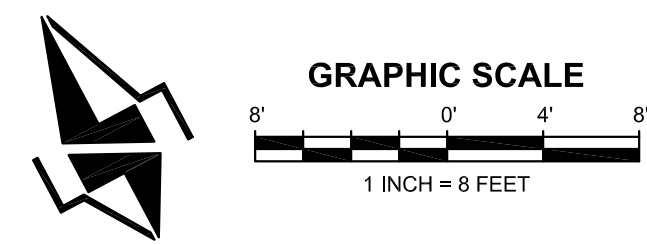
ROBERT MAHTERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

COVER SHEET, SYMBOLS
& VICINITY MAP

SHEET NO.

A0.1

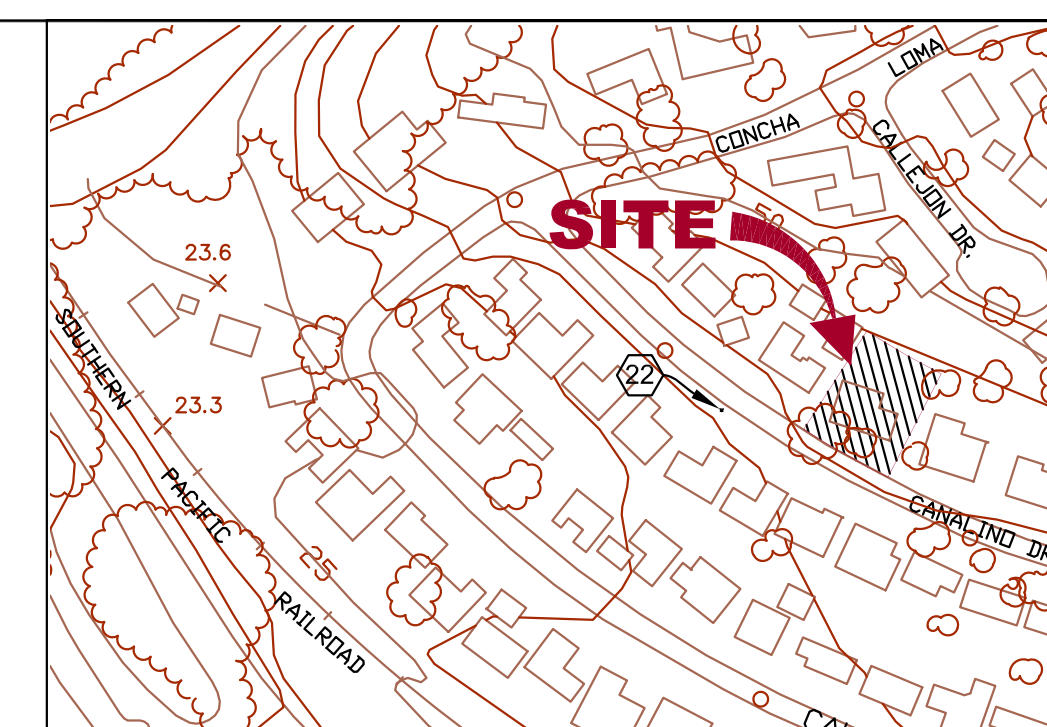


MONUMENT AND BOUNDARY LEGEND:

- ① = found old ¾" iron pipe (open) - in 2014 survey
② = found old ¾" iron pipe (open) - in 2014 survey
① = Δ = 00° 45' 54" , R = 1509.12' , L = 1509.12'
② = Δ = 04° 43' 42" , R = 967.69' , L = 79.86'
③ = N. 30° 18' 22" E. 120.00'
④ = Δ = 04° 43' 42" , R = 847.69' , L = 69.96'
⑤ = Δ = 00° 45' 54" , R = 1389.12' , L = 18.55'
⑥ = S. 24° 54' 04" W. 119.98' meas.

NOTES

- (1) elevations shown hereon are NAVD 1988 datum
(2) boundary data shown , unless noted as " meas. " , is record per the Concha Loma Tract recorded in Book 15 , page 273 of Maps .
(3) utilities shown hereon are based on surface evidence or public record .
(4) the original Carpinteria Valley Water District water main for this block was situated in the public utility easement along the rear lot lines in Block C (line now abandoned) - the main was subsequently moved to it's present location in the southerly portion of the Canalino Drive right-of-way . Water District records (CVWD dwg 381 / sht. 2 of 4) indicate an old service line (unused) may still exist on the westerly side of the 5538 residence .



AREA MAP
NO SCALE

LEGEND:

- ▲ = 3 foot wide public utility easement – see NOTE 4
① = existing single story residence - finish floor elev. = 44.54
roof peak elev. = 59.28
② = existing detached garage finish surface elev. = 42.65
③ = existing concrete porch finish surface elev. = 44.09
④ = breezeway
⑤ = existing concrete patio
⑥ = existing concrete driveway
⑦ = existing concrete walkway
⑧ = existing concrete squares walk
⑨ = existing railroad tie steps
⑩ = existing railroad tie (8" x 8" typ. - four courses high) retaining wall
⑪ = existing wood (railroad tie) ramp
⑫ = existing aluminum storage shed
⑬ = existing railroad tie (two courses high) retaining wall
⑭ = existing railroad tie (one course high) curb
⑮ = wood fence – portion on top of concrete curb
⑯ = wood fence on top of concrete block wall
⑰ = existing wood gazebo
⑱ = gravel covered area
⑲ = existing hedge
⑳ = existing powerpole
㉑ = existing sanitary sewer manhole
㉒ = existing fire hydrant
㉓ = existing water valve
㉔ = existing 6" PVC water main
㉕ = existing 8" VCP sanitary sewer main (Carpinteria Sanitary District dwg. CSD - 58 - 1 - 6A)
㉖ = existing gas main
㉗ = existing water meter
㉘ = existing gas meter
㉙ = existing electric meter
㉚ = existing crawl space entry (2' x 1.5') - bottom elev. = 41.40
㉛ = existing crawl space entry (2' x 1.5')
㉜ = existing concrete steps
㉝ = existing overhead power line
㉞ = existing overhead telecom/CTV
㉟ = existing edge of asphalt pavement
㊱ = existing 1" copper service line
㊲ = sewer cleanout (on main or on service lateral)
㊳ = sanitary sewer service lateral

SITE PLAN

OF LOT 7 IN BLOCK C OF
THE CONCHA LOMA TRACT

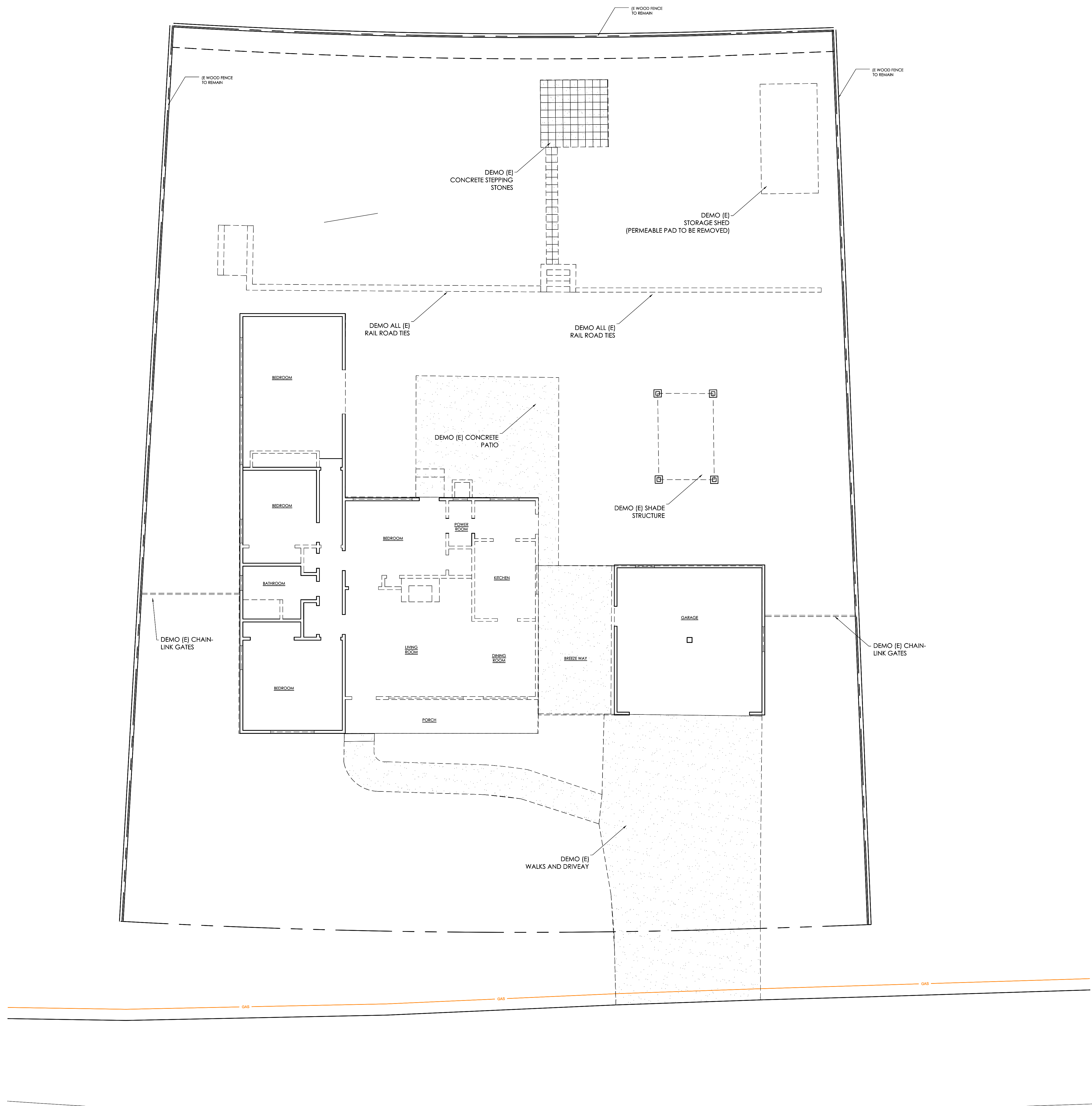
City of Carpinteria
August 2025
Scale as noted

Owner : Marvin
Site address : 5538 Canalino Drive
APN : 003 - 340 - 031

SURVEYING SERVICES
P. O. BOX 989 CARPINTERIA , CA. 93014
805 - 765 - 4097

A1.1





GENERAL NOTES

- A DEMO ALL WALLS THAT ARE SHOWN AS DASHED. COORDINATE W/ ARCHITECTURE PLANS FOR DIMENSIONS OF WALLS TO REMAIN.
- B CONTRACTOR TO DEMOLISH DOORS AND WINDOWS TO ALLOW FOR INSTALLATION OF NEW DOORS AND WINDOWS PER SCHEDULES. INFILL AND REPAIR EXTERIOR/INTERIOR WALLS TO ACHIEVE CONTINUOUS, LEVEL INTERIOR AND EXTERIOR SURFACES.
- C CONTRACTOR TO DEMOLISH ALL ELECTRICAL WIRES AND DEVICES, ALL PLUMBING FIXTURES AND PIPING, AND ALL MECHANICAL SYSTEMS.
- D DEMO ALL FLOORING AND BASE THROUGHOUT HOUSE.
- E DEMO ALL ROOFING MATERIAL.
- F DEMO EXISTING FIREPLACE AND CHIMNEY.
- G DEMO ALL WALK WAYS, PATIOS, AND DRIVEWAY.
- I DEMO ALL EXISTING STUCCO, RAILINGS, AND FASCIAE.
- J DEMO ALL RAIL ROAD TIES
- K DEMO ALL SPRINKLERS
- L SEE LANDSCAPE PLAN FOR INFORMATION REGARDING DEMO SCOPE.

KEYNOTES

- 1
- 2

ARCHITECT
ROBERT MAHERIAN
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302
TEL (310) 418-5615

ISSUE DATE
2/22/2026

SCHEMATIC DOCUMENTS

ROBERT MAHERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

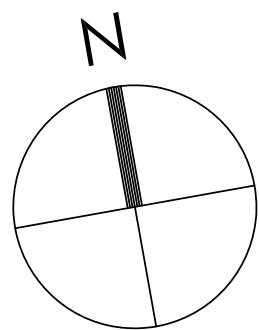
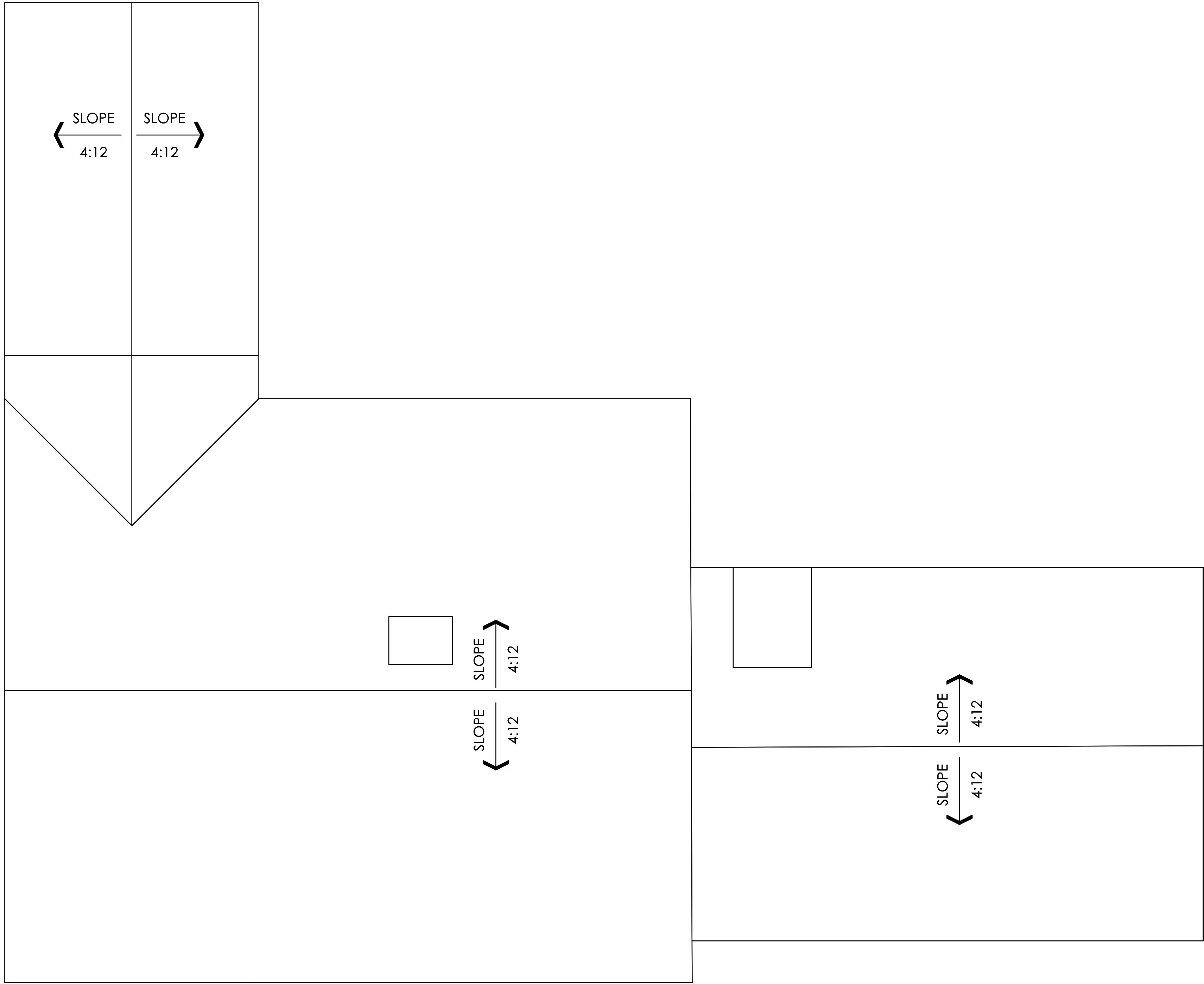
MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

DEMO SITE & FLOOR PLAN

SHEET NO.

A1.2

SCALE: 3/16" = 1'-0"



GENERAL NOTES

EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

SHEET NO.

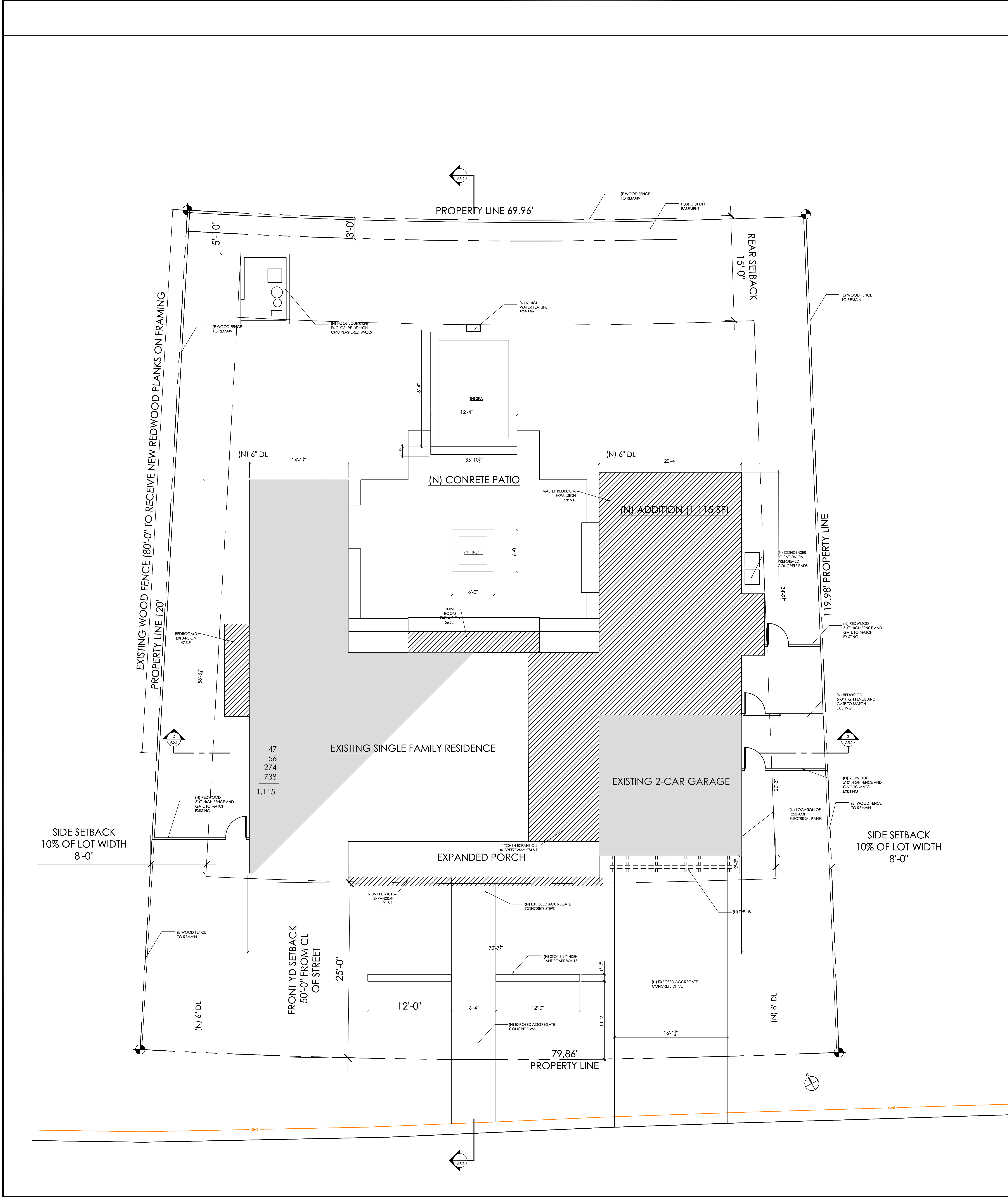
A1.3

MARVIN RESIDENCE
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CARPINTERIA, CA 93013

ROBERT MAHERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

ISSUED DATE	2/23/2026	SCHEMATIC DOCUMENTS	
DESIGNED BY			
DRAWN BY			
CHECKED BY			
IN CHARGE			





LOT COVERAGE

SQUARE FOOTAGE	EXISTING	DEMO	PROPOSED ADDITION	TOTAL
RESIDENCE	1,500			
BEDROOM 3 EXPANSION			47	
DINING ROOM EXPANSION			56	
KITCHEN EXPANSION IN BREEZEWAY			274	
MASTER BEDROOM ADDITION			738	
TOTALS		0	1,115	2,615
TWO-CAR GARAGE	406	0	0	406
EXPANDED PORCH (COVERED)	117	0	91	208
TOTAL EXISTING:	2,023	TOTAL PROPOSED:		3,230

MAX. SQUARE FOOTAGE ALLOWED CALCULATION:
11,326 X .35% = 3,964 SQUARE FEET

HARDSCAPE COVERAGE

EXISTING CONDITIONS:	IMPERVIOUS	PERVIOUS
DRIVEWAY	790	
FRONT WALKWAY	150	
BREEZEWAY	199	
PATIO IN BACK YARD	334	
CONCRETE PAVERS IN BACKYARD		106
TOTAL IN SQUARE FEET	1,473	106
PROPOSED PROJECT:	IMPERVIOUS	PERVIOUS
DRIVEWAY	466	
FRONT WALKWAY	159	
PATIO IN BACKYARD	839	
POOL EQUIPMENT	70	
TOTAL IN SQUARE FEET	1,534	

GENERAL NOTES

- PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES
- OWNER WILL MAINTAIN DRAINAGE DEVICES AND KEEP FREE OF DEBRIS
- AN ENCROACHMENT PERMIT IS REQUIRED FOR CONSTRUCTION AND/OR DISCHARGE OF DRAINAGE WITHIN PUBLIC ROAD RIGHT-OF-WAY
- NO WORK IS ALLOWED WITHIN THE PROTECTED ZONE OF OAK TREE WITHOUT AN OAK TREE REPORT AND PERMIT
- FIRE DEPARTMENT VEHICULAR ACCESS ROADS MUST BE INSTALLED AND MAINTAINED IN A SERVICEABLE MANNER PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- BUILDING ADDRESS NUMBERS SHALL BE PROVIDED & MAINTAINED SO AS TO BE PLAINLY VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY. THE NUMBERS SHALL BE A MINIMUM 3" HIGH, 1" WIDE WITH A 3/8" STROKE. FOR BUILDINGS SET BACK MORE THAN 150' FROM THE STREET, THE NUMBERS SHALL BE A MINIMUM 5" HIGH, 2" WIDE WITH A 1/2" STROKE.
- A KEY BOX SHALL BE PROVIDED AT GATED ENTRANCE, IN ACCORDANCE WITH FIRE CODE 902.4, & AS SET FORTH IN FIRE DEPT. REGULATION 8.
- THE REQUIRED FIRE FLOW FOR PUBLIC FIRE HYDRANTS AT THIS LOCATION IS 1250 GPM, AT 20 PSI RESIDUAL PRESSURE, FOR A DURATION OF 2 HOURS OVER & ABOVE MAXIMUM DAILY DOMESTIC DEMAND. FIRE CODE 508.3 & FIRE DEPT REGULATION -8.
- THE INSPECTION, HYDROSTATIC TEST & FLUSHING OF THE UNDERGROUND FIRE PROTECTION PIPING SHALL BE WITNESSED BY AN AUTHORIZED FIRE DEPT REPRESENTATIVE & NO UNDERGROUND PIPING OR THRUST BLOCKS SHALL BE COVERED WITH EARTH OR HIDDEN FROM VIEW UNTIL THE FIRE DEPT REP HAS BEEN NOTIFIED & GIVEN NOT LESS THAN 48 HOURS IN WHICH TO INSPECT SUCH INSTALLATIONS.

FENCING NOTES

- ALL PERIMETER REDWOOD FENCING TO REMAIN ON PROPERTY LINE. ON WEST PROPERTY LINE, APPROXIMATELY 80'-0" OF FENCING IN BACKYARD IS ONLY FRAMED WITH PLANKS ON NEIGHBORS SIDE. THIS AREA TO RECEIVE NEW REDWOOD PLANKS TO MATCH EXISTING.
- ALL EXISTING CROSS FENCING IS CHAINLINK AND IS TO BE REMOVED AND REPLACED WITH NEW REDWOOD FENCING AND GATES TO MATCH FENCING THAT IS EXISTING ALONG PROPERTY LINES.
- GATES AT BACKYARD ARE TO COMPLY WITH POOL SAFETY CODES (SWING IN) AND BE SELF CLOSING.

ARCHITECT
ROBERT MAHERIAN
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302
TEL (310) 418-5615

ISSUE DATE
2/23/2026

SCHEMATIC DOCUMENTS

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ROBERT MAHERIAN, ARCHITECTS

24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE

5538 CANALINO DRIVE
CARPINTERIA, CA 93013

NEW SITE PLAN

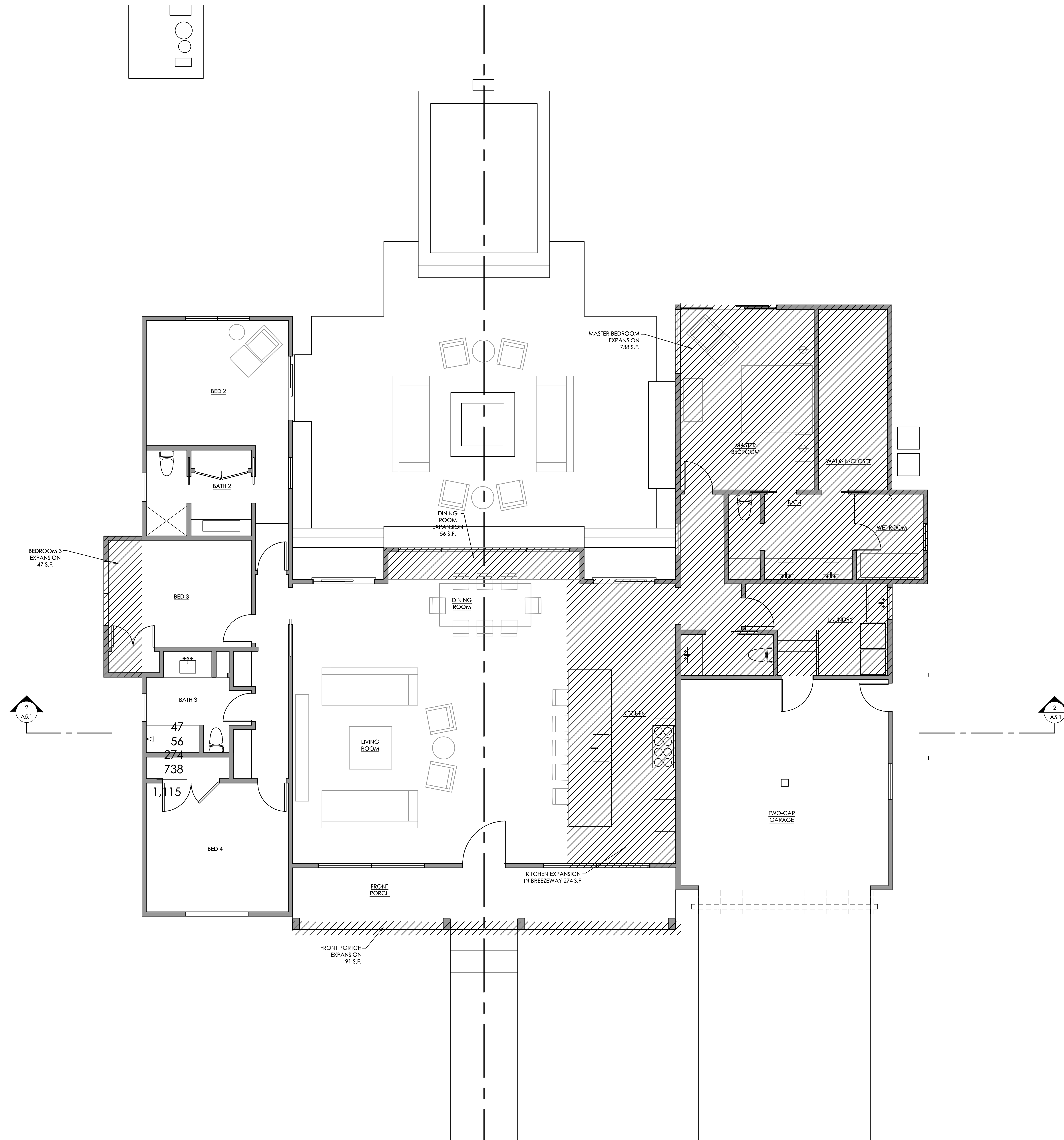
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SHEET NO.

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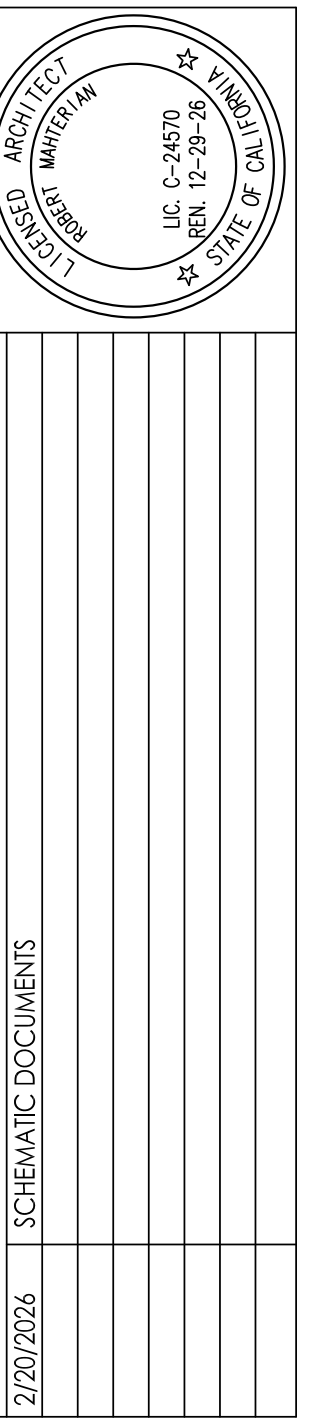
1 NEW SITE PLAN

Page 18 of 34



GENERAL NOTES

- A** ALL INTERIOR WALLS & CEILINGS TO BE FINISHED SMOOTH (NO TEXTURE).
 - B** CONTRACTOR TO INSTALL NEW PRE-PRIMED BASE & CASING THROUGH (ON DOORS AND WINDOWS).
 - C** SEE INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION; NOTE CAPPED OPENINGS.
 - D** MECHANICAL SYSTEM TO BE DESIGN/BUILD. CONTRACTOR TO PROVIDE TWO (2) 5 TON UNITS, CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR OWNER & ARCHITECT REVIEW. DRAWINGS TO INCLUDE LOCATION OF FAULTS, THERMOSTATS, RETURN AND SUPPLY DIFFUSERS.
 - E** ALL LANDINGS TO SLOPE 2% AWAY FROM BUILDING.
 - F** PROVIDE EMERGENCY EXIT DOOR OR WINDOW FROM SLEEPING ROOMS. NET CLEAR WINDOW OPENING AREA SHALL BE NOT LESS THAN 5'5.5" (80" SQ. IN.). MIN. NET WINDOW OPENING HEIGHT DIMENSION 24" CLEAR; MIN. NET OPENING WIDTH DIMENSION 20" CLEAR. FINISHED SILL HEIGHT MAX. 44" ABOVE FLOOR.
 - G** ALL SHOWER ENCLOSURES & DOORS TO BE OF TEMPERED GLASS & CATEGORY 2.
 - H** FIRE BLOCKING SHALL BE INSTALLED AT:
A. CONCEALED SPACES OF STUD WALLS & PARTITIONS, SUCH AS CEILINGS AT 10'-0" MAXIMUM INTERVALS BOTH VERTICALLY & HORIZONTALLY.
B. INTERSECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES.
C. CONCEALED SPACE BETWEEN CEILING STRINGERS AT TOP & BOTTOM RUN.
D. AT OPENINGS AROUND VENTS, PIPES, DUCTS, & CHIMNEYS (NON-COMBUSTIBLE MATERIALS).
E. AT OPENINGS BETWEEN ATTIC & CHIMNEY CHASE FOR FACTORY-BUILT CHIMNEYS.
 - I** SEE ATTACHED FORMS CF-1R & MF-1R SPECIFYING THE REQUIRED ENERGY FEATURES FOR WALL/CEILING INSULATION, WINDOW AREAS & TYPES, HVAC SYSTEMS, DUCT INSULATION & DUCT LIGHTING, AND WATER HEATING, WATER HEATER TYPE & PIPE/HEATER INSULATION & HEATS RATER VERIFICATION REQUIREMENTS.
 - J** FIRE-RESISTIVE ASSEMBLIES FOR THE PROTECTION OF OPENINGS. SHALL COMPLY WITH APPLICABLE CODES.
 - K** THE PLUMBING FIXTURE SHALL MEET THE FOLLOWING STANDARDS:
WATER CLOSURE = 1.4 GALLONS PER FLUSH MAX
SHOWERHEAD = 2.0 GPM MAX
LAVATORY/SINK FAUCETS = 2.2 GPM MAX.
 - L** ALL EXTERIOR WALLS TO BE WALLTYPE 4, UNLESS OTHERWISE NOTED.
 - M** ALL INTERIOR WALLS TO BE WALL TYPE 1B, UNLESS OTHERWISE NOTED.
 - N** ALL INTERIOR WALLS AND FLOORS TO HAVE SOUND ATTENUATION BASKET INSTALLED.
 - O** ALL CABLING FOR TELEPHONES, TV'S, SPEAKERS, AND OTHER HOME AUTOMATION TO BE COORDINATED WITH OWNER.



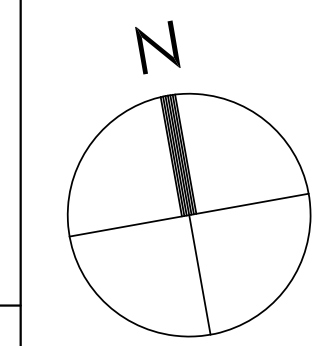
ROBERT MAHERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

NEW FLOOR PLAN

HEET NO.

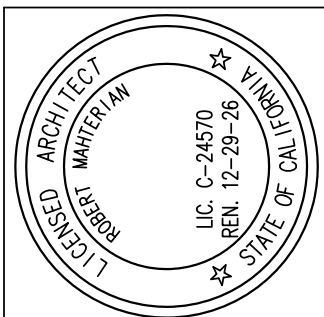
A2.2



ISSUE DATE	2/20/2024	
SCHEMATIC DOCUMENTS		

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

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ISSUE DATE
2/23/2024

SCHEMATIC DOCUMENTS

ROBERT MAHTERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
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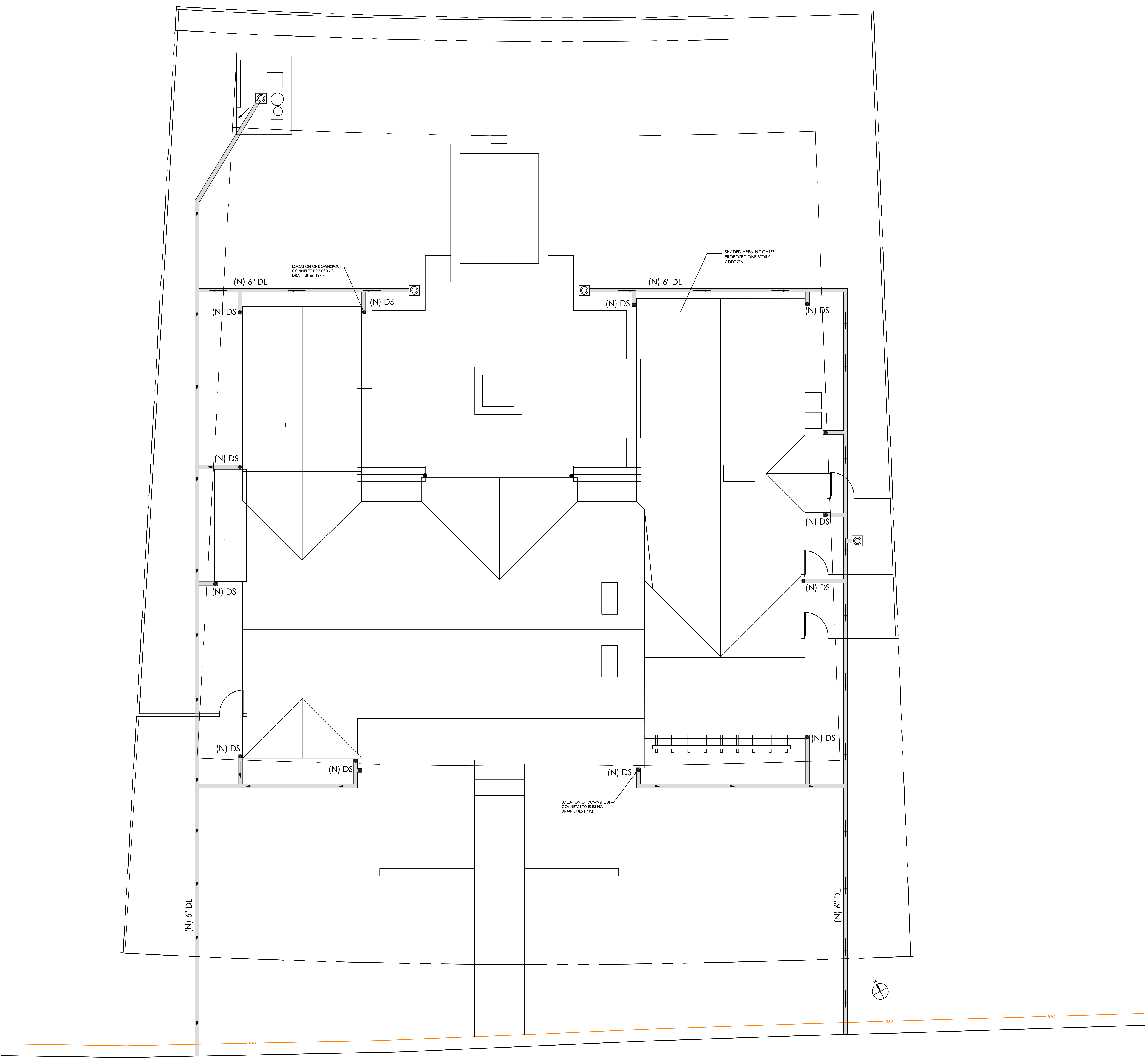
NEW SITE DRAINAGE PLAN

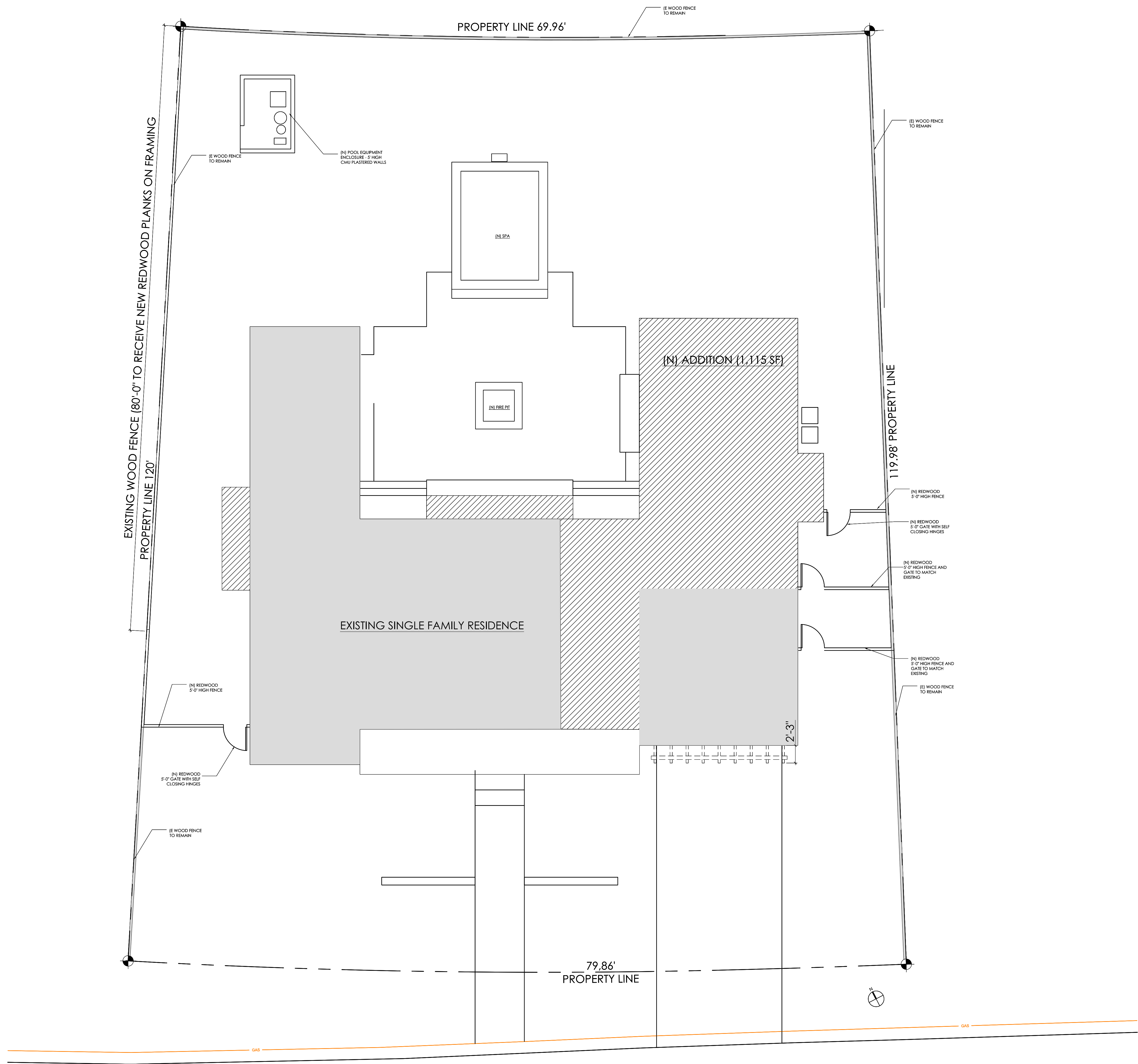
SCALE: 3/16" = 1'-0"

SHEET NO.

A2.5

GENERAL NOTES





FENCE NOTES

- 1 ALL PERIMETER REDWOOD FENCING TO REMAIN ON PROPERTY LINE. ON WEST PROPERTY LINE, APPROXIMATELY 80'-0" OF FENCING IN BACKYARD IS ONLY FRAMED WITH PLANKS ON NEIGHBORS SIDE. THIS AREA TO RECEIVE NEW REDWOOD PLANKS TO MATCH EXISTING.
 - 2
 - 3 ALL EXISTING CROSS FENCING IS CHAINLINK AND IS TO BE REMOVED AND REPLACED WITH NEW REDWOOD FENCING AND GATES TO MATCH FENCING THAT IS EXISTING ALONG PROPERTY LINES.
- GATES AT BACKYARD ARE TO COMPLY WITH POOL SAFETY CODES (SWING IN) AND BE SELF CLOSING.

ARCHITECT		DATE	
ROBERT MAHERIAN, ARCHITECTS		2/22/2024	
PROJECT		SCHEMATIC DOCUMENTS	
SHEET NO.		A2.6	
SCALE		3/16" = 1'-0"	

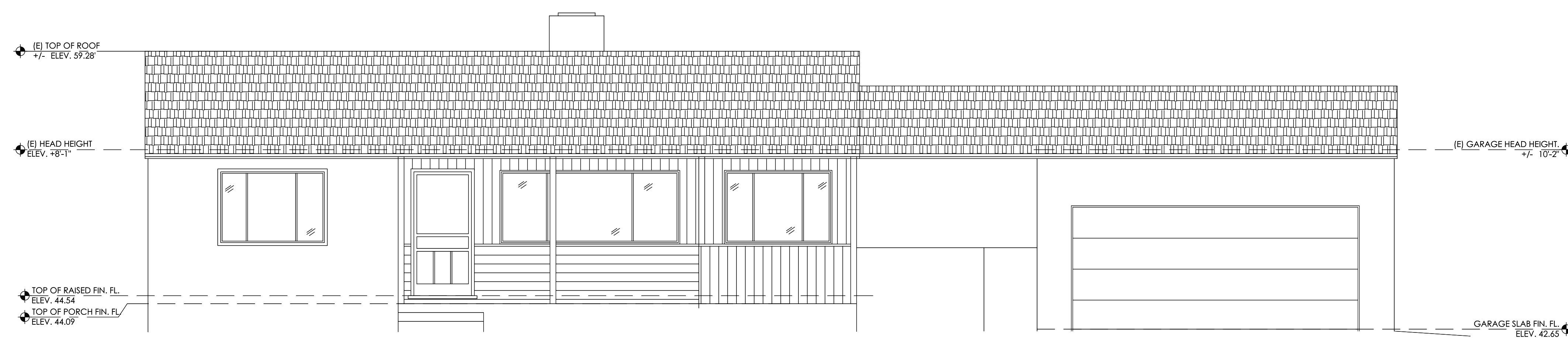
ROBERT MAHERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

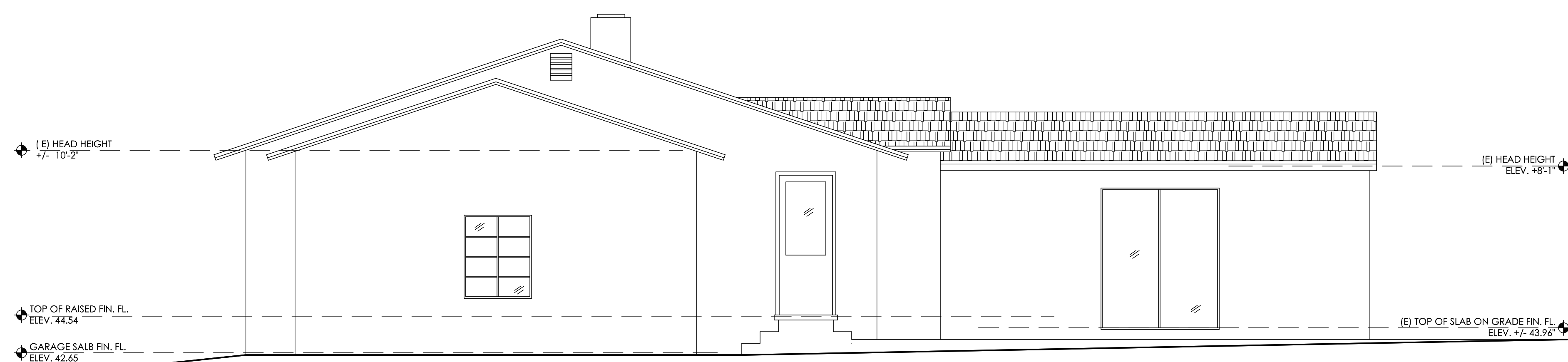
NEW FENCE PLAN

SHEET NO.

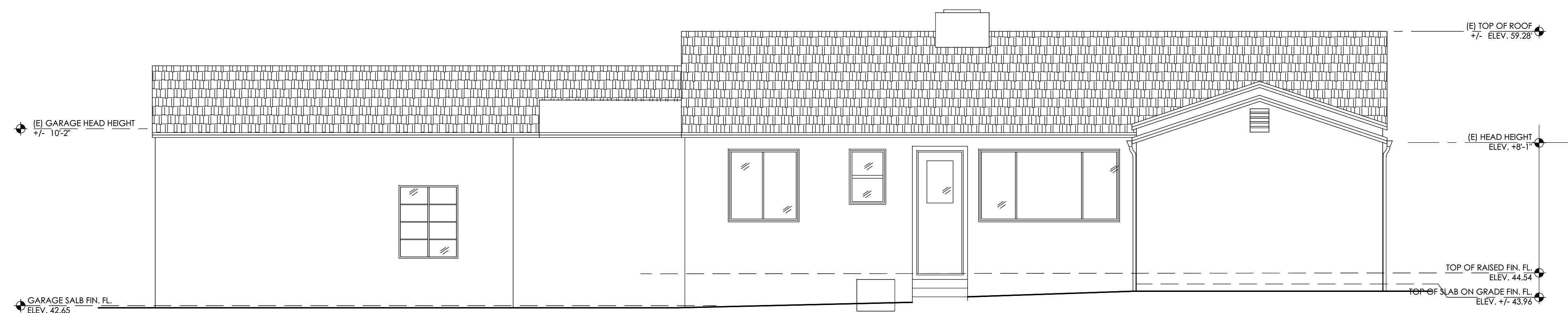
A2.6



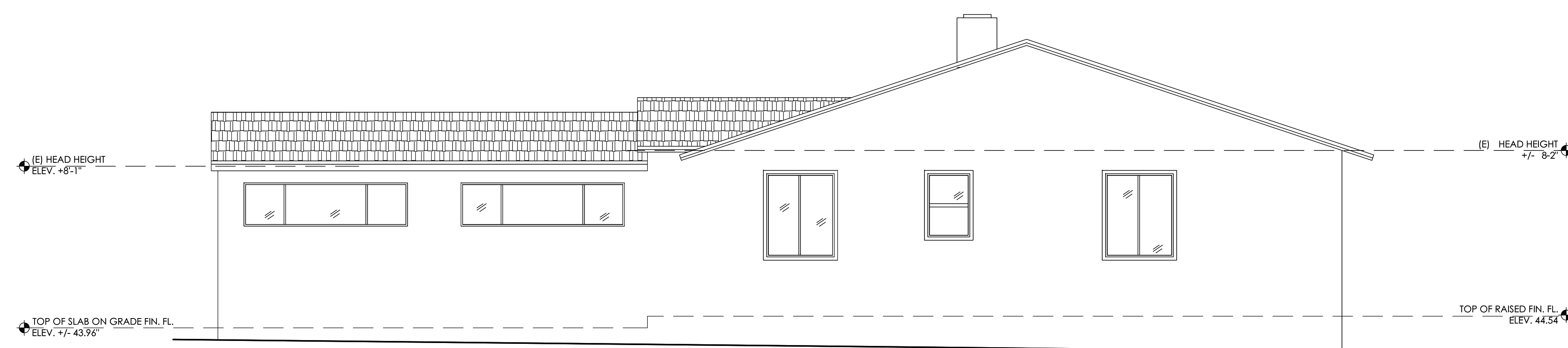
1	EXISTING SOUTH ELEVATION
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2	EXISTING EAST ELEVATION
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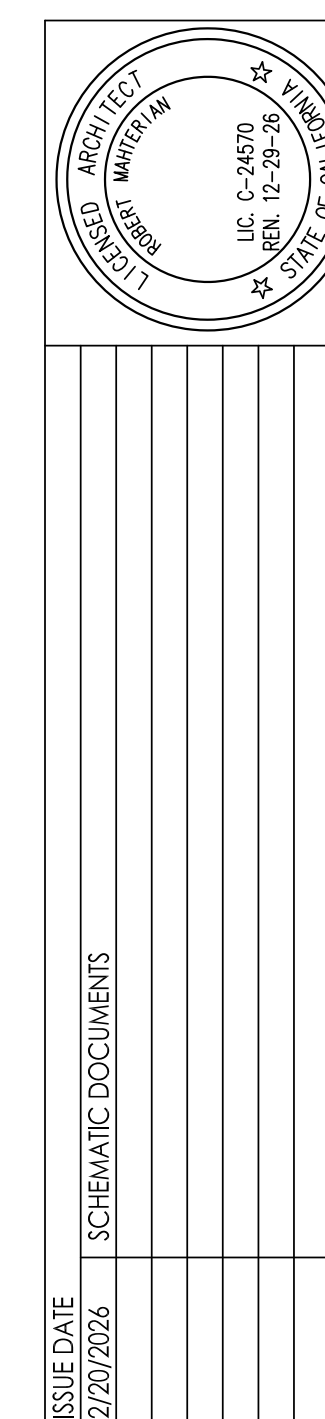


3	EXISTING NORTH ELEVATION
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4	EXISTING WEST ELEVATION
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GENERAL NOTES



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HIDDEN HILLS, CA 91302 TEL (310) 418-5615

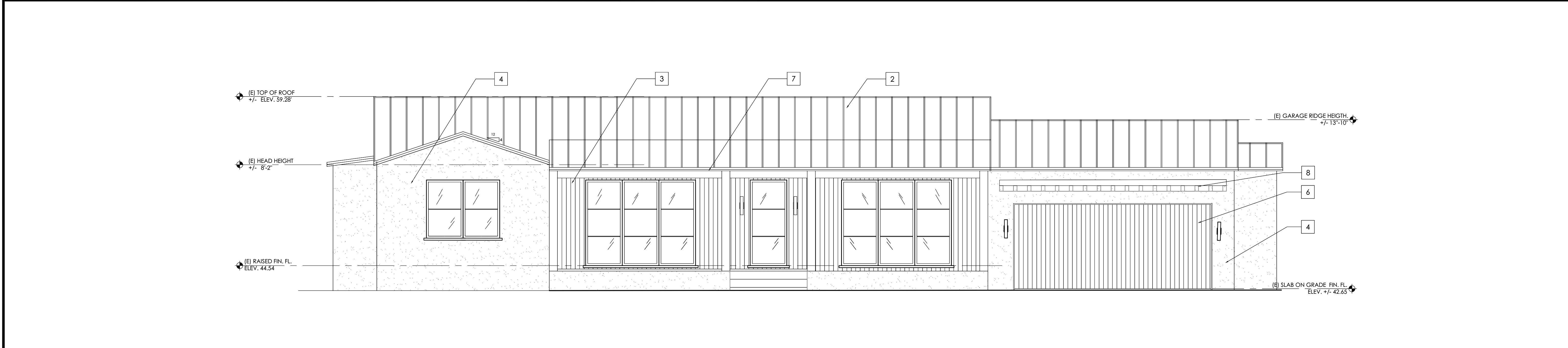
MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

EXISTING EXTERIOR
ELEVATIONS

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SHEET NO.

A4.1



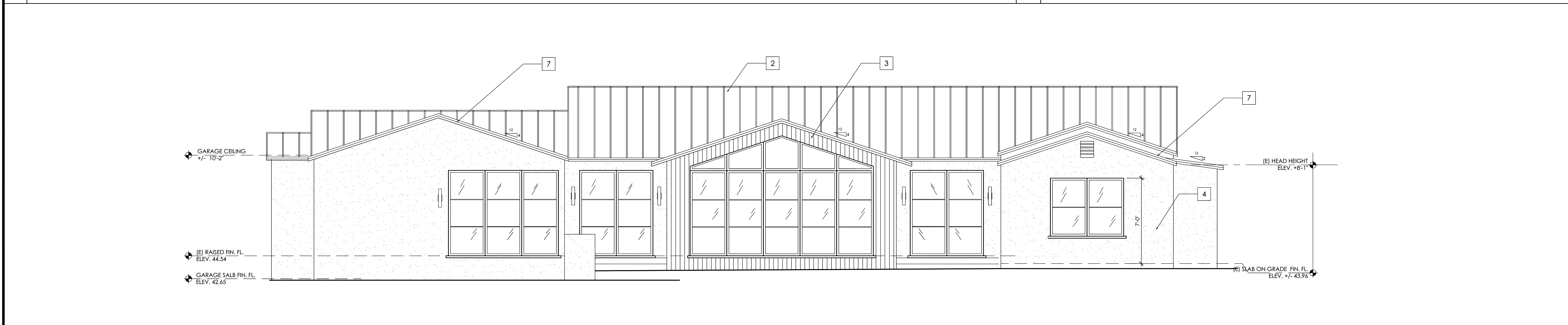
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2 PROPOSED EAST ELEVATION



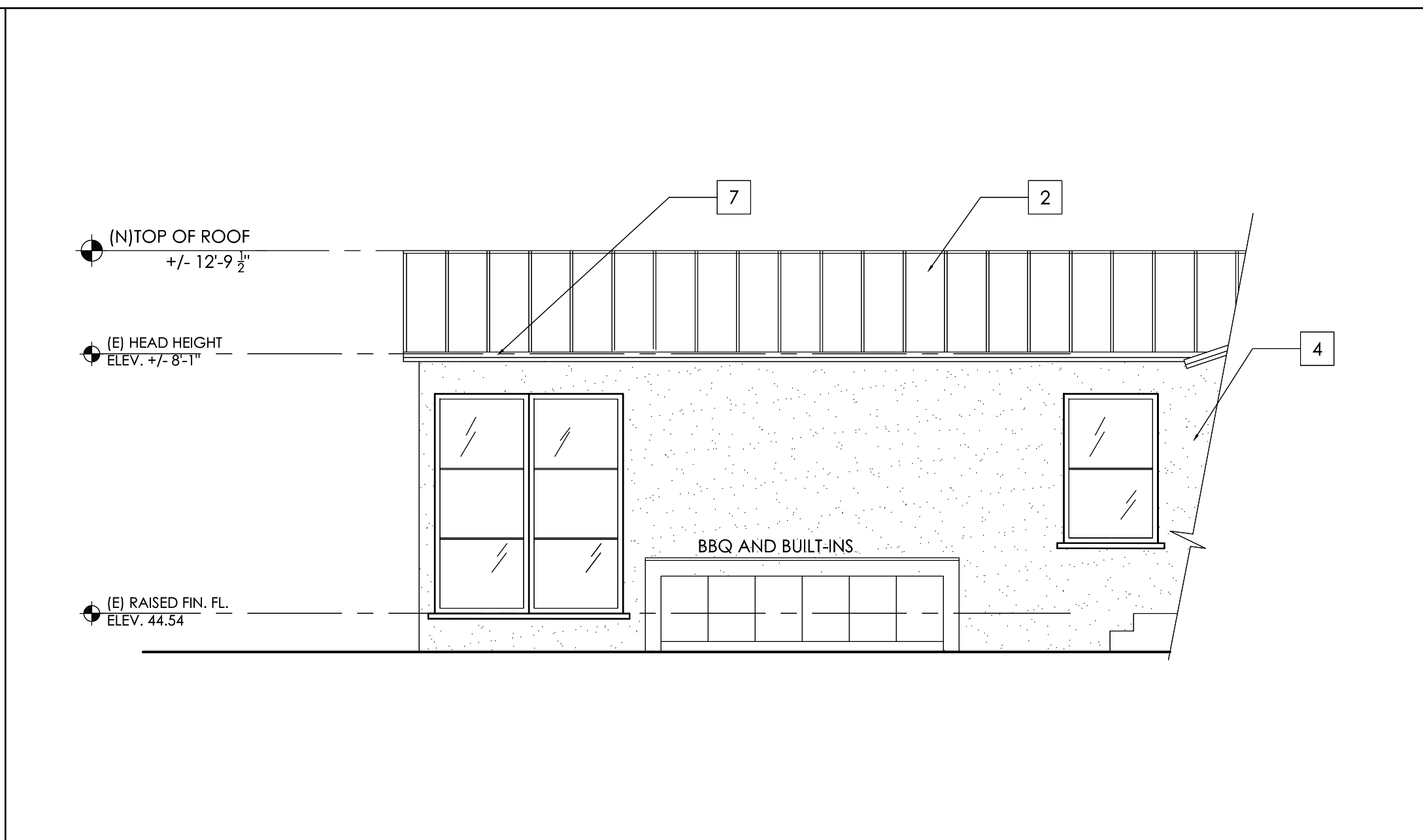
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4 PROPOSED NORTH ELEVATION



5 PROPOSED WEST ELEVATION



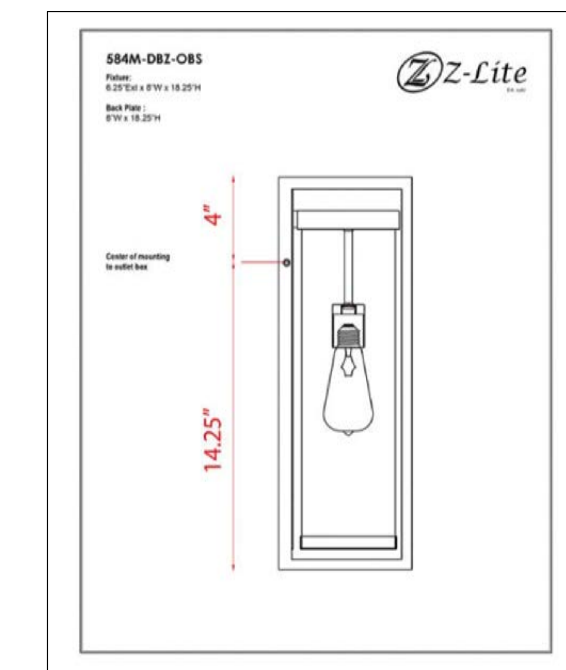
6 PROPOSED PARTIAL WEST ELEVATION

GENERAL NOTES

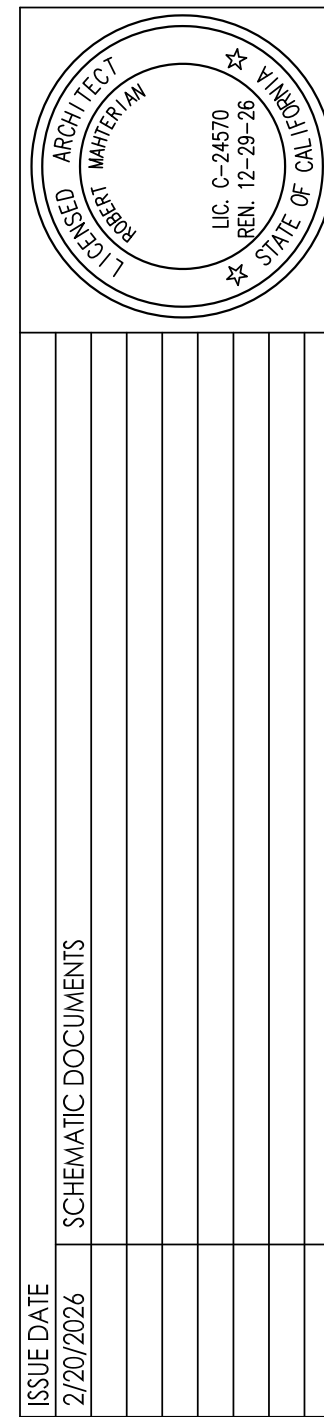
- SEE RCP FOR LIGHT FIXTURE INFORMATION
- ALL ROOFING TO BE CLASS "A" ROOFING. SEE ROOF PLAN FOR ROOF & GUTTER INFO.
- WINDOW HEAD & DOOR HEAD TO ALIGN, AS SHOWN IN EXTERIOR ELEVATIONS. CONFIRM INTERIOR FLOOR THICKNESS, MATERIAL, & THRESHOLDS WITH OWNERS.
- EXTERIOR WALLS - BOARD AND BATTEN AND STUCCO COLOR TO BE CONFIRMED WITH OWNER & ARCHITECT.
- CONTRACTOR TO PRIME ALL SURFACES IN PREPARATION FOR FINISH. USE MANUFACTURER'S RECOMMENDATION FOR PRIMERS APPROPRIATE FOR SURFACE AND TO RECEIVE SPECIFIED PAINT. SAND BETWEEN ALL COATS. APPLY MINIMUM OF THREE TOP COATS.
- CONTRACTOR TO PROVIDE UP TO SIX (6) 4' X 4' EXTERIOR MOCK-UPS FOR PAINT COLORS AS SUBMITTED BY ARCHITECT OR OWNER DURING CONSTRUCTION.

KEYNOTES

- EXTERIOR LIGHT FIXTURE - OWNER PURCHASED CONTRACTOR INSTALLED. SEE RCP FOR SWITCHING
- ALL ROOFING TO BE CLASS "A" ROOFING. WESTERN STATES METAL ROOFING. COLOR MATTE DARK BRONZE. SEE ROOF PLAN FOR ROOF & GUTTER INFO.
- NEW SIDING: CLEAR VERTICAL GRAIN (CVG) WESTERN RED CEDAR. NOMINAL WIDTH TO BE 5". THICKNESS TO BE 3/4" TONGUE AND GROOVE TO BE 1/2" TONGUE AND 3/8" GROOVE DEPTH. EDGE DETAIL TO BE SQUARE GROOVE EDGES (NO V-GROOVE OR BEVEL ON EXPOSED FACE). STAIN TO BE BEHR PREMIUM SEMI-TRANSPARENT WATERPROOFING WOOD STAIN. COLOR TO BE DETERMINED IN FIELD BY OWNER AND ARCHITECT.
- EXTERIOR PLASTER: LAHABRA STUCCO SOLUTIONS. COLOR: P-100 GLACIER WHITE.
- STONE VENEER: CASTLE ROCK LEDGE THICK VENEER. CONTRACTOR TO PROVIDE MOCK-UP ON SITE FOR VERIFICATION BY OWNER AND ARCHITECT PRIOR TO PURCHASING OR INSTALLATION.
- NEW GARAGE DOOR WITH STAINED CEDAR TONGUE AND GROOVE PLANKS. STAIN TO BE SAME COLOR AS CEDAR SIDING ON RESIDENCE.
- FACIA TO BE 2 X 6 CLEAR VERTICAL GRAIN (CVG) ALASKAN YELLOW CEDAR. COLOR TO BE DETERMINED IN FIELD BY OWNER AND ARCHITECT.
- NEW WOODEN TRELLIS OVER GARAGE DOOR.



EXTERIOR LIGHT SCONCE: Z-LITE DUNBROCH DEEP BRONZE BRASS OUTDOOR WALL LIGHT. USE 3 WATT LED FROSTED BULB.



ROBERT MAHTERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

PROPOSED EXTERIOR
ELEVATIONS

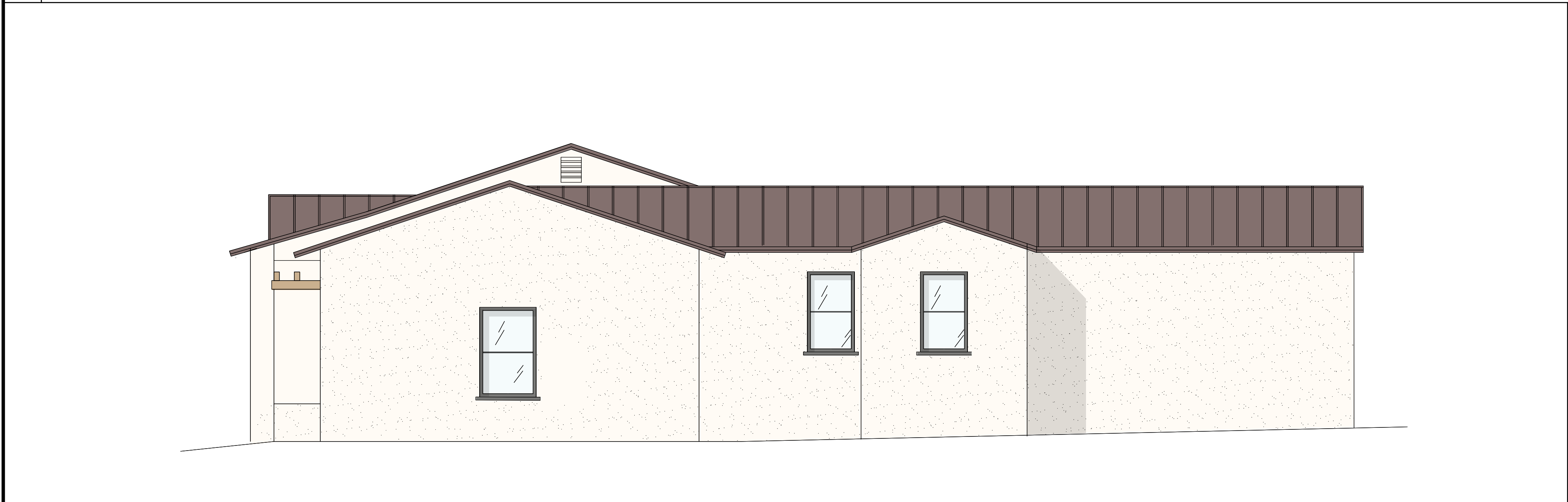
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SHEET NO.

A4.2



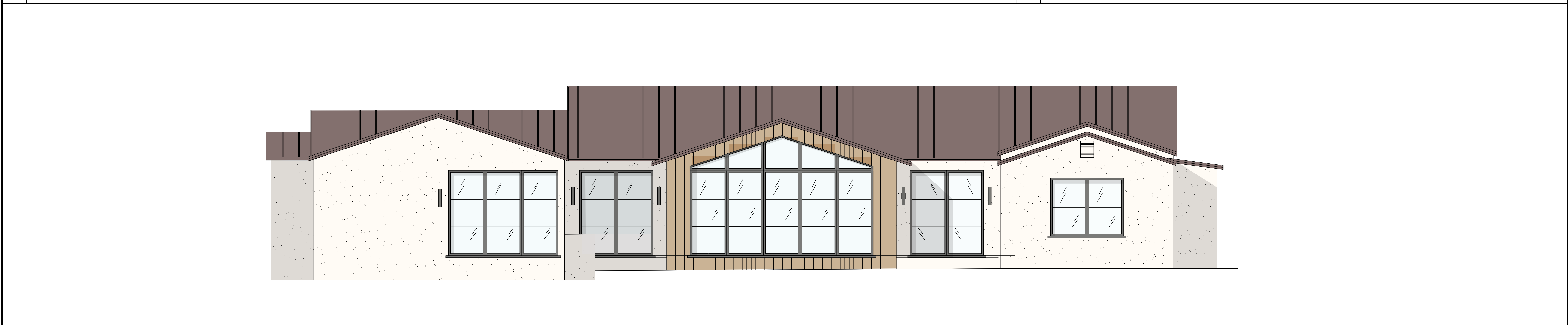
1 PROPOSED SOUTH ELEVATION



2 PROPOSED EAST ELEVATION



3 PROPOSED PARTIAL EAST ELEVATION



4 PROPOSED NORTH ELEVATION



5 PROPOSED WEST ELEVATION



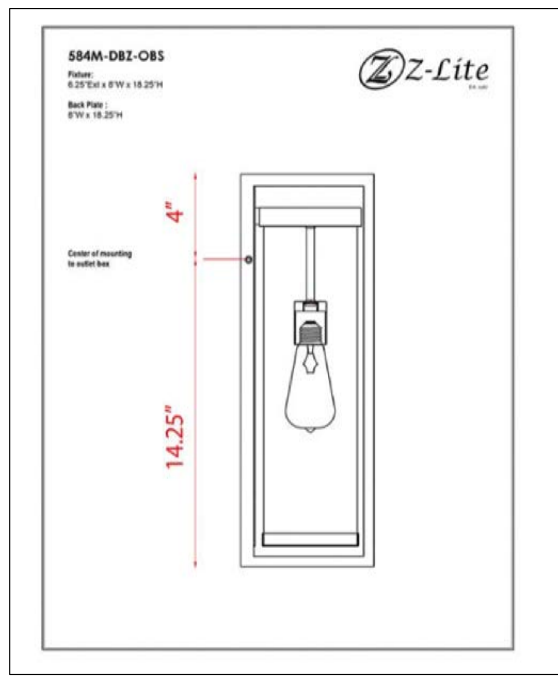
6 PROPOSED PARTIAL WEST ELEVATION

GENERAL NOTES

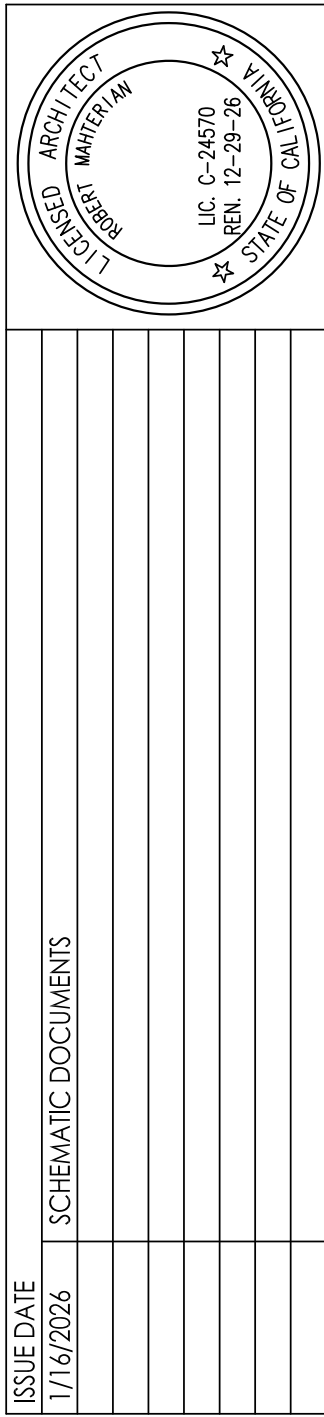
- A SEE RCP FOR LIGHT FIXTURE INFORMATION
- B ALL ROOFING TO BE CLASS "A" ROOFING. SEE ROOF PLAN FOR ROOF & GUTTER INFO.
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KEYNOTES

- 1 EXTERIOR LIGHT FIXTURE - OWNER PURCHASED. CONTRACTOR INSTALLED. SEE RCP FOR SWITCHING
- 2 ALL ROOFING TO BE CLASS "A" ROOFING. WESTERN STATES METAL ROOFING. COLOR MATTI DARK BRONZE. SEE ROOF PLAN FOR ROOF & GUTTER INFO.
- 3 NEW SIDING: CLEAR VERTICAL GRAIN (CVG) WESTERN RED CEDAR. NOMINAL WIDTH TO BE 5". THICKNESS TO BE 3/4". TONGUE AND GROOVE TO BE 3/4" TONGUE AND 3/4" GROOVE DEPTH. EDGE DETAIL TO BE SQUARE GROOVE EDGES (NO V-GROOVE OR BEVEL ON EXPOSED FACE). STAIN TO BE BEHR PREMIUM SEMI-TRANSPARENT WATERPROOFING WOOD STAIN. COLOR TO BE DETERMINED IN FIELD BY OWNER AND ARCHITECT.
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- 5 STONE VENEER: CASTLE ROCK LEDGE THICK VENEER. CONTRACTOR TO PROVIDE MOCK-UP ON SITE FOR VERIFICATION BY OWNER AND ARCHITECT PRIOR TO PURCHASING OR INSTALLATION.
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- 8 NEW WOODEN TRELLIS OVER GARAGE DOOR.



EXTERIOR LIGHT SCONCE: Z-LITE DUNBROCH DEEP BRONZE BRASS OUTDOOR WALL LIGHT. USE 3 WATT LED FROSTED BULB.



ROBERT MAHTERIAN, ARCHITECTS
24942 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

PROPOSED EXTERIOR
ELEVATIONS WITH COLOR

SHEET NO.

A4.3

SCALE: 1/4" = 1'-0"



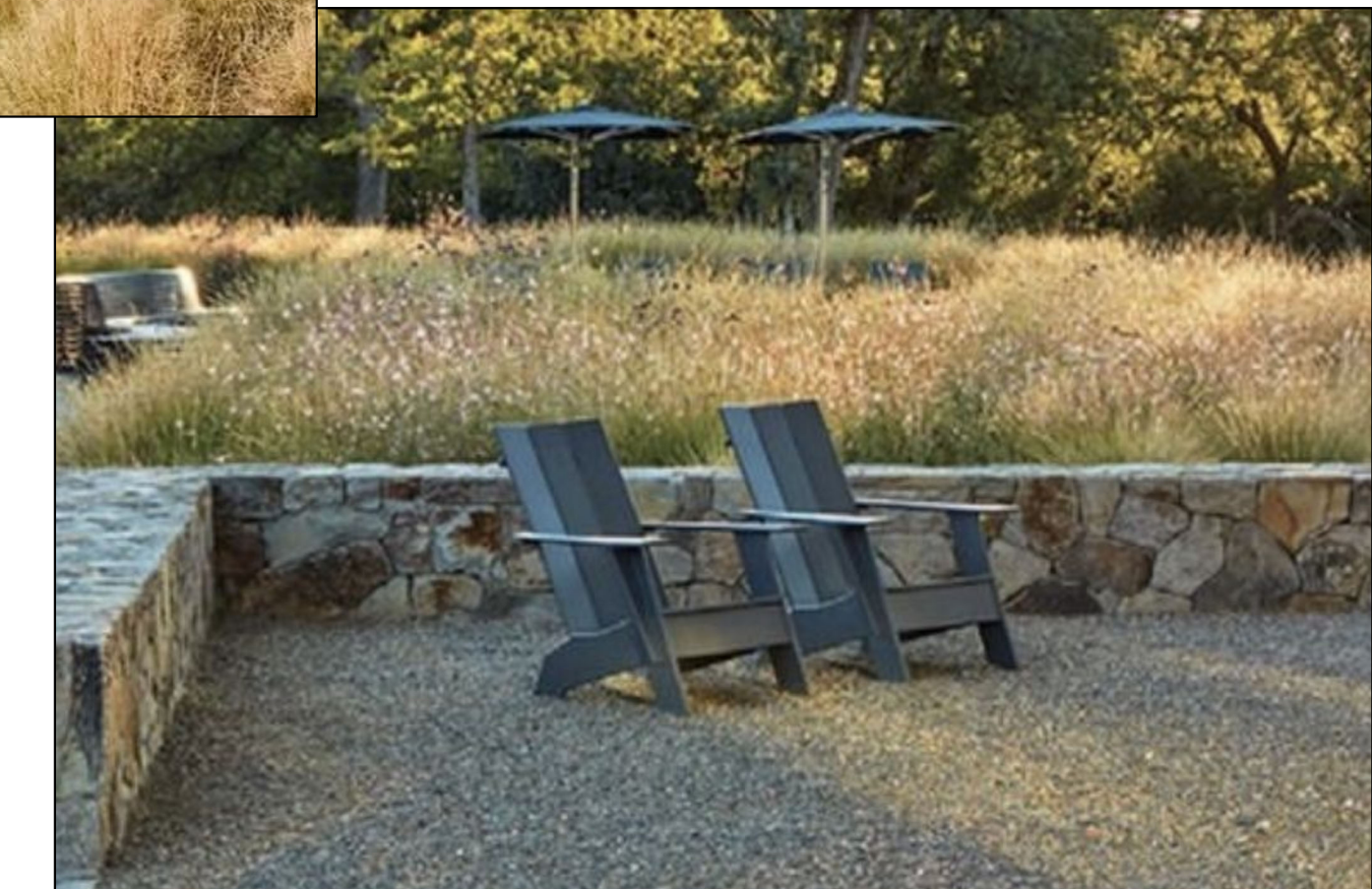
MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

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SHEET NO.

A5.1

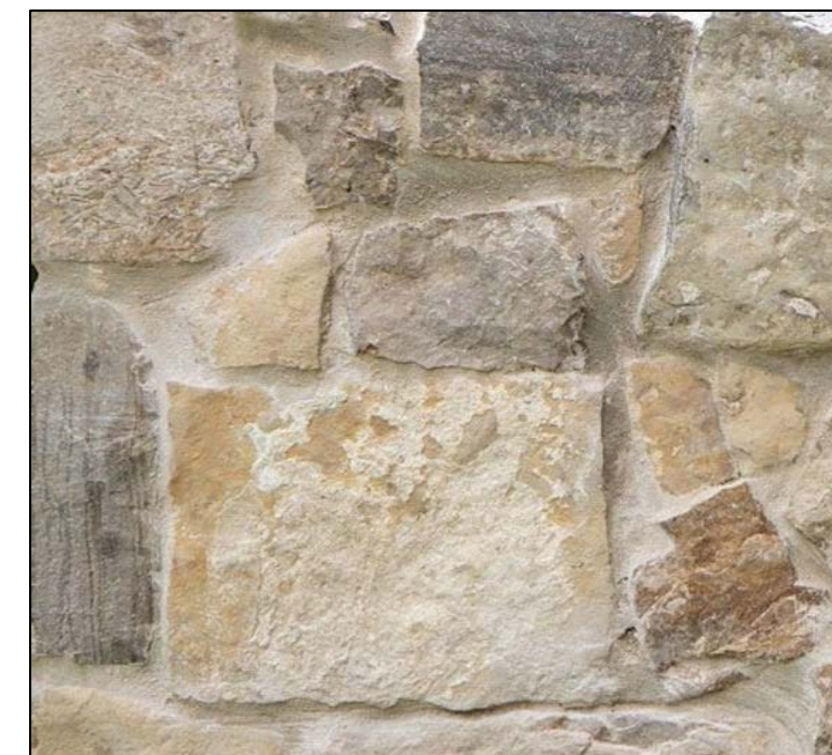
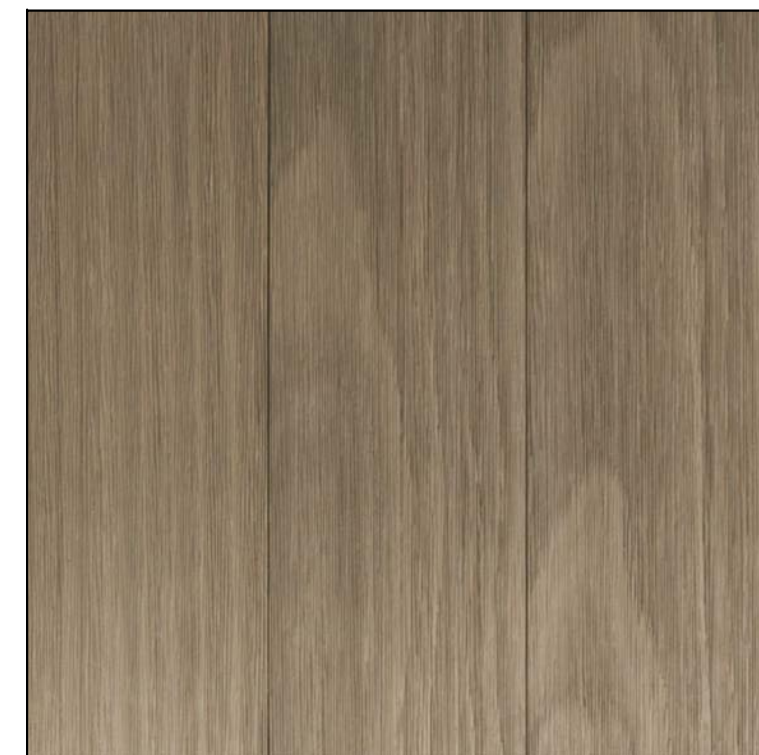
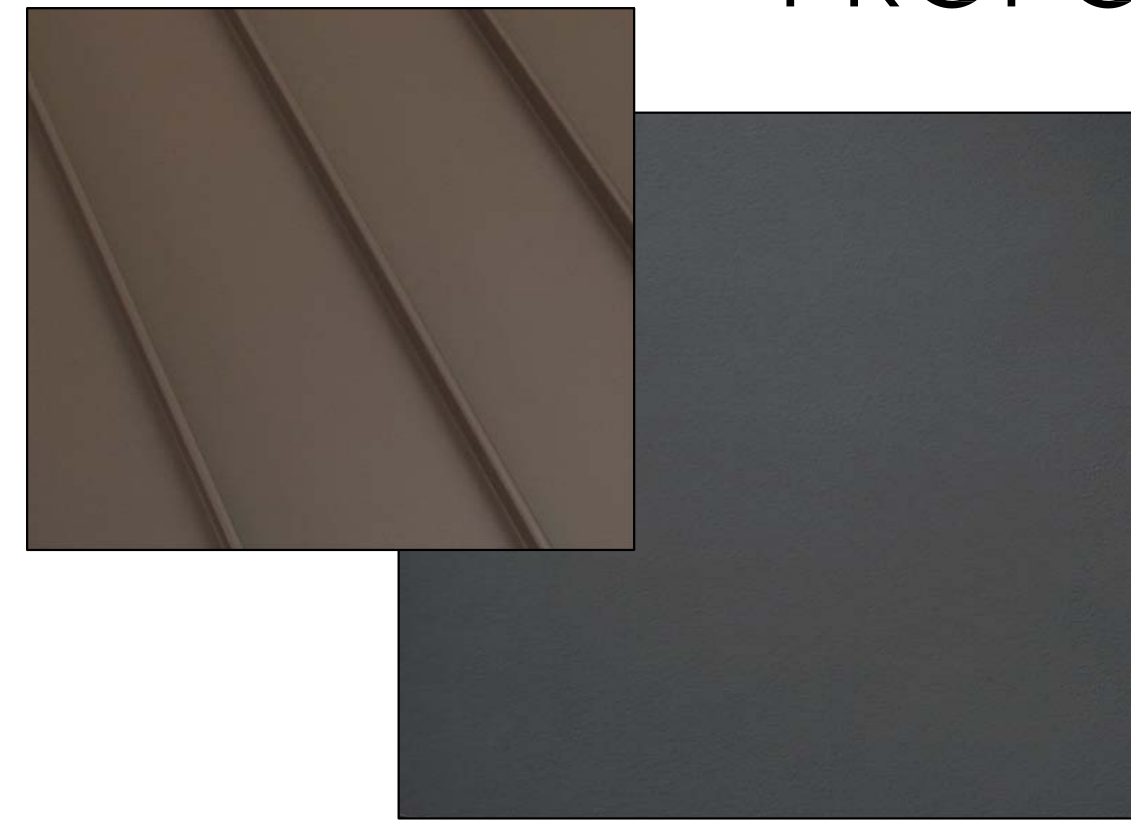




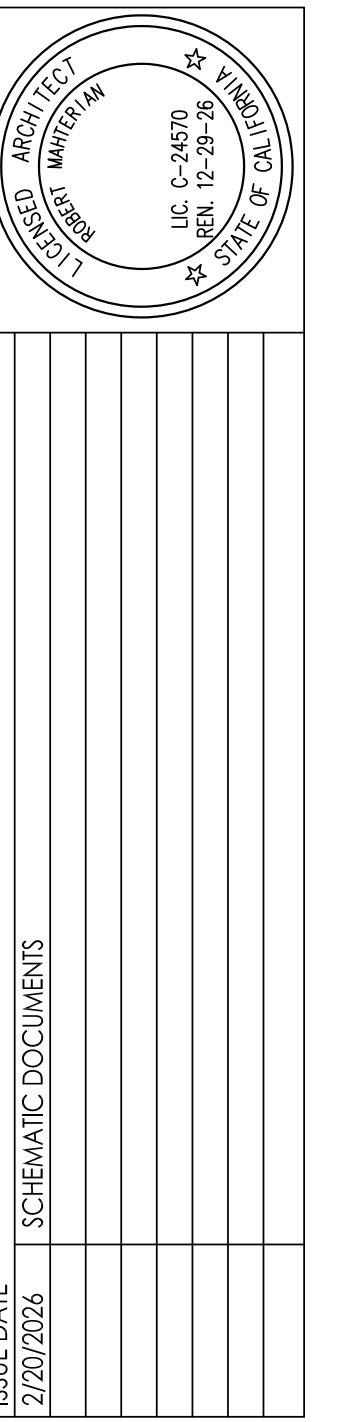
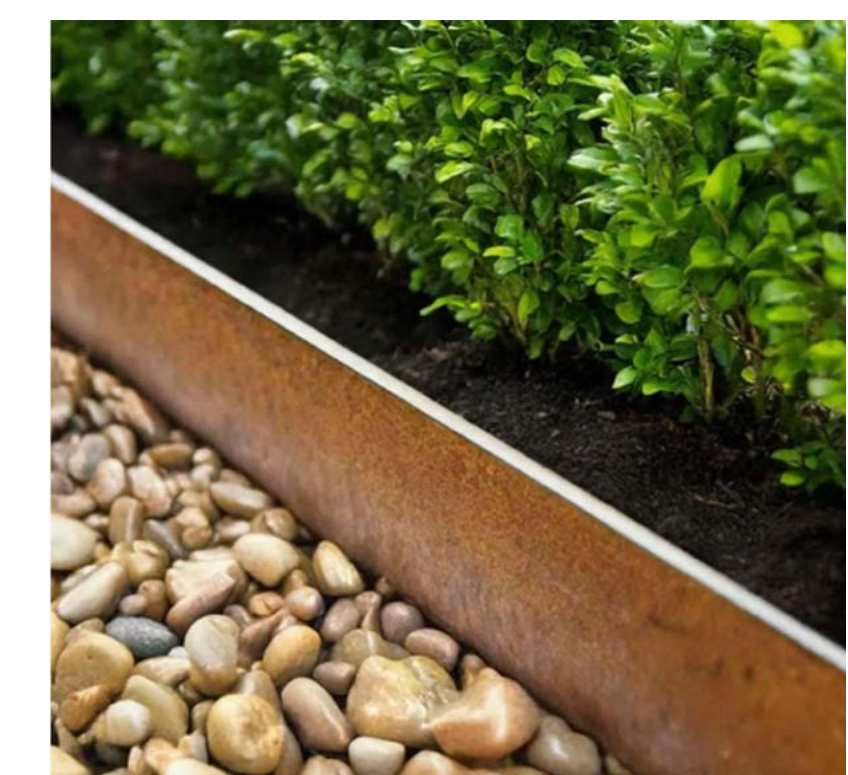
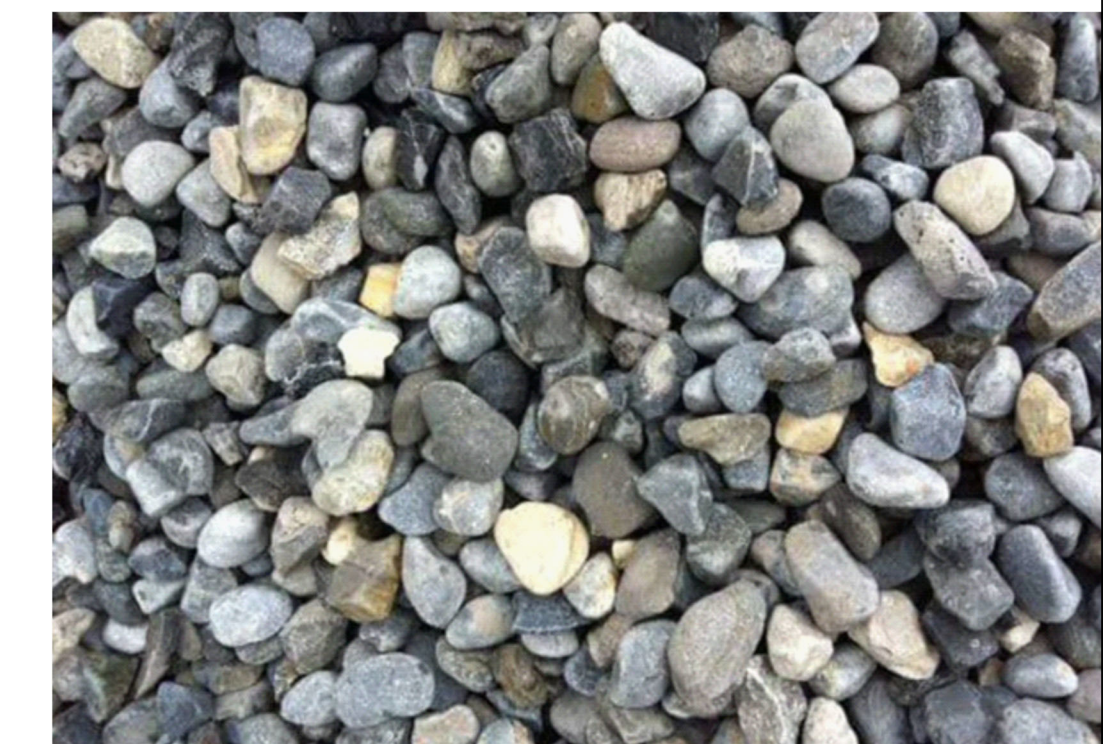
DARK ANNODIZED BRONZE WINDOWS

INSPIRATION IMAGES

PROPOSED MATERIALS ON RESIDENCE



PROPOSED MATERIALS IN LANDSCAPE



ROBERT MAHERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

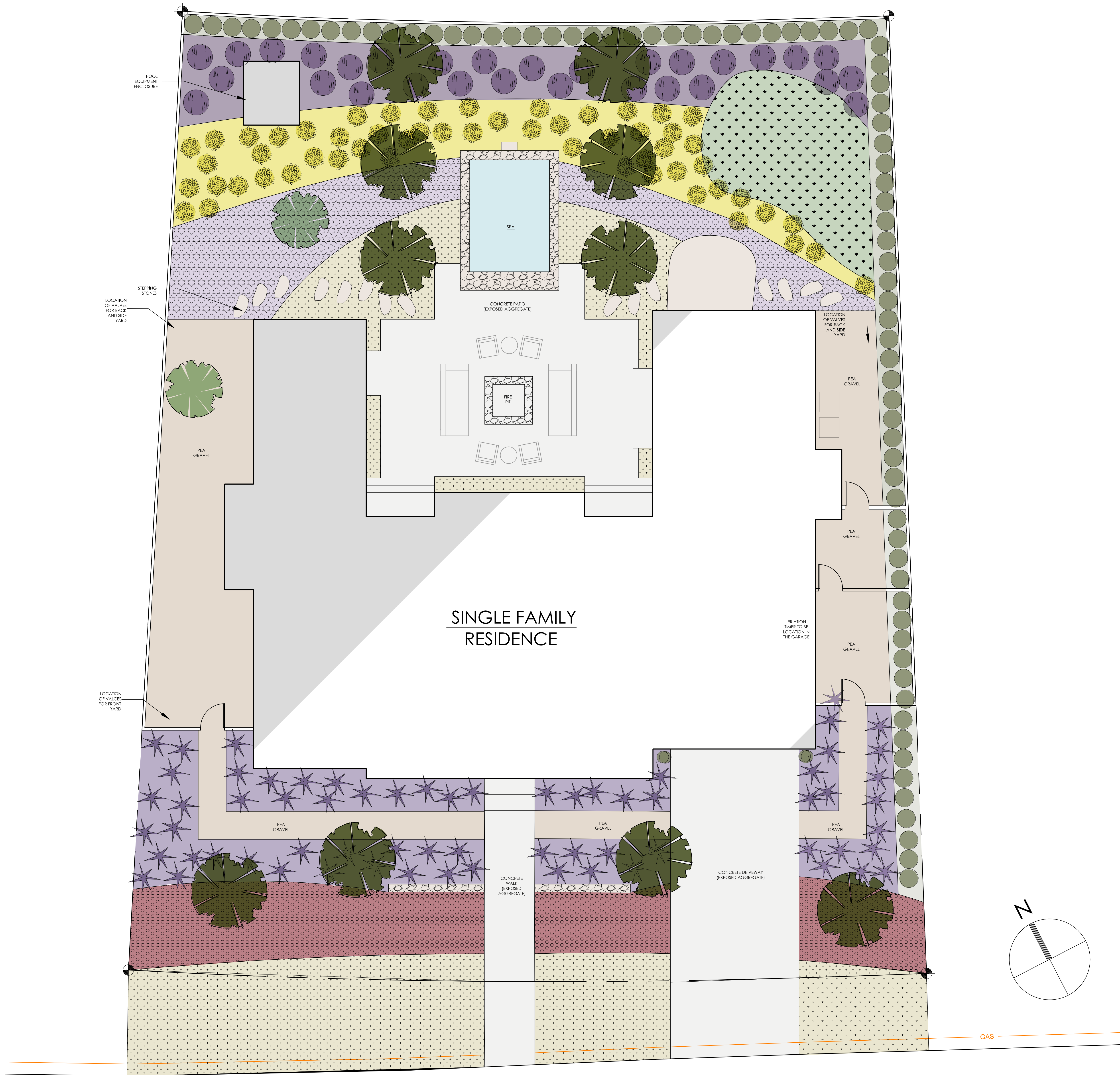
MATERIAL BOARD

SHEET NO.

A9.1

Attachment A
Site Plans and Materials

Existing Single Family Residence Remodel
5583 Canalino Drive
Project #25-2372-CDP/ARB
Preliminary ARB Review
March 26, 2026

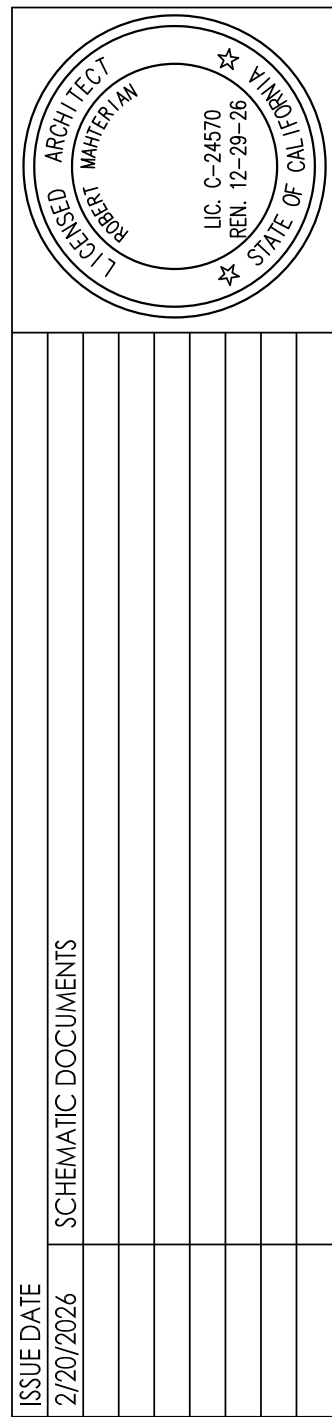


LANDSCAPE LEGEND - NEW					
SYMBOL	BOTANICAL NAME COMMON NAME / VARIETY	SIZE	SPACING		QUANTITY
	Pennisetum spathiolatum SLENDER VELD T GRASS	1 GAL.			VERIFY
	Pennisetum alopecuroides 'Hameln' HAMELN FOUNTAIN GRASS	F1 GAL.			VERIFY
	Perovskia atriplicifolia RUSSIAN SAGE	5 GAL.	12" O.C.		VERIFY
	Lolium arundinaceum MARATHON II TALL FESCUE	1 GAL.			
	Echinium candicans PRIDE OF MADEIRA	5 GAL.	48" O.C.		VERIFY
	Lavandula stoechas SPANISH LAVENDER	5 GAL.	18" O.C.		VERIFY
	Euphorbia characias MEDITERRANEAN SPURGE				VERIFY
	Bougainvillea glabra BOUGAINVILLEA, YELLOW BOUGAINVILLEA				VERIFY
	Olea europaea 'Swan Hill' SWAN HILL OLIVE				

LANDSCAPE LEGEND - EXISTING TO REMAIN					
	Ficus microcarpa FICUS NITIDA				
	EXISTING FRUIT TREES AVOCADO AND LEMON				

IRRIGATION NOTES:					
1. SPRAY ZONES WILL HAVE 1" BRASS IN-LINE VALVES 2. DRIP ZONES WILL HAVE 1" LOW FLOW VALVES. 3. LOW FLOW DRIP AREAS WILL HAVE BRASS OR PLASTIC VALVES. 4. PROVIDE SEPARATE IRRIGATION VALVES FOR SUN AND SHADE AREAS, LAWN AND SHRUB AREAS, AND BUBBLER/DRIP AREAS. 5. USE 1" PVC FROM WATER MAIN TO VALVES. 6. ALL MAIN LINE PIPE (FROM METER TO VALVES) SHOULD BE SCHEDULE 40 OR COPPER. 7. AT ALL SPRINKLER HEADS, USE A MINIMUM OF 3 MARLEX (FLEXIBLE ELBOWS) TO ADJUST FINISH SPRINKLER HEIGHT. 8. ALL SPRINKLER HEADS ADJACENT TO HARDSCAPE AREAS ARE TO BE POP-UP TYPES. 9. USE LOW VOLUME IRRIGATION HEADS WHERE POSSIBLE. 10. ALL PLANTING BEDS LESS THAN 2' WIDE ARE TO BE IRRIGATED WITH DRIP OR BUBBLER SYSTEMS. 11. THE BACKFLOW DEVICE FOR THE SPRINKLER SYSTEM SHOULD BE A "REDUCED PRESSURE BACK FLOW DEVICE" IN EITHER 3/4" OR 1" (THIS NEEDS TO BE INSPECTED BY A QUALIFIED INSPECTOR AFTER INSTALLATION AND IT NEEDS TO BE INSTALLED 12" ABOVE THE GROUND). 12. CONTROL/TIMER BOX TO BE LOCATED IN THE GARAGE.					

EXTERIOR LIGHTING NOTES:					
1. NO EXISTING LANDSCAPE LIGHTING EXISTS ON THE SITE. 2. NO LANDSCAPE LIGHTING IS PROPOSED FOR THIS PROPERTY.					



ROBERT MAHTERIAN, ARCHITECTS
24962 JIM BRIDGER ROAD
HIDDEN HILLS, CA 91302 TEL (310) 418-5615

MARVIN RESIDENCE
5538 CANALINO DRIVE
CARPINTERIA, CA 93013

LANDSCAPE PLAN

SHEET NO.
L1.1

SCALE: 3/16" = 1'-0"

Attachment B
Site Photos

Existing Single Family Residence Remodel
5583 Canalino Drive
Project #25-2372-CDP/ARB
Preliminary ARB Review
March 26, 2026

Site Photos:

5538 Canalino Drive, Marvin Remodel, 25-2372 CDP/ARB

Aerial and Photos Looking North from Canalino Drive



Site Photos:

5538 Canalino Drive, Marvin Remodel, 25-2372 CDP/ARB

Aerial and Photos Looking North from Canalino Drive



Site Photos:

5538 Canalino Drive, Marvin Remodel, 25-2372 CDP/ARB

Aerial and Photos Looking North from Canalino Drive



Site Photos:
5538 Canalino Drive, Marvin Remodel, 25-2372 CDP/ARB
Aerial and Photos Looking North from Canalino Drive

